

General Notes

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.

3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.

5. SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.

6. THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.

7. THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.

8. UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.

9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

SPECIAL NOTE: INDEMNIFICATION CLAUSE
THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

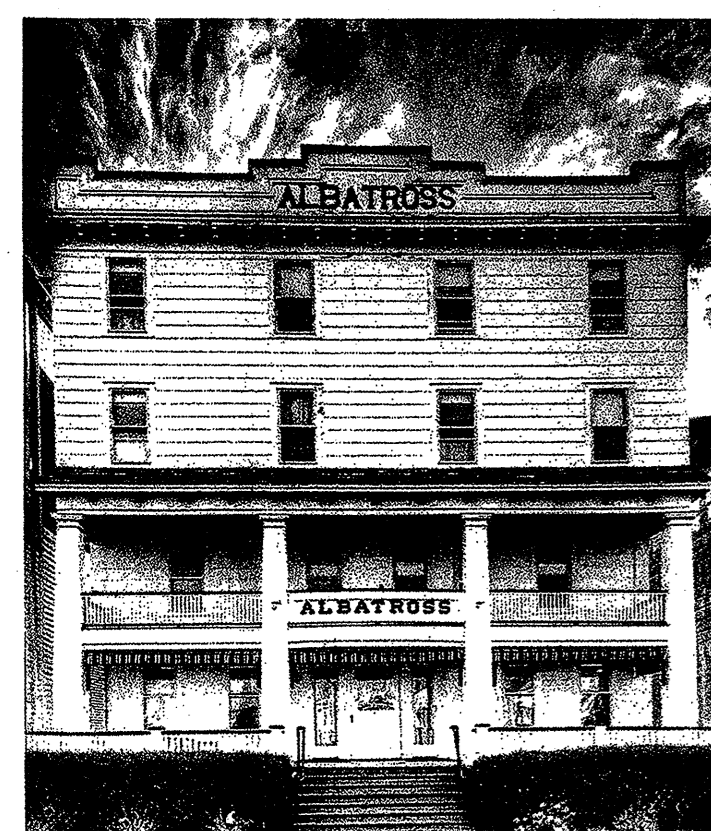


Photo Reference

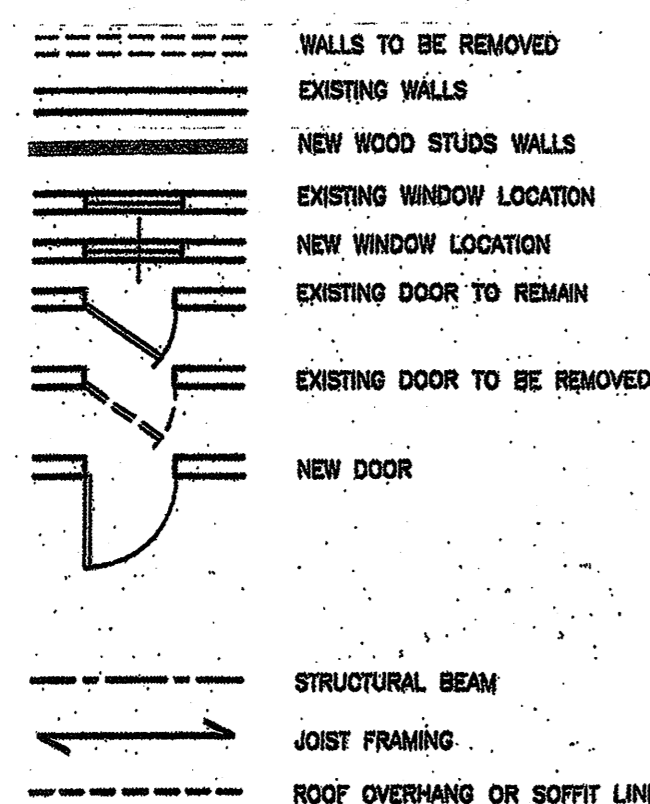
Special Notes

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PERMITS AND RELATED FEES:
CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:
USE OF THESE CONSTRUCTION DRAWINGS RE LIMITED TO THE PROJECT SITE INTENDED. ALL COPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANDER PAVLIV, AIA AS ARCHITECT OF RECORD. REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Legend



Albatross Setback Analysis:

Summary - Landmarks Engineering Survey
Completed topo survey and draft setback survey for review by Architect indicates that once we eliminate the setback anomaly of the 38 Ocean Pathway property... there are a total of 7 properties to be included in the final Averaging Survey for submission to Zoning, once plans are completed.

Dwelling/Structure setbacks average 5.54 feet and Covered Porch Decks and/or Structures net an average of 2.19 feet from the property line. The existing enclosed rear of hotel porch, is 3.59 feet from the property line while the covered stoop is only 0.59 feet from the property line. (See Setback Analysis below). Although both conditions are pre-existing and are grandfathered, any second and third level additions must conform to the calculated averages.

Location	to Structure	to Covered Porch
22 Ocean Pathway	6.64	6.64
23 McClintock St.	1.78	0.36
30 Ocean Pathway	8.94	3.34
34 Ocean Pathway	3.59	0.57
38 Ocean Pathway	2.27	2.27
40 Ocean Pathway	7.65	0.83
24 Central Avenue	7.96	1.13
Total	38.83 feet	15.38 feet
Calculated Average	5.54 feet	2.19 feet

Area Calculations

Applicant: 34 OPOG LLC
& Owner: PO Box 76
Columbia, NJ 07832

Site Address: 34 Ocean Pathway, Ocean Grove, NJ 07756
Block #129, Lot #6; ZONE: HD-O

Description: Proposed renovation and addition to the existing 1881 4-story, wood frame, "Albatross Hotel" with a continuance of the hotel use and continuance of existing dining, guest convenience and laundry uses with a net reduction from the existing 39 to 27 guest rooms.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	45.74 ft	no change	30.0 ft
<i>(along Ocean Pathway Flare Line)</i>			
Frontage	45.67 ft	no change	30.0 ft
<i>(along McClintock Street Property Line)</i>			
Depth	111.12 ft	no change	60.0 ft
<i>(along East Property Line)</i>			
Depth	113.72 ft	no change	60.0 ft
<i>(along West Property Line)</i>			
Lot Area	5,134.2 sf*	no change	1,800 sf
	*6,393.8 as per Section 413.06.E		

SETBACK	EXISTING	PROPOSED	ALLOWED
Front	12.57 ft	no change	Section 413.06.D
<i>(to edge of structure from Ocean Pathway Flare)</i>			
Front	0.93 ft	no change	Section 413.06.D
<i>(to edge of covered porch from Ocean Pathway Flare)</i>			
Front	11.57 ft	no change	Section 413.06.D
<i>(to edge of covered porch overhang from Ocean Pathway Flare)</i>			
Front	3.59 ft	no change	Section 413.06.D
<i>(to edge of structure from McClintock Street Property Line)</i>			
Front	1.59 ft	no change	Section 413.06.D
<i>(to edge of overhang from McClintock Street Property Line)</i>			
East Side	2.84 ft	no change	2.0 ft
<i>(to edge of structure)</i>			
West Side	2.12 ft	no change	2.0 ft
<i>(to edge of structure)</i>			
Floor Levels	4 stories	no change	4 stories
Height	46.9 ft	no change	50.0 ft (Hotel)

LOT COVERAGE:

	EXISTING	PROPOSED	PERMITTED
Building:	3,195.8 sf	3,195.8 sf (Same)	
Elevator:	none	92.7 sf	
Covered Porch:	154.2 sf	154.2 sf (Same)	
Total Building:	3,350.0 sf	3,442.7 sf (67.05%)	< (85%)
<i>(includes first floor covered porch)</i>			

Front Steps:	56.1 sf	56.1 sf	N/A
Front Walk:	0.0 sf	3.4 sf	N/A
East Conc Walk:	202.9 sf	97.5 sf	N/A
West Conc Walk:	123.4 sf	removed	N/A
Concrete Drive:	768.6 sf	198.5 sf	N/A
<i>(existing McClintock Street Access to remain)</i>			
Brick Pavers/Walks:	none	465.7 sf	N/A
Rear Conc. Stoop:	16.3 sf	removed	N/A
Rear Conc. Steps:	15.5 sf	removed	N/A
Rear Wood Stoop:	none	13.2 sf	N/A
Rear Wood Steps:	none	39.6 sf	N/A
Rear Step Conc. Pad:	36.9 sf	40.9 sf	N/A
Rear Side Steps:	15.1 sf	15.1 sf (Same)	N/A
Planter Curb:	6.3 sf	removed	N/A
Bilco Door Access:	33.9 sf	removed	N/A
Basement Stair:	none	47.3 sf	N/A
Total Impervious Coverage:	1,275.0 sf	977.3 sf	
Total Lot Coverage:	4,625.0 sf	4,420.0 sf (86.1%)	< (90.0%)

