

NEW RESIDENCE FOR: MR. & MRS JAMES MONTEFORTE

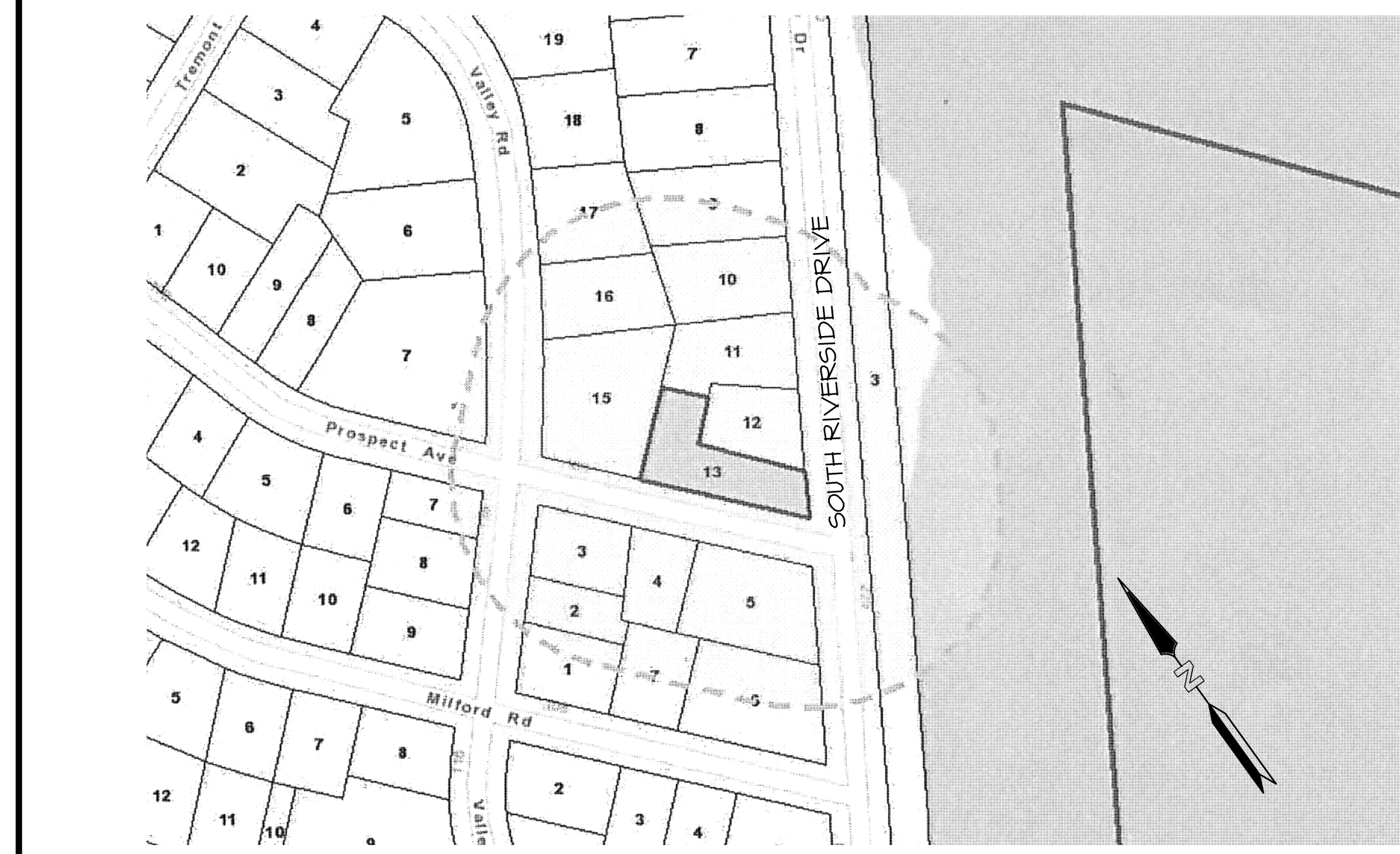
223 SOUTH RIVERSIDE DRIVE

LOT 13

SHARK RIVER,

BLOCK 5412

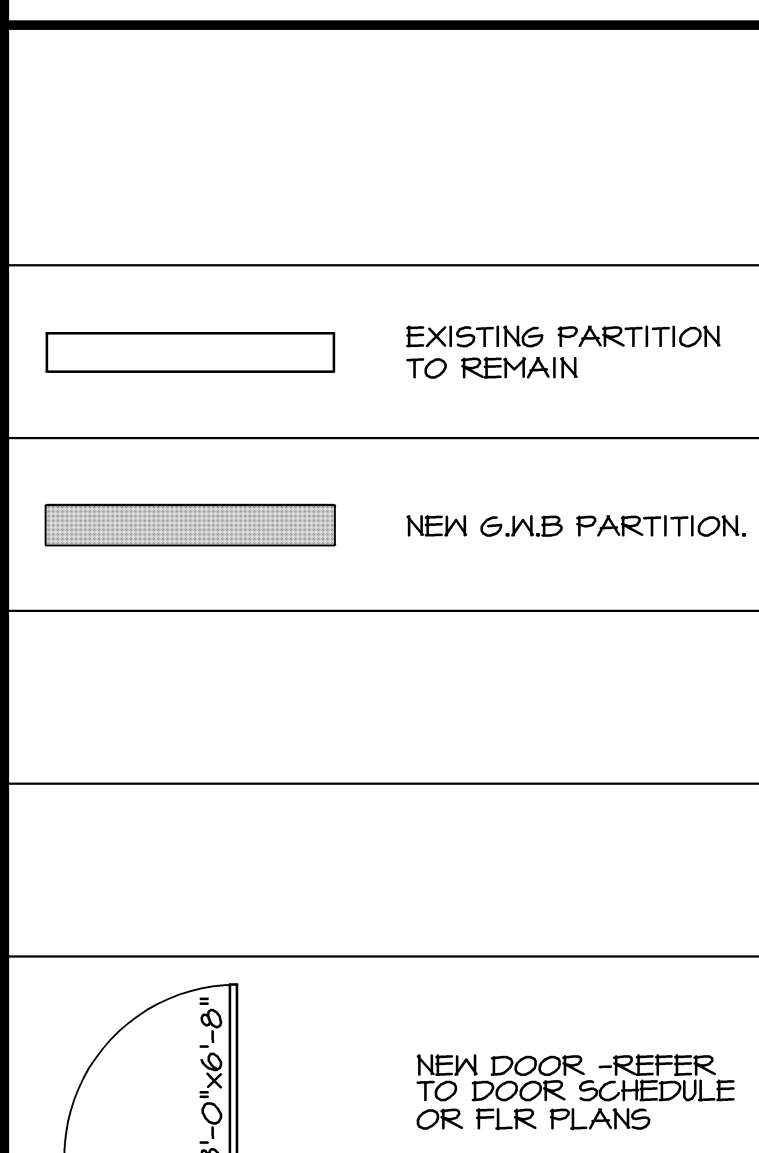
NEW JERSEY



LOCATION MAP

ABBREVIATIONS	
ABV. ABOVE	JTS. JOINTS
ACC. ACCESSORIES	LAV. LAVATORY
ADJ. ADJACENT	LSL. LAMINATED STRAND LUMBER
A.F.F. ABOVE FINISHED FLOOR	LVL. LAMINATED VENEER LUMBER
AIA. AMERICAN INSTITUTE OF ARCHITECTS	LYR. LAYER
A.I.S.C. AMERICAN INSTITUTE OF STEEL CONSTRUCTION	MATL. MATERIAL
ALUM. ALUMINUM	MANUF. MANUFACTURER
AMT. AMOUNT	MECH. MECHANICAL
A.S.B.O. AS SELECTED BY OWNER	MEP. MECHANICAL - ELECTRICAL - PLUMBING
ASTM. AMERICAN SOCIETY FOR TESTING MATERIALS	MOD. MODIFICATION
ATC. ACOUSTIC TILE CEILING	MSNY. MASONRY
BD. BOARD	MTL. METAL
BLK. BLOCK	N/A. NOT APPLICABLE
B.O. BOTTOM OF	NEMA. NATIONAL ELECTRICAL MANUF. ASSOC.
B.T.U.H. BRITISH THERMAL UNITS (PER HOUR)	N.J. N.J. DEPARTMENT OF ENVIRONMENTAL PROTECTION
BTMN. BETWEEN	NO. NUMBER
DEG. DEGREE	O.C. ON CENTER
CF. CUBIC FEET	OCC. OCCUPANCY
CL. CLOSET	OHDR. OVERHEAD DOOR
CLG. CEILING	PART. PARTITION
CLRM. CLASSROOM	PERF. PERFORATED
COL. COLUMN	PL. PLATE
CONC. CONCRETE	PLMB. PLUMBING
CONT. CONTINUOUS	PLYMD. PLYWOOD
CONT'D. CONTINUED	POLY. POLYETHYLENE
CMU. CONCRETE MASONRY UNIT	PPM. PARTS PER MILLION
DBL. DOUBLE	PSI. POUNDS PER SQUARE INCH
DEC. DECORATIVE	PSL. PARALLEL STRAND LUMBER
DIA. DIAMETER	P.T. PRESSURE PRESERVATIVE TREATED LUMBER
do. DITTO	PVC. POLY VINYL CHLORIDE
DTL. DETAIL	R. RISER
DWG. DRAWING	R. RADIUS
DWL. DOWEL	REINF. REINFORCEMENT
EA. EACH	REQ'D. REQUIRED
ELEV. ELEVATION	RFG. ROOFING
ENG. ENGINEER	RM. ROOM
EXT. EXTERIOR	S.C. SOLID CORE
EX. EXHAUST	S.F. SQUARE FEET
FEMA. FEDERAL EMERGENCY MANAGEMENT AGENCY	SHT. RK. SHEET ROCK
F.C. FIRE CORE	SPEC'D. SPECIFIED
FIN. FINISHED	SQ. FT. SQUARE FEET
FLR. FLOOR	STD. STANDARD
FT. FEET	STOR. STORAGE
FTG. FOOTING	STL. STEEL
GA. GAUGE	T&G. TONGUE AND GROOVE
G.C. GENERAL CONTRACTOR	TJI. LEVEL WOOD I-BEAM
GL. GLASS	T.O. TOP OF
GPI. GEORGIA PACIFIC WOOD I-BEAMS	TYP. TYPICAL
GWB. GYPSUM WALLBOARD	USG. UNITED STATES GYPSUM
GYP. GYPSUM	VCT. VINYL COMPOSITION TILE
HG. HOLLOW CORE	VERT. VERTICAL
HDR. HEADER	VIF. VERIFY IN FIELD
HDNE. HARDWARE	VWC. VINYL WALL COVERING
H.M. HOLLOW METAL	VB. VAPOR BARRIER
HORIZ. HORIZONTAL	W. WITH
HT. HEIGHT	WC. WATER CLOSET
HVAC. HEATING - VENTILATING - AIR CONDITIONING	WD. WOOD
IN. INCH	WHP. WEEP HOLE
INSUL. INSULATION	WUM. WELDED WIRE MESH
JAN. JANITOR ROOM	

