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PLEASE RESPOND TO
NEW JERSEY OFFICE

*NJ & NY BAR
**NJ, NY & CA BAR

July 23, 2024

VIA FEDEX DELIVERY

Neptune Township Zoning Board of Adjustment
Attn: Kristie Dickert, Administrative Officer
P.O. Box 1125
2201 Heck Avenue
Neptune, New Jersey 07753

**Re: 7 Ocean Pathway, Ocean Grove, New Jersey 07756
Block 115; Lot 6 – HD-O Zone**

- HPC Appeal – Exhibit List

Dear Board Members:

This Firm represents Terrie O'Connor, the owner of the premises located at 7 Ocean Pathway, Ocean Grove, New Jersey 07756. In furtherance of the upcoming Zoning Board of Adjustment hearing scheduled for September 4, 2024 at 7:30 PM, enclosed herewith please find fifteen (15) copies of the following:

- Exhibit and Image List of the Appellant; and
- Exhibits P-1 through P-8

Please note that same is inclusive of all exhibits with the exception of Exhibit P-3, which is the full set of plans denied by the HPC which are subject to the appeal. The full-size set of said plans were previously submitted in connection with the initial appeal.

I thank you for your time and continued attention to this matter and please do not hesitate to contact this Firm with any questions or concerns you may have regarding the within.

Very truly yours,
STRASSER & ASSOCIATES, P.C.

/s/ *William Strasser*

WILLIAM I. STRASSER, ESQ.

WIS/dm
Enclosures

NEPTUNE TOWNSHIP ZONING BOARD OF ADJUSTMENT

**APPEAL OF
HISTORIC PRESERVATION COMMISSION
DENIAL OF APPLICATION NO. HPC2023-071**

**TERRIE O'CONNOR
7 OCEAN PATHWAY, OCEAN GROVE, NEW JERSEY 07756
BLOCK 115, LOT 6**

EXHIBIT LIST

P-1: Images of the subject property at 7 Ocean Pathway (existing conditions)

Image 1 – 7 Ocean Pathway Front

Image 2 – 7 Ocean Pathway Rear

Image 3 - 7 Ocean Pathway Rear (alt. angle)

Image 4 – 7 Ocean Pathway Rear (alt. angle)

Image 5 – 7 Ocean Pathway Side (alley view)

P-2 Plans Approved by the Zoning Officer

Image 6 - Sheet A-2 , last revised 3/21/23 (“Zoning Comments”)

P-3 Plans Denied by the HPC

Image 7 – Sheet A-1, last revised 8/28/23 (“Concept Review”)

Image 8 – Sheet A-2 last revised, 12/12/23 (“HPC Comments”)

Image 9 – Sheet A-4, last revised 12/22/23 (“HPC Comments”)

P-4 Design Guidelines Excerpts

Image 10 – Cover Sheet

Image 11 – Guidelines page 13

Image 12 – Guidelines page 14

P-5 Aerial View of Ocean Pathway

Image 13 & 19 – Aerial Photo

P-6 Streetscape Photographs

Image 14 - Rear of 11 Ocean Pathway & 14 Bath Avenue

Image 15- Rear of 5, 7, 9 & 11 Ocean Pathway

Image 16- Rear of 5 & 7 Ocean Pathway

Image 17- Rear of 3 & 5 Ocean Pathway

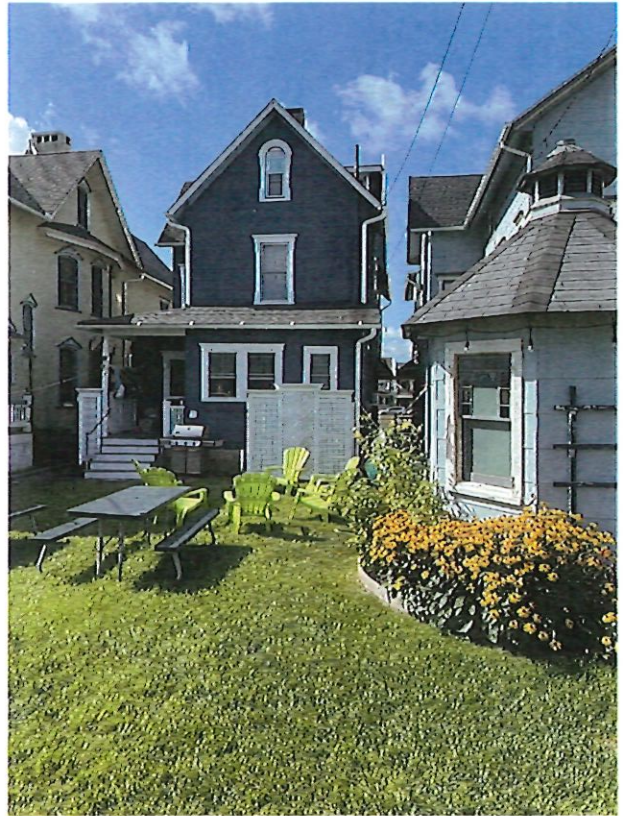
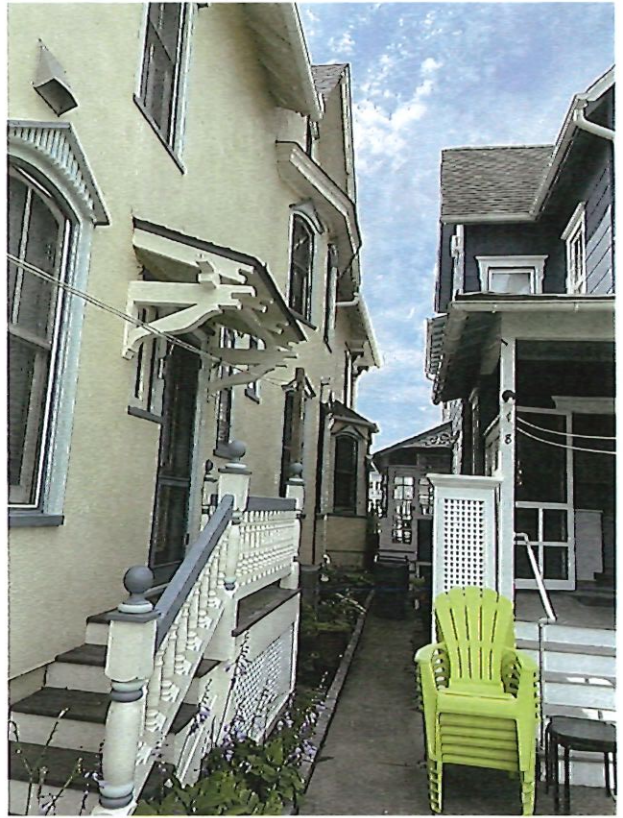
P-7 11 Ocean Pathway Before and After

Image 18 – Rear of 11 Ocean Pathway -Historic Residence Renovation Before/After

P-8 HPC -Resolution

** Image Numbers reflect the exhibit portions which will be presented on the screen in connection with the testimony of Mark Alexander Pavliv, AIA/CID/NCARB





General Notes

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.

3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.

5. SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.

6. THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.

7. THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.

8. UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.

9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

Special Notes

INDEMNIFICATION CLAUSE:
THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

PERMITS AND RELATED FEES:
CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:
USE OF THESE CONSTRUCTION DRAWINGS IS LIMITED TO THE PROJECT SITE INTENDED. ALL COPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANDER PAVLIV, AIA AS ARCHITECT OF RECORD. REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Legend

- WALLS TO BE REMOVED
- EXISTING WALLS
- NEW WOOD STUDS WALLS
- EXISTING WINDOW LOCATION
- NEW WINDOW LOCATION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- STRUCTURAL BEAM
- JOIST FRAMING
- ROOF OVERHANG OR SOFFIT LINE
- ELEC. WALL SWITCH
- ELEC. WALL DRAWER
- ELEC. 3 WAY SWITCH
- ELEC. WALL OUTLET
- ELEC. FLOOR OUTLET
- ELEC. HALF-HOT WALL OUTLET
- CEILING MOUNTED LIGHT
- BRACKET/WALL MOUNTED LIGHT
- RECESSED CEILING LIGHT
- RECESSED DIRECTIONAL LIGHT
- EXHAUST FAN/HEAT LAMP
- SMOKE DETECTOR
- TV/CABLE JACK
- TELEPHONE JACK
- DUAL FLOOD/MOTION LIGHT
- SECTION CUT

FLOOR AREA CALCULATIONS:

	EXISTING	PROPOSED	PERMITTED
First Floor:	799.2 sf	1,230.5 sf	
Second Floor:	649.2 sf	1,230.5 sf	
Habitable Attic:	249.0 sf	407.0 sf	N/A
Total Area:	1,697.4 sf	2,868.0 sf	

Covered Front Porch	354.0 sf	354.0 sf Same	N/A
Covered Rear Porch	26.7 sf	154.3 sf	N/A

TOTAL PROPOSED VOLUME of ADDITION:

First Floor:	4,745.7 cf
Second Floor:	4,218.4 cf
Habitable Attic:	1,460.0 cf
Total Volume:	10,424.1 cf



Photo Reference

Area Calculations

Applicant: Terrie O'Connor
7 Ocean Pathway
Ocean Grove, New Jersey 07756

Site Address: 7 Ocean Pathway, Ocean Grove, NJ 07756
Block #115, Lot #6; ZONE: HD-O

Description: Proposed Rear Addition and Various Renovations to the existing 2 1/2 story wood frame single-family landmark dwelling located at 7 Ocean Pathway, Ocean Grove, New Jersey.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	30.15 ft	no change	30.0 ft
Lot Width	30.10 ft	no change	30.0 ft
Depth	84.04 ft	no change	60.0 ft
<i>(along West Property Line from Flare)</i>			
Depth	80.60 ft	no change	60.0 ft
<i>(along East Property Line from Flare)</i>			
Area	2,481.95 sf	no change	1,800 sf
	4,190.85 sf*		
	(*Section 413.06.E)		

SETBACK	EXISTING	PROPOSED	ALLOWED
Front	9.61 ft	Same	Section 413.06.D
<i>(to edge of dwelling)</i>			
Front	0.43 ft	Same	Section 413.06.D
<i>(to edge of covered porch)</i>			
East Side	6.21 ft	Same	2.0 ft
<i>(to edge of dwelling)</i>			
East Side	4.21 ft	Same	2.0 ft
<i>(to edge of dwelling roof overhang)</i>			
East Side	0.82 ft	Same	2.0 ft
<i>(to edge of existing covered porch)</i>			
East Side	-0.45 ft (over)	Same	2.0 ft
<i>(to edge of existing covered porch roof overhang)</i>			
East Side	N/A	6.21 ft	2.0 ft
<i>(to edge of proposed rear dwelling addition)</i>			
East Side	N/A	5.21 ft	2.0 ft
<i>(to edge of proposed rear addition roof overhang fascia)</i>			
East Side	N/A	6.21 ft	2.0 ft
<i>(to edge of proposed covered porch)</i>			
East Side	N/A	4.21 ft	2.0 ft
<i>(to edge of proposed covered porch roof overhang fascia)</i>			
West Side	2.45 ft	Same	2.0 ft
<i>(to edge of existing dwelling)</i>			
West Side	0.95 ft	Same	2.0 ft
<i>(to edge of existing dwelling roof overhang)</i>			
West Side	2.45 ft	Same	2.0 ft
<i>(to edge of existing covered porch)</i>			
West Side	0.95 ft	Same	2.0 ft
<i>(to edge of existing covered porch roof overhang)</i>			
West Side	N/A	2.51 ft	2.0 ft
<i>(to edge of proposed rear dwelling addition)</i>			
West Side	N/A	2.01 ft	2.0 ft
<i>(to edge of proposed rear addition roof overhang fascia)</i>			
West Side	N/A	2.51 ft	2.0 ft
<i>(to edge of proposed covered porch)</i>			
West Side	N/A	2.01 ft	2.0 ft
<i>(to edge of proposed covered porch roof overhang fascia)</i>			
Rear	29.97 ft	9.30 ft	Section 413.06.D
<i>(to edge of proposed dwelling addition at Bath Avenue Flare)</i>			
Rear	28.47 ft	3.30 ft	Section 413.06.D
<i>(to edge of proposed rear porch steps at Bath Avenue Flare)</i>			
Floor Levels	2.5 stories	2.5 stories	2.5 stories
Height	32.5 ft	Same	35.0 ft

LOT COVERAGE:

	EXISTING	PROPOSED	PERMITTED
Building Cover:	1,179.7 sf	1,738.8 sf (70.08%)	< (85.0%)
<i>(includes covered porch areas)</i>			
Front/Side Steps:	19.0 sf	19.0 sf Same	N/A
Rear Steps:	20.0 sf	17.5 sf	N/A
Rear Porch:	35.0 sf	154.3 sf	N/A
Walkways:	183.0 sf	276.0 sf	N/A
AC Units:	N/A	12.0 sf	N/A
Outdoor Rinse:	24.0 sf	21.0 sf	N/A
Total Cover	1,460.7 sf	2,221.1 sf (53.01%)*	< (90.0%)
		(*Section 413.06.E)	

Note:
Survey, dated April 20, 2017, has been prepared by Michael Williams, PLS, 56 Main Street, Ocean Grove, New Jersey, a licensed New Jersey Land Surveyor.

Zoning District
 R-1: Town Center
 HD-R: Historic District Single-Family Residential
 HD-R-1: Historic District Single-Family Residential
 HD-R-2: Historic District Single-Family Residential
 HD-R-3: Historic District Single-Family Residential
 HD-R-4: Historic District Single-Family Residential
 HD-R-5: Historic District Single-Family Residential
 HD-R-6: Historic District Single-Family Residential
 HD-R-7: Historic District Single-Family Residential
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 HD-R-285: Historic District Single-Family Residential
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 HD-R-399: Historic District Single-Family Residential
 HD-R-400: Historic District Single-Family Residential
 HD-R-401: Historic District Single-Family Residential
 HD-R



Front Elevation (South)

Scale: 1/4" = 1'-0"

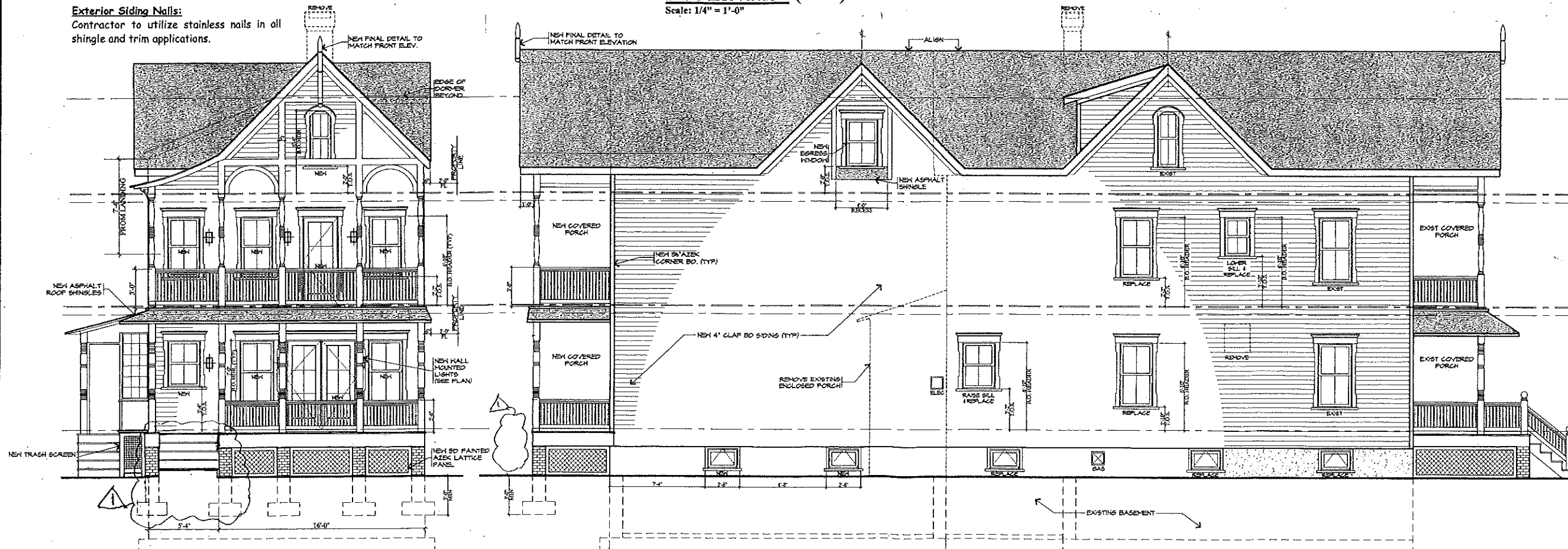
NOTE: NO WORK TO EXISTING FRONT ELEVATION

Side Elevation (East)

Scale: 1/4" = 1'-0"

Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.