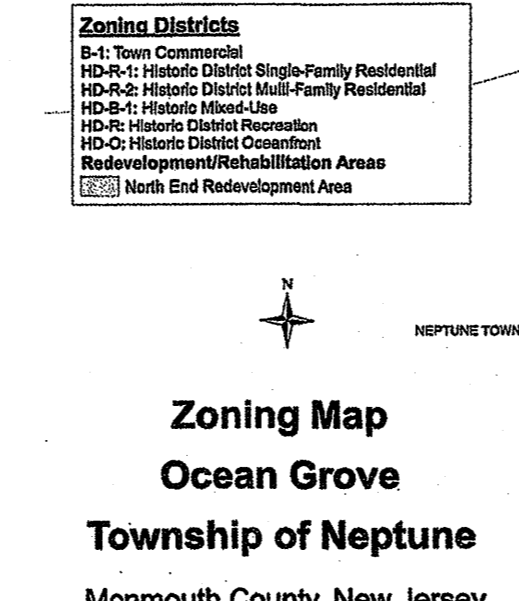
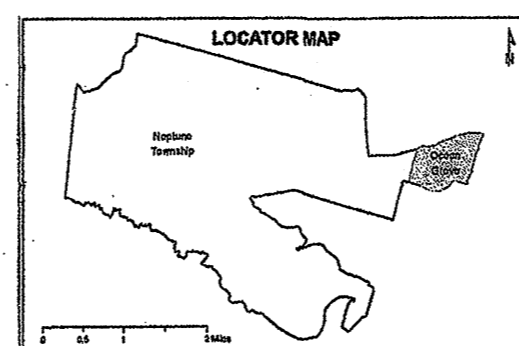
HABITABLE BUILDING FLOOR AREAS:

	EXISTING	PROPOSED
Basement:	2,384 sf	2,895 sf
First Floor:	2,895 sf	2,895 sf
Second Floor:	2,650 sf	2,756 sf
Third Floor:	2,650 sf	2,756 sf
Attic Level:	1,679 sf	1,679 sf
Total Area:	12,258 sf	13,259 sf

Design loads in accordance with 2018 IBC/NJ Edition to be:

First Floor Live Load: 40 pounds per sq. ft.
Second Floor Live Load: 30 pounds per sq. ft.
Third Floor Live Load: 30 pounds per sq. ft.
Attic Live Load: 20 pounds per sq. ft.
Snow and Roof Load: 20 pounds per sq. ft.
Design Wind Load: 120 miles per hour

Proposed Plans in accordance with 2018 IBC/NJ Edition



Location Map

ROOM AREA SUMMARY

First Floor:
184sf-Caretaker Quarters
304sf-THE GROVE SUITE
315sf-THE EMPIRE SUITE

Second Floor:
212sf-GUEST RM #1
196sf-GUEST RM #2
302sf-GUEST RM #3
218sf-GUEST RM #4
164sf-GUEST RM #5
247sf-GUEST RM #6
219sf-GUEST RM #7
164sf-GUEST RM #8
188sf-GUEST RM #9

Third Floor:
263sf-GUEST RM #10
193sf-GUEST RM #11
192sf-GUEST RM #12
252sf-GUEST RM #13
223sf-GUEST RM #14
213sf-GUEST RM #15
307sf-GUEST RM #16
455sf-GUEST RM #17/18
178sf-GUEST RM #19

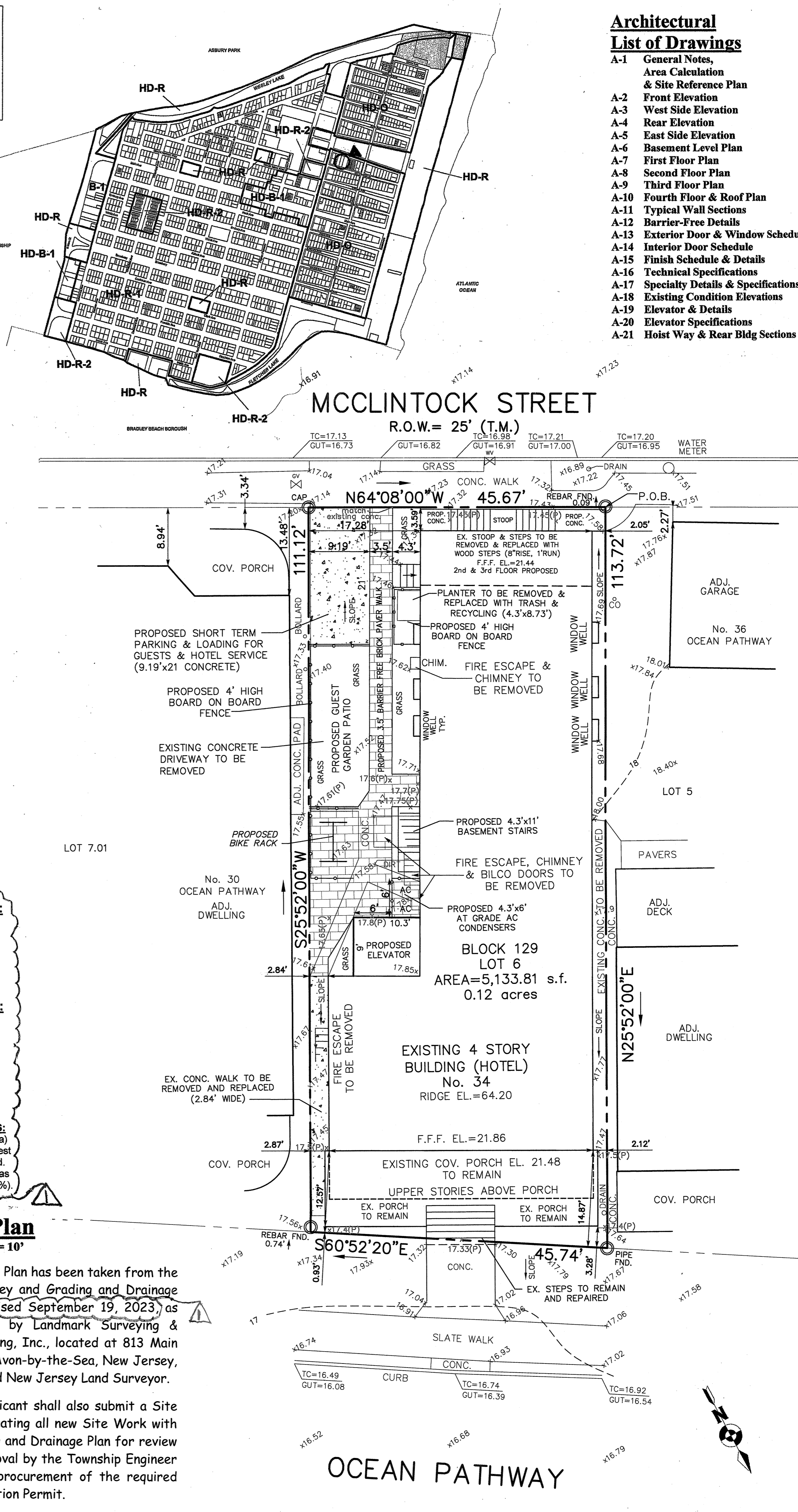
Fourth Floor:
279sf-GUEST RM #20
189sf-GUEST RM #21
189sf-GUEST RM #22
253sf-GUEST RM #23
245sf-GUEST RM #24
201sf-GUEST RM #25

SUMMARY: All Guest Rooms are over 175sf, except rooms #5 & #8 due to existing limits. Average Guest Room = 235sf

GUEST COMMON AREAS:
Lower Level:
377sf-Recreation Area
141sf-Lobby
First Floor:
728sf-Lobby
312sf-Dining Area

OTHER COMMON AREAS:
Lower Level:
145sf-Restrooms
285sf-Mtg/Game/Storage Room
First Floor:
251sf-Restrooms
451sf-Covered Porch
Second Floor:
300sf-Covered Porch

TOTAL GUEST COMMON AREAS:
1,558sf (15.5% of total Hotel sf area) devoted to "common areas" for Guest use where 1,513sf or (15%) is req'd. The inclusion of other common areas increases the total to 2,990sf (29.8%).



Site Plan

Scale: 1" = 10'

This Site Plan has been taken from the site survey and Grading and Drainage Plan, revised September 19, 2023, as prepared by Landmark Surveying & Engineering, Inc., located at 813 Main Street, Avon-by-the-Sea, New Jersey, a licensed New Jersey Land Surveyor.

The Applicant shall also submit a Site Plan indicating all new Site Work with a Grading and Drainage Plan for review and approval by the Township Engineer for the procurement of the required Construction Permit.

Architectural

List of Drawings

- A-1 General Notes, Area Calculation & Site Reference Plan
- A-2 Front Elevation
- A-3 West Side Elevation
- A-4 Rear Elevation
- A-5 East Side Elevation
- A-6 Basement Level Plan
- A-7 First Floor Plan
- A-8 Second Floor Plan
- A-9 Third Floor Plan
- A-10 Fourth Floor & Roof Plan
- A-11 Typical Wall Sections
- A-12 Barrier-Free Details
- A-13 Exterior Door & Window Schedule
- A-14 Interior Door Schedule
- A-15 Finish Schedule & Details
- A-16 Technical Specifications
- A-17 Specialty Details & Specifications
- A-18 Existing Condition Elevations
- A-19 Elevator & Details
- A-20 Elevator Specifications
- A-21 Hoist Way & Rear Bldg Sections

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PROJECT

ALBATROSS HOTEL
PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.	DESCRIPTION	DATE
1	ZONING BOARD	9/16/23

SHEET TITLE:
General Notes, Area Calculation & Site Plan

DRAWN BY: TAMP
REVIEWED BY: WSP
SCALE: N/A
DESIGN DEVELOPMENT
DATE: 8/14/23
JOB: 2213
A1

Special Notes:

All proposed work to comply with the 2018 International Building Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

New window sills above 72 inches from grade shall not be below a 24 inch distance from finished floors whereas such windows are to be limited to no more than 4 inches in opening or be equipped with child guards in compliance with the IBC NJ 2018 requirements.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and as specified on the Typical Section Detail where any new roof rafter work is required within areas of masonry chimneys to be removed.

Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

Controlled Roof Drainage to be provided via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

Provide new sheathing in all areas of residing where no sheathing exists.

All gutters and leaders to be new factory finished half round aluminum with exposed strap hangers and round leaders in a matching color as approved by HPC.

All exposed wall conditions will require that insulation is to be provided in accordance with COMcheck energy compliance and specifications.

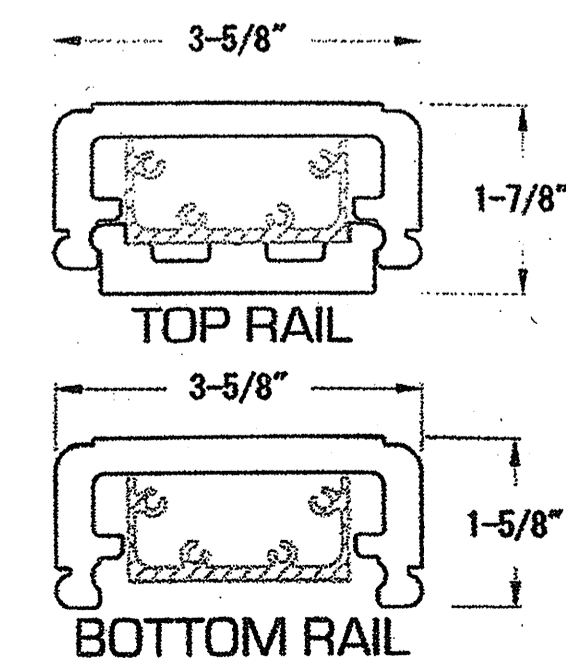
All exposed electrical wiring and service devices within all exposed interior wall partitions and ceilings are to be upgraded to meet code as required.

Carbon Monoxide Alarms are required within the immediate vicinity of all rooms identified as sleeping areas.

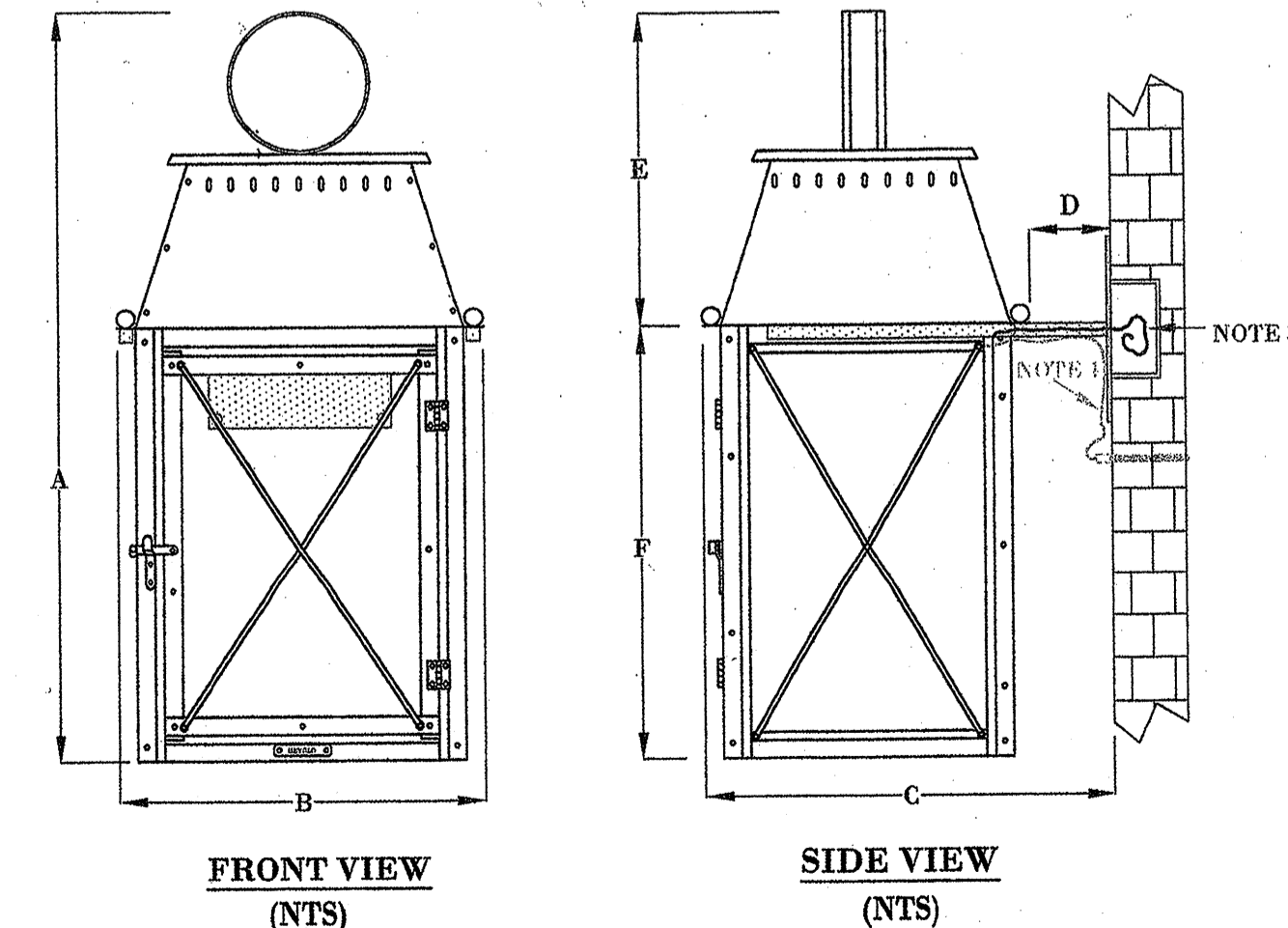
Contractor to verify acceptability of all egress window sizes and tempered glass requirements in accordance with Code.

RS35350

Rail sections are available in 6', 8', 10' & 12'.



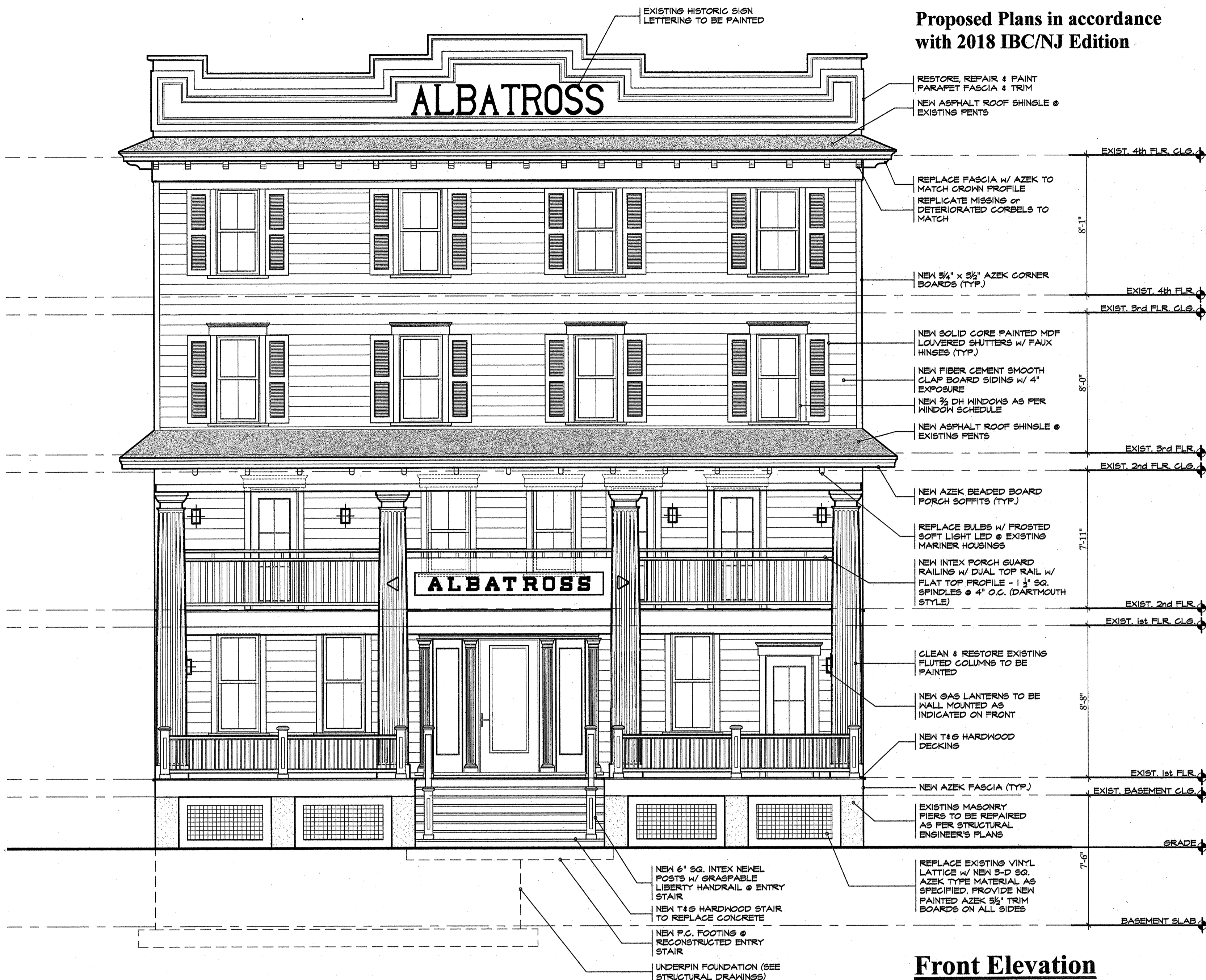
Guard Railing Profile
Scale: NTS



- NOTES:
 1. MOUNTING HARDWARE SUPPLIED BY OTHERS
 2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/8"
 3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
 4. GAS LIGHTS SUPPLIED WITH 1/8" COPPER GAS LINE AND 1/4" x 1/4" GAS LINE ADAPTOR

