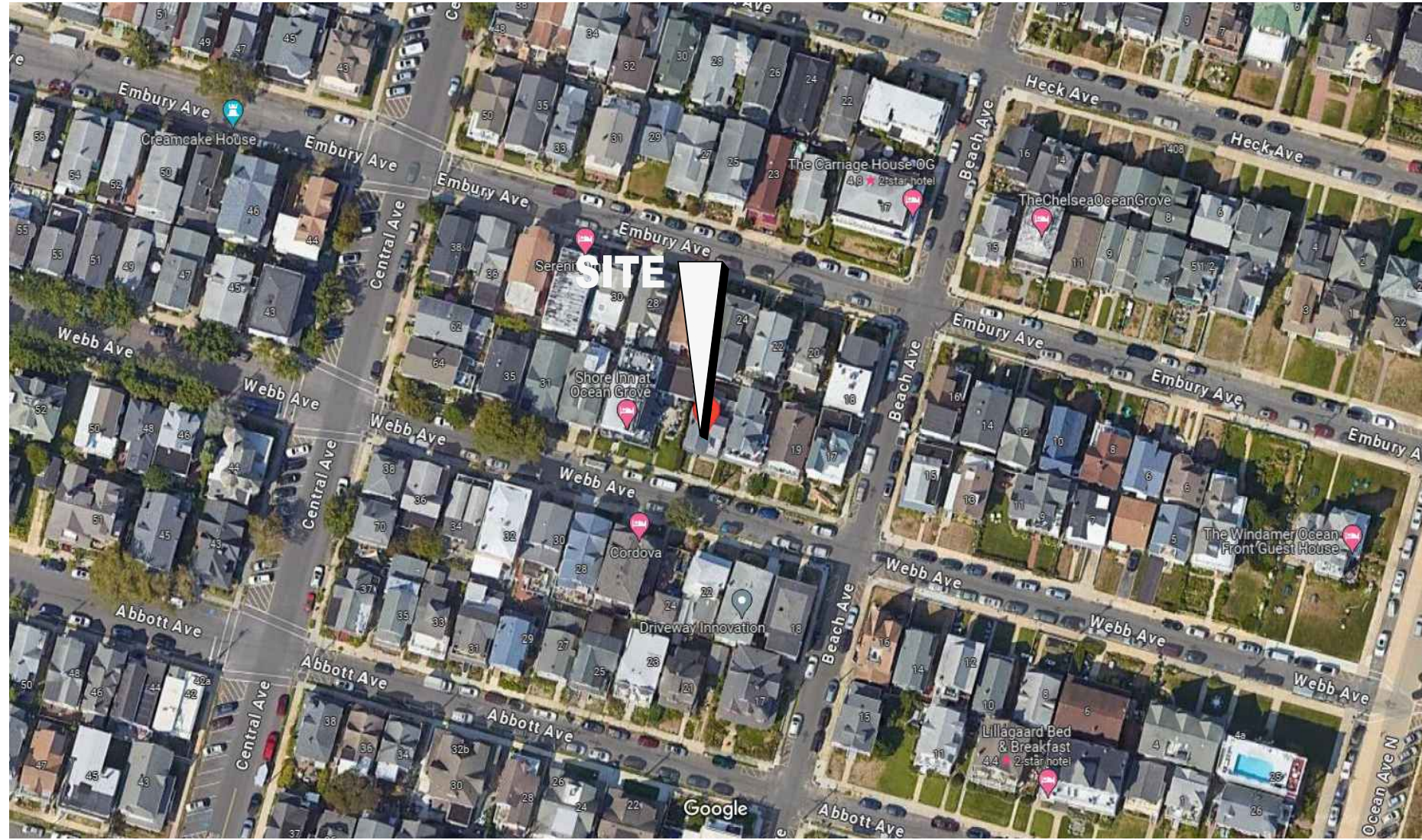


Alteration, Renovation & Conversion of Existing Single Family Residence into Bed & Breakfast

23 Webb Ave., Ocean County, NJ 07756 BLOCK 228; LOT 16



A1 LOCATION MAP
SCALE: NO SCALE

OWNER:
OWNER: MR. JOSEPH W. JANKOWSKI
CONTACT EMAIL: JOSEPHWJANKOWSKI@GMAIL.COM
PHONE: 908.770-2112

SHEET NUMBER	DRAWING NUMBER	DRAWING TITLE
1	D-1	DEMOLITION BASEMENT, 1ST & 2ND FLOOR PLANS
2	A-1	BASEMENT 1ST & 2ND FLOOR PLANS
3	F-1	BASEMENT, 1ST & 2ND FRAMING PLANS
4	E-1	BSMT., 1ST & 2ND, ELEC. PLANS & PLUMBING RISER DIAGRAMS

Scope of Work

1. Provide (3) new Bathrooms.
2. Provide (4) new bedrooms
3. Provide new exit at 1st floor
4. Repair existing exterior stair
5. Provide new landing at interior stair

NOTE:

ALL FINISHES SHALL MEET FLAME SPREAD REQUIREMENTS AS PER I.B.C. 2018 TABLE 803.5
1- VERTICAL EXITS AND PASSAGEWAYS CLASS - C
2- EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS CLASS - C
3- ROOMS AND ENCLOSED SPACES CLASS - C

APPLICABLE CODES

2021 INTERNATIONAL RESIDENTIAL CODE - NEW JERSEY EDITION
2021 INTERNATIONAL FUEL GAS CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE *
2021 NATIONAL STANDARD PLUMBING CODE
2020 NATIONAL ELECTRICAL CODE - NFPA 70

* COMPLIANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021 FOR THERMAL ENVELOPE PERFORMANCE WILL BE AS PER PRESCRIPTIVE OPTION

BUILDING/SITE CHARACTERISTICS

CONSTRUCTION PERMIT APPLICATION & BUILDING SUBCODE TECHNICAL SECTION

USE GROUP	R-3
1. NUMBER OF STORIES	2
2. HEIGHT OF STRUCTURE	28 FT.
3. AREA - LARGEST FLOOR	830 SF.
4. NEW BLDG. AREA	Not Applicable
5. VOLUME OF NEW STRUCTURE	N/A
6. MAXIMUM LIVE LOAD	40 LBS./SF.
7. MAX OCCUPANCY LOAD	12 OCCUPANTS
8. IF INDUSTRIALIZED BUILDING:	State Approved - HUD
9. TOTAL LAND AREA DISTURBED	N/A
10. FLOOD HAZARD ZONE	NO
11. BASE FLOOD ELEVATION	N/A
12. WET LANDS	YES ___ NO <input checked="" type="checkbox"/>

CONSTRUCTION CLASSIFICATION PRESENT VA PROPOSED VA

- GROSS AREAS: EXISTING SF.
- BASEMENT - 280 SF.
- 1ST FLR - 826 SF.
- 2ND FLOOR - 510 SF.
- TOTAL 1,625 SF.