Rear Elevation (North)

Scale: 1/4" = 1'-0"

Side Elevation (West)

Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS 3/21/23	

ISSUES		
No.	Description	Date
1	ZONING COMMENTS 3/21/23	

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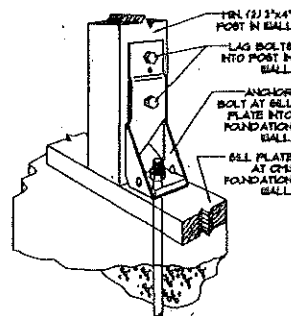
Mark Alexander Pavliv
Signature

Proposed Renovations
& Rear Addition to the
Existing 2 1/2 Story
Wood Frame
Single-Family Dwelling
Block #115, Lot #6
Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
Elevations

SCALE As Noted	JOB No. 2022A9007B
DATE 1/31/23	DRAWING No.
DRAWN BY EAC/MP	A2
CHECKED BY MP	

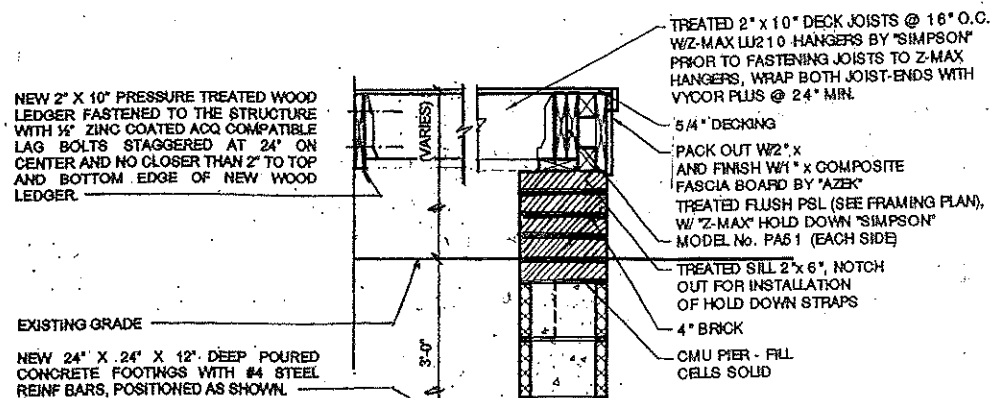


DETAIL - SIMPSON HD5A HOLD DOWN CONNECTION

Hold Down Details

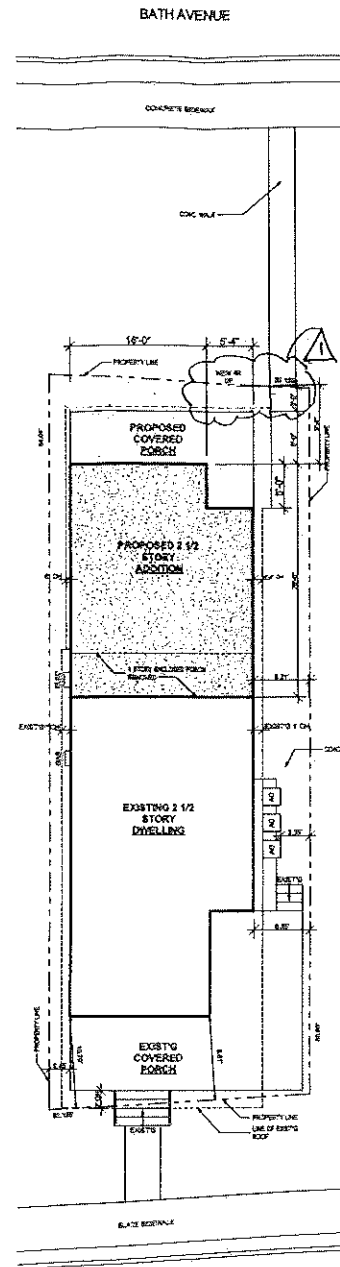
Schematics/not to Scale

PROVIDE SIMPSON HD5A HOLD DOWN ANCHORS AS PER PLAN



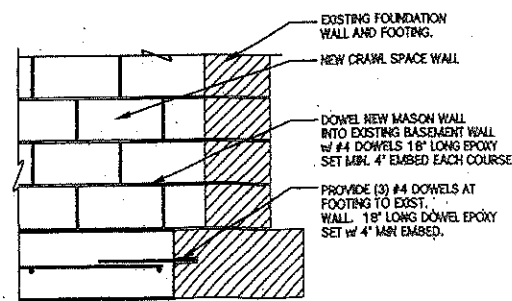
Typical Pier Section Detail

Scale: 1" = 1'-0"



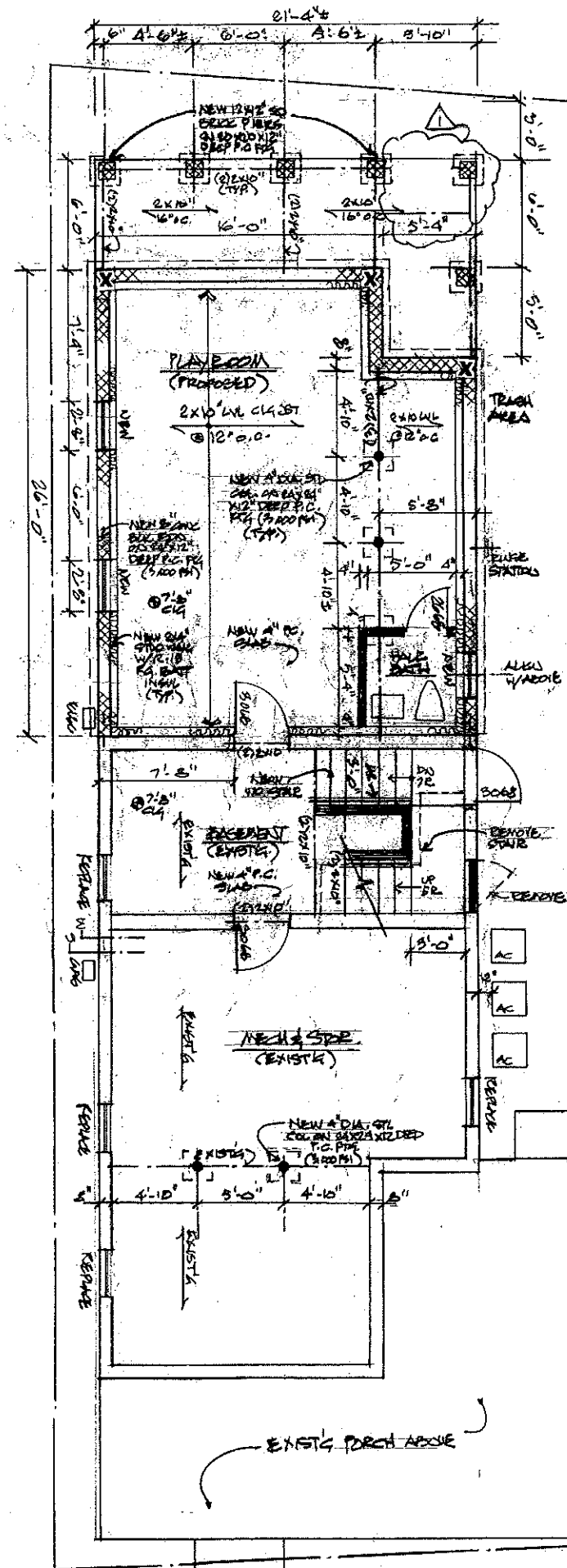
Site Plan

Scale: 1" = 10'



Typical Foundation Dowel Detail

Scale: 3/4" = 1'-0"



Foundation Plan

Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23

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Proposed Renovations
& Rear Addition to the
Existing 2 1/2 Story
Wood Frame
Single-Family Dwelling
Block #115, Lot #6
Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
**Foundation
& Site Plan**

SCALE As Noted	JOB No. 202299007B
DATE 1/31/23	DRAWING No.
DRAWN BY EAC/MP/HP	A3
CHECKED BY HP	

Special Notes:

All proposed work to comply with the 2021 International Residential Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R602.11 and specified on Typical Section Detail.

Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

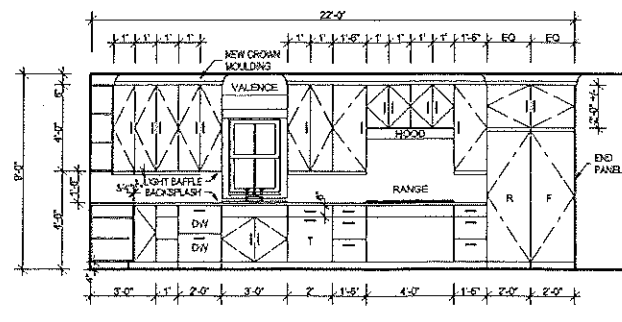
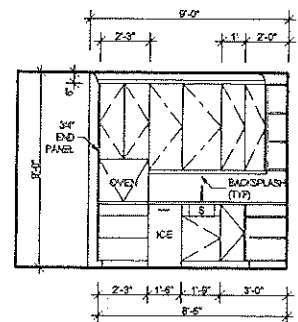
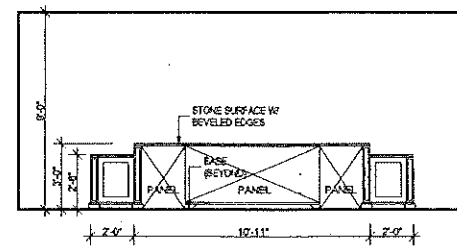
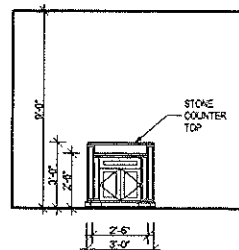
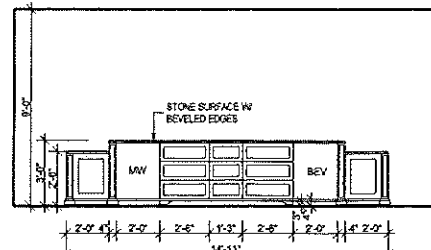
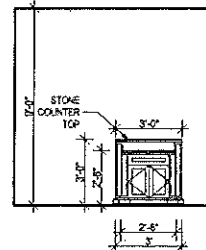
All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

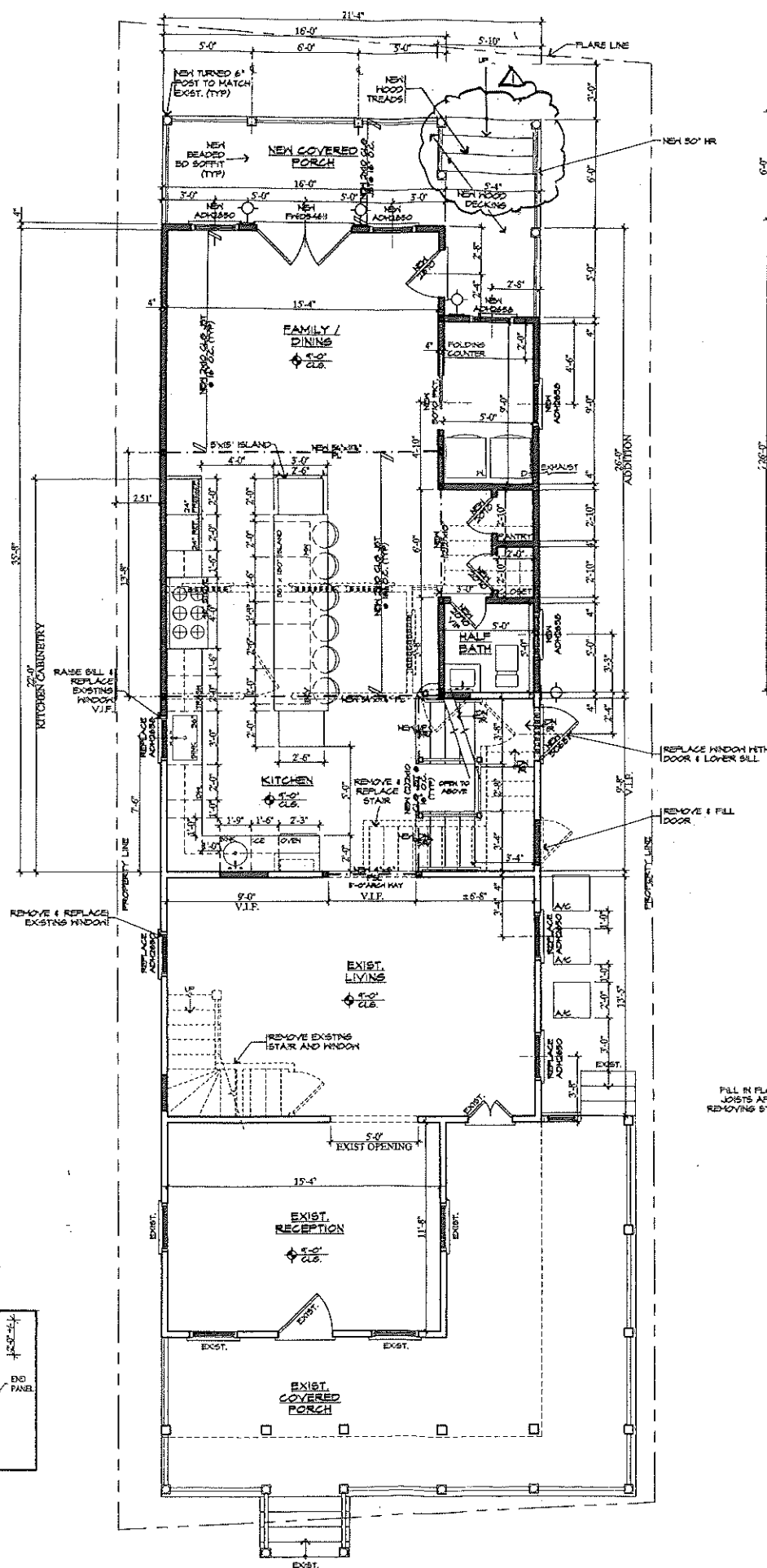
Carbon Monoxide Alarms are required within the immediate vicinity of all bedrooms or identified sleeping areas.