Gas Lantern Detail
Manufacturer Shop Drawings Required

SIZE:	14"	16"	18"	22"
A:	18"	20"	21"	26"
B:	10 1/8"	10 3/8"	8 3/4"	10 3/8"
C:	11 5/8"	11 5/8"	10 3/8"	11 5/8"
D:	2 1/2"	2 1/2"	2 1/2"	2 1/2"
E:	8"	8"	6 1/4"	8"
F:	10 1/8"	12 1/8"	14 3/4"	18 3/4"

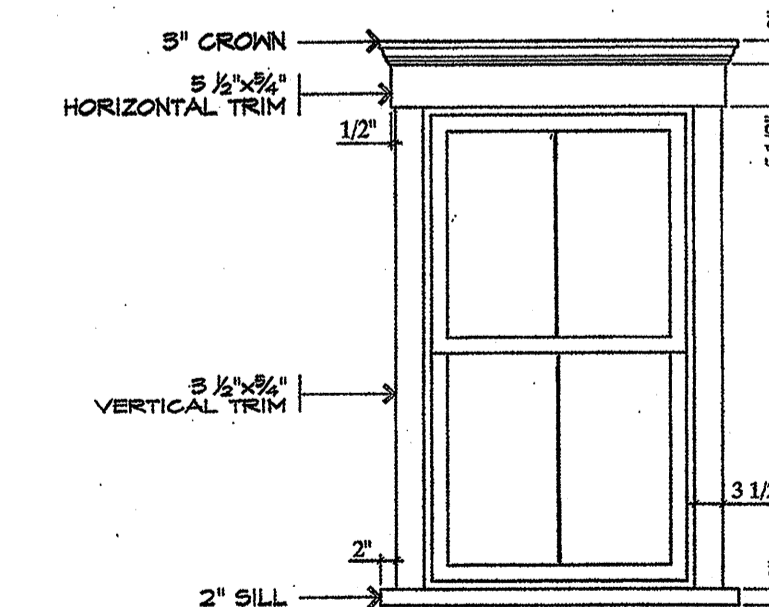


Proposed Plans in accordance with 2018 IBC/NJ Edition

Front Elevation
Scale: 1/4" = 1'-0"

Typical Window Trim Detail

Scale: 1/2" = 1'-0"



Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.

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PROJECT

ALBATROSS HOTEL
 PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #129, LOT #6
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: 5B

REVISIONS		
NO.:	DESCRIPTION:	DATE:
1	HPC CONCEPT	7/15/22

Front Elevation

DRAWN BY: DM	REVIEWED BY: WP
SCALE: N/A	DESIGN DEVELOPMENT
DATE: 2/14/22	A2
JOB: 2213	

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 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #6
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/23
2	HPC CONCEPT	9/13/23

SHEET TITLE:

West Side Elevation

DRAWN BY: DM	REVIEWED BY: WP
SCALE: N/A	DESIGN DEVELOPMENT
DATE: 2/19/23	A3
JOB: 2213	



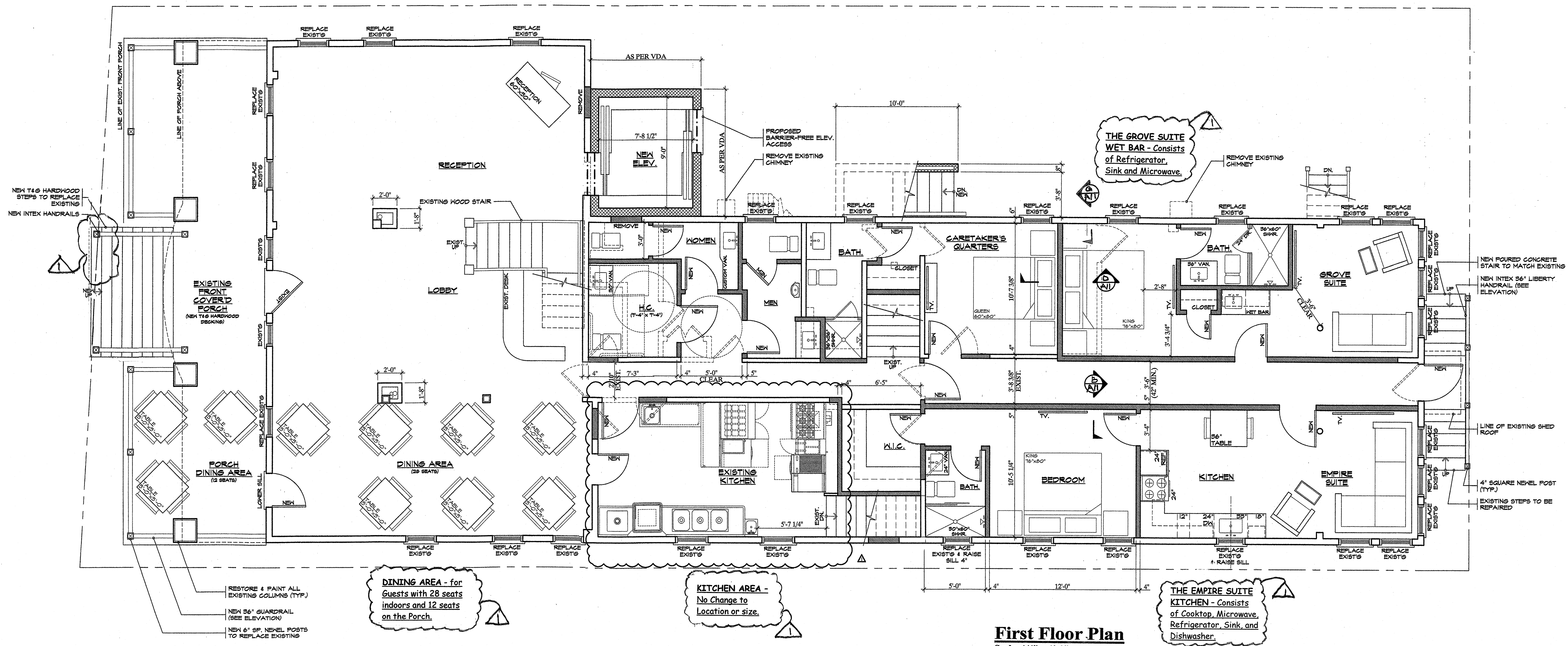
**Side Elevation
 (West)**
 Scale: 1/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/22
2	HPC CONCEPT	7/12/22



**Side Elevation
 (East)**
 Scale: 1/4" = 1'-0"

REVISIONS	
NO.	DESCRIPTION / DATE
1	REVISED 9/16/20



First Floor Plan
Scale: 1/4" = 1'-0"

DINING AREA - for
guests with 28 seats
indoors and 12 seats
on the Porch.

KITCHEN AREA -
No Change to
Location or size.

THE EMPIRE SUITE
KITCHEN - Consists
of Cooktop, Microwave,
Refrigerator, Sink, and
Dishwasher.

THE GROVE SUITE
WET BAR - Consists
of Refrigerator,
Sink and Microwave.

- RESTORE & PAINT ALL EXISTING COLUMNS (TYP.)
- NEW 36" GUARDRAIL (SEE ELEVATION)
- NEW 6" SQ. NEWEL POSTS TO REPLACE EXISTING

NEW POURED CONCRETE STAIR TO MATCH EXISTING
NEW INTEX 36" LIBERTY HANDRAIL (SEE ELEVATION)

LINE OF EXISTING SHED ROOF
4" SQUARE NEWEL POST (TYP.)
EXISTING STEPS TO BE REPAIRED

Tempered Glass Note:

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all Hinged Doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. All tempered glass to be clearly etched by manufacturer to reflect tempered glass condition.

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ALBATROSS HOTEL
 PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #6
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/22

SHEET TITLE:

Second Floor Plan

DRAWN BY:
DM

REVIEWED BY:
MP

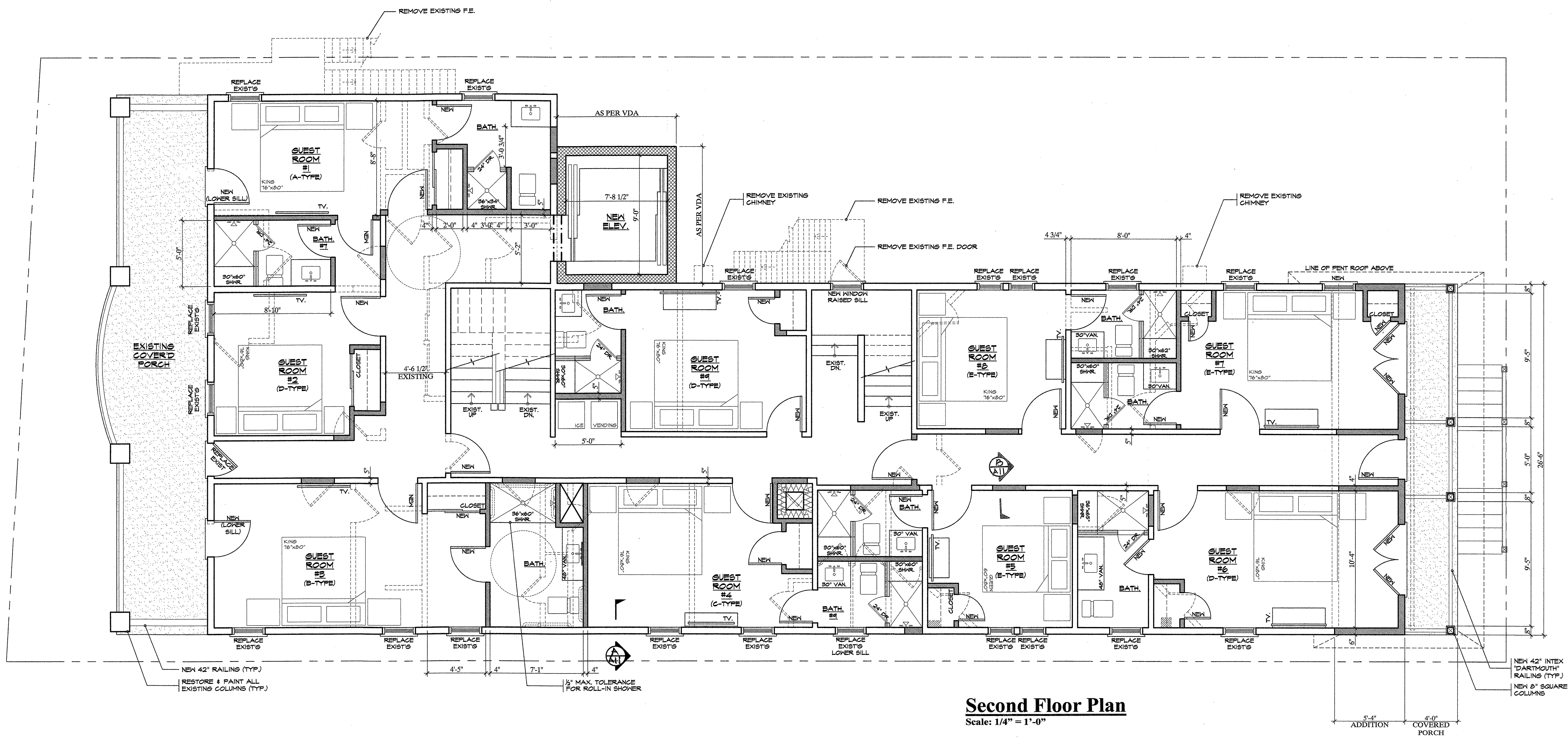
SCALE: N/A

DESIGN DEVELOPMENT

DATE: 2/14/22

A8

JOB: 2213



Second Floor Plan

Scale: 1/4" = 1'-0"

Owner Submittal Requirements:

Contractor to provide sample and associated catalog information to Owner for final selection of Front Door, Soffit Brackets, Exterior Light Fixtures, all Moldings and Decorative Trim and Door Hardware prior to the order of material.



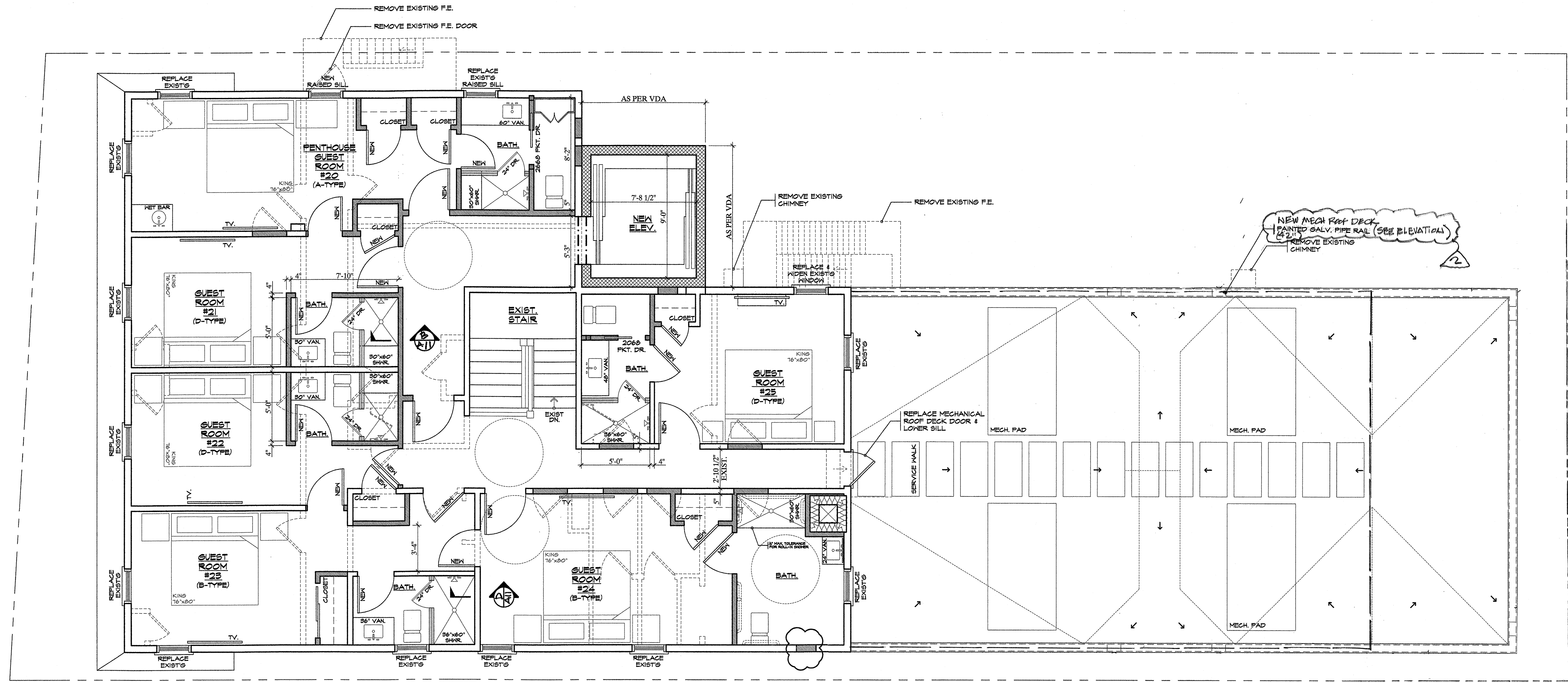
REVISIONS		
NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/22
2	HPC CONCEPT	9/12/22

SHEET TITLE:
Fourth Floor & Roof Plan

DRAWN BY: DM
 REVIEWED BY: MP

SCALE: N/A
 DESIGN DEVELOPMENT

DATE: 9/12/22
A10
 JOB: 2213



Fourth Floor Plan
 Scale: 1/4" = 1'-0"