ZONING SCHEDULE - HD-O - Historic District Oceanfront

TAX MAP SHEET NO. : BLOCK 228; LOT 16

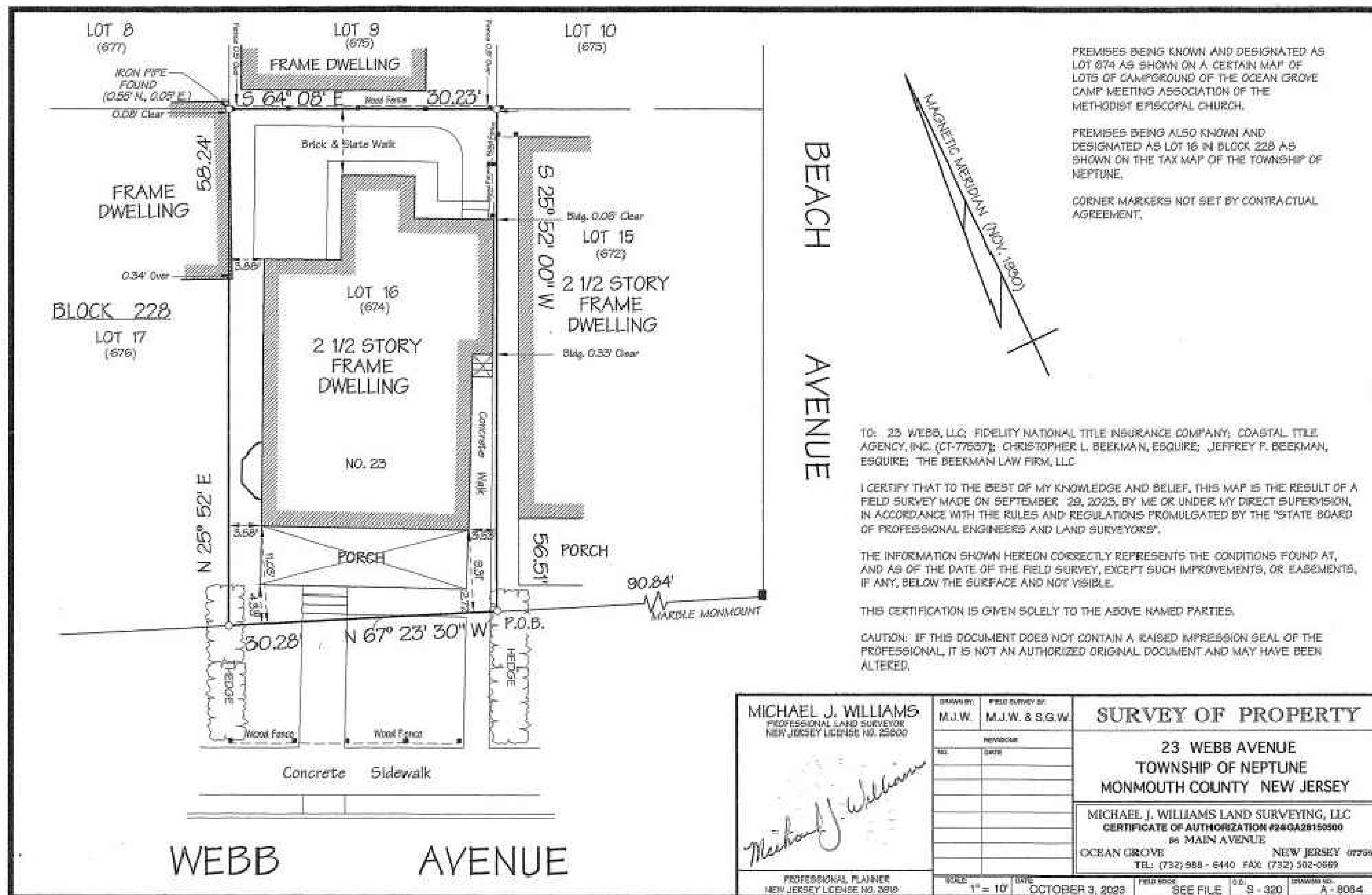
ZONING	REQUIRED	PROPOSED	EXIST.	VARIANCE REQ'D
PERMITTED USES	DETACHED SINGLE FAMILY RESID. COMMUNITY CENTER	BED & BREAKFAST	DETACHED SINGLE FAMILY RESID.	CONDITIONAL USE
PARKING REQUIREMENTS				
OFF STREET PARKING REQUIRED	NONE	NO CHANGE	NONE	NO

TOWNSHIP OF NEPTUNE - LAND DEVELOPMENT ORDINANCE

Bed and Breakfast guesthouses and homestays shall be permitted in the HD-O and B-3 Zone Districts provided the following supplementary regulations are met:

(NOTE: The B-3 Zone has been added as prescribed by an Amended Schedule A-2 per Ordinance No. 03-035)

- The building is comprised of a structure originally constructed as a private residence, hotel or a bed and breakfast;
- Guesthouses shall include individual sleeping accommodations for fifteen (15) or fewer guests;
- Homestays shall include individual sleeping accommodations for five (5) or fewer guests;
- At least one (1) dwelling unit is occupied by the owner of the facility as his/her place of residence during any time the facility is being used for the lodging of guests;
- The principal structure has not less than three hundred (300) square feet of common area for the exclusive use of guests, including but not limited to parlors, dining rooms, libraries and solariums;
- Cooking and smoking in guest rooms is prohibited;
- The facility provides a meal to the guests in the forenoon of each day, but does not operate as a restaurant open to the general public;
- The facility is not a "rooming house" or "boarding house" as defined by N.J.S.A. 55:13B-3;
- The facility is not within two hundred (200) feet of an existing bed and breakfast on the same street; and,
- The facility does not allow:
 - Any guest to remain for a period of more than one hundred twenty-four (124) days between May 15 and September 15 in given calendar year;
 - Any guest to remain more than thirty (30) successive days, or more than sixty (60) days of any period of ninety (90) successive days between September 15 and May 15.
- Bed and Breakfast Guesthouses and Homestays shall be located north of Main Avenue, including those properties fronting on both sides Main Avenue.



PREMISES BEING KNOWN AND DESIGNATED AS LOT 674 AS SHOWN ON A CERTAIN MAP OF LOTS OF CAMPGROUND OF THE OCEAN GROVE CAMP MEETING ASSOCIATION OF THE METHODIST EPISCOPAL CHURCH.

PREMISES BEING ALSO KNOWN AND DESIGNATED AS LOT 16 IN BLOCK 228 AS SHOWN ON THE TAX MAP OF THE TOWNSHIP OF NEPTUNE.

CORNER MARKERS NOT SET BY CONTRACTUAL AGREEMENT.

TOWNSHIP OF NEPTUNE - LAND DEVELOPMENT ORDINANCE

TO: 23 WEBB, LLC, FIDELITY NATIONAL TITLE INSURANCE COMPANY, COASTAL TITLE AGENCY, INC. (CT-77837); CHRISTOPHER L. BEEKMAN, ESQUIRE; JEFFREY F. BEEKMAN, ESQUIRE; THE BEEKMAN LAW FIRM, LLC

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS THE RESULT OF A FIELD SURVEY MADE ON SEPTEMBER 29, 2023, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS, OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

THIS CERTIFICATION IS GIVEN SOLELY TO THE ABOVE NAMED PARTIES.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

MICHAEL J. WILLIAMS
PROFESSIONAL LAND SURVEYOR
NEW JERSEY LICENSE NO. 25800

DRAWN BY: M.J.W.
FIELD SURVEY BY: M.J.W. & S.G.W.

SURVEY OF PROPERTY

23 WEBB AVENUE
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY NEW JERSEY

MICHAEL J. WILLIAMS LAND SURVEYING, LLC
CERTIFICATE OF AUTHORIZATION #200828150000
86 MAIN AVENUE
OCEAN GROVE, NEW JERSEY 07756
TEL: (732) 988-6440 FAX: (732) 562-0669