Contractor to verify acceptability of all egress window sizes in accordance with Code.

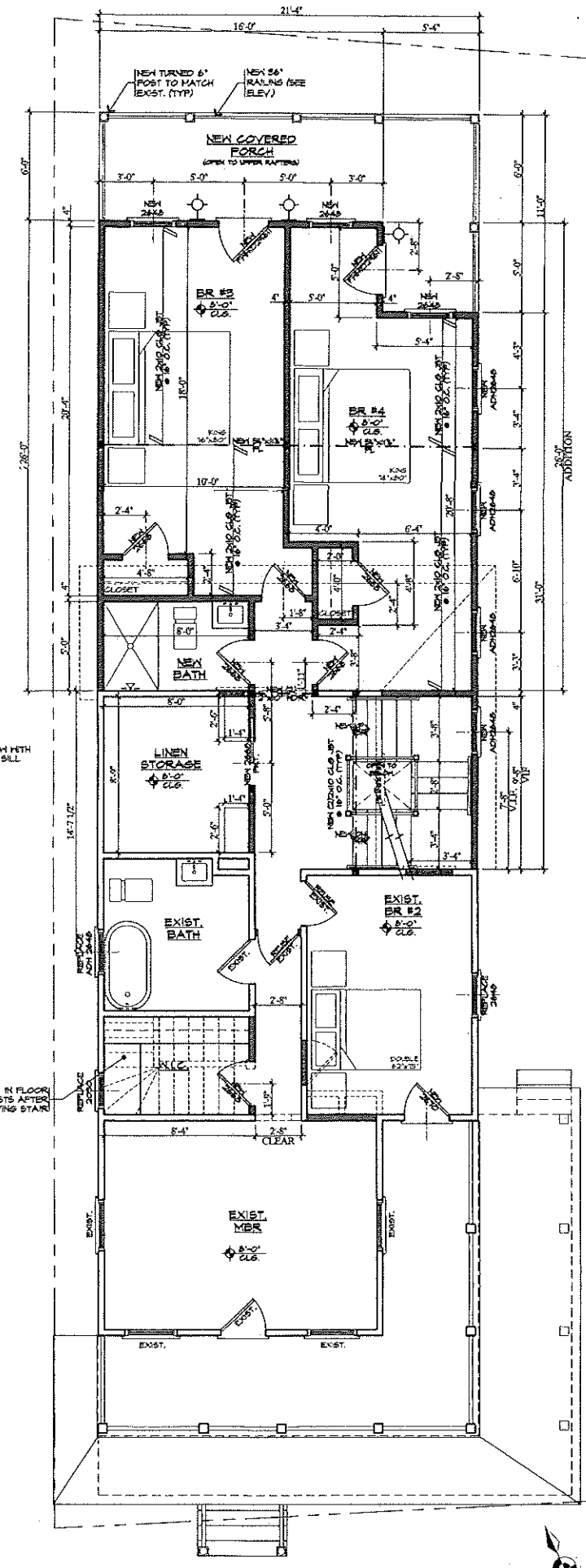
Smoke and Carbon Monoxide Detection: Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



Kitchen Elevations
Scale: 1/4" = 1'-0"



First Floor Plan
Scale: 1/4" = 1'-0"



Second Floor Plan
Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	2/21/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	2/21/23

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Signature

Proposed Renovations
& Rear Addition to the
Existing 2 1/2 Story
Wood Frame
Single-Family Dwelling
Block #115, Lot #6
Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

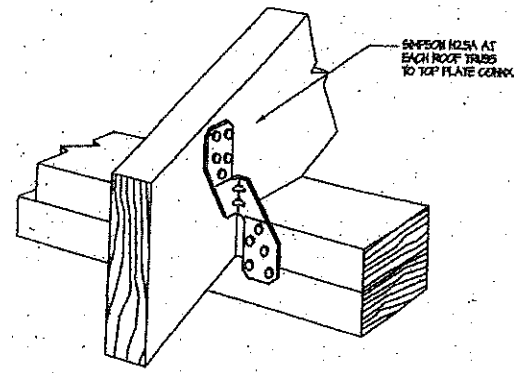
DRAWING TITLE
**First & Second
Floor Plans**

SCALE: As Noted
JOB No. 2022A9007B

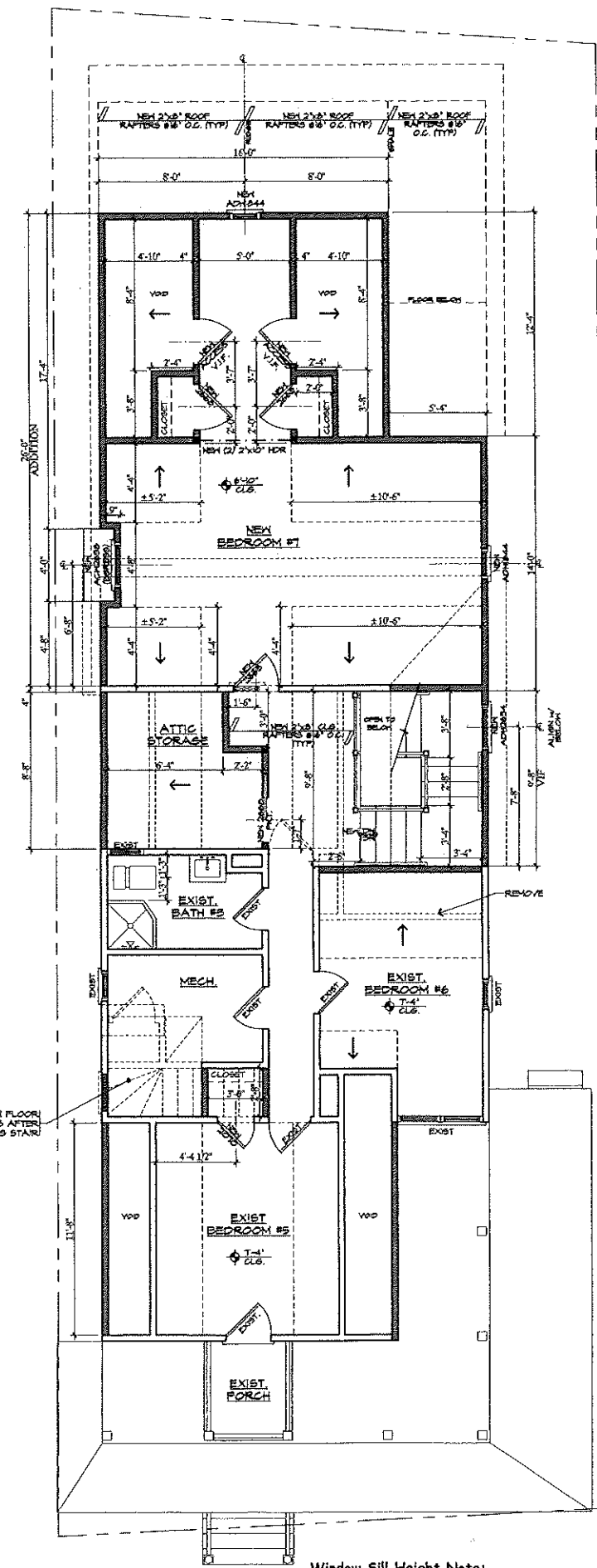
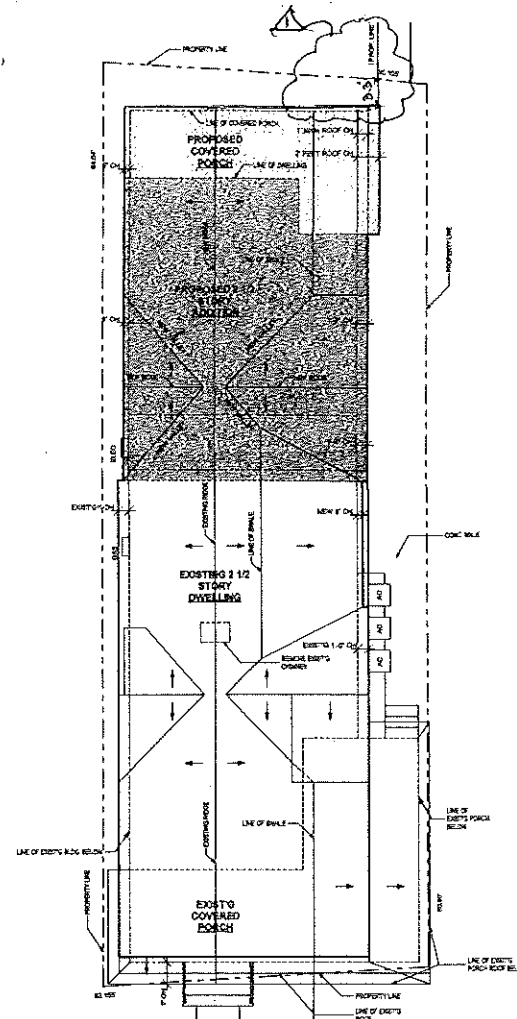
DATE: 1/21/23
DRAWING No.

DRAWN BY: EAC/MP
CHECKED BY: M/A

A4

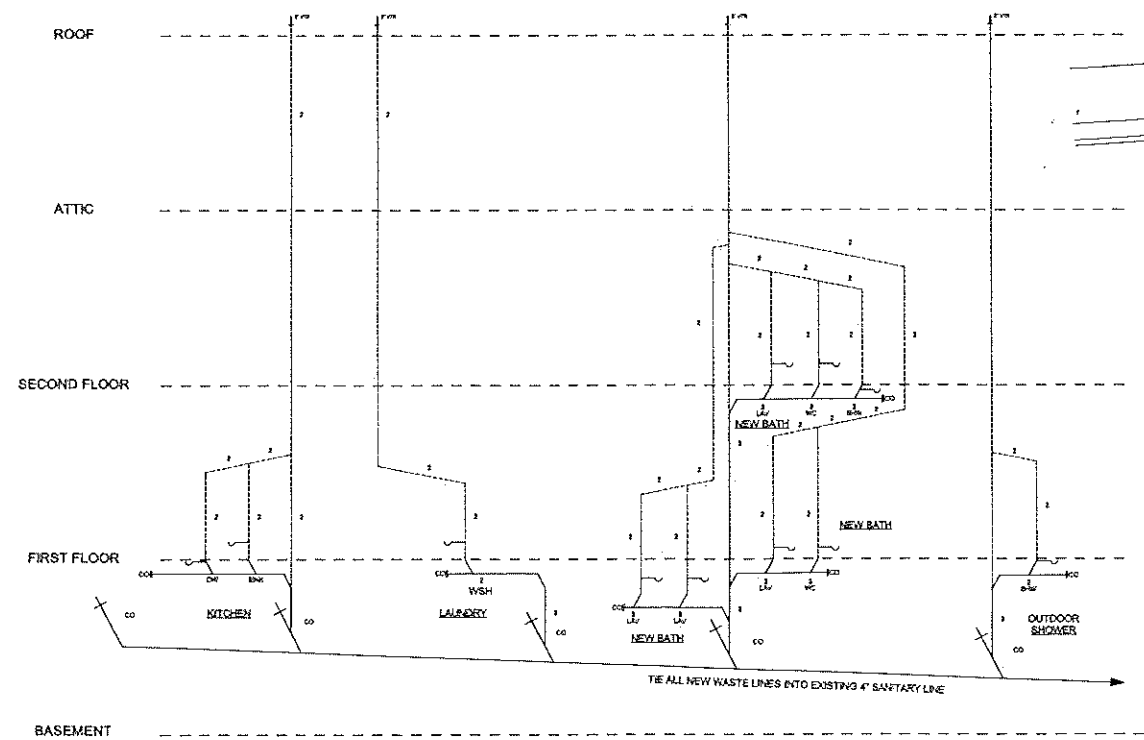


Typical New Rafter Hold Down
Scale: NTS



Attic Level Plan
Scale: 1/4" = 1'-0"

Window Sill Height Note:
Contractor to verify all second and attic level window sill heights to be at or above 24 inches of finish floor in accordance with Code.



Plumbing Riser Diagram
Scale: NTS

Special Note:
Plumbing Riser diagram provided as a guide for filing of Plumbing Sub-code Permit Application, to be filed by Plumbing Contractor.

Roof Plan
Scale: 1/8" = 1'-0"

Design loads in accordance with the 2021 IRC/NJ Edition to be:

Snow and Roof Load: 20 pounds per sq. ft.
Attic Live Load: 20 pounds per sq. ft.
First Floor Live Load: 40 pounds per sq. ft.
Second Floor Live Load: 30 pounds per sq. ft.
Design Wind Load: 120 miles per hour

All work to be in accordance with the 2021 IRC/NJ Edition

Smoke and Carbon Monoxide Detection:
Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS 3/21/23	

ISSUES		
No.	Description	Date
1	ZONING COMMENTS 3/21/23	

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Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling
Block #115, Lot #6
Use Group: R5
Construction Type: 5B

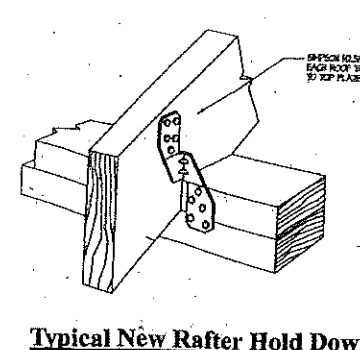
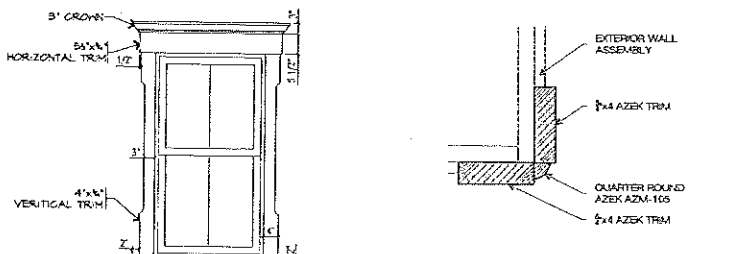
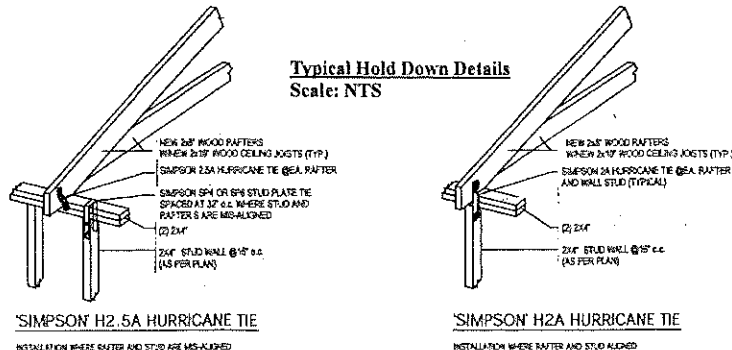
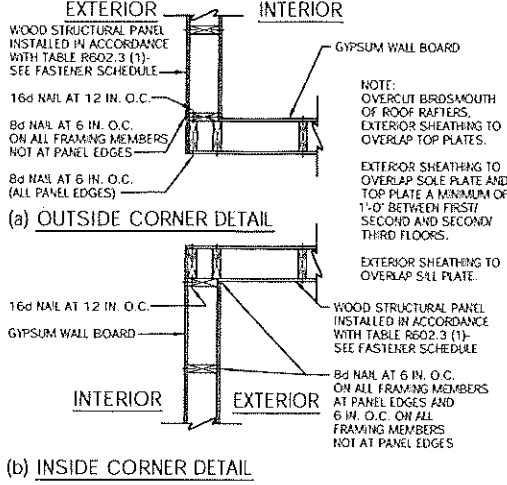
PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE Attic/Roof Plan, Plumbing Riser	
SCALE As Noted	JOB No. 202299007B
DATE 1/31/23	DRAWING No. A5
DRAWN BY EAC/MP	
CHECKED BY MP	

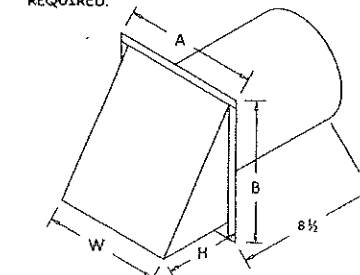
CONTINUOUS STRUCTURAL PANEL SHEATHING

BUILDING ELEMENT	FASTENER NUMBER AND TYPE	FIELD SPACING	EDGE SPACING
1/2" WALL SHEATHING	8d COMMON NAIL	6" O.C.	6" O.C.
5/8" ROOF SHEATHING	8d DEFORMED NAIL	6" O.C.	4" O.C.