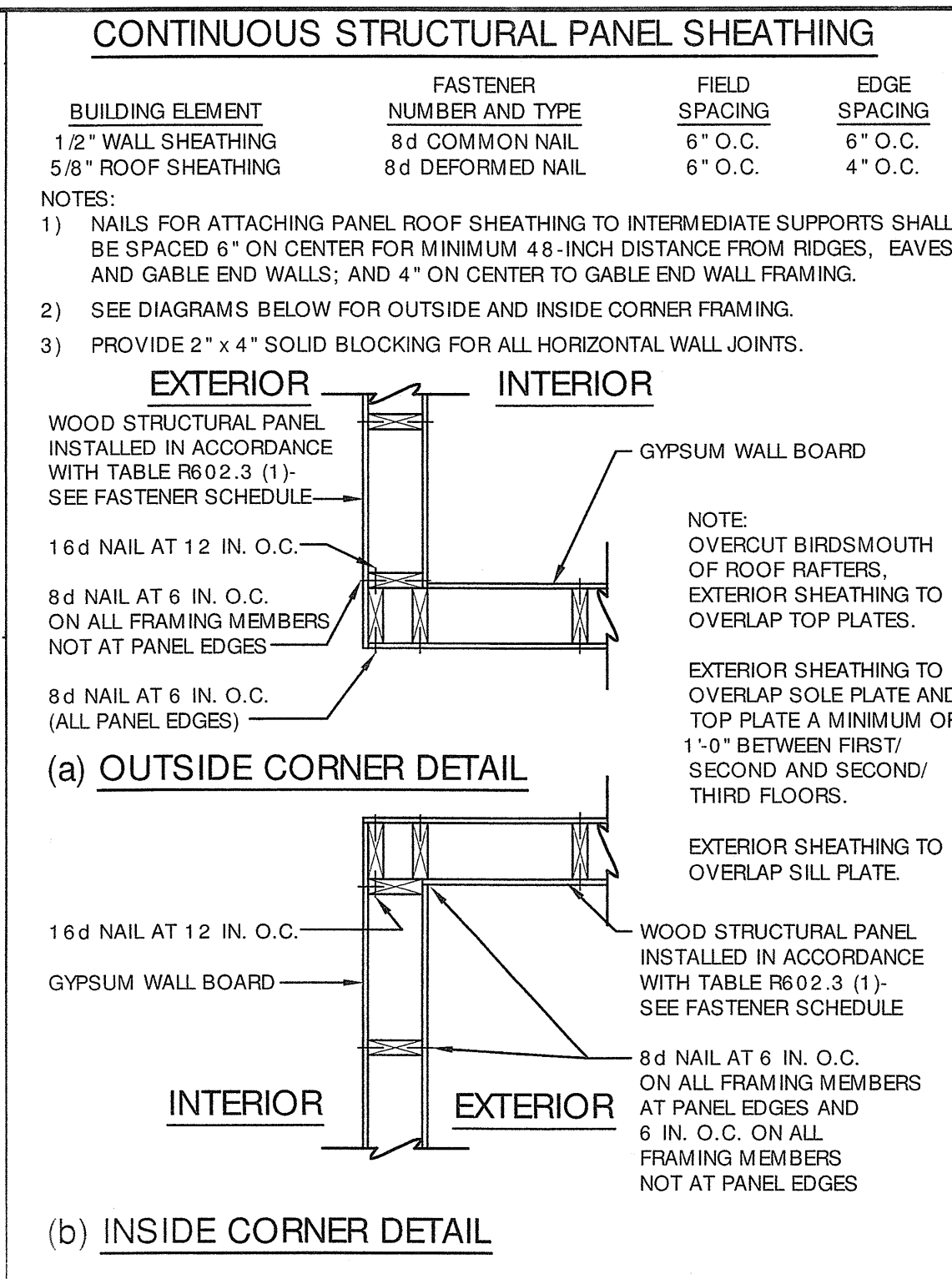
Fastener Schedule

CONNECTION	FASTENING ¹	LOCATION
1. Joist to sill or girder	3-8d common 3-3" x 0.131" nail 3-3" 14 gage staple	toenail
2. Bridging to joist	2-8d common 2-3" x 0.131" nail 2-3" 14 gage staple	toenail each end
3. 1" x 6" subfloor or less to each joist	2-8d common	face nail
4. Wider than 1" x 6" subfloor to each joist	3-8d common	face nail
5. 2" subfloor to joist or girder	2-16d common	blind and face nail
6. Sole plate to joist or blocking	16d at 16" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 12" o.c.	typical face nail
Sole plate to joist or blocking at braced wall panel	3-16d at 16" 4-3" x 0.131" nail at 16" 4-3" 14 gage staple per 16"	braced wall panels
7. Top plate to stud	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	end nail
8. Stud to sole plate	4-8d common 4-3" x 0.131" nail 4-3" 14 gage staple	toe nail
	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	end nail
9. Double studs	16d at 24" o.c. 3" x 0.131" nail at 8" o.c. 3" 14 gage staple at 8" o.c.	face nail
10. Double top plates	16d at 16" o.c. 3" x 0.131" nail at 12" o.c. 3" 14 gage staple at 12" o.c.	typical face nail
Double top plates	9-16d common 12-3" x 0.131" nail 12-3" 14 gage staple typical face nail	lap splice

CONNECTION	FASTENING ¹	LOCATION
11. Blocking between joists or rafters to top plate	3-8d common 3-3" x 0.131" nail 3-3" 14 gage staple	toenail
12. Rim joist to top plate	8d at 6" (152 mm) o.c. 3" x 0.131" nail at 6" o.c. 3" 14 gage staple at 6" o.c.	toenail
13. Top plates, laps and intersections	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	face nail
14. Continuous header, two pieces	16d common	16" o.c. along edge
15. Ceiling joists to plate	3-8d common 5-3" x 0.131" nail 5-3" 14 gage staple	toenail
16. Continuous header to stud	4-8d common	toenail
17. Ceiling joists, laps over partitions (See Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common minimum, Table 2308.10.4.1 4-3" x 0.131" nail 4-3" 14 gage staple	face nail
18. Ceiling joists to parallel rafters (See Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common minimum, Table 2308.10.4.1 4-3" x 0.131" nail 4-3" 14 gage staple	face nail
19. Rafter to plate (See Section 2308.10.1, Table 2308.10.1)	3-8d common 3-3" x 0.131" nail 3-3" 14 gage staple	toenail
20. 1" diagonal brace to each stud and plate	2-8d common 2-3" x 0.131" nail 2-3" 14 gage staple face nail	face nail
21. 1" x 8" sheathing to each bearing wall	2-8d common	face nail
22. Wider than 1" x 8" sheathing to each bearing	3-8d common	face nail
23. Built-up corner studs	16d common 3" x 0.131" nail 3" 14 gage staple	24" o.c. 16" o.c. 16" o.c.
24. Built-up girder and beams	20d common 32" o.c. 3" x 0.131" nail at 24" o.c. 3" 14 gage staple at 24" o.c. 2-20d common 3-3" x 0.131" nail 3-3" 14 gage staple	face nail at top and bottom staggered on opposite sides face nail at ends and at each splice
25. 2" planks	16d common	at each bearing
26. Collar tie to rafter	3-10d common 4-3" x 0.131" nail 4-3" 14 gage staple face nail	face nail
27. Jack rafter to hip	3-10d common 4-3" x 0.131" nail 4-3" 14 gage staple 2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	toenail face nail

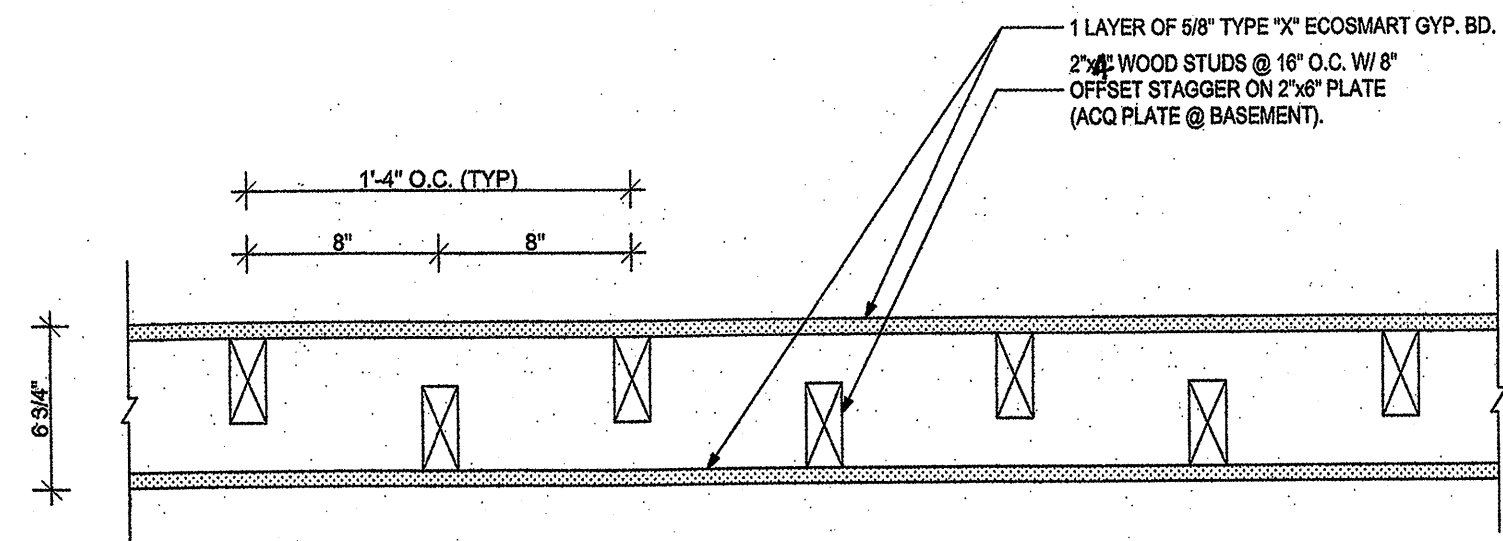
CONNECTION	FASTENING ¹	LOCATION
28. Roof rafter to 2-by ridge beam	2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple 2-16d common 3-3" x 0.131" nail 3-3" 14 gage staple	toenail face nail
29. Joist to band joist	3-16d common 5-3" x 0.131" nail 5-3" 14 gage staple	face nail
30. Ledger strip	3-16d common 4-3" x 0.131" nail 4-3" 14 gage staple	face nail
31. Wood structural panels and particleboard: ² Subfloor, roof and wall sheathing (to framing):	1/2" and less 6d ⁴ 2 1/2" x 0.113" nail ⁵ 1 1/2" 16 gage ⁶ 1 1/2" to 1/4" 8d ⁴ or 6d ⁵ 2 1/2" x 0.113" nail ⁵ 2" 16 gage ⁶ 7/8" to 1" 8d ⁴ Single Floor (combination subfloor-underlayment to framing): 1 1/2" to 1 1/4" 10d ⁴ or 8d ⁵ 3/4" and less 6d ⁴ 7/8" to 1" 8d ⁴ 1 1/4" to 1 1/2" 10d ⁴ or 8d ⁵	
32. Panel siding (to framing)	1/2" or less 6d ⁴ 3/4"	
33. Fiberboard sheathing: ⁸	1/2" No. 11 gage roofing nail ⁹ 3/4" 6d common nail No. 16 gage staple/ No. 11 gage roofing nail ⁹ 8d common nail No. 16 gage staple ⁹	
34. Interior paneling	1/4" 3/4"	4d 6d ⁴