PROFESSIONAL PLANNER
NEW JERSEY LICENSE NO. 3918

SCALE: 1" = 10' DATE: OCTOBER 3, 2023 FILE NO: S-320 DRAWING NO: A-808.4

DIVISION I - GENERAL REQUIREMENTS

1. THESE DOCUMENTS REPRESENT AN OVERALL DESIGN CONCEPT. THE INTENT OF THESE DOCUMENTS IS TO PROVIDE SUFFICIENT INFORMATION TO AN EXPERIENCED CONTRACTOR WHO IS FAMILIAR WITH WORK OF THIS TYPE WITHIN THE LOCALE OF THIS PROJECT. THE CONTRACTOR SHALL REVIEW THESE DOCUMENTS, VISIT THE SITE, VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING. THE CONTRACTOR HAVING AGREED TO UNDERTAKE THIS PROJECT SHALL BE REQUIRED TO CAPABLY EXECUTE THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT IN A MANNER CONSISTENT WITH THE QUALITY WORKMANSHIP WITHIN THE EXISTING RESIDENCE.
2. ALL WORK SHALL BE CONDUCTED IN A SAFE AND WORKMAN LIKE MANNER AND SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND THE WORK AREA. IN ADDITION, ADEQUATE SIGNAGE TO DIRECT AND WARN TRAFFIC AWAY FROM PROJECT AREA. ALL OPERATIONS SHALL CONFORM TO ALL FEDERAL AND STATE SAFETY CODE REGULATIONS.
3. INFORMATION SHOWN REGARDING EXISTING CONSTRUCTION OR CONDITIONS ARE NOT INTENDED AS REPRESENTATION OR WARRANTIES OF ACCURACY OR CONTINUITY OF AS-BUILT CONDITIONS. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER AND ARCHITECT WILL NOT BE RESPONSIBLE FOR DEVIATIONS FROM CONDITIONS INDICATED. DATA MADE AVAILABLE IS DERIVED FROM EXISTING DOCUMENTS OR FIELD SURVEY AND IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR.
4. ALL WRITTEN DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL WRITTEN DIMENSIONS AND NOTIFY THE ARCHITECT IN WRITING OF DEVIATIONS BEFORE PROCEEDING WITH ANY PORTION OF THE WORK. DO NOT SCALE DRAWINGS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND ALL REFERENCED SUBCODES.
6. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL STANDARD PLUMBING CODE.
7. ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS.
9. ALL DEMOLITION SHALL BE PERFORMED IN A MANNER AS TO PREVENT DAMAGE TO ADJACENT TO REMAIN. CONTRACTOR SHALL PROTECT ALL EXISTING AREAS TO REMAIN, INCLUDING ADJOINING PROPERTIES, AND SHALL REPAIR AND/OR REPLACE ITEMS DAMAGED DURING THE COURSE OF WORK TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
10. THE ARCHITECT SHALL BE HELD HARMLESS OF ANY CLAIMS AND SHALL BE INDEMNIFIED OF LEGAL CLAIMS RESULTING FROM NEGLIGENCE ON THE PART OF THE CONTRACTOR.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS AND PROCEDURES USED DURING CONSTRUCTION.
12. THE OWNER SHALL HAVE THE RIGHT TO EXAMINE ALL REMOVED MATERIALS AND SHALL HAVE FIRST SALVAGE RIGHTS.
13. THE CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS. DEBRIS IS NOT TO BE STORED ON OWNERS PROPERTY.

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES IN THE DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH THE WORK.
- DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- ALL DIMENSIONS SHOWN ARE NOMINAL DIMENSIONS TO EXISTING SURFACES OR TO FINISHED SURFACES.
- UNLESS OTHERWISE NOTED, ALL EXPOSED SURFACES OF CONCRETE, CMU, PLASTER HOLLOW METAL, WOOD ETC. ARE TO RECEIVE PRIME AND FINISH COATS OF PAINT SPECIFIED IN THE COLORS SELECTED, EXCLUDED FROM THIS ARE STONE, MARBLE, FINISHED METAL SURFACES FACTORY FINISHED ITEMS AND OTHER NATURAL FINISHED MATERIALS.
- INFORMATION SHOWN REGARDING EXISTING CONSTRUCTION OR WARRANTIES OF ACCURACY OR CONTINUITY OF AS-BUILT CONDITIONS. CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER AND ARCHITECT WILL NOT BE RESPONSIBLE FOR DEVIATIONS FROM CONDITIONS INDICATED. DATA MADE AVAILABLE IS DERIVED FROM EXISTING DOCUMENTS OR FIELD SURVEY AND IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR.
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Reginald Piggee Jr.

Architecture | Interiors | Planning | Engineering
209 Concord Place
North Brunswick, NJ 08902
Tel. 732.309.8618
rbpccdesign@outlook.com

Reginald B. Piggee Jr. NJ-AI 01824100

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT

CLIENT:

Mr. Joseph W. Jankowski
23 Webb Street,
Monmouth County,
Ocean County, NJ 07756
Block -228 ; Lot - 16

PROJECT TEAM:
ARCHITECT:
Reginald B. Piggee Jr., RA
209 Concord Place
North Brunswick, NJ 08902

23 Webb Avenue
HOME RENOVATIONS
23 Webb Avenue,
Ocean Grove, NJ
Monmouth County
CLIENT: Mr. Joseph W. Jankowski

REV	DATE	DESCRIPTION
1/16/24		Zoning Department Submission
1/16/24		Building Department Submission

DESIGN DELIVERABLE: Project Status
ISSUE DATE: January 16th, 2024
DRAWN BY: Chris Sanders
CHECKED BY: Reggie Piggee

PROJECT NUMBER:
11102023

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1
1 of 5

D1 SITE PLAN - Survey provided by Owner
SCALE: 1"=10'-0"