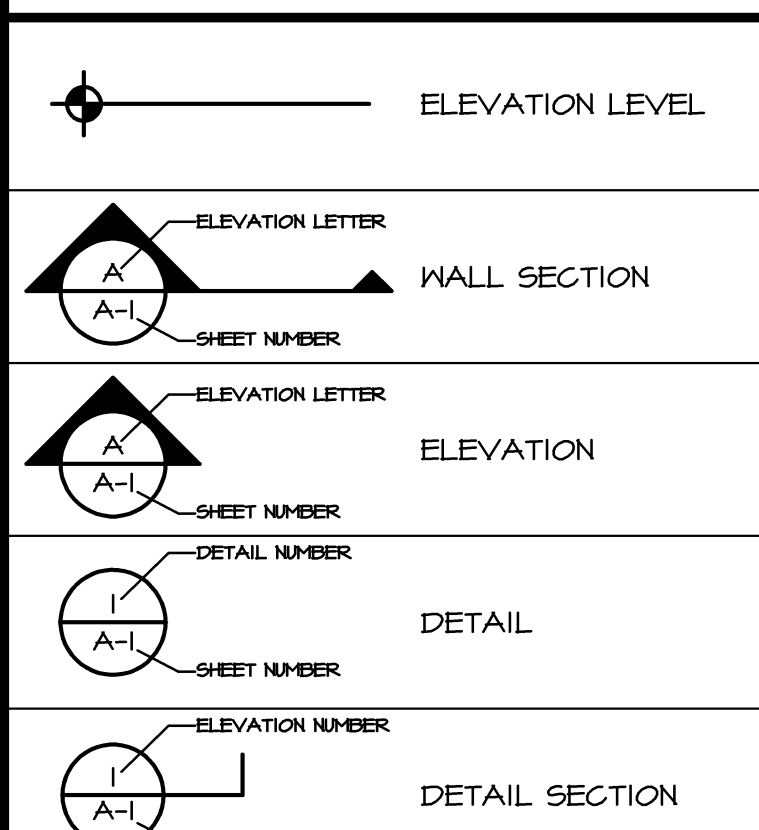
SYMBOLS LEGEND



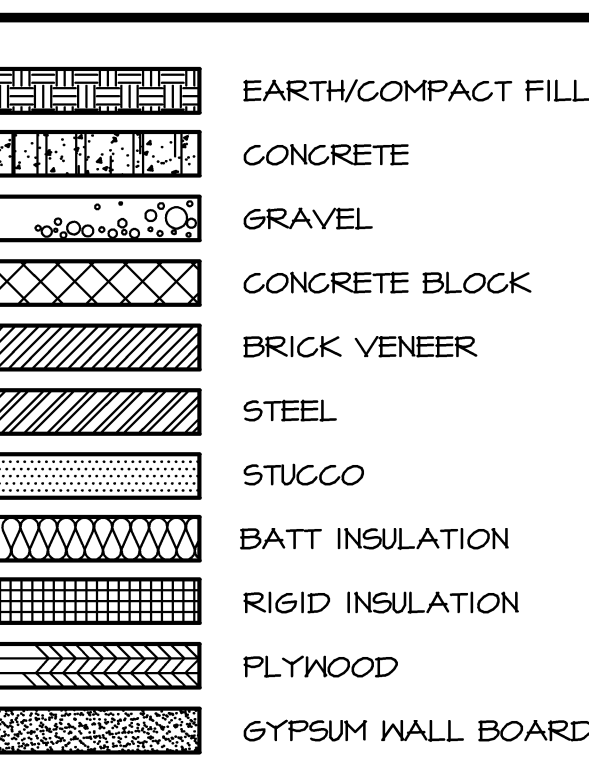
DRAWING LIST

- ARCHITECTURAL**
- A101 COVER SHEET
 - A102 SITE PLAN
 - A103 FLOOR PLANS
 - A104 ELEVATIONS
 - A105 ELEVATIONS

DRAWING SYMBOLS



MATERIALS KEY



PARTITION TYPES

	SEPARATION WALL 2" x 5" @ 16" O.C. W/ 5/8" TYPE 'X' GYPSUM WALL BOARD BOTH SIDES ONE HOUR UL DESIGN NO. U314 OR GA# W93510.		FLOOR/CLG: 3/4" T&G SUB FL. OVER TJI FLOOR JST @16" O.C. W/ 2-LAYERS 5/8" TYPE 'X' GYP BD. BELOW GA NO. FC5407.
	SEE PLAN FOR STUD SIZES		SEE PLAN FOR JST. SIZES
	TYPE VA CONSTRUCTION: EXT. WALL 2"x5" STUD AT 16" O.C. WITH 3/8" TYPE 'X' DRYWALL INSIDE FACE. INSUL WITH 3/8" GLASS FIBER INSUL. EXT. FACE 1/2" EXT. GRADE PLYWOOD W/ VINYL SIDING - 1 HR. FIRE RATED ASSEM. UL DESIGN NO. U356.		EXTERIOR WALL 2"x5" STUD AT 16" O.C. WITH 3/8" TYPE 'X' DRYWALL INSIDE FACE & 3/8" TYPE 'X' GYP. SHEATHING ON EXTERIOR WITH 1/2" EXT. GRADE PLYWOOD UNDER VINYL SIDING ONE HOUR FIRE RATED ASSEM. GA DESIGN NO. W93105
	TYPE VB CONSTRUCTION: EXT. WALL 2"x5" STUD AT 16" O.C. WITH 1/2" DRYWALL INSIDE FACE & 1/2" EXT. GRADE PLYWOOD W/ VINYL SIDING EXT. FACE.		FLOOR/CLG: 3/4" T&G SUB FL. OVER 2"x10" MIN. FLOOR JST @16" O.C. W/ 2-LAYERS 5/8" TYPE 'X' GYP BD. BELOW GA NO. FC5406.
	INT. 3-1/2" STUD PARTITION W/ 1/2" DRYWALL BOTH SIDES		SEE PLAN FOR JST. SIZES

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PROJECT DATA

USE GROUP	R-5
CONSTRUCTION TYPE	V B
FLOOD HAZARD ZONE	A&I/A&II
BASE FLOOD ELEVATION	11'
NUMBER OF STORIES	2
HEIGHT OF STRUCTURE	24'-10"
AREA OF LARGEST FLOOR	2,142 SF
BASEMENT SQUARE FOOTAGE	NA
FIRST FLOOR LIVING SPACE	1,310 SF
SECOND FLOOR LIVING SPACE	1,545 SF
TOTAL SQUARE FOOTAGE	2,405 SF
COVERED PORCH	300 SF
VOLUME OF NEW STRUCTURE	12,826 CF
TOTAL OF LAND DISTURBED	7,163 SF

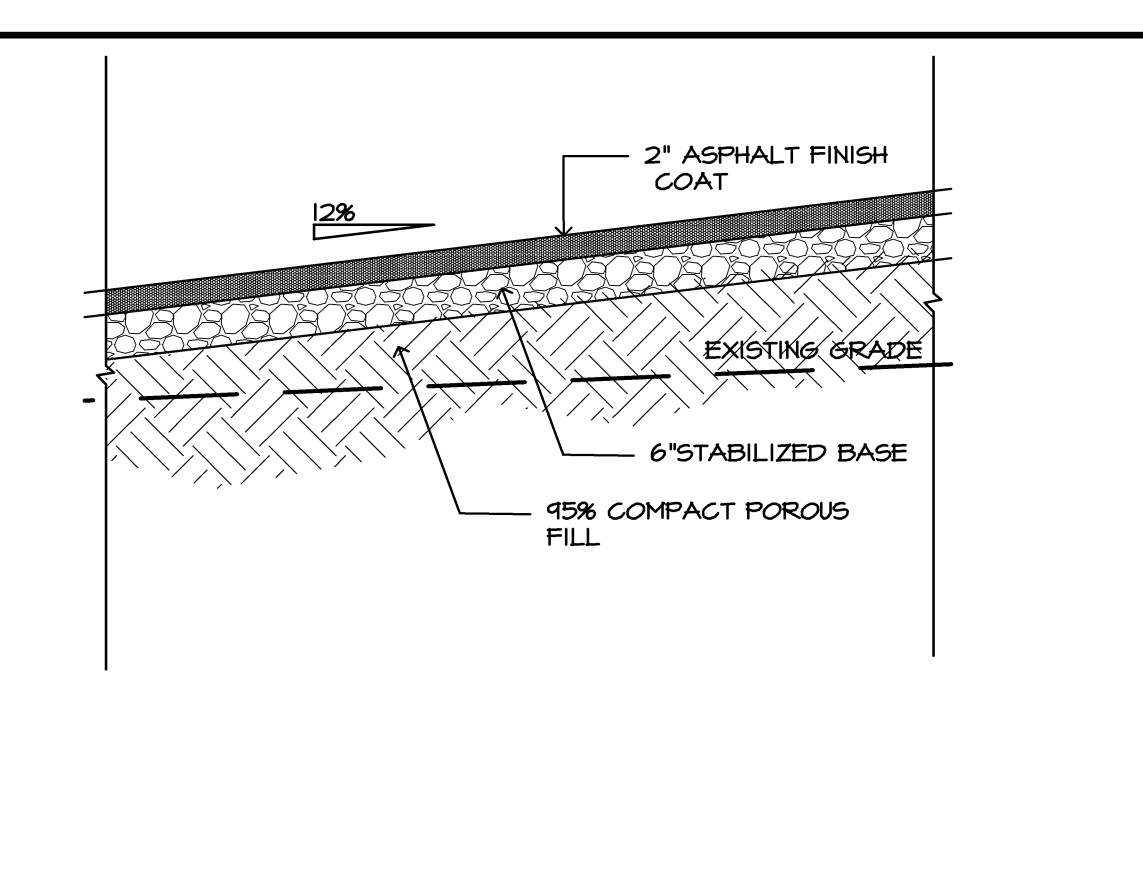
STRUCTURAL DATA

	LIVE LOAD	DEAD LOAD
ROOMS OTHER THAN SLEEPING ROOMS	40 psf	15 psf
SLEEPING ROOMS	30 psf	15 psf
ATTIC-STORAGE	20 psf	12 psf
HABITABLE ATTIC & ATTIC WITH FIXED STAIRS	30 psf	12 psf
ROOF LOAD	20 psf	10 psf
DECK LOAD	40 psf	15 psf
EXTERIOR BALCONY LOAD	60 psf	15 psf
GUARDS AND HANDRAILS	200 lb concentrated load	
GUARD INFILL COMPONENTS	50 psf	
ULTIMATE WIND SPEED - 120 mph (Figure R301.2(4))	30 psf of pressure	
DESIGN WIND SPEED - 43 mph (Figure R301.2(3))	19 psf of pressure	
RISK CATEGORY II		
WIND EXPOSURE CATEGORY 'C'		