- NOTES:
 1) NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4" ON CENTER TO GABLE END WALL FRAMING.
 2) SEE DIAGRAMS BELOW FOR OUTSIDE AND INSIDE CORNER FRAMING.
 3) PROVIDE 2" x 4" SOLID BLOCKING FOR ALL HORIZONTAL WALL JOINTS.



- Special Section Detail Notes:**
1. PROVIDE NEW SHEATHING IN ALL AREAS OF RE-SIDING WHERE NO SHEATHING EXISTS.
 2. ALL GUTTERS AND LEADERS TO BE NEW FACTORY WHITE FINISHED HALF ROUND ALUMINUM WITH EXPOSED STRAP HANGERS AND ROUND LEADERS IN A MATCHING WHITE COLOR.
 3. ALL EXPOSED WALL CONDITIONS WILL REQUIRE THAT INSULATION IS TO BE PROVIDED IN ACCORDANCE WITH ENERGY COMPLIANCE AND SPECIFICATIONS.
 4. ALL EXPOSED ELECTRICAL WIRING AND SERVICE DEVICES WITHIN ALL EXPOSED INTERIOR WALL PARTITIONS AND CEILING ARE TO BE UPGRADED TO MEET CODE AS REQUIRED.



Typical Kitchen Exhaust
Scale: NTS

SIZE	A	B	W	H
3	6	6 1/2	5	3 3/4
4	6	6 1/2	5	3 3/4
5	7	7 1/2	6	3 3/4
6	8	8 1/2	7	4 1/2
7	9	9 1/2	8	5
8	10	10 1/2	9	5 3/4
10	13	13 1/2	12	6 3/4
12	15	15 1/2	14	8
14	17	17 1/2	16	9 3/4

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING OF FASTENERS
JOIST TO SILL OR GIRD, TOP NAIL	3-5d	
1" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-5d	
2" SUBFLOOR TO JOIST OR GIRD, NAIL AND FACE NAIL	2-16d	
SOLE PLATE TO JOIST OR BLOCCING, FACE NAIL	1-6d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	
STUD TO SOLE PLATE, TOE NAIL	3-5d OR 2-16d	
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCCING AT BRACED WALL PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 2" OFFSET OF END JOINTS, FACE NAIL IN LAPTED AREA	2-16d	
BLOCCING BETWEEN JOISTS, RAFTERS TO TOP PLATE, TOE NAIL	3-5d	
END JOIST TO TOP PLATE, TOE NAIL	2d	6" O.C.
TOP PLATES, LAPS AT CORNER INTERSECTIONS, FACE NAIL	2-10d	
BLU-UP HEADER, TWO PIECES WITH 1/2" SPACER	1-6d	10" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES	1-6d	16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOE NAIL	3-5d	
CONTINUOUS HEADER TO STUD, TOE NAIL	4-5d	
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3-10d	
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	
RAFTER TO PLATE, TOE NAIL	2-16d	
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-5d	
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-5d	
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	3-5d	
WIDER THAN 1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	4-5d	
BUILT-UP CORNER STUDS	10d	24" O.C.
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAGERS	10d	NAIL EACH LAYER AS FOLLOWS: 5" O.C. AT TOP AND BOTTOM AND STAGGERED; TWO NAILS AT ENDS AND EACH JOINT
2" PLANKS	2-16d	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HP RAFTERS TOE NAIL	4-16d	
FACE NAIL	3-16d	
RAFTER TIE TO RAFTERS, FACE NAIL	3-5d	
COLLAR TIE TO RAFTER, FACE NAIL OR 1" x 1/2" x 2" GAZE RIDGE STRAP	3-10d	

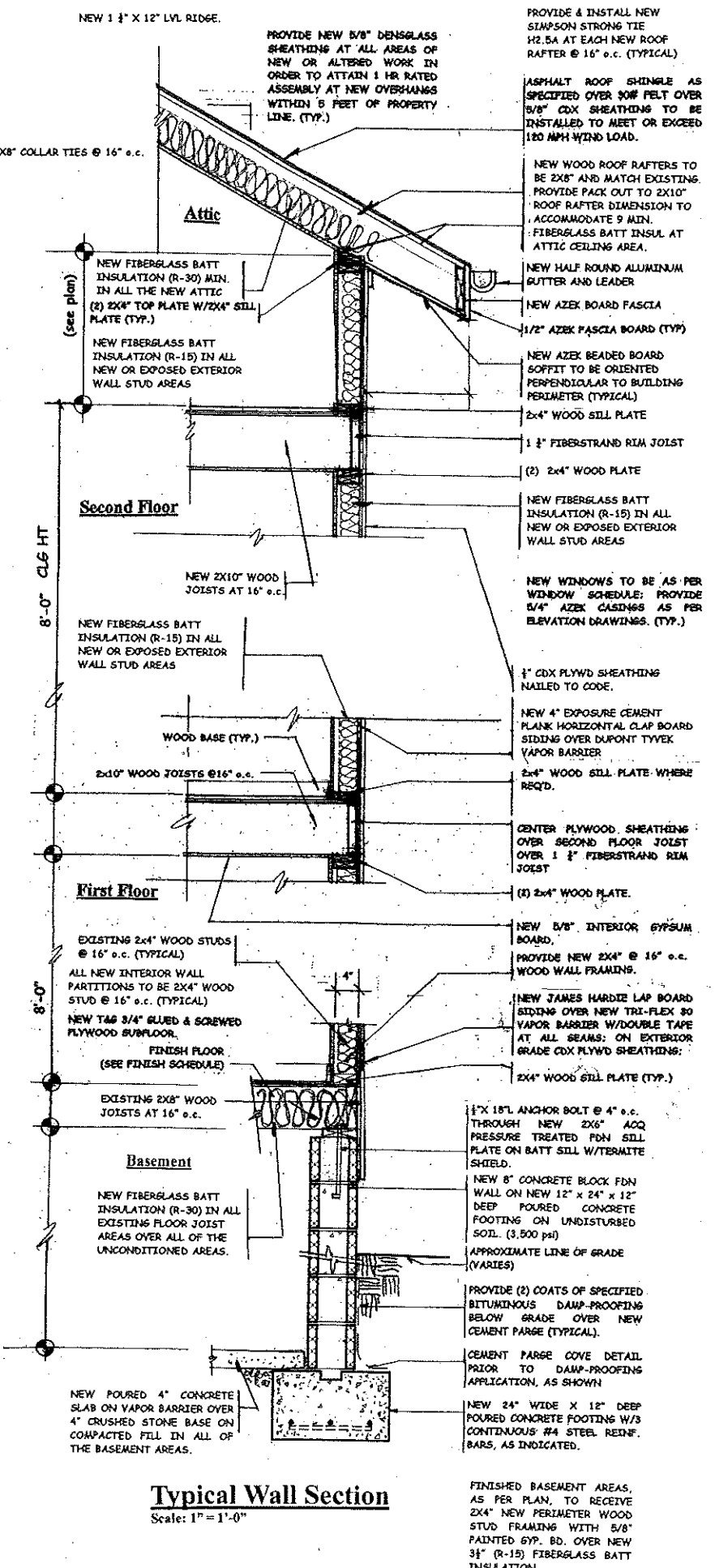
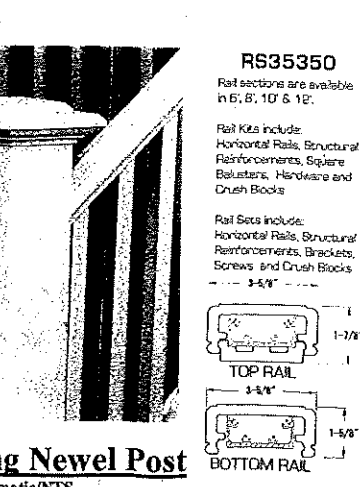
Shear Wall Schedule

Mark	Sheathing Type	Fastener	Value
SW-6	One Side - 7/16" OSB	8d common nails at 3" at sheet edges 6" o.c. in field - edges blocked	490 PLF
SW-6A	Both Sides - 7/16" OSB	8d common nails at 3" at sheet edges 6" o.c. in field - edges blocked	980 PLF

Fascia Gutter Detail
Scale: 1 1/2" = 1'-0"

Roof/Wall to Wood Top Plate Connections	100-110 (Depth)	111-120 (Depth)	121-130 (Depth)	131-140 (Depth)	141-150 (Depth)	151-160 (Depth)	161-170 (Depth)
10"							
12"							
14"							
16"							
18"							
20"							
22"							
24"							
26"							
28"							
30"							

Hurricane Hold-Downs & Details
Not to Scale



REVISIONS

No.	Description	Date

ISSUES

No.	Description	Date

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 Block #115, Lot #6
 Use Group: R5
 Construction Type: 5B

PROJECT NAME
 O'Connor Residence
 7 Ocean Pathway
 Ocean Grove, NJ

DRAWING TITLE
 Typical Construction Section & Details

SCALE
 As Noted

DATE
 1/31/23

DRAWN BY
 WAG/MP

CHECKED BY
 MP

JOB No.
 2022A9007B

DRAWING No.
A6

Finish Schedule

Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
FIRST FLOOR					
Reception Entry	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Living/TV Room	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Kitchen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Quartzite Countertops w/Custom Finish Cabinets
Family Dining Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Laundry	New Stone Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Vanity w/Stone Top
Half Bath	New Stone Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	36" High Beaded Board Wainscot
Stairwell to Second Floor	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stained Wood Hand Rail with painted newel post & painted square spindles;
SECOND FLOOR					
New Stair/Hall Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Hall Linen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
MBR	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as required;
New MBR WIC	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Reframe floor joists;
MBR/Hall Bath	Existing	Existing	Existing	Existing	
BR #2	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as required;
New Hall Bath	New Stone Tile	Painted Wood	Full Stone Walls; in Shower Stall on WR Cement Bd; 36" High Beaded Board Wainscot	WR Cement Bd. Ceiling in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
New BR #3	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New BR #4	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Stairwell to Attic Level	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stained Wood Hand Rail with painted newel post & painted square spindles;
ATTIC LEVEL					
New Stair/Hall Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Attic Hall Storage	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
BR #5	Existing	Existing	Existing	Existing	Patch as required;
BR #6	Existing	Existing	Existing	Existing	Patch as required
New Mech Closet	Unfinished Plywd	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Reframe floor joists;
Hall Bath	Existing	Existing	Existing	Existing	
New BR #7/Studio	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
BASEMENT					
Stairwell to	New Painted Wood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bike Storage	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Playroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Half Bath	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Mech & Storage	Epoxy Paint	N/A	Drylok Paint	N/A	

NOTES:

- All interior trim, casings and baseboard profiles to be Painted Pine as detailed in profile approved by Owner.
- Provide Crown Mouldings as per Finish Schedule. Crown moldings may be painted MDF in lieu of Painted Wood.
- All references to "Hardwood" indicates new hardwood floors in finish to be selected and approved by Owner.
- All references to "Stone" or "Tile" indicate all new stone or tile with final selection to be by Owner.

Owner Submittal Requirements:

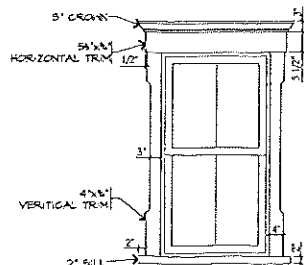
Contractor to provide sample and associated catalog information to Owner for final selection of any and all items not specified or discontinued by manufacturer at time of construction, including Soffit Brackets, Exterior Light Fixtures, all Moldings and Decorative Trim and Door Hardware prior to the order of material.

Interior Door Schedule

Room or Area	Quantity	Dimensions(w x h)	Thickness	Door Type	Material	Pattern/Style/Special Notes
FIRST FLOOR						
Half Bath	1	24" x 84" (2070)	1 3/4"	Hinged	Wood	4-Panel
Pantry Closets	2	24" x 84" (2070)	1 3/4"	Hinged	Wood	4-Panel
Med Rm/Laundry	1	36" x 84" (3070)	1 3/4"	Pocket	Wood	4-Panel
SECOND FLOOR						
MBR	1 Re-use	28" (w/transom)	1 3/8"	Hinged	Wood	4-Panel
MBR WIC	1	30" x 80" (2668)	1 3/8"	Pocket	Wood	4-Panel
MBath	1 Existing	28" (w/transom)	1 3/8"	Hinged	Wood	4-Panel
Hall Linen Closet	1	24" x 80" (2068)	1 3/8"	Hinged	Wood	4-Panel
Hall Linen Room	1	30" x 80" (2668)	1 3/8"	Pocket	Wood	4-Panel
BR #2	1 Re-use	28" (w/transom)	1 3/8"	Hinged	Wood	4-Panel
BR #3	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #3 Closet	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
Hall Bath	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #4	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #4 Closet	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
ATTIC LEVEL						
BR #5	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel
BR #5 Closet	1	24" x 80" (2068) VIF	1 3/8"	Hinged	Wood	4-Panel
BR #6	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel
Hall Bath	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel
Attic Mech Room	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel Undercut
Attic Storage Room	1	32" x 80" (2668)	1 3/8"	Pocket	Wood	4-Panel
Hall Linen Closet	1	24" x 80" (2068)	1 3/8"	Hinged	Wood	4-Panel
BR #7	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #7 Closets	2	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
Mech Access Panels	2	30" x 60" VIF	1 3/8"	Hinged	Insulated Wood	1-Panel w/Gasket
BASEMENT LEVEL						
Storage/Mech Area	1	36" x 80" (3068)	1 3/8"	Hinged	Wood	Louvered
Bath	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
Game/Play Room	1	36" x 80" (3068)	1 3/8"	Hinged	Wood	4-Panel
Closet under Stair	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel

Special Notes:

Contractor to verify all interior door dimensions in field prior to placement of order and installation. All interior doors to be 4 panel type or as other noted. Any upgrades and/or deviations from the above are to be submitted to Owner for review approval. All final hardware selections subject to Owner approval. Refer to provided Specifications for hardware and finishes.