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 rbpcddesign@outlook.com
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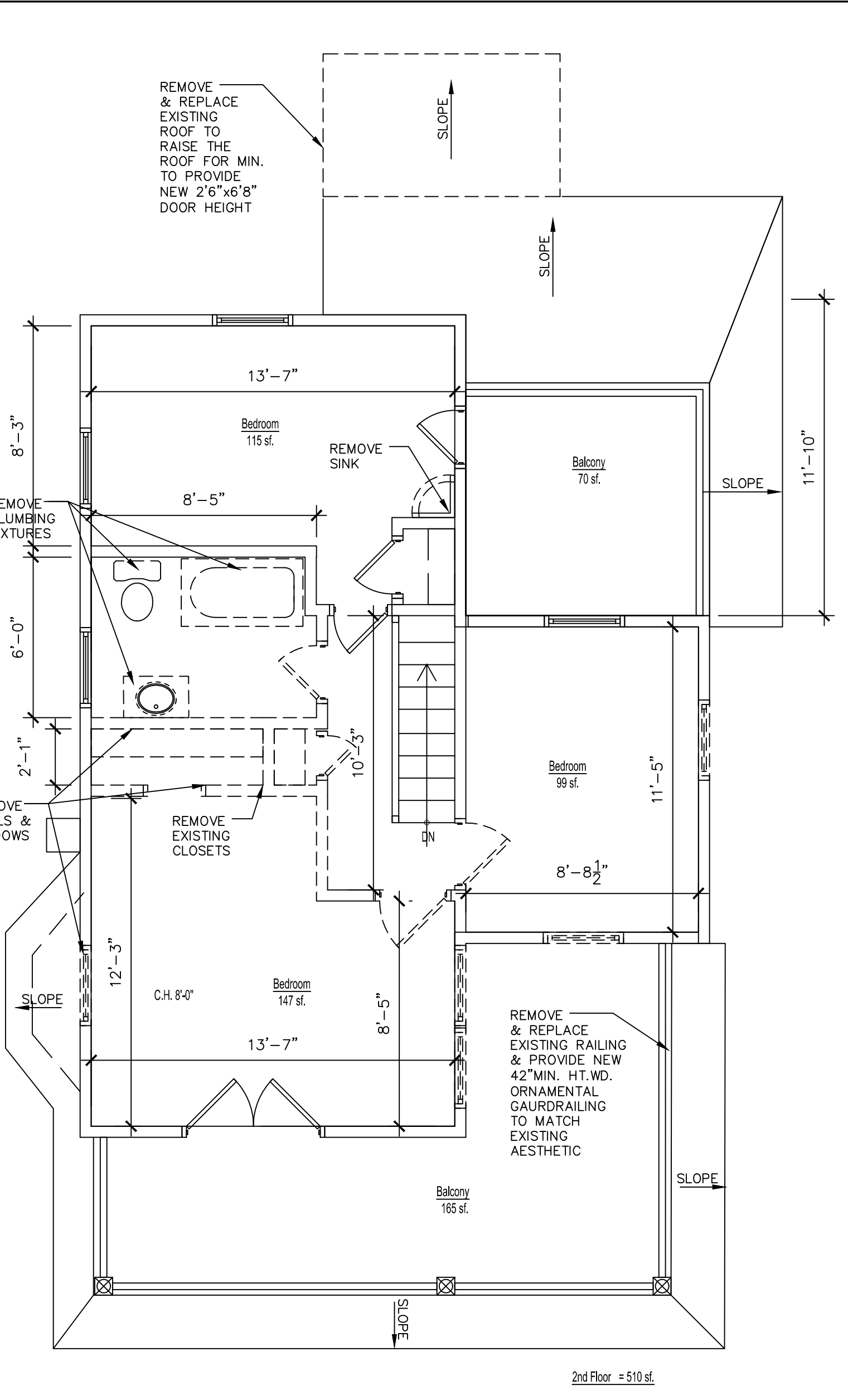
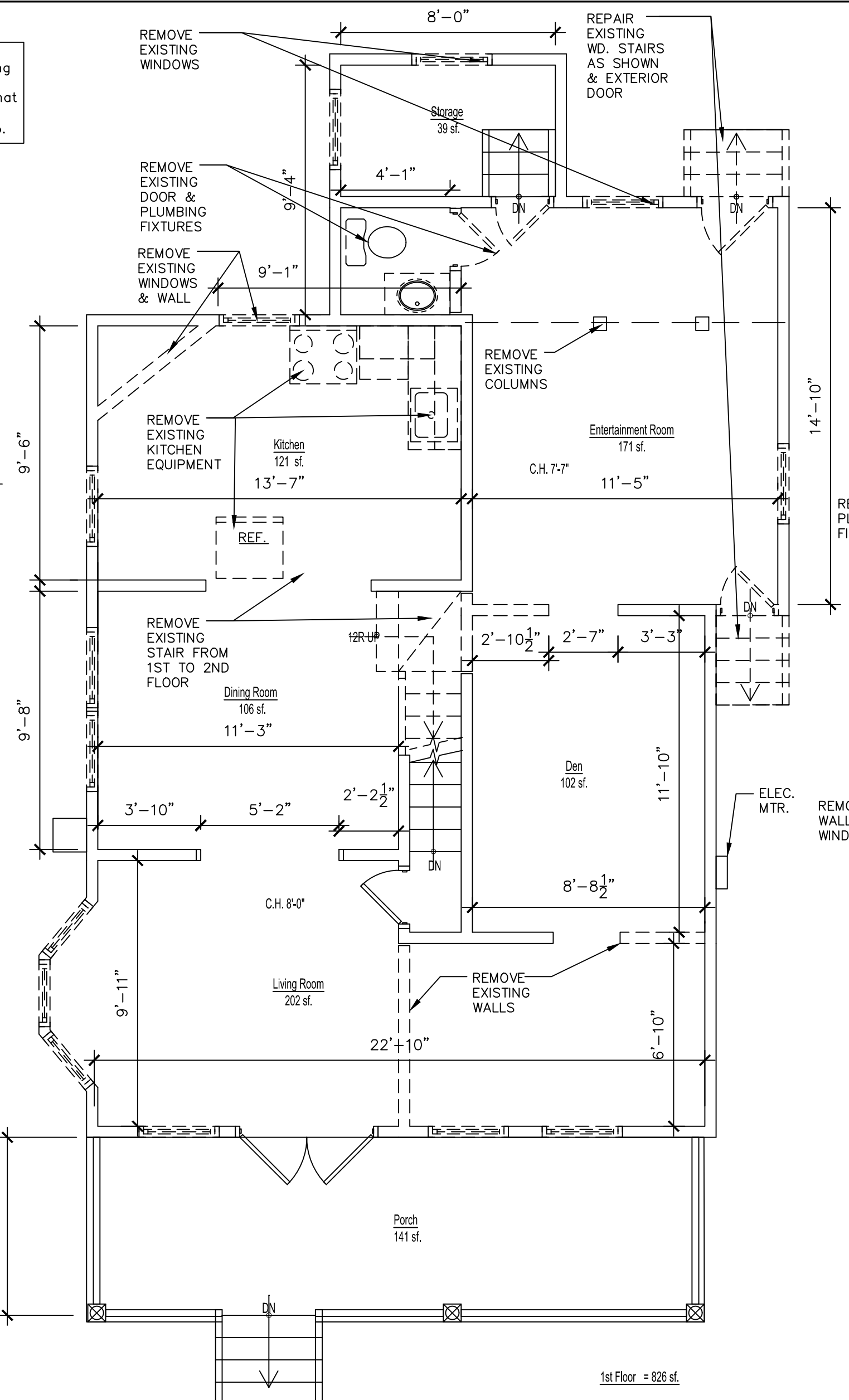
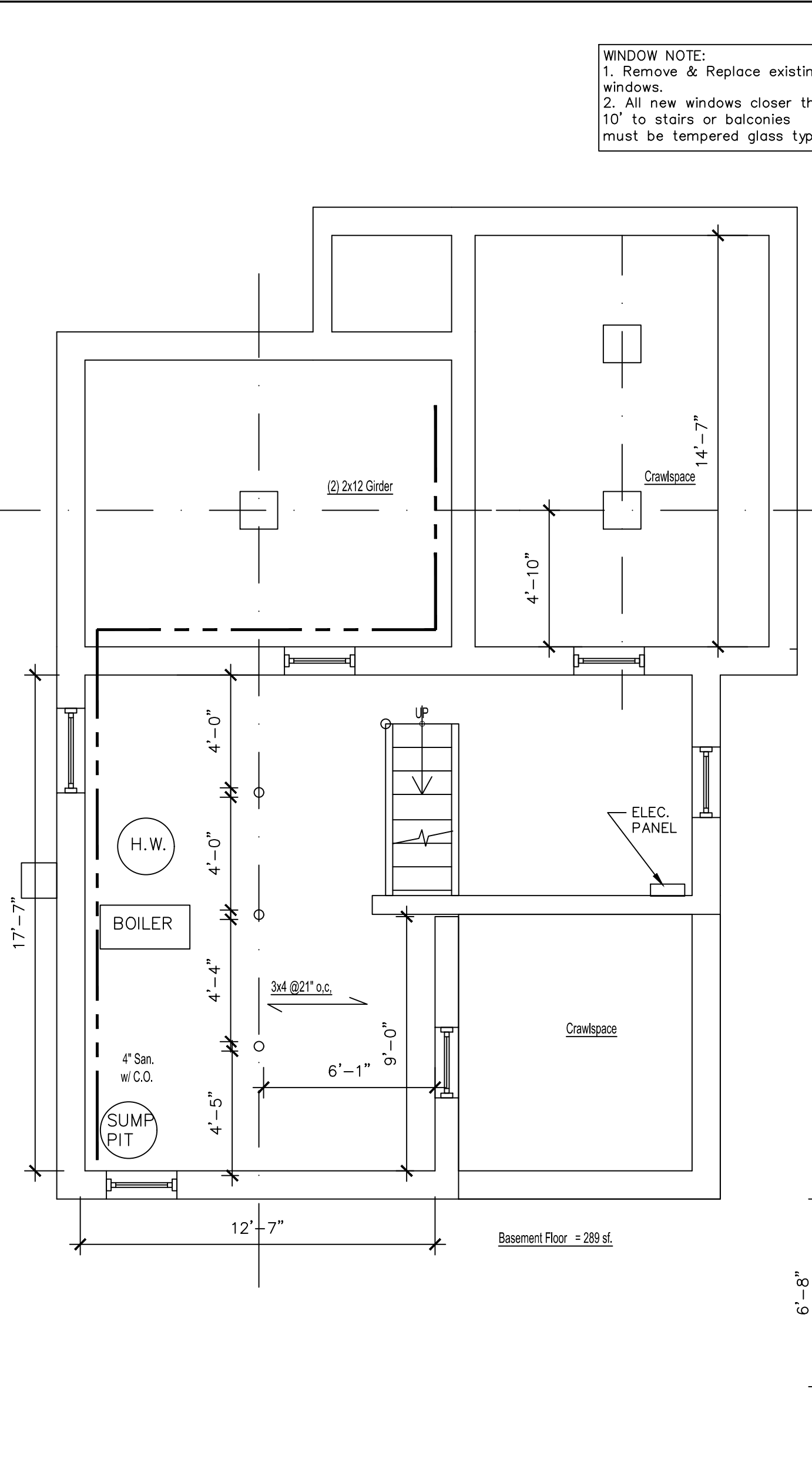
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CLIENT:
 Mr. Joseph W. Jankowski
 23 Webb Street,
 Monmouth County,
 Ocean County, NJ 07756
 Block -228 ; Lot - 16