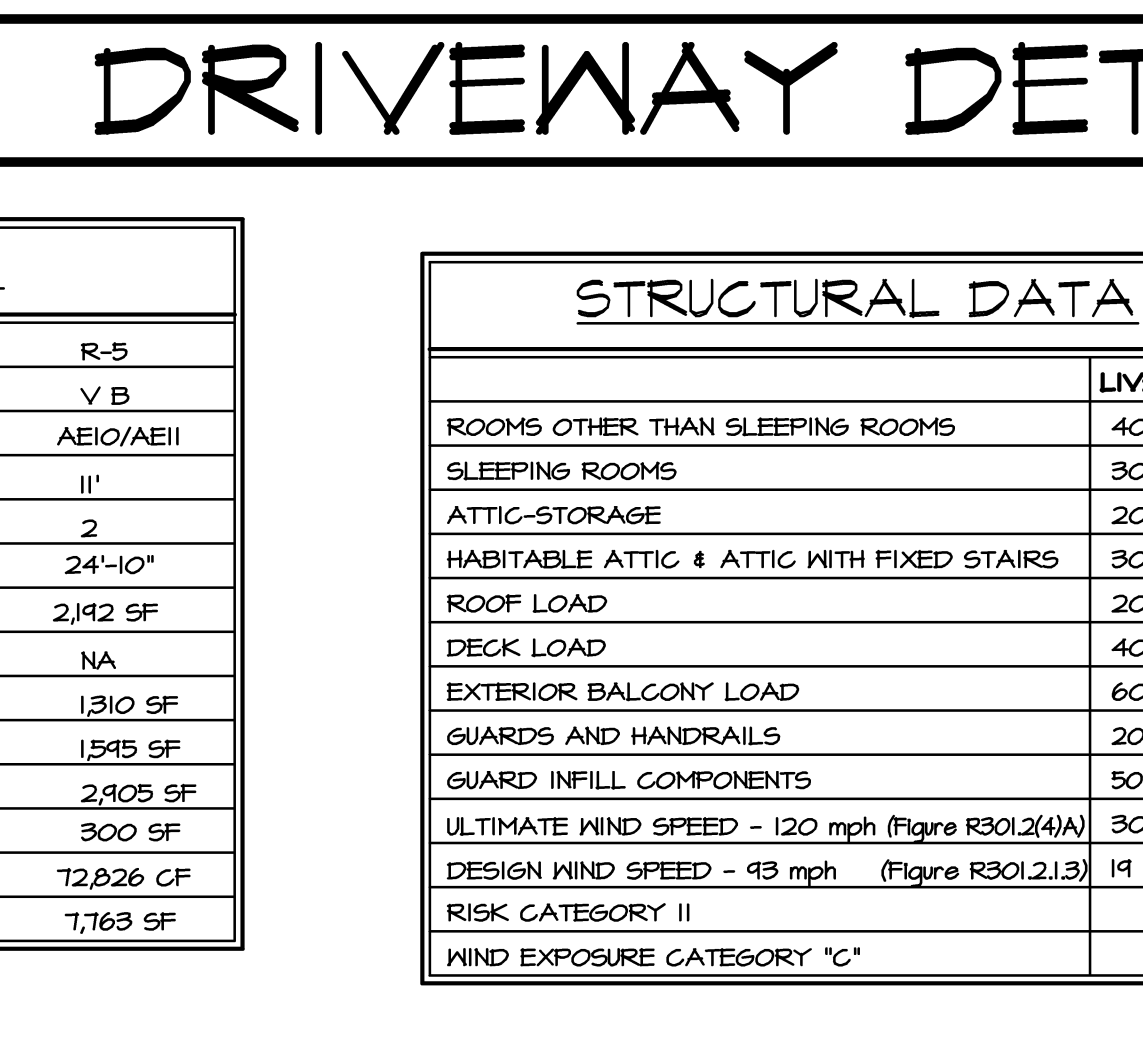
ZONING REQUIREMENTS

R-2 ZONE			
REQUIREMENTS	REQ.	PROPOSED	COMMENTS
MINIMUM LOT AREA	10,000 sf	11,046 sf	
MAX DENSITY	4.3 D.U.	1 D.U.	
MINIMUM LOT WIDTH	100'	50' *	
MINIMUM LOT FRONTAGE	100'	180' 453.6'	
MINIMUM LOT DEPTH	100'	160.12'	
MIN FRONT YARD (PROSPECT AVE)	25'	178.05' 8' PORCH	NO CHANGE
MIN FRONT YARD (S.RIVERSIDE DR.)	25'	36.2' BLDG 80.1' PORCH	48.44' BLDG 30.1' PORCH APPROVED
SIDE YARD SETBACK (ONE SIDE)	10'	10'	
SIDE YARD SETBACK (BOTH SIDES)	25'	25'	
REAR YARD SETBACK	30'	54'	
MAXIMUM BLDG. COVERAGE	30%=3,311.7	2,591 SF 23.3%	25% APPROVED
MAX. LOT COVERAGE (IMPERVIOUS)	40%=4,415.6	3,617 SF 32.7%	34.4% APPROVED
MAXIMUM BUILDING HEIGHT	35'	28'-6" AVE GRADE EL.10'	27'-10" APPROVED