Exterior Casing Detail

Scale: 1/2" = 1'-0"

Window & Exterior Door Schedule

Room or Area	Quantity	Manufacturer #	Glazing	Egress	SDL Detail	Type/Comments
FIRST FLOOR						
Reception Hall Area	1	Existing	Existing	N/A	(see elevation)	Front Inswing Door
	2	Existing	Existing	N/A	(see elevation)	Double Hung South
	2	Existing	Existing	N/A	(see elevation)	Double Hung E/W
Living Area	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Kitchen	1	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung West
Half Bath	1	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung East
Med Rm/Laundry	2	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung
Side to Basement	1	Therma-Tru 36"x80" Benchmark	Low E Tempered Glass	N/A	4 lite (see elevation)	Outswing Door; Smooth "Real Red"
Family Dining Area 2	2	ADH2850	Low E4	N/A	2 over 2 lite	Double Hung North
	1	FW1D54611	Low E4 Tempered Glass	N/A	2 over 3 lite (see elevation)	Patio Doors North
	1	Simpson Wood Door 2870	Low E Tempered Glass	N/A	2 over 3 lite Upper Glass Panel	In-swing Door East
SECOND FLOOR						
MBR	2	Existing	Existing	N/A	2 over 2 lite	Double Hung South
	1	Existing	Existing	N/A	2 over 2 lite	Double Hung West
	1	Existing	Existing	N/A	2 over 2 lite	Double Hung East
	1	Existing Door	Existing	YES	(see elevation)	In-swing Door South
MBR WIC	1	ADH2030	Low E4	N/A	2 over 2 lite	Double Hung West
MBR Bath	1	ADH2648 VIF	Low E4	N/A	2 over 2 lite	Double Hung West
Stair Landing to Second Floor	1	ADH2648	Low E4 Tempered Glass	N/A	2 over 2 lite	Double Hung East
Bedroom #2	1	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung East
	1	Simpson Wood Door 2670 VIF	Low E4 Tempered	YES	2 over 3 lite	In-swing Door South
Bedroom #3	1	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung North
	1	FWHDD29611	Low E4 Tempered	YES	2 over 3 lite	In-swing Door North
Bedroom #4	2	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung North
	3	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung East
	1	FWHDD29611	Low E4 Tempered	YES	2 over 3 lite	In-swing Door East
ATTIC LEVEL						
Bedroom #5	1	Simpson Wood Door 2668 VIF	Low E4 Tempered	YES	2 over 3 lite	In-swing Door South
Bedroom #6	1	Existing	Existing	N/A	2 over 2 lite (see elevation)	Double Hung East
	1	Existing	Existing	N/A		Awning South
Mech Area	1	ADH2030	Low E4	N/A	2 over 2 lite	Double Hung West
Stair Landing to Attic Level	1	ADH2634	Low E4 Tempered Glass	N/A	2 over 2 lite	Double Hung East
Bedroom #7	1	ADH1844	Low E4	N/A	2 over 2 lite	Double Hung East
	1	ADH1844	Low E4	N/A	2 over 2 lite	Double Hung North
	1	ACW2638 Egress	Low E4	YES	faux 2 over 2 lite	Casement West
BASEMENT LEVEL						
Mech/Storage Area	4 replace	AAN3218 VIF	Low E	N/A	1 lite	Basement Utility
Basement Bath	1	AAN3218 VIF	Low E4	N/A	1 lite	Basement Utility
Play/Game Room	2	AAN3218 VIF	Low E4	N/A	1 lite	Basement Utility

Special Notes:

Window sizes as per Schedule to be verified in field by Contractor. Screens are to be provided throughout. Window Designations are referencing Andersen Windows and Doors - A-Series unless otherwise noted or approved by the Architect. All windows and doors to be factory clad exterior with factory finished interior. Exterior window frame and sash colors to be as approved by HPC.

Andersen windows and doors to be fibrex clad solid core wood with full divided lites with spacer bars and be manufactured with High-Performance Insulated Low-E4 Glazing, rated for maximum fade resistance, and have a factory painted white interior finish as manufactured by Andersen Windows and Doors. Provide window sash configuration as per elevations and provided Window Schedule as approved by HPC and Architect. Exterior Door and Window Sash color to be A-series "Red Rock" and Therma-tru "Real Red" subject to final approvals.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. Exterior door hardware and locksets to be black, or as otherwise selected and approved by Owner and with black interior finish. All exterior hardware finishes are to be acceptable for exposure to salt air with warranty against pitting. All new door hardware to be provided and installed by the Contractor.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval. Manufacturer's shop drawing and order list is to be submitted to Architect for review prior to placement of final order. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors, or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Therma-tru exterior doors are to be provided where noted on Schedule and subject to Shop Drawing approval by HPC and Architect.

Simpson exterior doors are to be provided where noted on Schedule and subject to Shop Drawing approval by HPC and Architect.

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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springlakearchitect.com
mp77aia@aol.com

Mark Alexander Pavliv
Signature

Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling Block #115, Lot #6

Use Group: R5
Construction Type: 5B

PROJECT NAME
**O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ**

DRAWING TITLE
**Interior Door, Window
& Finish Schedules**

SCALE: As Noted
JOB No. 202299007B
DATE: 1/21/23
DRAWING No. A7
DRAWN BY: LUC/KP/MC
CHECKED BY: MP

Special Conditions:

Owner to Purchase and Supply the following:

- Kitchen cabinetry;
- Stone counter tops;
- Bathroom fixtures, accessories and faucet/shower fittings;
- Bathroom sink vanities;
- Medicine cabinets;
- Kitchen appliances;
- Interior stone flooring and wall tile;
- All surface mounted fans and lighting fixtures;

Owner's cabinetry fabricator to be responsible for installation of cabinets and counter tops. Contractor to also be responsible for installation of all other items purchased and supplied by the Owner as listed above, unless otherwise determined by Owner.

Contractor to be responsible for the storage and protection of all above items upon and after delivery to the project site until issuance of the final Certificate of Occupancy.

All exposed balloon stud framing to be fire blocked. Any partition stud framing found to be less than 3 1/2" in depth shall be paired with new 2x4" wood stud framing.

Specifications:

Division 1 - General Conditions

All work to comply with the 2021 International Residential Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, the General Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

All construction permits are to be procured by General Contractor and paid by Owner.

The Contractor is responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist the Contractor in the implementation of the project.

Lead Paint, Asbestos or other Hazardous Material:
Contractor responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

Demolition and Removals:
All existing partitions, fixtures and finishes within the proposed area of work graphically indicated on plans or otherwise required to be removed to complete the proposed renovations, are to be removed.

Contractor is responsible for the provision and associated costs of all required demolition, dumpsters, removals and disposal of debris in accordance with local regulations.

Division 2 - Site Work

Site Work:
Contractor to restore any and all disturbed grade conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Site work by Contractor to include setting of new AC Unit pads and installation of new walks as indicated on site plan.

Controlled roof drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site in accordance with R801.3.

Division 3 - Concrete

Footings:
New footings, where indicated on Foundation Plan, are to be poured concrete suitable for soil bearing capacity of 2,500 lbs/sf min. Contractor to verify at site. All footings to sound bearing to 3'-0" below grade. New footings are to be 12" deep with continuous #4 steel reinforcement bars, as indicated in details, and with a minimum of 16" overall width or as otherwise shown on plans and be of an ultimate strength of not less than 3,000 psi in 28 days.

Concrete Block (CMU):
All new concrete block to be new 8" as indicated on Basement Foundation Plan. Solid core full with poured concrete at all point load bearing locations.

Concrete Slabs:
Fill compaction at concrete slabs to be 90% maximum density with modified proctor test ASTM D-698 or 95% maximum density with standard proctor test ASTM D-698. Provide 4" new poured concrete slab in all basement floor areas with new poured concrete slab on 6 mil vapor barrier over 5" compacted and leveled base.

Division 4 - Masonry

Masonry:
Defective or deficient existing masonry foundation conditions are to be repaired and replaced. Additional found defective and deficient foundation conditions are to be brought to the attention of the Architect.

Existing Flue/Chimney:
Existing to be removed and replaced with new direct vents through basement foundation walls.

Division 5 - Metals

Contractor to provide hurricane/wind rafter tie downs at framing in accordance with R802.11 or as otherwise noted in Typical Section Detail.

Fasteners & Hangers:
All metal hangers and other ties and connectors to be as manufactured by "Simpson" or equal or as otherwise approved by the Architect.

All metal hangers and other ties in contact with pressure treated ACQ lumber shall be zinc coated and compliant with ASTM A-153 so as to be compatible with ACQ as required.

Division 6 - Woods & Plastics

Lumber:
All new framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. All new porch deck framing to be erected with new Pressure Treated 40 year lagged material.

Nail applications to Code. All replacement sill plates in areas where foundation walls are to be reconstructed, and are to be in contact with concrete foundation, shall be ACQ Pressure Treated.

New window and door headers to be a minimum of two (2) 2"x10" or 3 1/2" x 9 1/2" LSL or as otherwise approved by the Architect due to field conditions.

Use of long span manufactured lumber and laminated beams as an alternate or in deviation from that specified on the drawings is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect prior to such substitution or change.

Contractor to utilize wall bracing panel construction method R602.10.3 which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSIA/AF&PA WFCM-2001 Edition and comply with 120 mph three (3) second wind gust.

Contractor to utilize wall bracing panel construction method R602.10.3 which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSIA/AF&PA WFCM-2001 Edition and comply with 120 mph three (3) second wind gust.

Sheathing:
New exterior wall sheathing to be 5/8" CDX plywood nailed to Code. Sheathing on any exterior walls within 5'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Such wall assemblies shall be 1-hour fire rated for exposure on both sides.

Exterior new wall sheathing to be nailed to Code at 6 inch o.c. Alternative sheathing to be OSB Windstorm oriented vertically to minimize horizontal blocking requirements.

Sub-floor:
Any new sub-floor to be 3/4" T&G applied and fastened with screws and glued. Use of OSB Gold Edge Board is an acceptable alternate. All screws to be spaced at 6" to Code.

Exterior Architectural Trim:
All new ornamental architectural trim, brackets, window, drip and door caps and articulated door and window surrounds, as shown on the Elevations and Details to be synthetic polymer as manufactured by Azek, or approved equal and painted as specified. Approved equal subject to review by Architect. All window and door surrounds to be 5/4" thickness in order to attain proper dimensional relief and to conform to casing details provided in plans. All staple holes and fastening details to be filled and sanded in preparation of application of paint.

Porch Floor and Entry Stair Planking:
New exterior rear first floor covered porch area deck surface and stair treads and to be tongue and groove 3 1/4" x 5/4" mahogany in stain finish. New porch decking surfaces to pitch to drain at 1/8" per foot minimum. New stairs to be box type constructed utilizing matching T&G treads and painted synthetic polymer risers and stringers.

Division 7 - Thermal & Moisture Protection
Energy Code compliance to be in accordance with RESCheck as provided in the construction documents for a 5000 Degree-Day Region. Compliance shall conform with all ratings and description.

Insulation:
Provide insulation at all new areas of framing and at all exposed exterior perimeter walls in existing areas of dwelling with new 3 1/2" fiberglass batt type with a R-15 rating in 4" exterior wall cavities when existing insulation found to be missing or otherwise compromised.

Provide minimum of R-30 insulation in all basement, ceilings and at floor areas over unconditioned spaces where work is to be performed.

Application of caulk at any new or modified window and door perimeters as well as other through wall penetrations and joints are subject to approval by the Architect on-site.

Exterior Siding and Other Facings:
Exterior siding, or other facings, shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone. New clap board siding to be smooth faced fiber cement board with 4" exposure as manufactured by James Hardie Corporation.

Contractor to provide hurricane/wind rafter tie downs in accordance with R802.11 as per the Typical Section Detail.

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings. All siding and trim to match existing as approved by HPC. Any deviation is subject to approval by Architect and HPC.

Roofing:
New GAF self sealing Timberline Ultra asphalt shingle roofing to match existing dwelling.

All new roofing shingles shall match existing and conform to ASTM 3462 with a minimum of 6 fasteners per shingle.

Existing Roofing:
Contractor to remove any existing roofing where noted on plan and properly dispose once removed.

Vapor Barrier Paper and Wraps:
Contractor to install Henry Company Blue Skin at all exterior wall sheathing prior to application of roof shingles. All exterior wall sheathing to receive Henry Company Blue Skin or as otherwise approved by Architect, with all seams and methods of installation in accordance with manufacturer specifications. Install ice and water shield over all roof conditions with a slope of less than 4 over 12.

Shower Stall Fiberglass Application and Pan:
New bathroom shower, bench and integral shampoo storage recess features to be fiberglass formed and water tested for inspection prior to tile application. All shower stalls to receive tile on full wall height, floors and ceilings.

Division 8 - Doors & Windows

New or replacement windows and doors shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

Where required or otherwise noted on plans, egress windows shall be provided with an operable window vent or sash having a sill height of not more than 44 inches, and have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Windows:
Any new windows to be manufactured with raised 7/8" full divided lite solid core wood units, where indicated, and be Low-E4 insulated clear glass with spacer bars and be as manufactured by Andersen Windows and Doors, A-Series in red rock outer sash color as approved by HPC, with factory finished white interior. Sizes for windows to be verified in the field or as otherwise identified on plans.

Contractor is responsible to verify provided window designations, egress compliance and sizes in field and notify Architect of any conflicts. Screens at any new windows are to match exterior sash color to be provided by Contractor. Interior window hardware to also be factory finished white.

All new sash glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Contractor's window vendor to prepare detailed shop drawings of all new or replacement windows and doors for review and written approval by the Architect prior to placement of orders.

Solid Panel Interior Doors:
All new doors to be pre-hung four-panel solid core wood in natural finish, as approved by Owner. Door height and width dimensions, as noted on Interior Door Schedule.

Exterior Doors:
All specified new or replacement doors to be as indicated on Exterior Door Schedule and elevations, as manufactured by Simpson and Therman-Tra Doors.

Attic Access:
Attic access to attic mechanical spaces to be provided with a minimum of 22" x 30" in clear opening. All access openings, panels and doors to have insulating gasket at door perimeter to assure tight fit and eliminate both air and mechanical noise transmission.

Division 9 - Finishes
Gypsum Board:
All new interior Gypsum Board to be screwed and glued and be 5/8" minimum unless otherwise noted on plans or Typical Wall Section Detail or fire rating requirements for exterior walls within 5 feet of side and rear property lines.

New Interior Staircase:
New Oak treads to be finished to match wood flooring. Risers to be painted Poplar wood. Railing to include a top articulated profile handrail to be stained hardwood in Owner's stain color choice. Balustrade spindles to be painted wood spindles to be selected by the Owner.

Interior Trim, Moldings & Hardware:
All new window and door casing and base trim to be new painted clear grade primed poplar wood and finished to highest quality and match existing. Sample to be approved by Owner. Any and all field conflicts and special conditions are to be brought to the attention of Architect. Trim with wood knots will not be acceptable.