PROJECT TEAM:
 ARCHITECT:
 Reginald B. Piggee Jr., RA
 209 Concord Place
 North Brunswick, NJ 08902

23 Webb Avenue HOME RENOVATIONS

23 Webb Avenue,
 Ocean Grove, NJ
 Monmouth County
 CLIENT: Mr. Joseph W. Jankowski



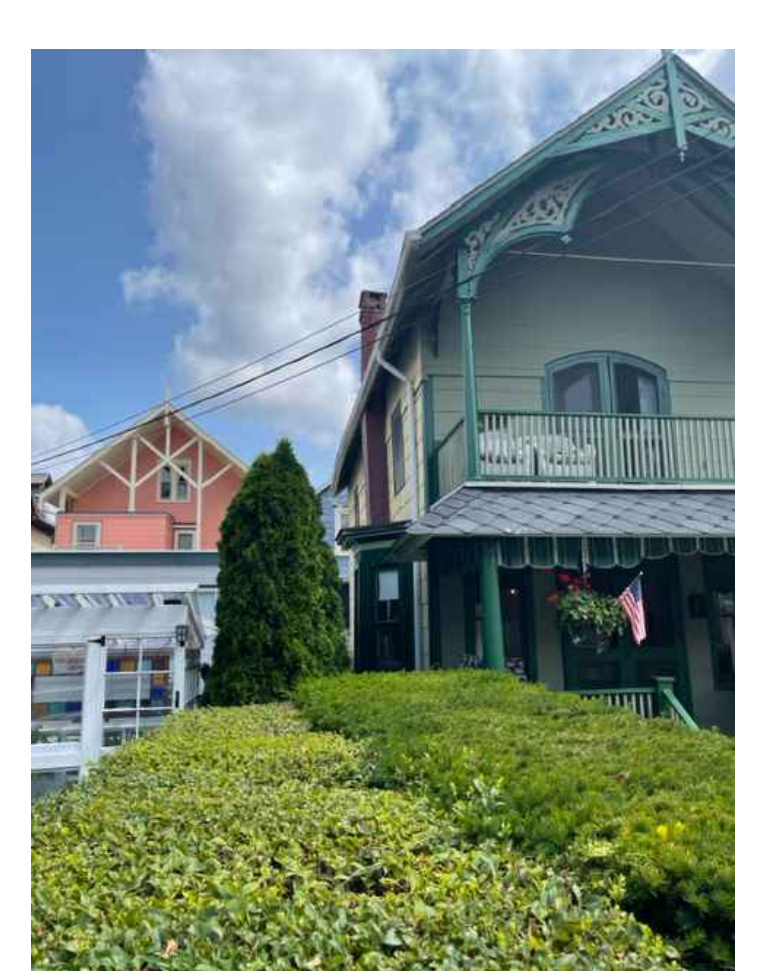
- REMOVAL GENERAL NOTES:**
- R1. Before proceeding with demolition and removal work ascertain any required protective measures. Provide temporary shoring and bracing of existing construction to guard against movement, settlement or collapse caused by conduct of the removal work, of any part of the building or site.
 - R2. The contractor shall restore all finished surfaces damaged during the work to their original condition, including wall & roof cuts.
 - R3. All cuts in existing surface materials shall be made neat and square. Cuts in masonry and concrete surfaces shall be saw cut.
 - R4. Removal of existing walls includes, but is not limited to, the removal of all doors, windows, and frames, electrical and safety devices, or other wall mounted apparatus. All electrical or plumbing lines must be terminated according to applicable codes and must be disconnected in a manner so as not to disrupt service to any remaining devices.
 - R5. Where existing walls are removed, patch floor level with existing finish flooring as required to receive new finish flooring.
 - R6. All existing wall and floor openings and new openings created by demolition of existing piping, mechanical and electrical systems shall be sealed with concrete, masonry or other suitable firestopping material. Where surface is exposed to view finish to match adjacent finish surfaces.
 - R7. Any opening cut through walls or slabs shall be coordinated with existing structure. Do not cut beams, joists, etc. unless directed or indicated on the contract drawings.
 - R8. Removal and/or openings required for the installation of mechanical, electrical, or plumbing devices are not shown on this removals plan. to coordinate all openings required to install work.
 - R9. All electrical, plumbing and mechanical devices not required by the new layout in renovated areas will be removed.



A4 PIC OF FRONT ELEVATION
 SCALE: N.T.S.



B4 PIC OF REAR L;EFTSIDE ELEVATION
 SCALE: N.T.S.



D3 PIC OF FRONT & LEFTSIDE ELEVATION
 SCALE: N.T.S.



D4 PIC OF REAR RIGHTSIDE ELEVATION
 SCALE: N.T.S.

LEGEND

- NEW WALL 2x4 WD. STUDS @ 16" O.C. 5/8" G.W.B. @ EA. SIDE
- EXISTING WALLS TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL 2x4 WD. STUDS @ 16" O.C. 5/8" G.W.B. @ EA. SIDE
- NEW DOOR (SELECTED BY OWNER) NOTE: ALL INTERIOR DOORS TO BATHROOMS & BEDROOMS PROVIDE 1" UNDERCUT FOR VENTING & LOCKSET HARDWARE
- N.I.C. NOT IN CONTRACT
- V.I.F. VERIFY IN FIELD
- A.F.F. ABOVE FINISH FLOOR
- CJ CONTROL JOINT

1/16/24	Zoning Department Submission	
1/16/24	Building Department Submission	
REV	DATE	DESCRIPTION
DESIGN DELIVERABLE: Project Status		
ISSUE DATE: January 16th, 2024		
DRAWN BY: Chris Sanders		
CHECKED BY: Reggie Piggee		
PROJECT NUMBER: 11102023		
SHEET TITLE: BASEMENT, 1ST, 2ND, FLOOR PLANS		
SHEET NUMBER: D-1		

Reginald Piggee Jr.