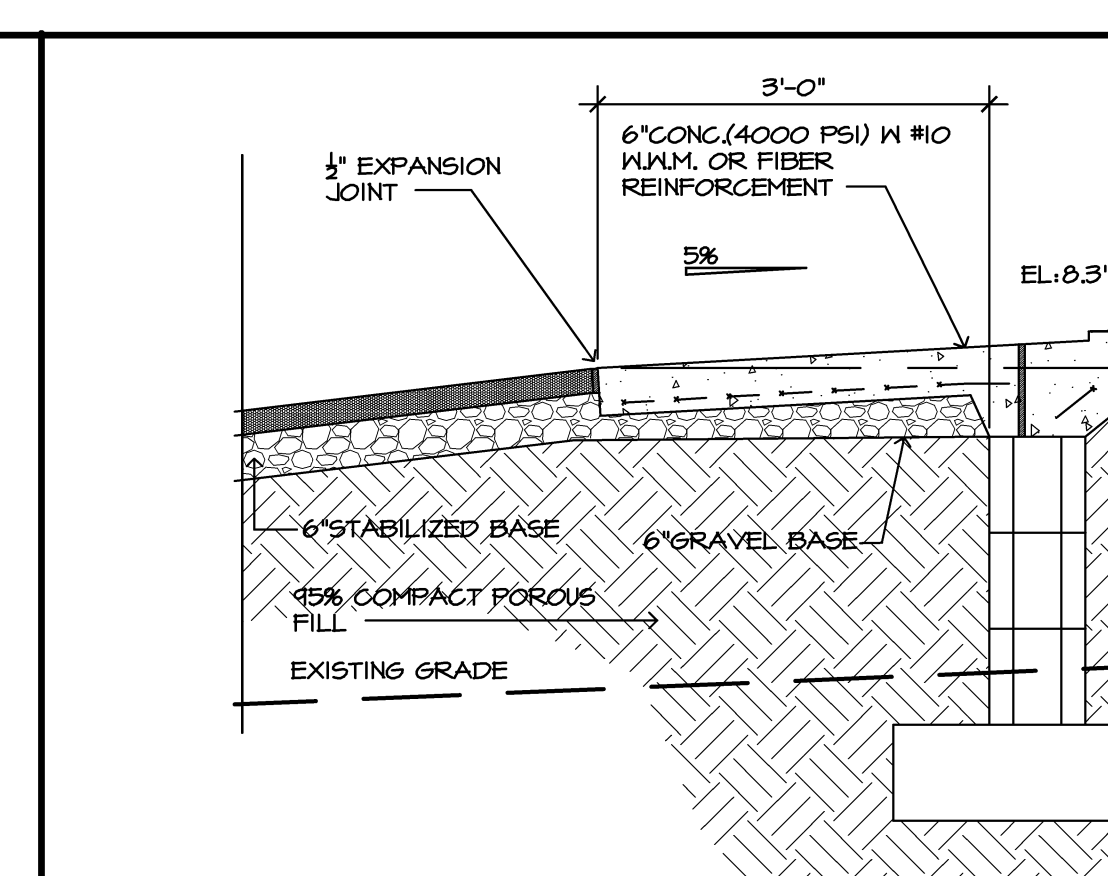
CONCRETE APRON DETAIL



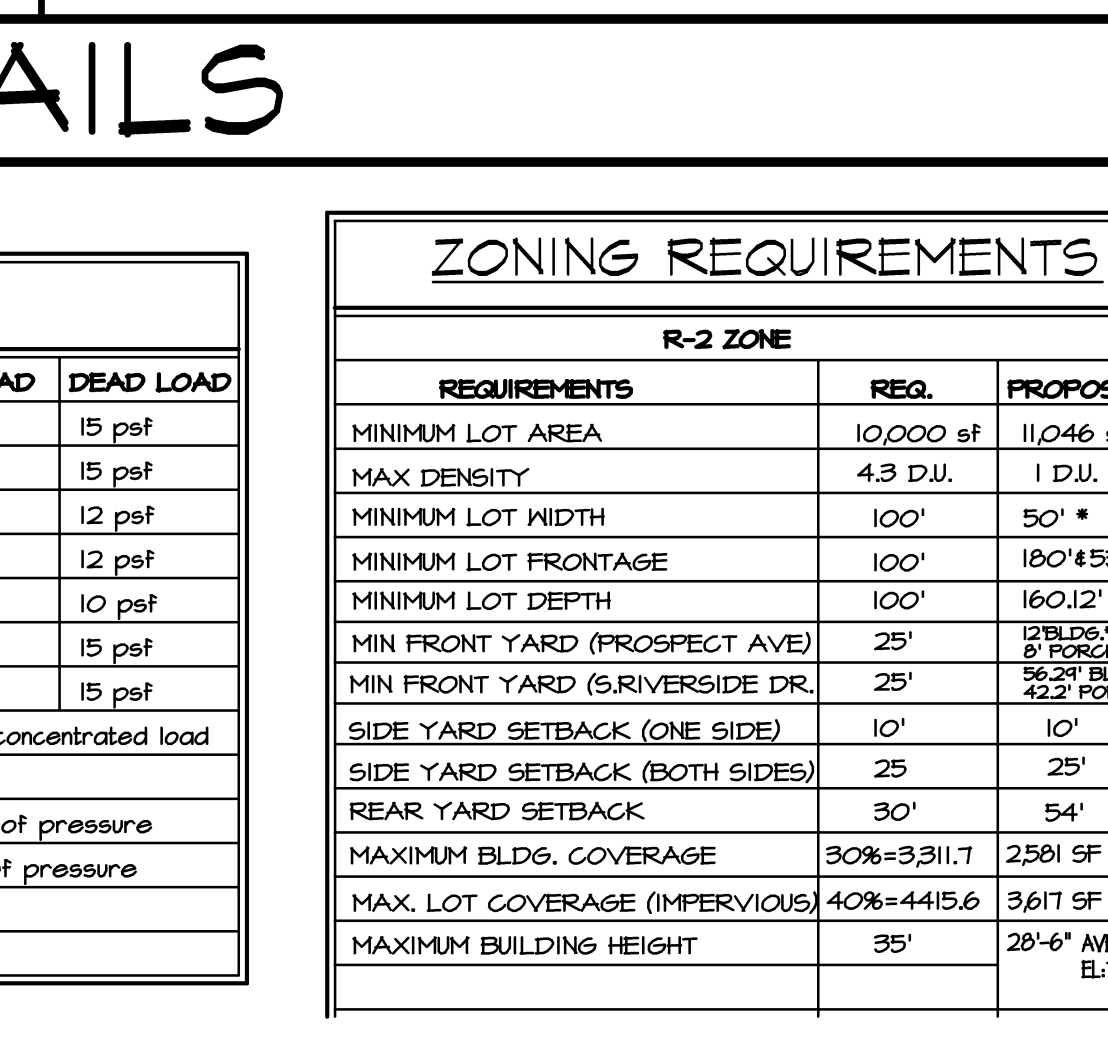
ASPHALT DRIVE DETAIL



GARAGE APRON



DRIVEWAY DETAILS



SCALE 3/4" = 1'-0"

MONTEFORTE ARCHITECTURAL STUDIO LLC
 JAMES J. MONTEFORTE, AIA
 733 HIGHWAY 35, SUITE C OCEAN, NJ 07712 (732) 989-1900