Framing & Sheathing Details



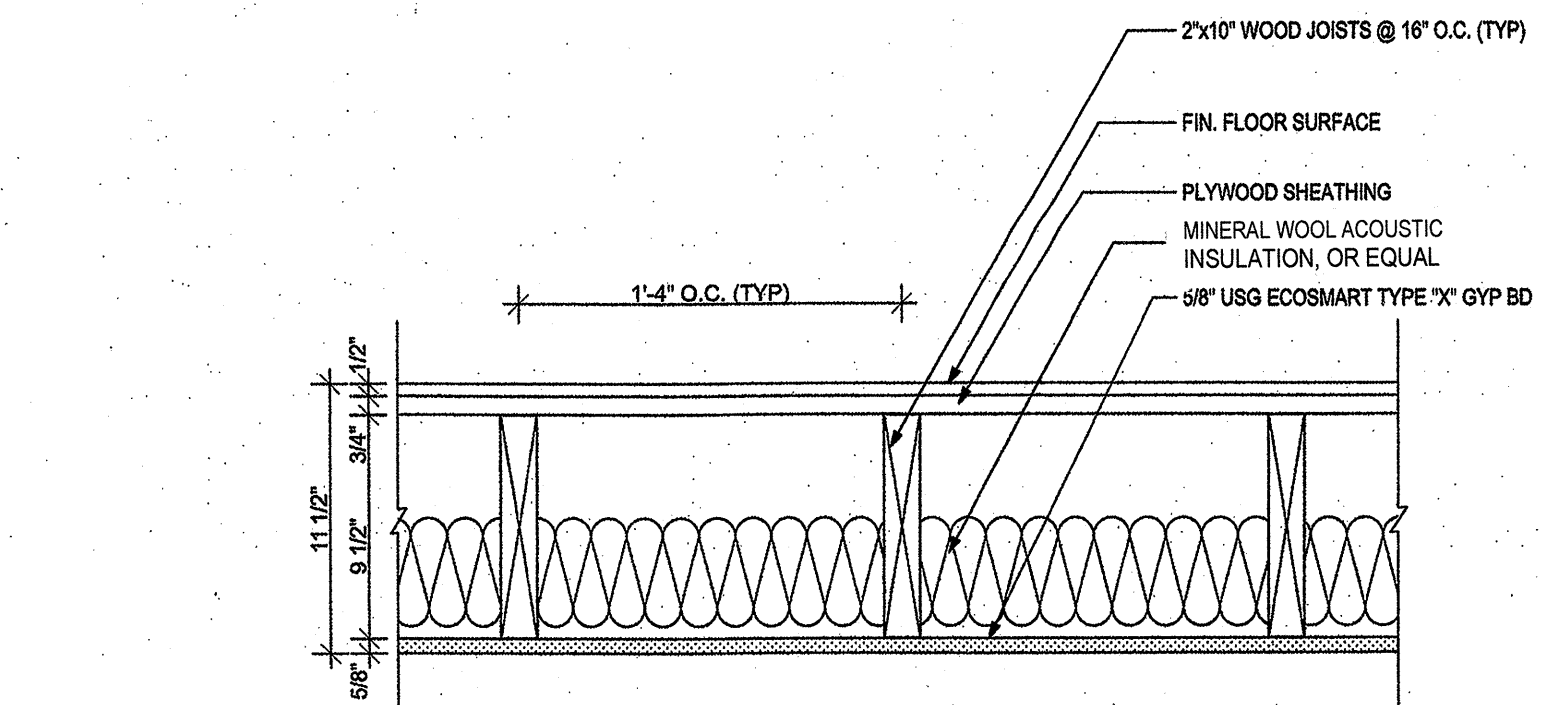
Insulation Note:

PROVIDE INSULATION IN AREAS OF WORK WHERE FRAMING AT EXTERIOR PERIMETER WALLS ARE EXPOSED. INSTALL NEW 3 1/2" R-15 HIGH DENSITY FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, AND NEW 9" FIBERGLASS BATT IN ALL EXPOSED OR NEW CEILINGS INSTALL A MINIMUM NEW 9" R-30 FIBERGLASS BATT INSULATION IN ANY AREAS OVER UNCONDITIONED SPACES INCLUDING EXISTING BASEMENT AND CRAWL AREAS.



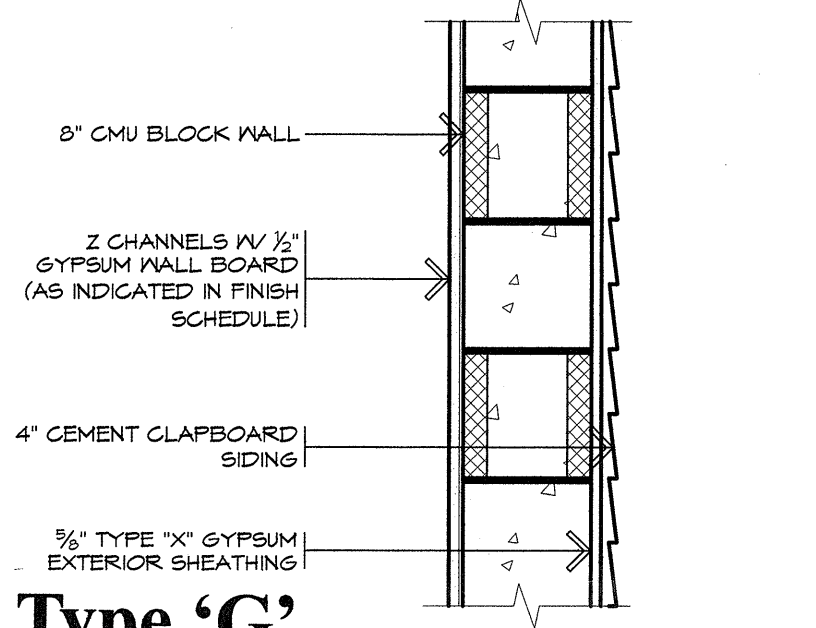
Type 'F' - 1 Hr STC Rated Staggered Studs Wall

Scale: 1 1/2" = 1'-0"
 Note: STC 52 Rating, or better, to be achieved at all walls where specified. (UL Design No. 340)



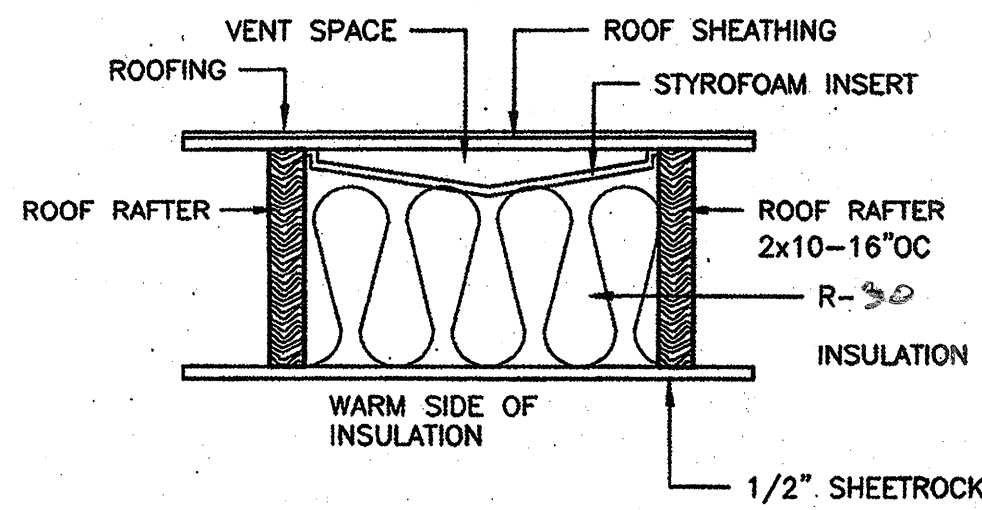
Type 'E' - 1 Hr STC Rated Ceiling Between Floors

Scale: 1 1/2" = 1'-0"
 Note: STC 52 Rating, or better, to be achieved at all walls where specified. (UL Design No. 268)



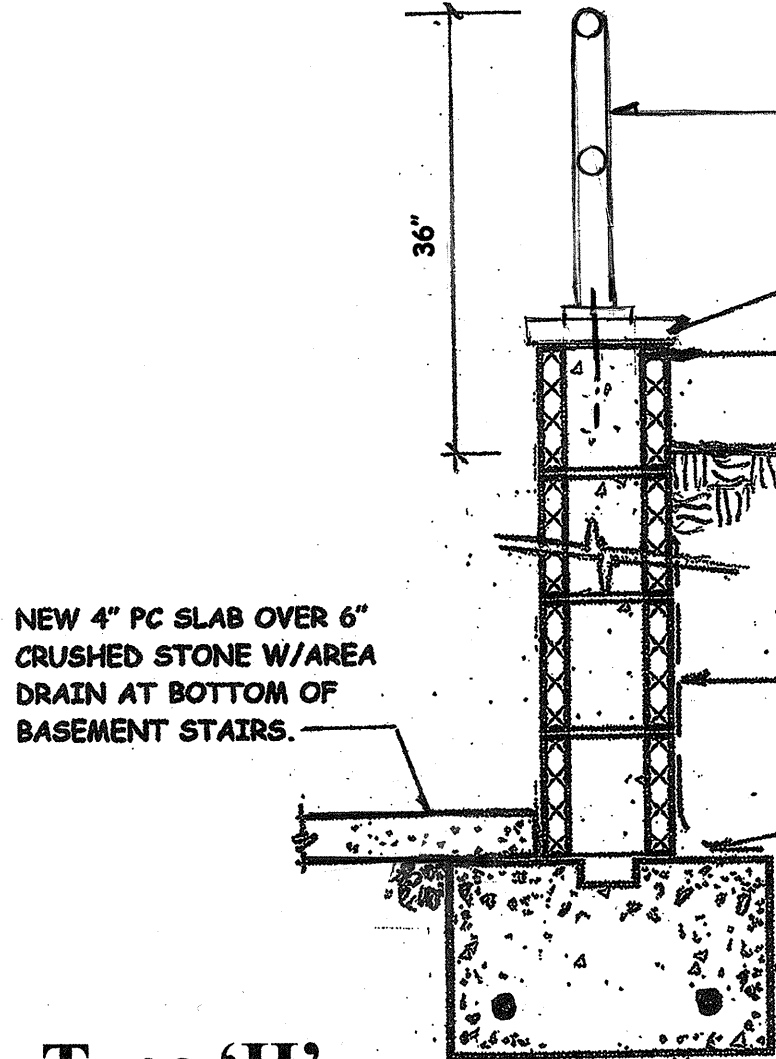
Type 'G' Typical CMU Wall

Scale: 1" = 1'-0"
 (UL Design No. U936)
 Note: 1 Hr Fire Rated Assembly by UL as indicated.