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NOT FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY ARCHITECT

CLIENT:
 Mr. Joseph W. Jankowski
 23 Webb Street,
 Monmouth County,
 Ocean County, NJ 07756
 Block -228 ; Lot - 16

PROJECT TEAM:
 ARCHITECT:
 Reginald B. Piggee Jr., RA-14-21
 209 Concord Place
 North Brunswick, NJ 08902

23 Webb Avenue
HOME RENOVATIONS
 23 Webb Avenue,
 Ocean Grove, NJ
 Monmouth County
 CLIENT: Mr. Joseph W. Jankowski

LEGEND

- ⊙ RECESSED LED FIXTURE
- 1x4 SURFACE MOUNT LED FIXTURE
- ⊙ SURFACE MOUNT LED FIXTURE
- ⊙ SURFACE MOUNTED EXHAUST FAN & LIGHT
- ⊙ WALL MOUNTED LIGHT FIXTURE
- ⊙ WALL MOUNTED EXTERIOR LIGHT FIXTURE ON SENSOR
- ⊙ WP WATERRESISTANT SURFACE MOUNTED LIGHT FIXTURE
- ⊙ PENDANT MOUNTED FIXTURE
- ⊙ JUNCTION BOX CHANDELIER OR FAN
- NEW ELECTRICAL CONDUIT
- ⊙ NEW ELECTRICAL RECEPTACLE MOUNT @ 12" A.F.F.
- ⊙ GROUND FAULT INTERRUPTER RECEPTACLE MOUNT BATHROOM GFI @ 38" A.F.F. MOUNT KITCHEN GFI @ 48" A.F.F. (WALL HT. 12" AFF)
- ⊙ WP WATERPROOF GFI OUTLET
- ⊙ SINGLE LIGHT SWITCH W/ DIMMER
- ⊙ SINGLE LIGHT SWITCH
- ⊙ TRIPLE LIGHT SWITCH
- ⊙ SD EXISTING SMOKE DETECTOR
- ⊙ HD HEAT DETECTOR
- ⊙ CO CARBON MONOXIDE DETECTOR
- ⊙ SD CO COMBINATION CARBON MONOXIDE DETECTOR AND SMOKE DETECTOR
- ELECTRIC BASEBOARD HEATER

DIVISION 16 - ELECTRICAL

- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- ALL ELECTRICAL CIRCUITING BY ELECTRICIAN.
- REFER TO DRAWINGS FOR REQUIRED ELECTRICAL LIGHTING AND POWER INSTALLATION.
- MOUNT ALL SWITCHES 4'-0" A.F.F., OUTLETS 12" A.F.F. UNLESS OTHERWISE NOTED.
- GFI OUTLETS TO BE PROVIDED AT ALL LOCATIONS WITHIN 6' OF ANY WATER SUPPLY
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NEC.
- MOUNT ALL OUTLETS AT COUNTERS AND VANITIES 42" ABOVE FIN. FL.

EXHAUST FAN SCHEDULE

FAN NO.	SERVING	CFM	S.P.	MOTOR	BASIS OF DESIGN	REMARKS
EF-1	BATHRM	100	.25	21 1580	PENN. VENT Z5(RA)	PROVIDE ROOF VENT & WALL VENT @ HALF BATH
EF-2	KITCHEN	260	.5	50 1600	PENN. VENT Z9(RA)	PROVIDE WALL VENT

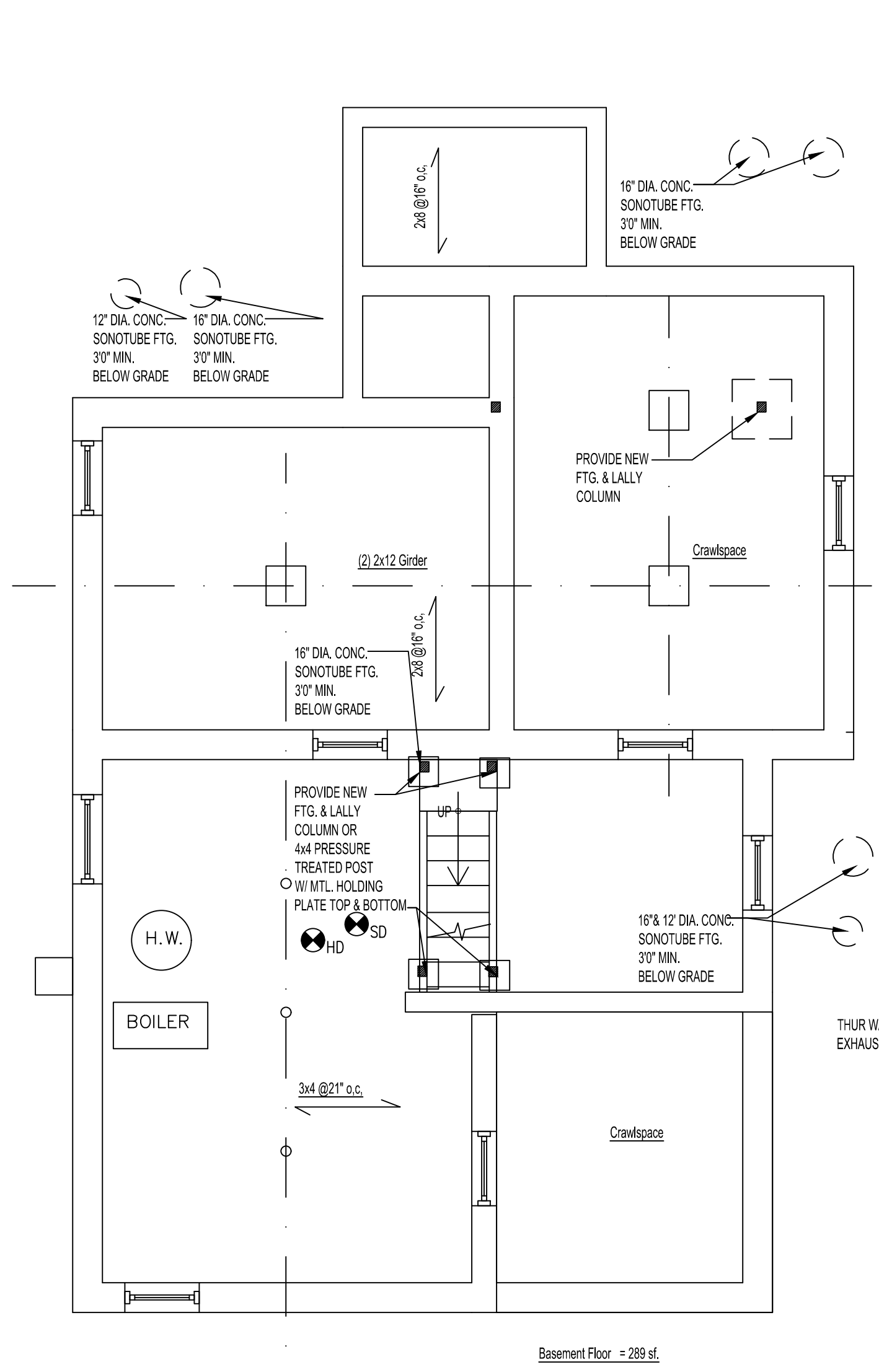
FIXTURE SCHEDULE

TYPE	WATTS	DESCRIPTION	MANUFACTURER
A	60	LED, CEILING MOUNTED	AS SELECTED BY OWNER
B	60	LED, WALL MOUNTED	AS SELECTED BY OWNER
E	60	EXTERIOR LED WALL MOUNTED	AS SELECTED BY OWNER