NEW RESIDENCE FOR:
MR. & MRS. MONTEFORTE
 223 SOUTH RIVERSIDE DR. NEPTUNE NJ.
 LOT 13 BLOCK 5412

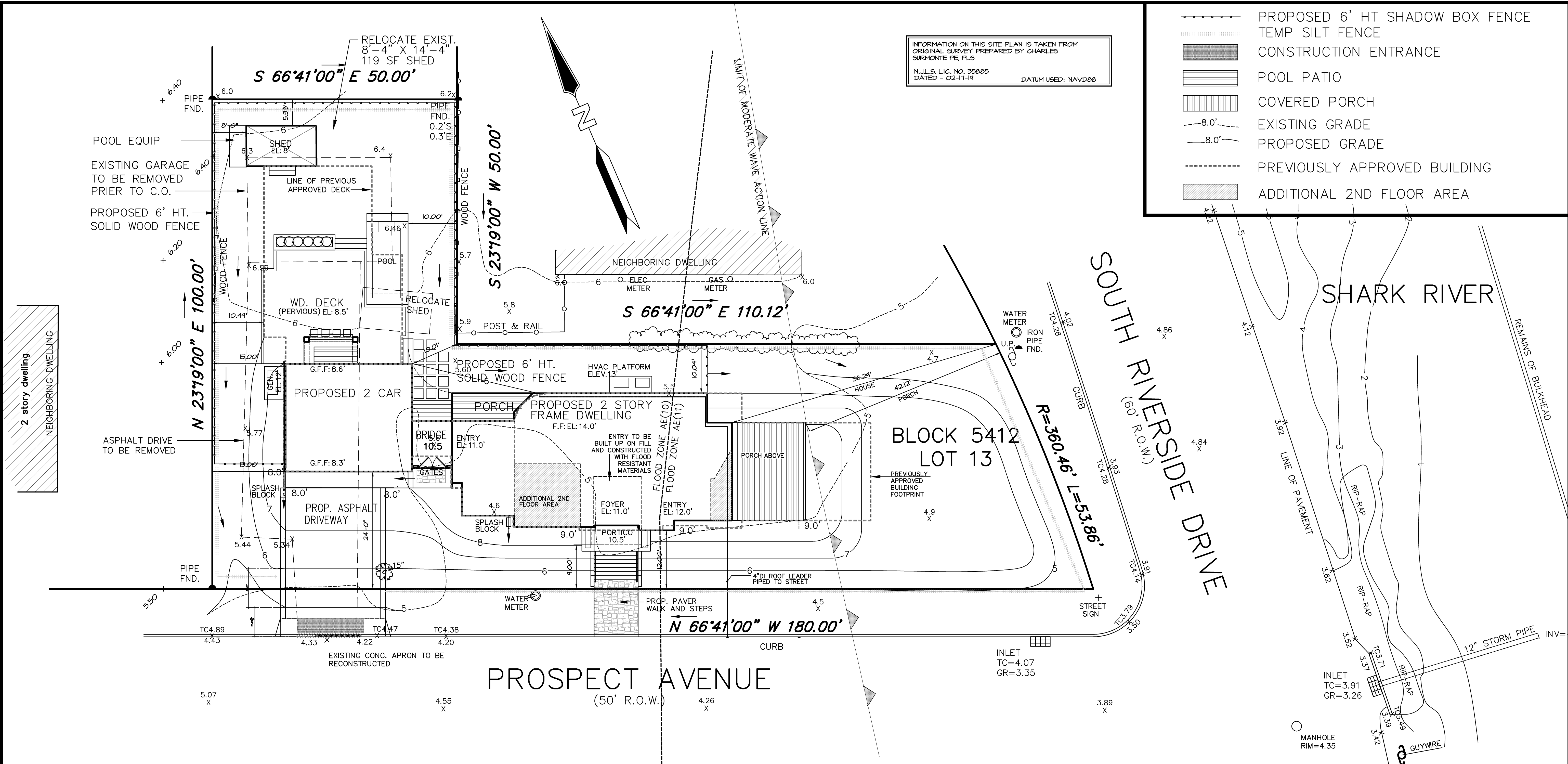
REVISIONS:

DATE:	BY:	DESCRIPTION:

DRAWN BY: JJM
 CHECKED BY: JJM
 JOB NO. 136.17
 DATE: 9-23-20

A101
 1 OF 5
 DWG. NO.