Hardware to be as manufactured by Baldwin or equal. Hinges to be five (5) knuckle type. All hardware to be matching "satin nickel finish" with glass knob detail when approved by Owner. All room locksets to be passage type, with privacy locksets in all bathrooms and all Bedrooms. Contractor to submit samples of all hardware to Owner.

New Wood Flooring:
Interior wood flooring to be 2 1/4" Red Oak of highest quality and finished as per Owner. Provide minimum of 3 coats of satin polyethylene finish, in areas as indicated in the Finish Schedule. Sample of finished wood floor product to be provided for approval by Owner.

Tile:
Install all new floor and wall tile, as provided by Owner, in accordance with the Finish Schedule. Utilize mortar set application method. All tile to be cleaned and sealed.

New Glass Shower Door:
Provide and install new frameless shower door with clear tempered and coated 3/8" glass as per Finish Schedule.

Kitchen/Vanity Countertops:
Countertop slabs to be 3/4" Quartzite, or other stone material, with edge detail and color, as selected by Owner. Fabricator to assist Owner in selection of edge detail.

Interior Panel Wainscot:
Proposed interior wainscot panels to utilize poplar veneer and moldings to attain 36" wall height with chair rail as detailed and/or specified in Finish Schedule. Interior wainscot wall panels to be applied to gypsum board walls. Sample panel to be provided in field for review and final approval by Owner. Wainscot Panels to be painted as specified and coordinated with placement of all openings, doors, window, crown and base trim.

Closet Rods & Shelving:
All interior bedroom, broom, linen and storage closet shelving to be factory finished white melamine board with steel hanging rods. Use of particle board is not acceptable.

Interior Paint:
All interior walls to be primed and receive two coats of Benjamin Moore latex flat paint. Interior moldings, wainscot, window and door casings, and trim to receive two (2) coats of Benjamin Moore satin enamel paint.

Contractor to utilize eggshell finish in all bath areas. Ceiling to be primed in areas of new gypsum board application and receive two coats of Benjamin Moore ceiling white. All paint colors and finishes subject to approval by Owner.

Exterior Painting:
The areas not to be covered with facing material are to be painted with two coats of Benjamin Moore Latex or equal.

Exterior Railing Systems:
All new exterior railings, at proposed addition, to be painted latex flat top "Dartmouth Style" with square spindles to match existing. Provided dual top horizontal rail at new 36" height, where noted on elevations at areas of new work.

Utilize stainless steel nails and staples in all related assembly. No exposed screws, plates nor others metal fasteners are to be visible. Use of vinyl railing and vinyl railing couplings, end plates, or "rosettes" is not permitted. Use of any screws shall require screw head location to be counter-sunk and plugged with wood or synthetic polymer plugs.

Exterior Window Crowns, Casings & Surrounds:
All new ornamental architectural trim, crowns, window, drip and door caps, and articulated door and window surrounds, as shown on the elevations and details, are to be synthetic polymer as manufactured by Azek and be 5/4" in thickness in order to attain proper window and door casing dimensional relief, and be in color as approved by HPC Resolution. New crowns and sills to have one half inch extensions, as per Typical Window Trim Detail. All new porch and overhang soffits to be Azek beaded board.

Porch Lattice Panels:
New dimensional lattice panels to be 3-D composite type framed at all perimeter edges with painted Azek material.

Gutters and Leaders:
Contractor to provide new 6 inch aluminum half-round type gutters with outlet and connection to drain as per local requirements to replace all existing or failed gutter conditions. Color to match fascia and corner boards and be approved by Owner and Architect.

Porch Columns and Posts:
New Columns to be turned 6" square load bearing type as manufactured by HB&G or Architect approved equal. Structural and cross framing within the rear gable assembly to be 6" ACQ material clad with Azek facings and wraps and be chamfered at all extended runs as required by HPC.

Bathroom Fixture Fittings and Trim:
All bathroom fixtures, trim kits and fittings to be selected and provided by Owner and installed by Contractor. All bathroom fixture fittings and accessories to be fabricated of solid brass and of same style and series and be of matching finish as selected by Owner.

All bathroom fixtures by Kohler, Memoir Designer Series or equal as selected by Owner. All trim and fittings to be satin nickel finish by Rehl, or equal. All fitting finishes to be selected by Owner. Provide scald proof diverters with thermostatic type valve controls at all shower heads.

Contractor to install double stud on the flat behind grab bar fastening points to attain a 200 pound static load where grab bars, towel bars and paper holders are to be provided.

Medicine Cabinets:
All medicine cabinets to be recessed into walls where indicated on plan, and be framed as provided by Owner but installed by Contractor. Any exterior recessed medicine cabinets to maintain insulation continuity.

Division 10 - Specialties
All specialty systems are to be established and designed by others but may be included into scope of work by Contractor upon the Owner's request.

TV/Cable:
Provide all wiring for all TV/Cable locations as required in all locations noted on all floor plans. Refer to electrical floor plans for all locations. Provide flat panel wall boxes (PWB) in proposed wall mounted digital TV flat screen positions. All TV/Cable boxes, wiring, modems or devices for remote operation are installed by Cable TV provider as per Owner.

Internet Access:
Provide one new (1) Cat6 Internet book-up with wireless modern capabilities to be determined by Owner.

Security System:
Security system to be provided by others, and as determined and approved by Owner.

Second Floor Fiberglass Porch Deck:
Porch deck to receive two coats fiberglass on 3/4" CDX plywood screwed to structural joist floor framing with aluminum flashing and counter-flashing at building edge. Upper floor porch deck to pitch to drain at 1/8" per foot minimum. Color to complement exterior siding, as approved by HPC.

Acoustic Treatments:
Provide open full batt insulation to serve as sound attenuation at all interior bedroom walls and floors between all floor levels and the walls at baths where framing cavities are exposed or associated with the new construction.

Division 11 - Equipment
Kitchen Cabinets:
Kitchen cabinetry to be as per plan with door and hardware style as selected by the Owner. Cabinet fabricator to provide samples and shop drawings for approval prior to manufacture. Contractor to be responsible for coordination of all appliance dimensions with the cabinet fabricator. Contractor to be responsible for the storage and protection of all cabinetry delivered to and while stored on site.

Kitchen Appliances:
All appliances to be purchased and supplied by Owner and installed by Contractor. Cooktop Range to be Gas. Wall Oven, Microwave, Dishwasher, Beverage Center, Ice-maker and Washer/Dryer to be Electric.

Division 12 - Furnishings
Not included.

Division 13 - Special Construction
Not included.

Division 14 - Conveying Systems
Not included.

Division 15 - Mechanical/Plumbing
Existing HVAC Modification:
General Contractor to coordinate all new HVAC systems as required to accommodate proposed renovations.

Unless shown on these drawings, all mechanical work such as, but not limited to heating and air conditioning engineering, are to be established and designed by others. Final location of ductwork, returns and equipment are to be approved by the Owner and Architect.

Contractor to provide and install a new direct vent gas fired 3-zone system, and be 90% AFUE to be approved by Owner prior to purchase of equipment and installation.

Contractor to provide Heat Pump System with high velocity ductwork configuration for both heating and cooling requirements.

HVAC Zones to be as follows:
Zone 1: First Floor
Zone 2: Second Floor
Zone 3: Attic Level

Thermostat Controls:
Each zone to control an individual Smart Thermostat as manufactured by "Honeywell" or equal and verified to be compatible with system and capable of remote monitoring.

Air Conditioning:
New air conditioning system to be certified with a minimum SEER of 13, with low db noise emission rating and up-flow design with Neptune Township Zoning Approval. Deviation from specified condenser unit as shown on plans must be submitted for approval by local Zoning Officer.

Ductwork:
All supply vents to be either floor or ceiling mounted and shall not be located in perimeter exterior walls unless fully insulated and encapsulated with insulation assembly equivalent to the R value of the Typical Exterior Wall Section as illustrated in the Construction Documents.

Supply ducts in unconditioned basement and attics are to be insulated with a minimum of R-8. All other ducts are to be insulated with a minimum of R-6 for compliance with the Energy Code.

Duct joints and connections to flanges of air distribution equipment are to be mechanically fastened and sealed. All other joints, seams, and connections are to be securely fastened with welds, gaskets, mastics or tapes. Tapes and mastics to be rated UL 181A or UL 181B.

Installation of all new forced air insulated ductwork system and final alignment of supply and return diffusers subject to review and approval by Architect and Owner.

Contractor to coordinate all placement and connections to all HVAC systems as required and verify positioning of ductwork so as to be compliant with current Energy Code.

Hot Water Heating:
Contractor to provide and install two (2) new tankless on-demand gas-fired hot water heaters by A.O. Smith or equal, of capacity to adequately service all hot water requirements.

Venting:
General Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

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Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC.

Water and Sewer Lines:
Contractor to verify adequacy of existing services and include any re-alignment, replacement, re-lining and trenching, when required due to replacement of service.

Water Pressure:
Contractor to verify adequacy of existing water pressure.

Piping & Plumbing:
All supply lines to be in compliance with Code. Contractor may utilize PVC with acoustical wrap and drop sound deadening interventions. Work to include all required copper piping, fittings and equipment. Use of PEX piping is an acceptable alternate. Scope of work to include supply and installation of all piping, pipe fittings and equipment.

Provide all connections to dishwasher, refrigerator, and other components requiring plumbing hook-up as per proposed scope of work indicated on plans. Contractor to abandon and remove any remaining galvanized water supply piping and replace with new piping.

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F to be insulated with R-3. Contractor to include all copper piping, materials and related fittings and equipment.

Owner to supply all bathroom fixtures, sinks and toilets, kitchen sink, laundry sink, washer, dryer and all related faucets, towel bars, paper holders, robe hooks, medicine cabinets and related items for installation by Contractor.

New Laundry Area Floor Pan and Drain:
Install floor drain under washer in laundry area.

Division 16 - Electrical
Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

Electrical Service:
Contractor to verify existing electrical service prior to preparing an application for construction permit. Contractor confirm and provide a minimum 200 Amp Electrical Service. Panel schematics to be prepared and filed for permit by Electrical Subcontractor.

Electrical HVAC Connections:
Contractor to provide all electrical hook-up as indicated on plans including HVAC equipment.

Electrical Wiring and Requirements:
Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner, Electrical Contractor and Architect are to review all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided where required by Code and noted on plans.

Provide and install dimmer switch controls where indicated on electrical schematic plans. All electrical wall switches to be rocker type, or as otherwise requested by Owner.

Lighting Fixtures

REScheck Software Version 4.7.2
Compliance Certificate

Project: 7 OCEAN PATHWAY

Energy Code: 2015 IECC
 Location: Ocean Grove, New Jersey
 Construction Type: Single-family
 Project Type: Addition
 Climate Zone: 4 (S2S3 HDD)
 Permit Date:
 Permit Number:

Construction Site:
 7 OCEAN PATHWAY
 OCEAN GROVE, NJ 07756

Owner/Agent:
 TERAJE O'CONNOR
 7 OCEAN PATHWAY
 OCEAN GROVE, NJ 07756
 732-618-4354
 teraje@ocor.com

Designer/Contractor:
 MARK PAVLIV
 THE ARCHITECT'S STUDIO
 77 MAIN AVE
 SUITE 101
 OCEAN GROVE, NJ 07756
 732-776-8777
 MP77AJA@aol.com

Compliance: Passes using UA Trade-off
 Compliance: 7.2% Better Than Code Minimum UA: 261 Your UA: 187 Maximum SHGC: 0.40 Your SHGC: 0.24
 The Rescheck software provides a trade-off option to comply with the code based on a credit trade-off value.
 A 100% credit trade-off results in a 100% compliance with the code.
 NOTE: Trade-off tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area Sq. Feet	U-Value	Req. U-Value	Req. R-Value	Req. Depth	Req. R-Value	Req. Depth
Wall 1: Wood Frame, 16" o.c.	1,672	16.0	2.2	0.057	0.060	84	88
Window 1: Wood Frame Double Pane with Low-E SHGC: 0.24	145			0.290	0.350	42	51
Door 1: Glass SHGC: 0.24	55			0.290	0.350	16	19
Basement Wall 1: Wood Frame Wall height: 7.6 Insulation depth: 3.6"	512	15.0	2.2	0.056	0.059	29	30
Ceiling 1: Flat Ceiling or Sissor Truss	496	30.0	2.2	0.033	0.026	16	13

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.7.2 and to comply with the mandatory requirements in the REScheck Inspection Checklist.

MARK A. PAVLIV, AIA
 Name Title Date 1/20/23

Project Notes:
 PROPOSED 2 1/2 STORY REAR ADDITION AND NEW AC

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REScheck Software Version 4.7.2
Inspection Checklist

Energy Code: 2015 IECC
 Requirements: 84.0% were addressed directly in the REScheck software.
 Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is retained in a separate table, a reference to that table is provided.

Section # & Req ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1 (FR11P) #	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A6, A7, A8, A9
103.1 (FR12P) #	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1 (FR2P) #	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: _____ Cooling: _____	Heating: _____ Cooling: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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Section # & Req ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (FR4P) #	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during insulation inspection. Not required in warm-humid locations in Climate Zone 3.	R: _____	R: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 (FR5P) #	Conditioned basement wall insulation installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A7, A8, A9
402.2.9 (FR26P) #	Conditioned basement wall insulation depth of burial or distance from top of wall.	R: _____	R: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 (FR11P) #	A protective covering is installed to protect exposed exterior insulation and extend a minimum of 6 in. below grade.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
402.9 (FR12P) #	Snow- and ice-melting system controls installed.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Section # & Req ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1 (FR23P) #	Glazing U-factor (area-weighted average).	U: _____	U: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 (FR4P) #	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9
402.4.1.1 (FR23P) #	Air barrier and thermal barrier installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A6, A7, A8, A9
402.4.3 (FR20P) #	Fenestration that is not pvc built is listed and labeled as meeting AAMA WDMACSA 1014.5.2AA449 or has infiltration rates per NFRC 600 that do not exceed code limits.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.5 (FR16P) #	IC-rated recessed lighting fixtures installed at housing/retainer finish and labeled to indicate ≤ 7.0 cfm leakage at 75 Pa.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, E1, E2
403.3.1 (FR12P) #	Supply and return ducts in attics insulated $\geq R-6$ where duct is ≥ 3 inches in diameter and $\geq R-6$ where < 3 inches. Supply and return ducts in other portions of the building insulated $\geq R-6$ for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Ducts located completely inside the building envelope.
403.3.5 (FR15P) #	Building cavities are not used as ducts or plenums.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A7, A8, A9
402.4 (FR11P) #	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to $\geq R-3$.	R: _____	R: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 (FR24P) #	Protection of insulation on HVAC piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.5.3 (FR18P) #	Hot water pipes are insulated to $\geq R-1$.	R: _____	R: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 (FR19P) #	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9

Additional Comments/Assumptions:

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Section # & Req ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 (FR13P) #	All installed insulation is labeled (if the installed R-values provided).			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.2.5 (FR3P) #	Wall insulation R-value. If this is a mass wall with at least 1/4 of the wall insulation on the exterior, the exterior insulation requirement applies (FR10).	R: _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R: _____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 (FR4P) #	Wall insulation is installed per manufacturer's instructions.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A7, A8, A9

Additional Comments/Assumptions:

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Section # & Req ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.2 (FR11P) #	Ceiling insulation R-value. <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R: _____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R: _____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1 (FR1P) #	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 R.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A7, A8, A9
402.2.3 (FR27P) #	Verand attics with air permeable insulation include baffle adjacent to soffit and eave vents that extend over insulation.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A7, A8, A9
402.3.4 (FR13P) #	ATC access hatch and door insulation R-value of the adjacent assembly.	R: _____	R: _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9
402.4.1.2 (FR17P) #	Blower door test @ 50 Pa ≤ 3 with in Climate Zones 1-2, and ≤ 3 ach in Climate Zones 3-8.	ACH 50 = _____	ACH 50 = _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9
403.3.4 (FR4P) #	Duct tightness test result of ≤ 4 cfm/100 ft ² across the system or ≤ 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	cfm/100 _____	cfm/100 _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: All ducts and air handlers are located within conditioned space. Location on plans/spec: A9
403.3.3 (FR27P) #	Ducts are pressure tested to determine air leakage with either Rough-in test. Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Post-construction test. Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	cfm/100 _____	cfm/100 _____	<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: All ducts and air handlers are located within conditioned space.
403.3.2.1 (FR24P) #	Air handler leakage designated by manufacturer at $\leq 2\%$ of design air flow.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9
403.1.1 (FR8P) #	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9
403.1.2 (FR10P) #	Heat pump thermostat installed on heat pumps.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9
403.5.1 (FR11P) #	Circulating service hot water systems have a manual or accessible manual controls.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement is not applicable.