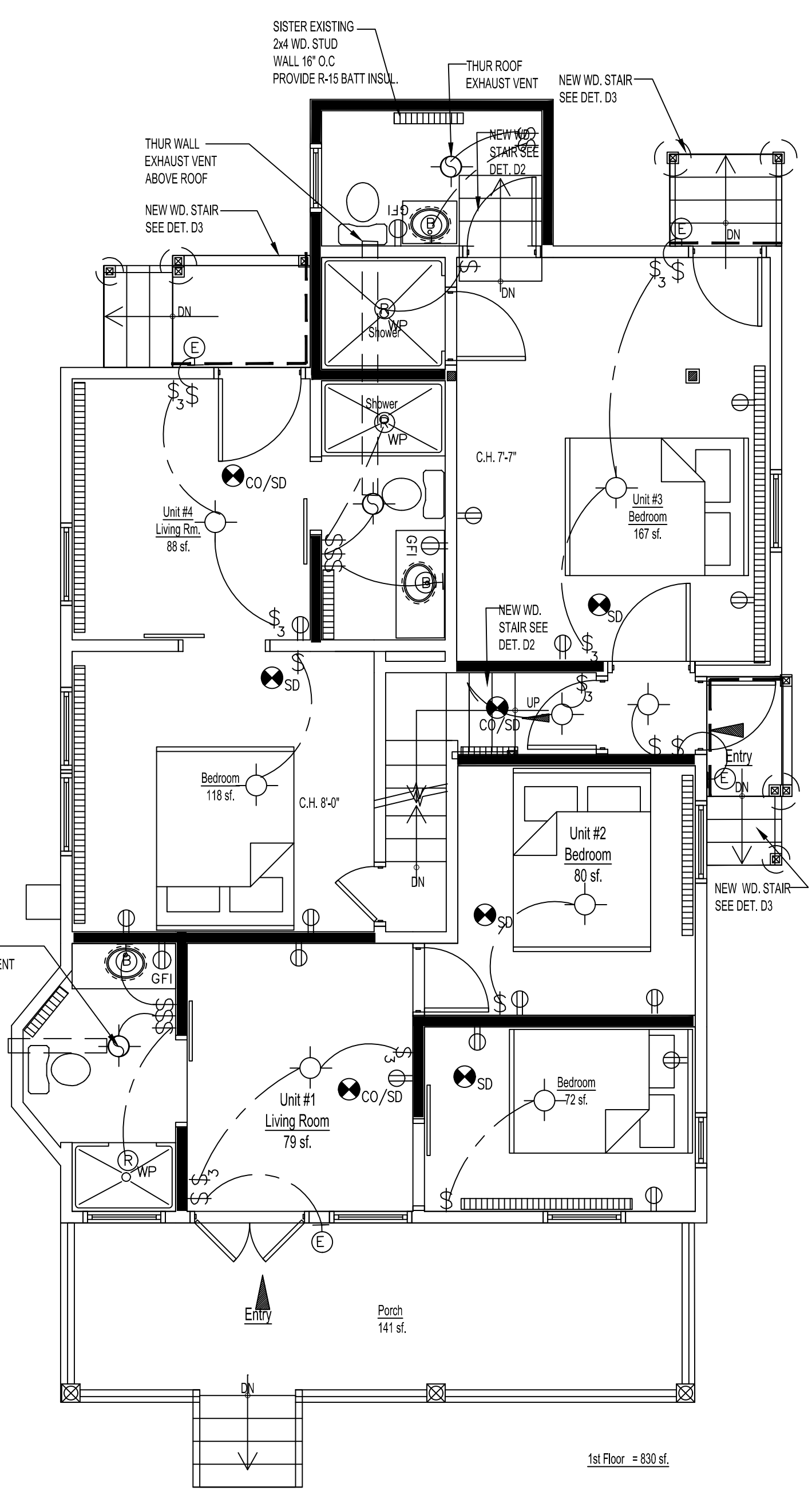
- ## DIVISION 15 - PLUMBING/HEATING
- ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.
 - ALL PLUMBING WORK SHALL BE PERFORMED ACCORDING TO THE NATIONAL STANDARD PLUMBING CODE.

Heating and Cooling Note:
 Existing Heating & Cooling System to be adjusted to include new addition to be designed & installed by Licensed Contractor.