• NJ LIC. NO. 21A01213200
 • NY LIC. NO. 026417-1
 • PA LIC. NO. RA017093
 • FLA. LIC. NO. AR0016221
 • N.C.A.R.B. LIC. NO. 43377
 • CT LIC. NO. AR0011059
 • MA LIC. NO. 30598



INFORMATION ON THIS SITE PLAN IS TAKEN FROM ORIGINAL SURVEY PREPARED BY CHARLES SURMONTE PE, FL5
 N.J.L.S. LIC. NO. 35885 DATED - 02-17-14 DATUM USED: NAVD83

- PROPOSED 6' HT SHADOW BOX FENCE
- TEMP SILT FENCE
- CONSTRUCTION ENTRANCE
- POOL PATIO
- COVERED PORCH
- 8.0' EXISTING GRADE
- 8.0' PROPOSED GRADE
- PREVIOUSLY APPROVED BUILDING
- ADDITIONAL 2ND FLOOR AREA

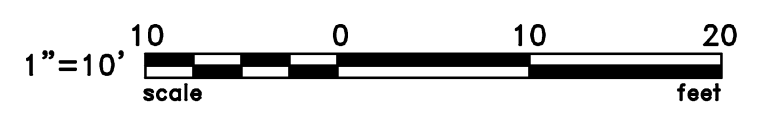
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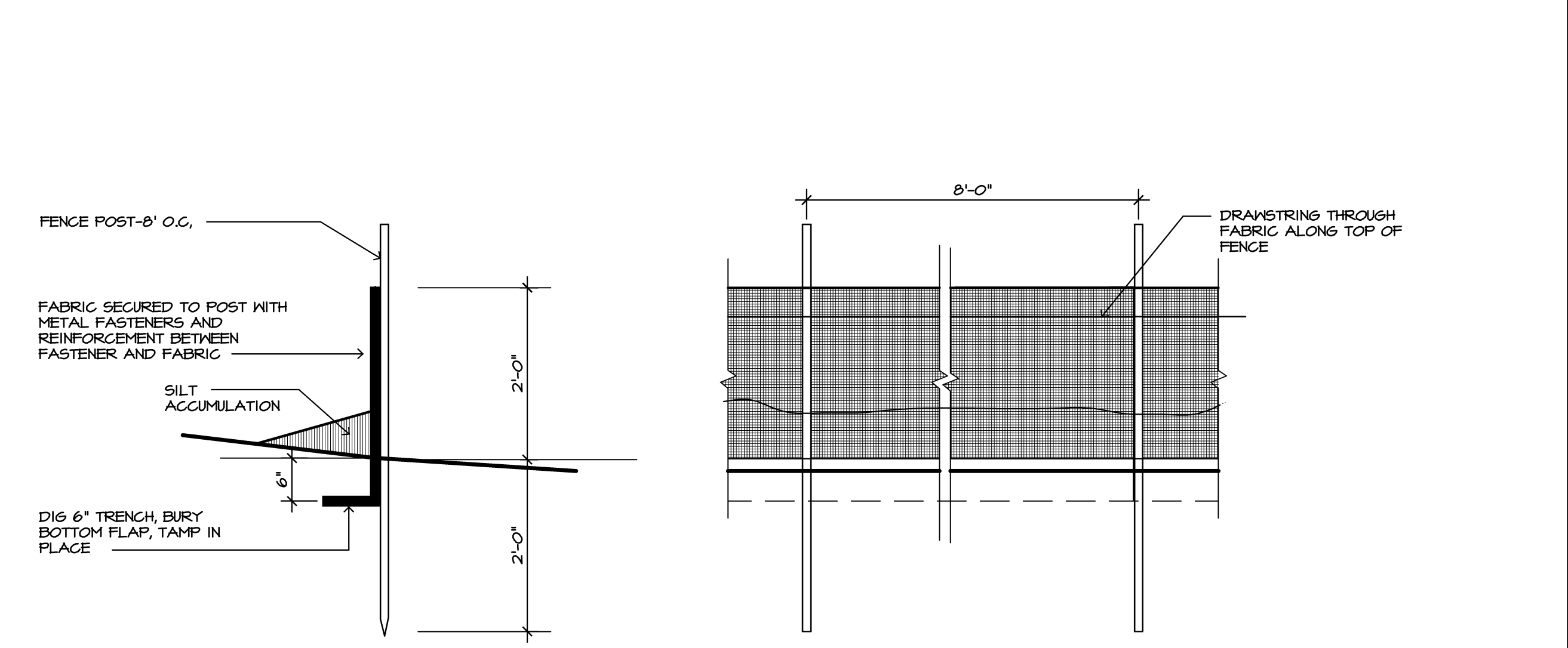
SITE PLAN



COMPLIANCE NOTES

SMART VENT MDL#1540.510
 ENCLOSURE AREA BELOW HOUSE 1645 SF
 9 SMART VENTS
 AREA OF GARAGE 500 SF
 3 SMART VENTS
 FLOOD VENT BOTTOM TO BE A MAX. OF 12" ABOVE GRADE AND ENTIRELY BELOW THE BFE
 NO BASEMENT IS PROPOSED
 THE ENCLOSURE BELOW THE BUILDING WILL BE CONSTRUCTED IN ACCORDANCE WITH "N.J.A.C.7:13-12.5(p)"
 THE GARAGE WILL MEET THE REQUIREMENTS SET FORTH AT "N.J.A.C.7:13-12.5(p)"
 THE GARAGE WILL BE CONSTRUCTED WITH PERMANENT FLOOD OPENING THAT MEET THE REQUIREMENTS OF THE UNIFORM CONSTRUCTION CODE AT N.J.A.C. 5:23
 ALL DECKS AND PORCHES TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLOOD HAZARD AREA PERMIT-BY-RULE SET FORTH AT N.J.A.C.7:13-7.16-PERMIT-BY-RULE 21-CONSTRUCTION OF A SWIMMING POOL ASSOCIATED W A RESIDENCE

PROPOSED POOL TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLOOD HAZARD AREA PERMIT-BY-RULE SET FORTH AT N.J.A.C.7:13-7.16-PERMIT-BY-RULE 21-CONSTRUCTION OF A SWIMMING POOL ASSOCIATED W A RESIDENCE