Section # & Req ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 (FR25P) #	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement is not applicable.
403.2 (FR26P) #	Hot water boilers supplying heat through one or more heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.1 (FR26P) #	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water in circulation loop is at set-point temperature and no demand for hot water exists.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1.2 (FR29P) #	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.2 (FR30P) #	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.4 (FR31P) #	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units ≤ 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units ≤ 2 psi for individual units connected to three or more showers.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9
401.1 (FR6P) #	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, E1, E2
404.1.1 (FR23P) #	Fuel gas lighting systems have no continuous pilot light.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

Section # & Req ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 (FR7P) #	Compliance certificate posted.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
303.3 (FR18P) #	Manufacturer manuals for mechanical and water heating systems have been provided.			<input checked="" type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9

Additional Comments/Assumptions:

Project Title: 7 OCEAN PATHWAY Report date: 01/29/23
 Data filename: C:\Users\Pavliv\Documents\REScheck\7 OCEAN PATHWAY.rck Page 9 of 9

2015 IECC Energy Efficiency Certificate

Insulation Rating	R Value
Above-Grade Wall	18.23
Below-Grade Wall	17.23
Floor	6.00
Ceiling / Roof	32.23
Ductwork (unconditioned spaces):	
Glass & Door Rating	U-Factor SHGC
Window	0.29 0.24
Door	0.29 0.24
Heating & Cooling Equipment	Efficiency
Heating System:	
Cooling System:	
Water Heater:	
Name:	Date:
Comments:	

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA

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 springlakearchitect.com
 mp77aia@aol.com

Mark Alexander Pavliv
 Signature

Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling Block #115, Lot #6
 Use Group: R5
 Construction Type: 5B

PROJECT NAME
 O'Connor Residence
 7 Ocean Pathway
 Ocean Grove, NJ

DRAWING TITLE
 REScheck
 Energy Compliance

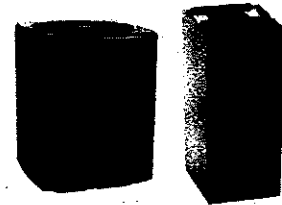
SCALE: As Noted JOB No.: 202299007B
 DATE: 1/20/23 DRAWING No.: A9
 DRAWN BY: MP
 CHECKED BY: MP

Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

Smoke and Carbon Monoxide Detection:

Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



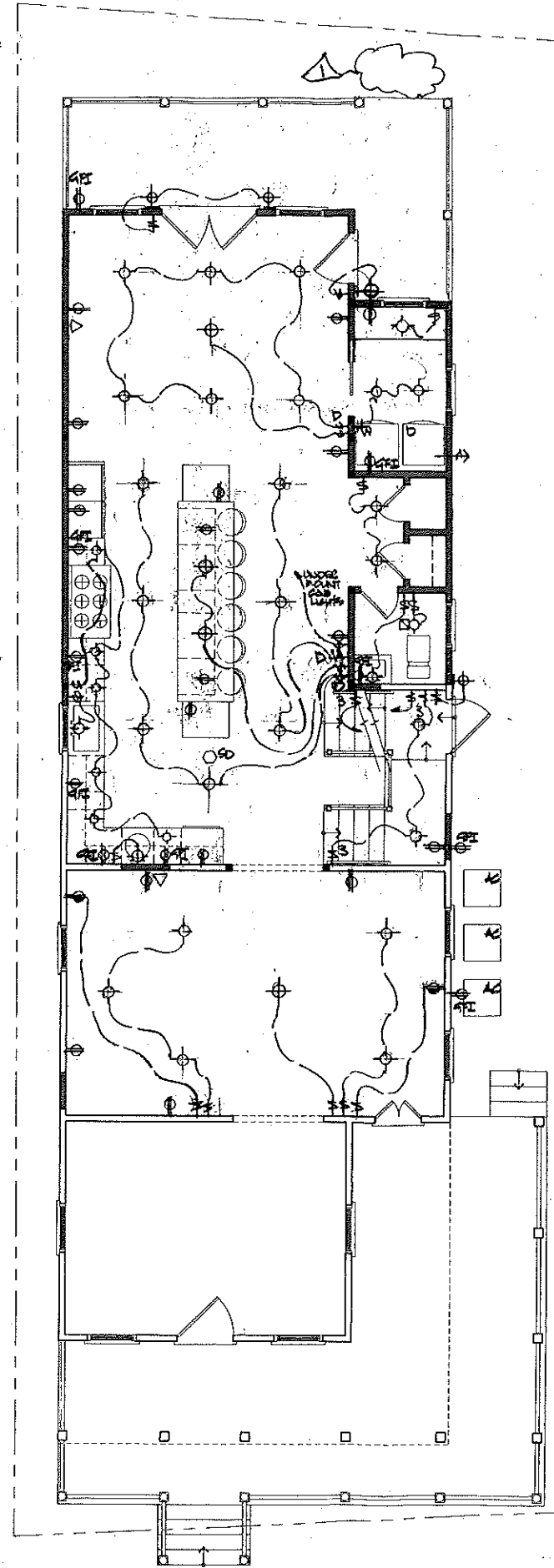
Goodman 2 Ton 14 SEER Heat Pump GSZ140241, Upflow, Downflow, Horizontal Air Handler ARUF25B14 Brand Goodman

Up-flow AC Condenser Unit

Scale: NTS

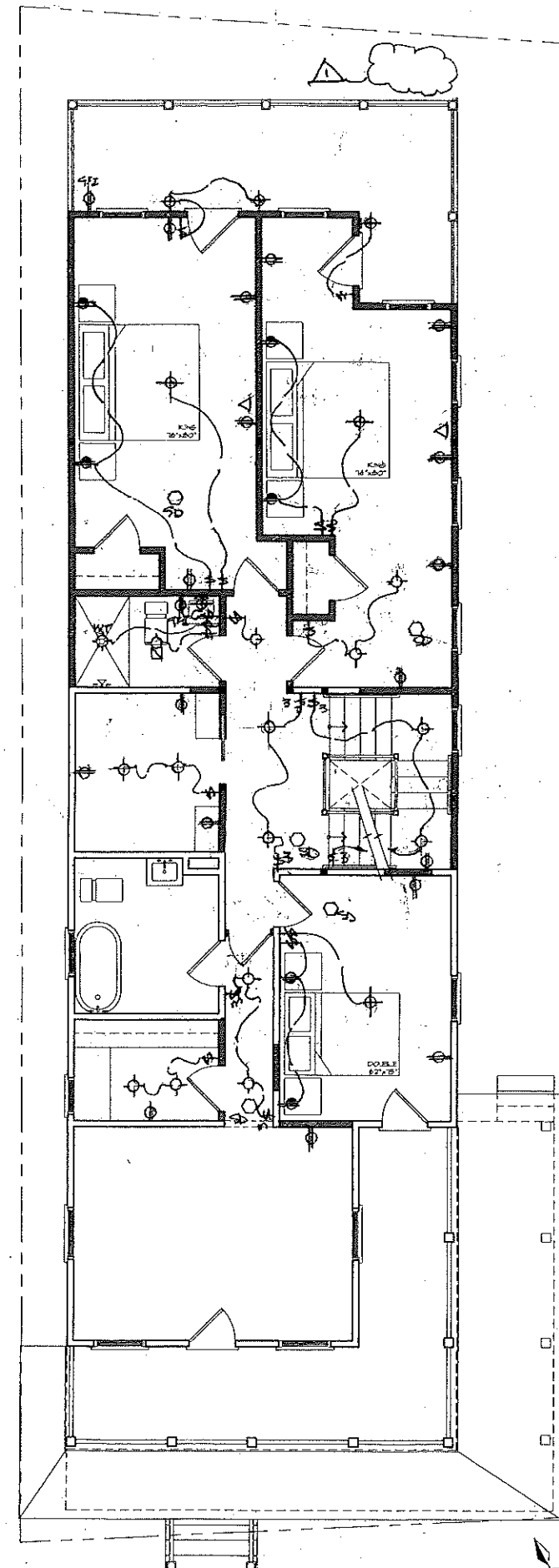
Legend

- WALLS TO BE REMOVED
- EXISTING WALLS
- NEW WOOD STUDS WALLS
- EXISTING WINDOW LOCATION
- NEW WINDOW LOCATION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- NEW CONCRETE FOOTING AND FOUNDATION
- STRUCTURAL BEAM
- JOIST FRAMING
- ROOF OVERHANG OR SOFFIT LINE
- ⊕ ELEC. WALL SWITCH
- ⊕ ELEC. WALL DIMMER
- ⊕ ELEC. 3 WAY SWITCH
- ⊕ ELEC. WALL OUTLET
- ⊕ ELEC. FLOOR OUTLET
- ⊕ ELEC. HALF-HOT WALL OUTLET
- ⊕ CEILING MOUNTED LIGHT
- ⊕ BRACKET/WALL MOUNTED LIGHT
- ⊕ RECESSED CEILING LIGHT
- ⊕ RECESSED DIRECTIONAL LIGHT
- ⊕ EXHAUST FAN/HEAT LAMP
- ⊕ SMOKE DETECTOR
- ⊕ TV/CABLE JACK
- ▲ TELEPHONE JACK



First Floor Electrical Plan

Scale: 1/4" = 1'-0"



Second Floor Electrical Plan

Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23

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Mark Alexander Pavliv
Signature

**Proposed Renovations
& Rear Addition to the
Existing 2 1/2 Story
Wood Frame
Single-Family Dwelling
Block #115, Lot #6
Use Group: R5
Construction Type: 5B**

PROJECT NAME
**O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ**

DRAWING TITLE
**First & Second
Floor Electrical**

SCALE: As Noted
DATE: 1/31/23
DRAWN BY: EPM/MP
CHECKED BY: MP

JOB No. 2022A9007B
DRAWING No.

E1

Specification

Division 16 - Electrical

Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

Electrical Service:

Contractor to verify existing electrical service prior to preparing an application for construction permit. Contractor confirm and provide a minimum 200 Amp Electrical Service. Panel schematics to be prepared and filed for permit by Electrical Subcontractor.

Electrical HVAC Connections:

Contractor to provide all electrical hook-up as indicated on plans including HVAC equipment.

Electrical Wiring and Requirements:

Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner, Electrical Contractor and Architect are to review all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided where required by Code and noted on plans.

Provide and install dimmer switch controls where indicated on electrical schematic plans. All electrical wall switches to be rocker type, or as otherwise requested by Owner.

Lighting Fixtures:

All surface mounted fixtures to be supplied by the Owner and installed by the Contractor.

All new recessed LED lighting to be maximum of 5" aperture with white trim kits and reflectors. Provide 4" aperture lighting housings over kitchen counter areas as noted on electrical plans.

All under cabinet or in cabinet lighting to be supplied by Contractor to match cabinet color and be approved by Owner prior to installation. Under cabinet lighting to include linear convenience receptacle strip. All recessed lighting to be as manufactured by Halo or Architect approved equal.

Paddle Ceiling Fans:

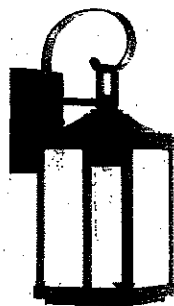
Any new paddle ceiling fans to be supplied by Owner and installed by the Contractor.

Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

Electrical Life-Safety System Connections:

Carbon Monoxide and Smoke Detection Alarms to be provided at each floor level in common hallways within the adjacency of all sleeping areas and within 10 feet of all bedroom entry doors, as required by Code and indicated on the floor plans.



Proposed Lighting
Globe Street 15" Tall Outdoor Wall Sconce
Model: 980005-000
from the Globe Street Collection