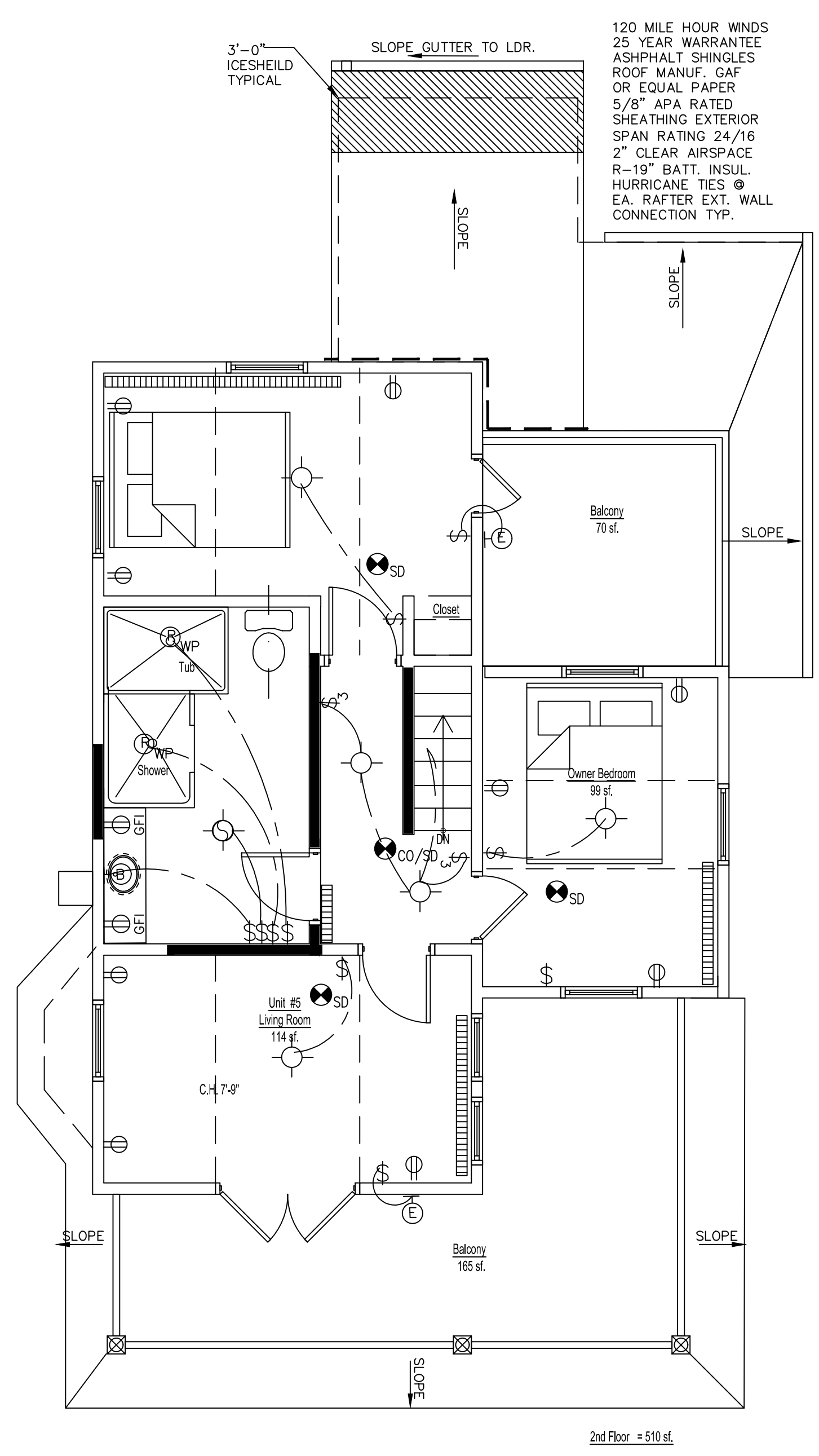
NOTE:
 PLUMBING WORK TO BE DONE BY LICENSED PLUMBING CONTRACTOR



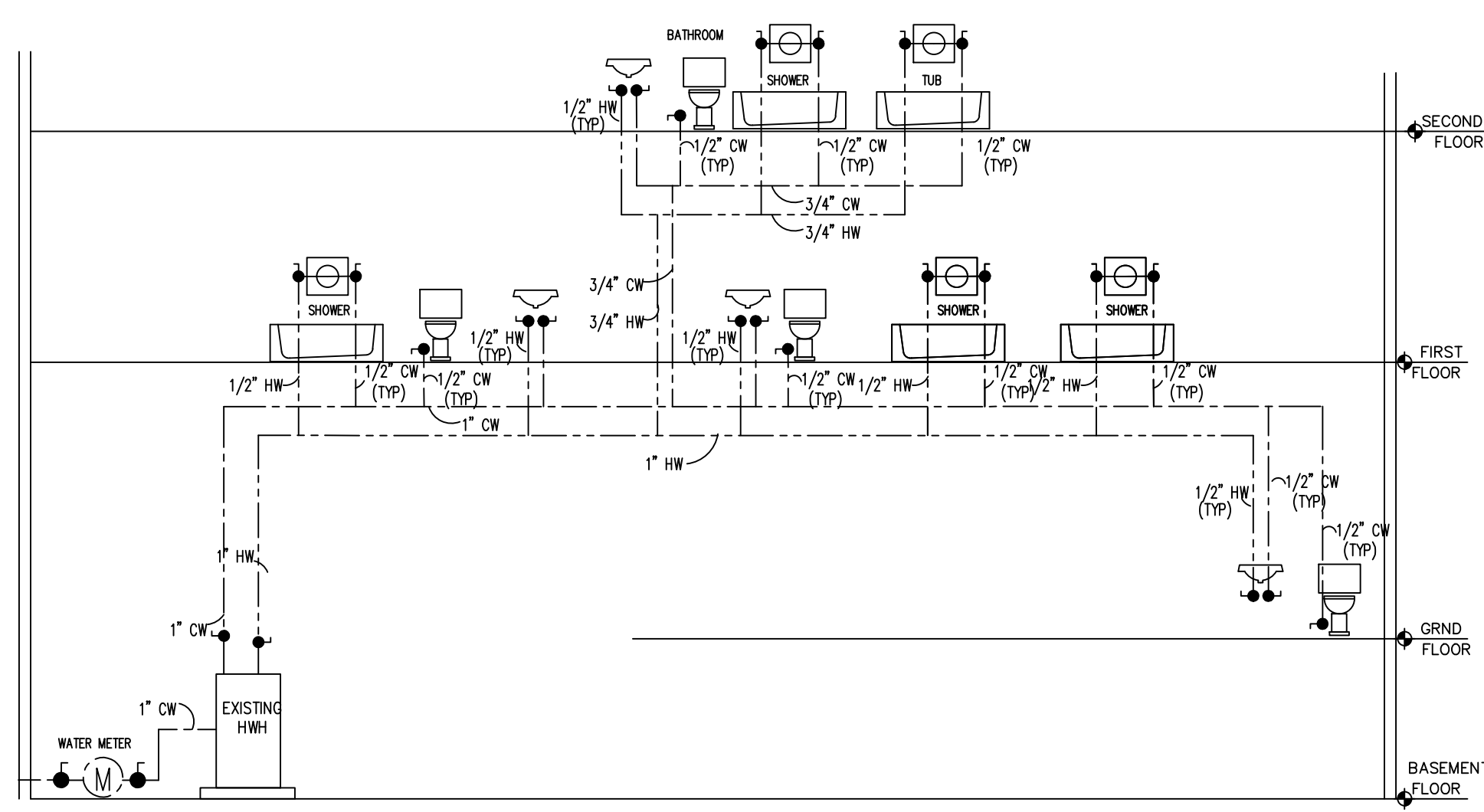
D1 BASEMENT ELECTRICAL & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



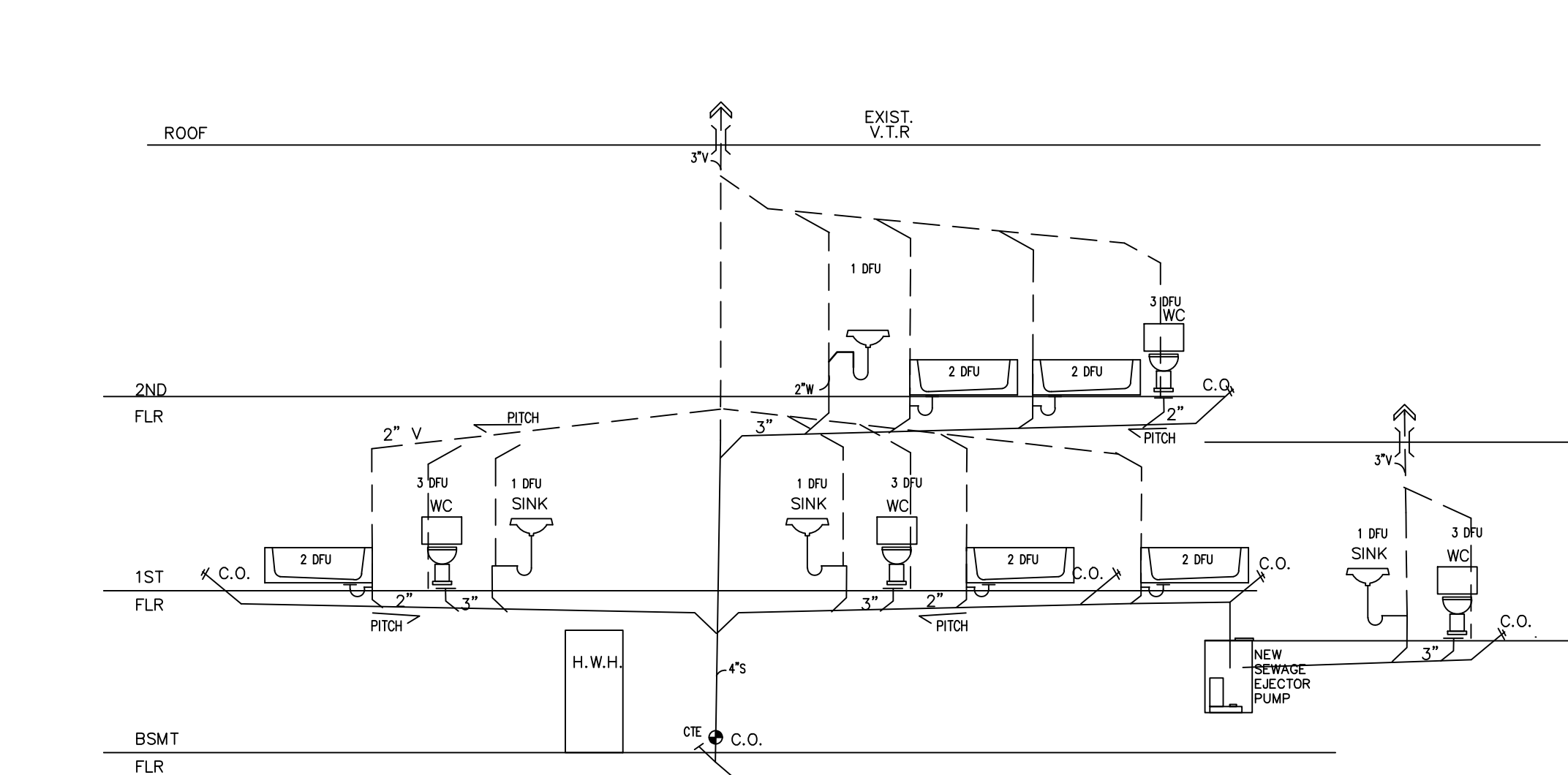
B1 1ST FLOOR ELECTRICAL & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



B3 2ND FLOOR ELECTRICAL & LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



D1 WATER RISER DIAGRAM
 SCALE: N.T.S.



D3 SANITARY RISER DIAGRAM
 SCALE: N.T.S.

REV	DATE	DESCRIPTION
	1/16/24	Zoning Department Submission
	1/16/24	Building Department Submission
		DESIGN DELIVERABLE: Project Status
		ISSUE DATE: January 16th, 2024
		DRAWN BY: Chris Sanders
		CHECKED BY: Reggie Piggee
		PROJECT NUMBER: 11102023
		SHEET TITLE: BSMT., 1ST & 2ND FLOOR ELECTRICAL, LIGHTING PLAN & FIRE PROTECTION PLUMBING & RISER DIAGRAM
		SHEET NUMBER: E-1