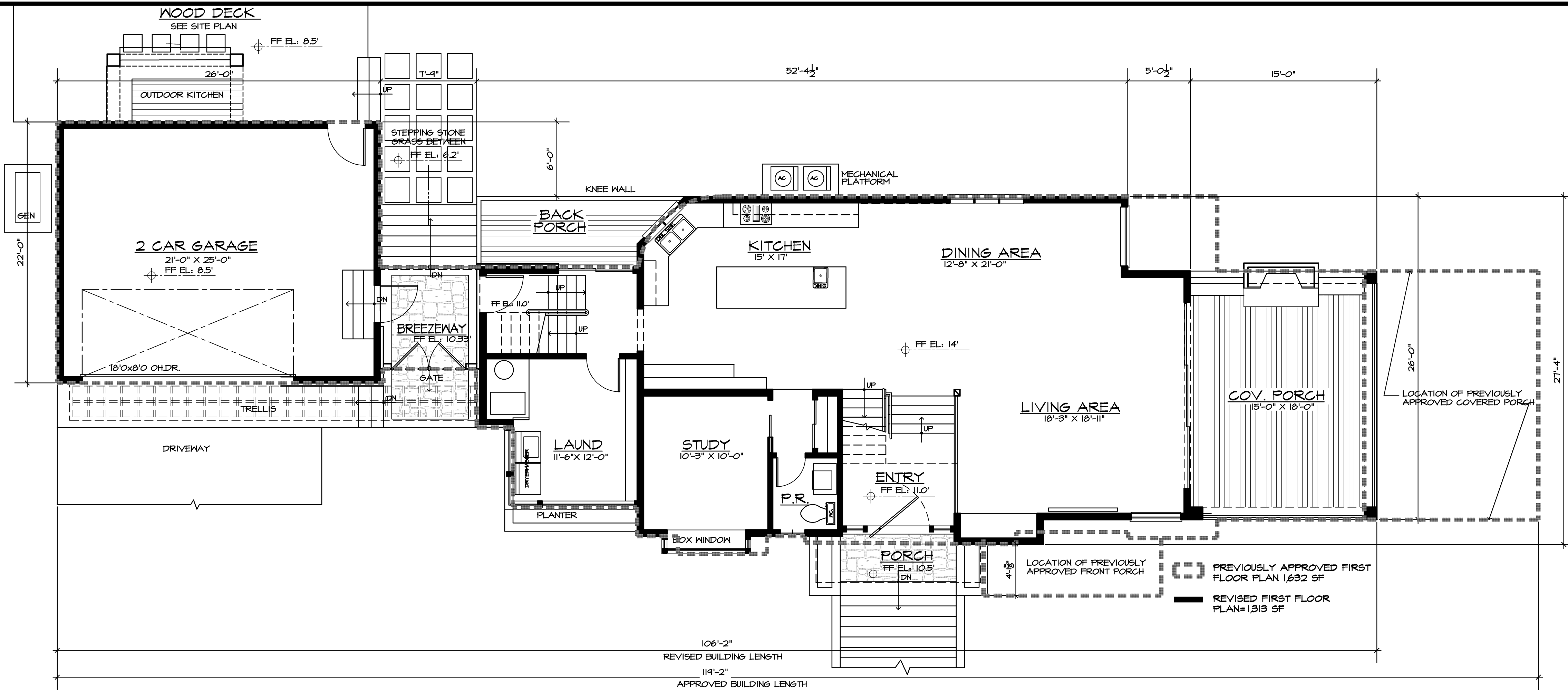
SILT FENCE DETAIL

LOT COVERAGE

BUILDING COV.	BUILDING		IMPERVIOUS	
	APPROVED	REVISED	PROPOSED	REVISED
HOUSE & GARAGE	2,365 SF	2,045 SF	2,365 SF	2,045 SF
ENTRANCE PORCH	40 SF	40 SF	53 SF	53 SF
FRONT COV. PORCH	232 SF	300 SF	300 SF	300 SF
FRONT STEPS AND WALK			74 SF	74 SF
REAR LANDINGS AND STEPS				107 SF
AC. GEN & POOL EQUIP.			46 SF	57 SF
POOL			342 SF	342 SF
POOL SURROUND/BACK DECK			657 SF	657 SF
DRIVEWAY AND WALK			573 SF	573 SF
BACK PORCH	61 SF	78 SF	61 SF	61 SF
SHED	80 SF	118 SF	80 SF	118 SF
	2,778 SF 25%	2,591 SF 23.3%	3,801 SF 34.4%	3,617 SF 32.7%

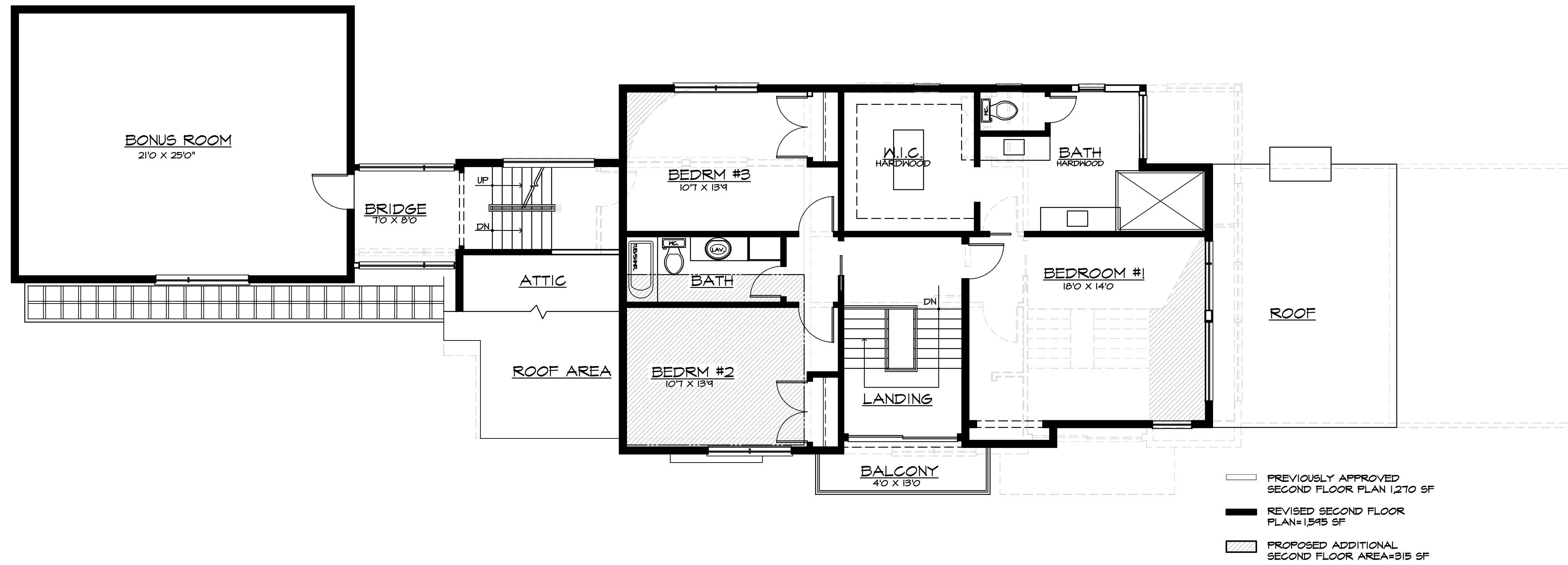
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FIRST FLOOR PLAN

3/16" = 1'-0"



SECOND FLOOR

3/16" = 1'-0"

MAIA

MONTEFORTE ARCHITECTURAL STUDIO LLC

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• MA LIC. NO. 30598

NEW RESIDENCE FOR:

MR. & MRS. MONTEFORTE

223 SOUTH RIVERSIDE DR. NEPTUNE NJ.
LOT 13 BLOCK 54/2

REVISIONS:	DATE:	DRAWN BY:	CHECKED BY:	JOB NO.	DATE:
		JJM	JJM	136.17	9-23-20

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A103
3 OF 5
DTC. NO.