Exterior Light Fixture

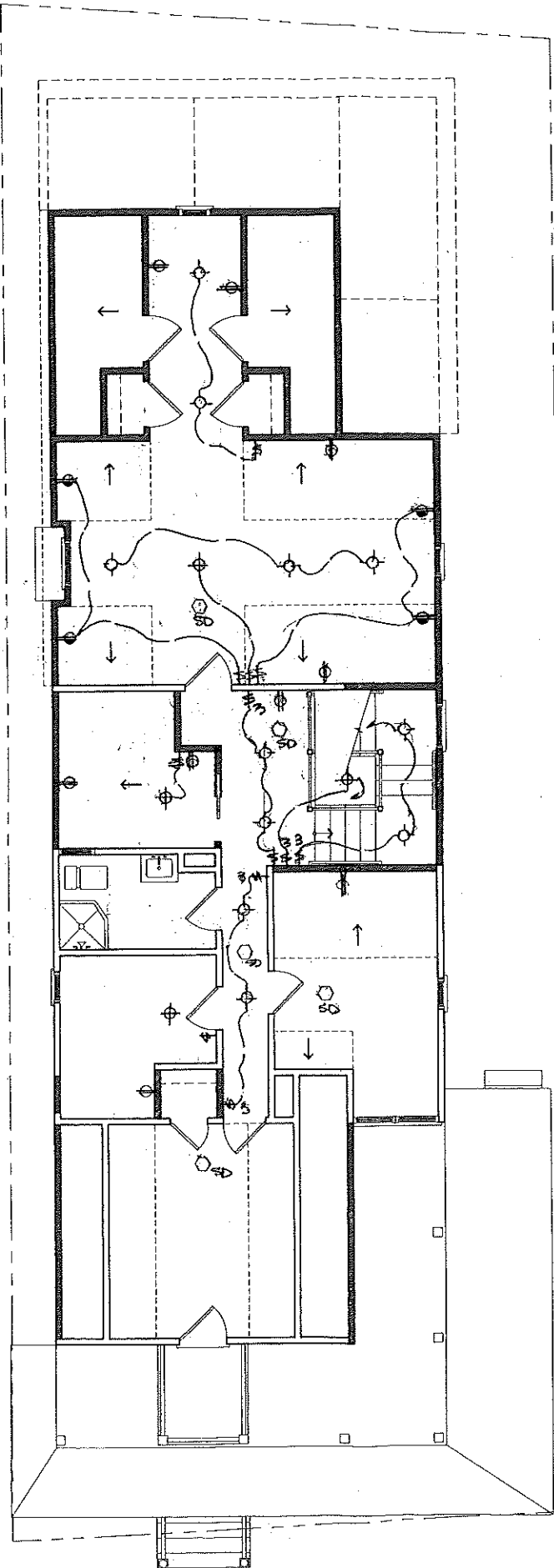
Scale: NTS

Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

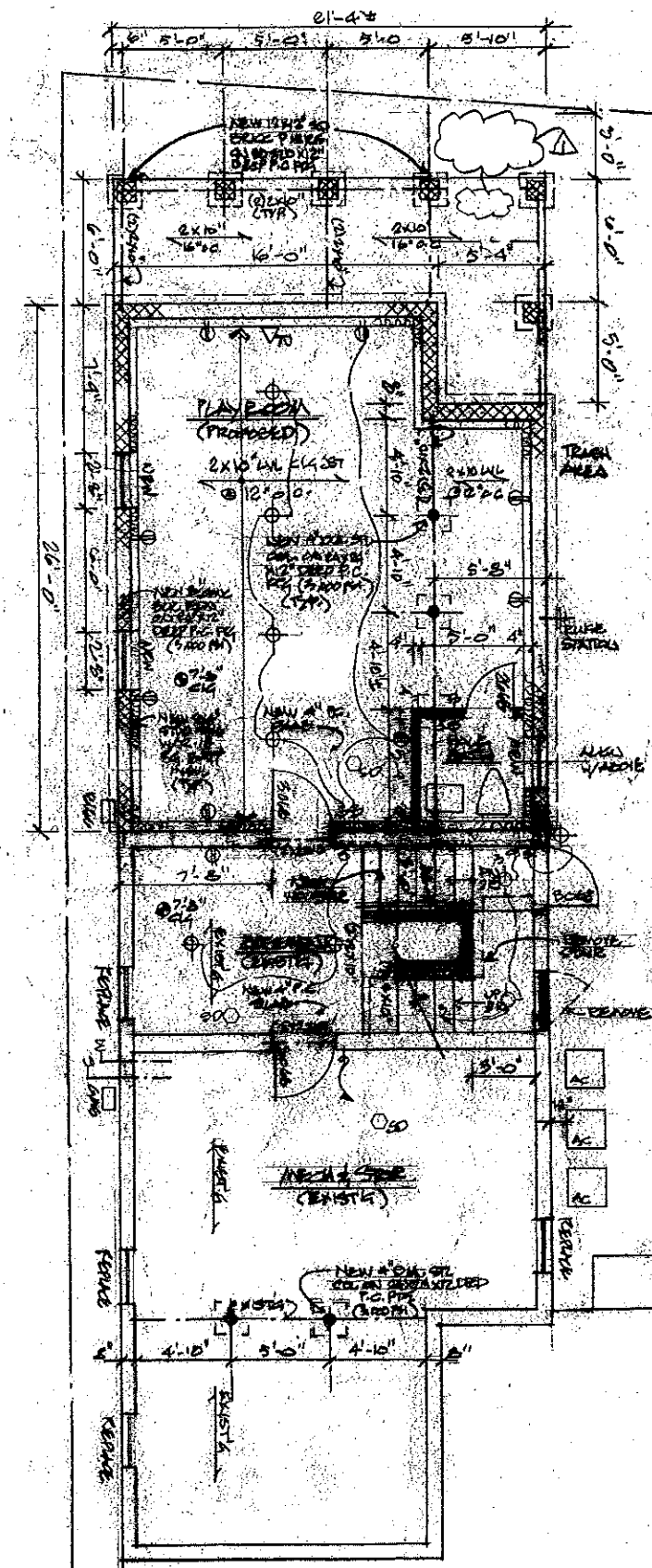
Smoke and Carbon Monoxide Detection:

Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



Attic Level Electrical Plan

Scale: 1/4" = 1'-0"



Basement Electrical Plan

Scale: 1/4" = 1'-0"

Note:

- PROVIDE EMERGENCY SERVICE DISCONNECT IN AN OUTDOOR LOCATION.
- PROVIDE A SURGE-PROTECTIVE DEVICE (SPD) AT ELECTRICAL SERVICE PANEL.

REVISIONS		
No.	Description	Date
1	CONJUNCTION COMMENTS	5/21/23

ISSUES		
No.	Description	Date
1	CONJUNCTION COMMENTS	5/21/23

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Mark Alexander Pavliv
Signature

**Proposed Renovations
& Rear Addition to the
Existing 2 1/2 Story
Wood Frame
Single-Family Dwelling**
Block #115, Lot #6
Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
**Attic Level
Electrical Plan
& Specifications**

SCALE: As Noted

DATE: 1/21/23

DRAWN BY: EK/MP/CP

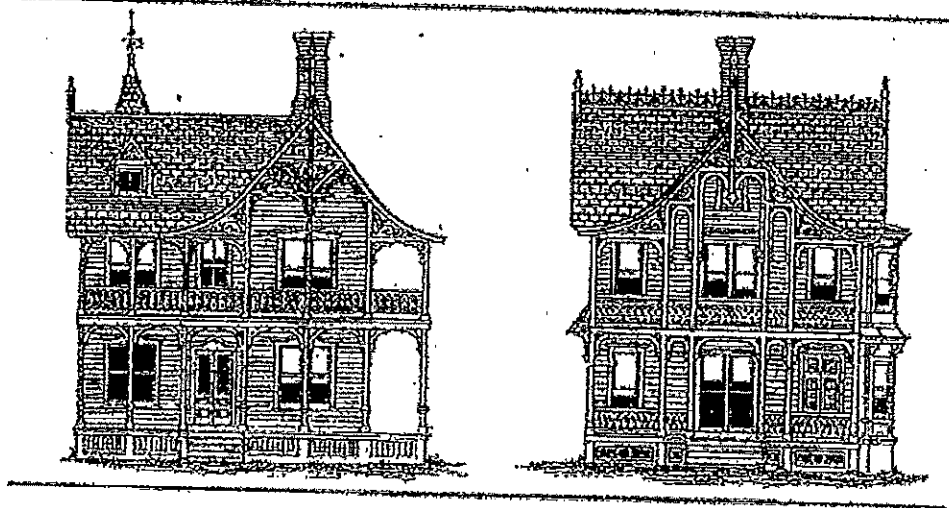
CHECKED BY: MP

JOB No. 2022A9007B

DRAWING No.

E2

**Ocean Grove Historic District
Architectural Design Guidelines
For
Residential Structures**



Prepared for:
**The Township of Neptune
Neptune, New Jersey**

Prepared by:
Mark Alexander Pavliv, AIA/NCARB

In Association with:
**The Historic Preservation Commission
Of Neptune Township**

January 2005

B. Form, Height and Mass

Proposed renovations of residential buildings should *recreate or reconstitute* the original form, height and mass or *maintain* the characteristics of the current structure where form, height and mass are either historically or architecturally significant.

In brief, the three-dimensional form, height and mass of any residential building or structure either undergoing repair, maintenance, restoration, renovation, alteration, addition or in the case of new construction, should:

1. Follow a pattern of site utilization similar to adjacent buildings while observing all setback regulations.
2. Position all proposed additions so as to extend from the rear or sides of the building unless demonstrated to be beneficial to consistency in alignment with adjacent dwelling fronts and/or beneficial to the historic context of the streetscape or district.
3. The introduction of inappropriate second or third floor additions or "Pop-ups" is discouraged.
4. The enclosure of any front porches and covered entries enclosure shall be deemed unacceptable.
5. Demolition of restorable architectural facades and original forms is unacceptable.

In Ocean Grove "habitable attics" above the second floor is common and typical in the Seashore Vernacular style of Architecture found in Ocean Grove. It is important to seek an opinion from the Building Code or Zoning Official in Neptune Township as to the proper interpretation with respect to living space above the second floor. Additionally, the architectural design integration of towers, turrets, cupolas, covered upper level porches and other similar features, is encouraged.

Multi-family dwellings are subject to additional zoning review where additions, assembly or joining of structures is proposed.

C. Roofs Types

Roofs consistent with the Eastlake, Gothic Revival, Colonial Revival, Italianate, Stick Style, Queen Anne, American Four-Square and Pattern Book Victorian as well as Victorian Eclectic roof designs are most common to many of the existing residential buildings.

Towers, turrets, various gables and dormers are also often featured in these designs. Low and high profile hip roofs and high pitched gable roofs are most common.

In brief, the roof type of a residential building or structure undergoing repair, restoration, renovation, alteration, addition or proposed as new, should:

1. Retain and restore all existing historic roof lines, shapes and form which are consistent with the architectural styles listed above. Decorative chimneys, weather vanes, and ornamental roof cresting should be preserved.

2. Repeat and replicate existing elements of the original design where additions or alterations are proposed. The design of all new gable roofs should observe proportions and roof pitch consistent with period prototypes.

The restoration or inclusion of new dormers, roof eyelids or other similar roof elements consistent with architectural ornamentation and style is encouraged.

The introduction of modern skylights and solar collectors visible from the street are not acceptable.

3. Utilize either formed copper, slate, wood shake or dimensional asphalt shingles on all pitched roof surfaces. Roofing materials which emulate wood or slate shingles are acceptable. The choice of material type in the application of rolled or built-up roofing on flat roofs is unrestricted.

4. Avoid use of modern standing seam factory painted metal roofing, and shingles of inappropriate historic period color, such as white or green.

5. Avoid introduction or application of any new mansard type facade treatments without historic precedence.

6. Avoid placement of TV Satellite and other mechanical devices visible to public view.

7. Avoid removal or alteration of historic or original roof overhangs, pent roofs, dormers, gables, soffits, eyelids, cupolas, turrets and towers unless requiring reconstruction and so approved by the HPC. Such proposal for removal without justified cause or plan for replacement is unacceptable.

D. Doors

The size, shape and location of the door and its aesthetic relationship must be proportionate to the dwelling's scale and be historically correct. This is very important.

The retention of original or introduction of new transoms or arched windows should be appropriate to the structure and architectural style and period.





*Historic residence addition/renovation
Ocean Grove, New Jersey*

Before



After



11
11
11
11
11

**RESOLUTION
TOWNSHIP OF NEPTUNE
HISTORIC PRESERVATION COMMISSION
RESOLUTION OF MEMORIALIZATION
MONMOUTH COUNTY, NEW JERSEY
DENIAL OF ADDITION**

Denied: January 30, 2024

IN THE MATTER OF: TERRIE O'CONNOR (7 Ocean Pathway)

APPLICATION NO.: HPC2023-071

WHEREAS, Terrie O'Connor (the "Applicant") has applied to the Township of Neptune Historic Preservation Commission (the "Commission") seeking approval for a residential addition, reconfiguration of the 2nd floor rear roof such that the rear side appears as a front of home, together with related the addition, relocation and/or replacement of doors and windows and siding for the existing residential building pursuant to Sections 900-914 of the Township of Neptune Land Development Ordinance for lands known and designated as Block 115, Lot 6, on the official Tax Map of the Township of Neptune, and more commonly known as 7 Ocean Pathway, Ocean Grove, New Jersey 07756 (the "Property"); and

WHEREAS, a complete application has been filed, the fees as required by Township Ordinance have been paid, proof of service and publication of notice is required by law has been furnished and determined to be in proper order, and it otherwise appears that the jurisdiction and powers of the Commission have been properly invoked and exercised; and

WHEREAS, public hearings were held remotely using the Zoom platform on November 14, 2023, December 12, 2023 and January 30, 2024, at which time testimony and the filed application were presented on behalf of the Applicant and all interested parties having had an opportunity to be heard.

NOW THEREFORE, BE IT RESOLVED the Commission makes the following findings of fact based on evidence presented at its public hearing at which a record was made:

1. The Applicant is seeking approval for a residential addition, reconfiguration of the 2nd floor rear roof such that the rear side appears as a front of home, together with related the addition, relocation and/or replacement of doors and windows and siding for the existing residential building.

2. The subject property is located within the HDR-1 Historic District Residential Zone and is improved with a single-family Eastlake-style dwelling constructed in or about 1857, which is designated as an "Key Structure" as defined in the Historic District's Design Guidelines for Residential Structures ("Design Guidelines").

3. Beginning November 14, 2023, the Applicant appeared together with her architect, Mark Pavlic, who described the Applicant's proposal. The Commission's review of the

Application was put on hold that evening when it was determined that a site visit was in order, as well as the absence of any Tech Notes with the Application materials.

4. The Applicant met with the Tech Committee on January 8, 2024, at which time it was determined that many issues raised previously by the Commission had been addressed. However, the Tech Review Committee continued expressing its concern regarding several elements of the Applicant's revised proposal. First, a second, 1st floor door off the porch (face east) had been retained despite several Commission members questioning the appropriateness of a room having multiple doors into the same room and leading out onto the same porch. The Commission asked whether a window in place of this second door would be more historically appropriate. The Applicant elected to retain this second door leading onto the rear, first floor porch. Second, the existing structure contains roughly 1,697 square feet. The proposed addition will be 1,158 square feet, bringing the total size of the resulting proposed dwelling to 2,755 square feet. Excluding outdoor porches (which are not generally factored into square footage calculations), the proposed addition increases the size and massing of this Key Structure by 42%. The Commission raised concerns at the public hearing that the proposed alteration to the massing of the original Key Structure, questing whether such an increase in massing is appropriate. Third, the Commission continued expressing concern that the proposed addition appeared to, "add a new house to the back of an old house."

5. The Commission determined that Mr. Pavliv's efforts to revise the plan did not adequately address these concerns or sufficiently mitigate their impact. The Commission further concluded that the proposed addition was not consistent with the site utilization of adjacent or comparable structures, was simply too large as proposed, and failed to maintain the characteristics of this Key Eastlake structure, thereby rendering it inconsistent with Section IV.B, Form, Height and Mass, of aforementioned Design Guidelines at page 13, which provides that "proposed renovations of residential buildings should *recreate or reconstitute* the original form, height and mass or *maintain* the characteristics of the current structure where form, height and mass are either historically or architecturally significant". (original emphasis).

NOW, THEREFORE, THE COMMISSION makes the following conclusions of law based upon the foregoing findings of fact:

1. The Applicant proposes a residential addition, reconfiguration of the 2nd floor rear roof such that the rear side appears as a front of home, together with related the addition, relocation and/or replacement of doors and windows and siding for the existing residential building on the Property.

2. The Commission concludes the proposal was inconsistent with and not in conformity with the §1VB of the Design Guidelines and the Ordinance. A Certificate of Appropriateness is therefore denied.

NOW, THEREFORE, BE IT RESOLVED, by the Historic Preservation Commission of the Township of Neptune on this 30th day of January, 2024 that the Certificate of Appropriateness application No. HPC2023-071 for the addition and alternation of the existing single family

residential structure located at Block 115, Lot 6, 7 Ocean Pathway, Ocean Grove, New Jersey, is DENIED pursuant to Section 900-914 of the Township of Neptune Land Development Ordinance.

Nephpc233 Terrie O'connor (7 Ocean Pathway) Resolution Denying Addition (Hpc2023-___) 1.30.2024 Srt(3509018.1)