REVISED FRONT ELEVATION

3/16" = 1'-0"



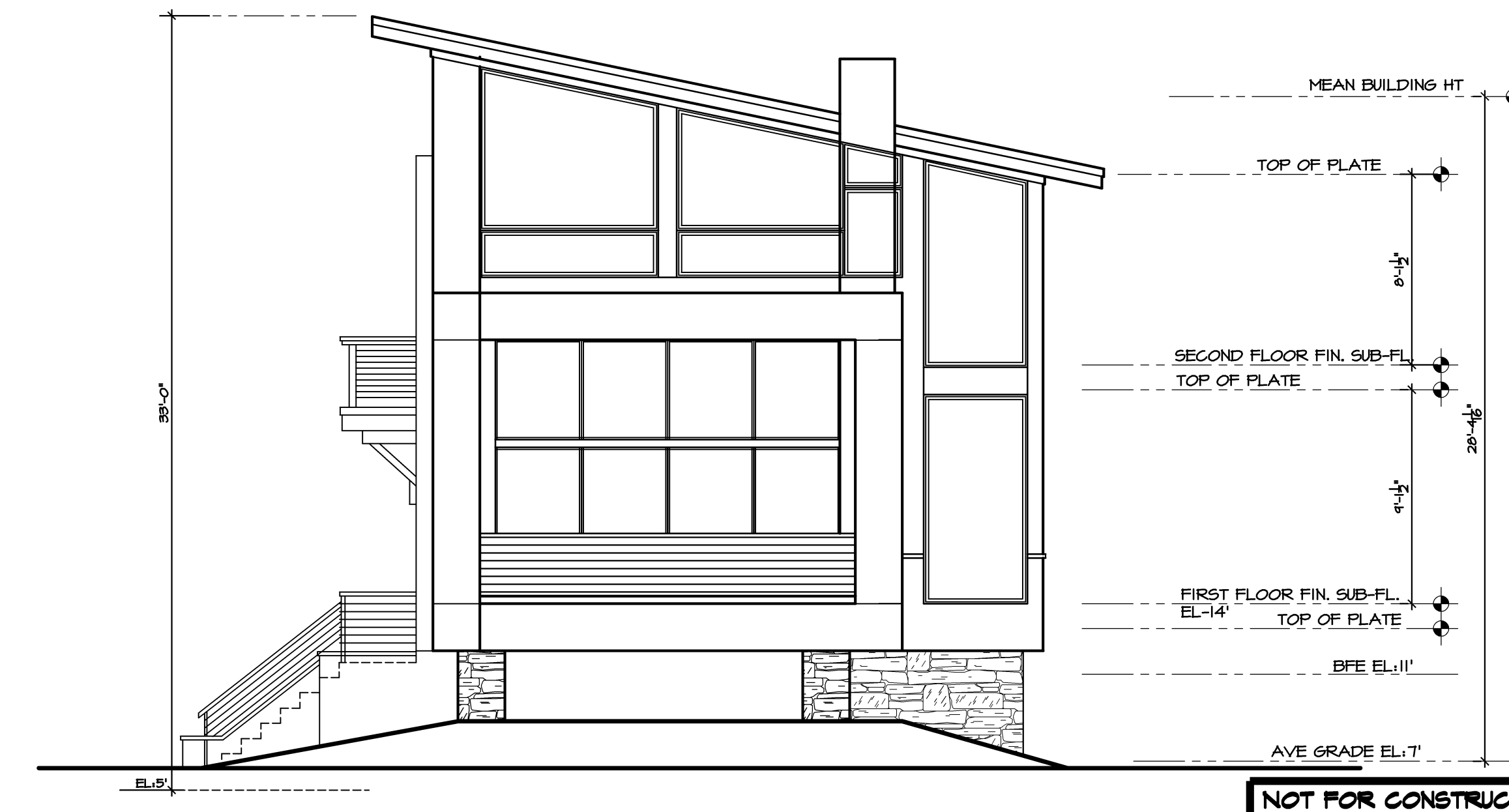
APPROVED FRONT ELEVATION

3/16" = 1'-0"



REVISED RIVERSIDE DR. ELEVATION

3/16" = 1'-0"

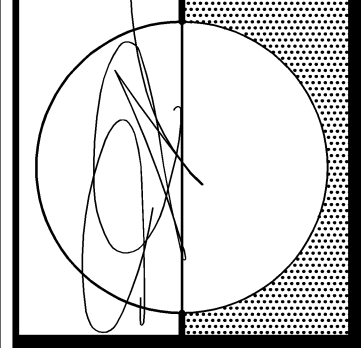


APPROVED RIVERSIDE DR. EL.

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 LOT 13 BLOCK 54/2

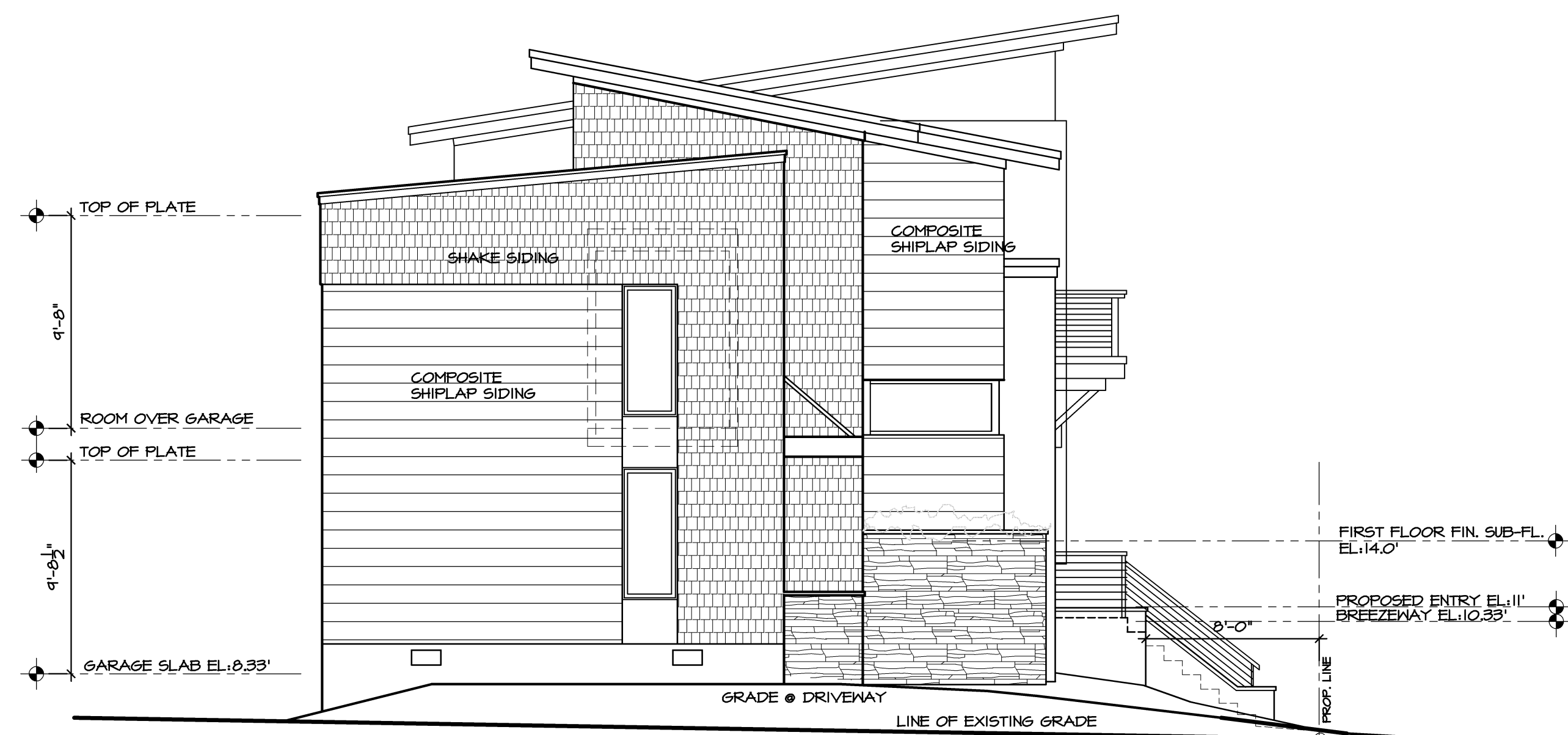
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		JJM	JJM	136.17	9-23-20

A104
 4 OF 5
 DWG. NO.



PROPOSED REAR ELEVATION

3/16" = 1'-0"



PROPOSED LEFT SIDE ELEVATION

3/16" = 1'-0"

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 LOT 1B BLOCK 5412

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A105
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