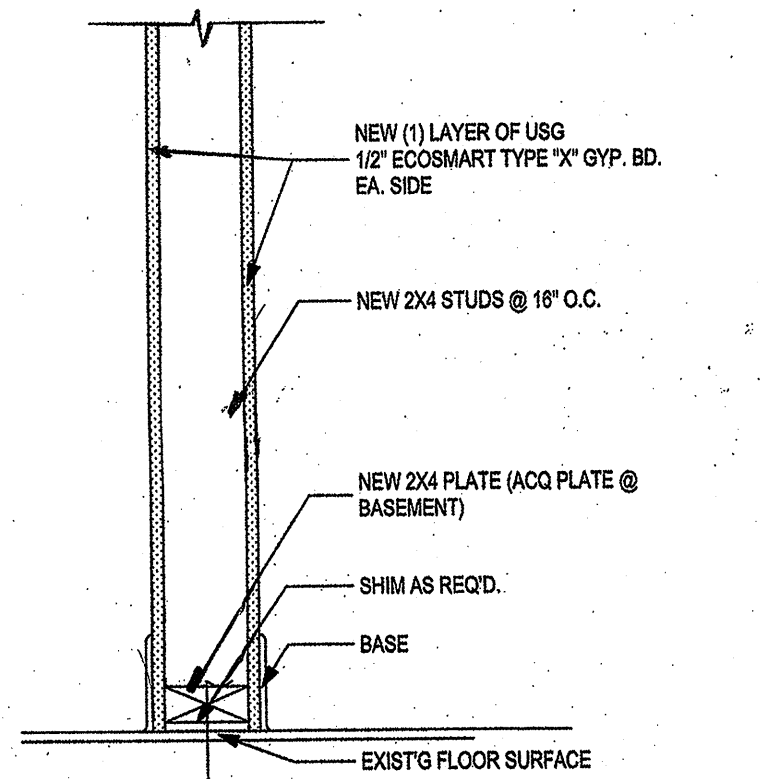
Insulation Insert Detail

Scale: 1 1/2" = 1'-0"



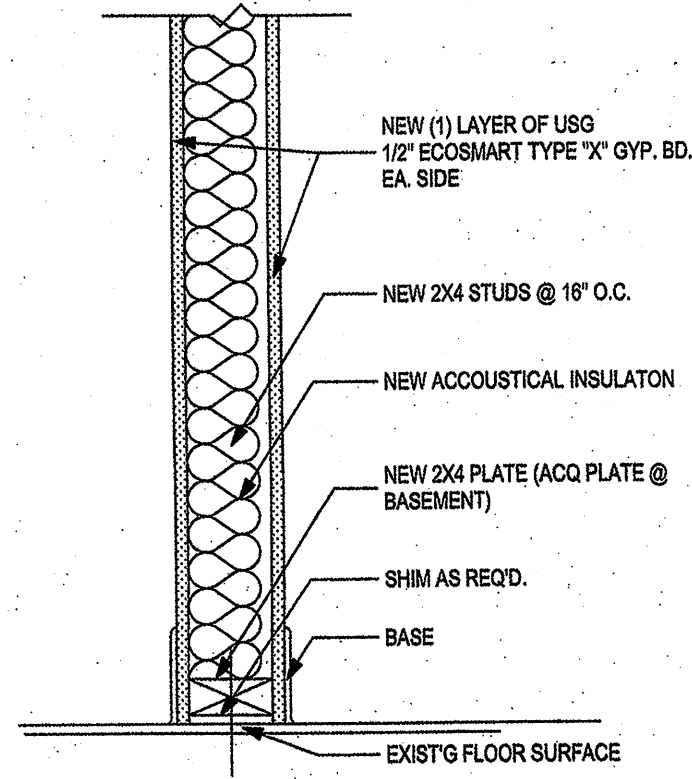
Type 'H' Basement Stair Section

Scale: 3/4" = 1'-0"



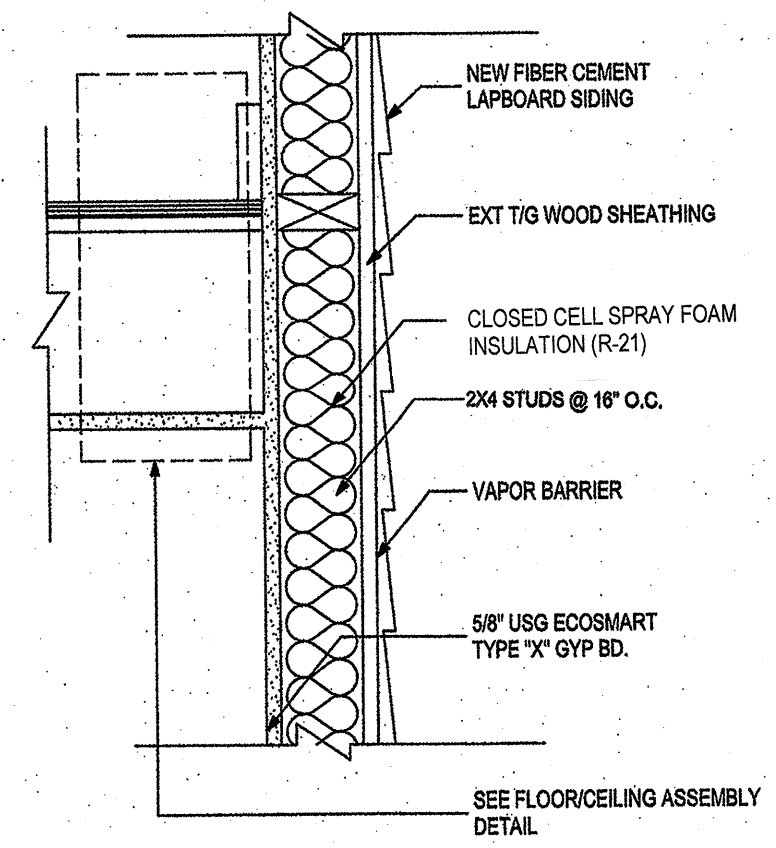
Type 'C' - Non-Bearing Interior Wall

Scale: 1 1/2" = 1'-0"
 (UL Design No. 301)



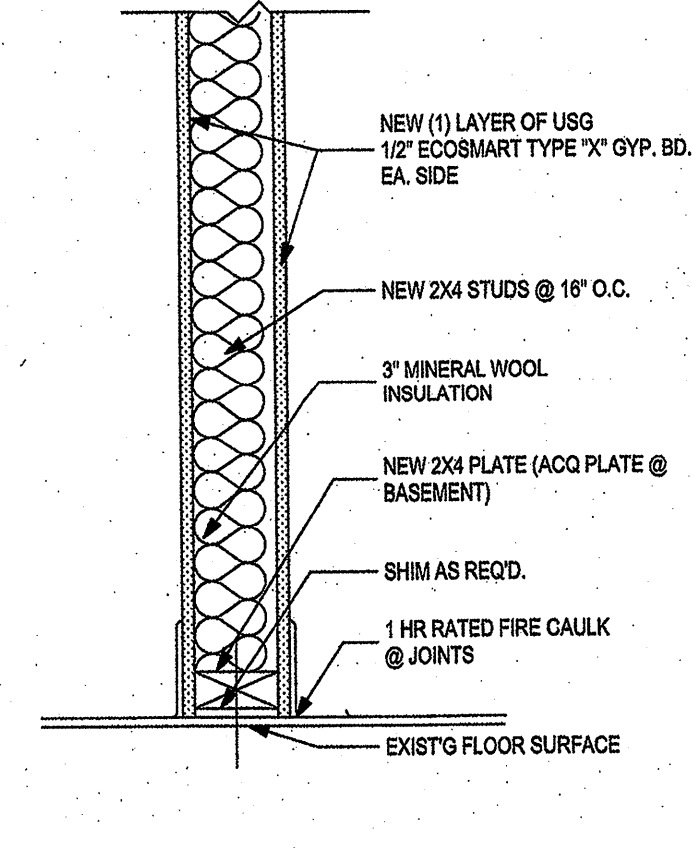
Type 'D' - Non-Bearing STC Rated Interior Wall

Scale: 1 1/2" = 1'-0"
 (UL Design No. 301)



Type 'A' - 1 Hr Exterior Wall

Scale: 1 1/2" = 1'-0"
 (UL Design No. 356)



Type 'B' - 1 Hr Interior Wall

Scale: 1 1/2" = 1'-0"
 (UL Design No. 305)

Design loads in accordance with

2018 IBC/NJ Edition to be:
 First Floor Live Load: 40 pounds per sq. ft.
 Second Floor Live Load: 30 pounds per sq. ft.
 Third Floor Live Load: 30 pounds per sq. ft.
 Attic Live Load: 20 pounds per sq. ft.
 Snow and Roof Load: 20 pounds per sq. ft.
 Design Wind Load: 120 miles per hour

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CERTIFICATE OF AUTHORIZATION
 #24GA28223400

DAVID J. MANTONE
 PROFESSIONAL ENGINEER
 NJ LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #6
 USE GROUP: R-2 / A-1
 CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE:
Typical Sections

DRAWN BY: *lmc/bm/sem* REVIEWED BY: *MP*

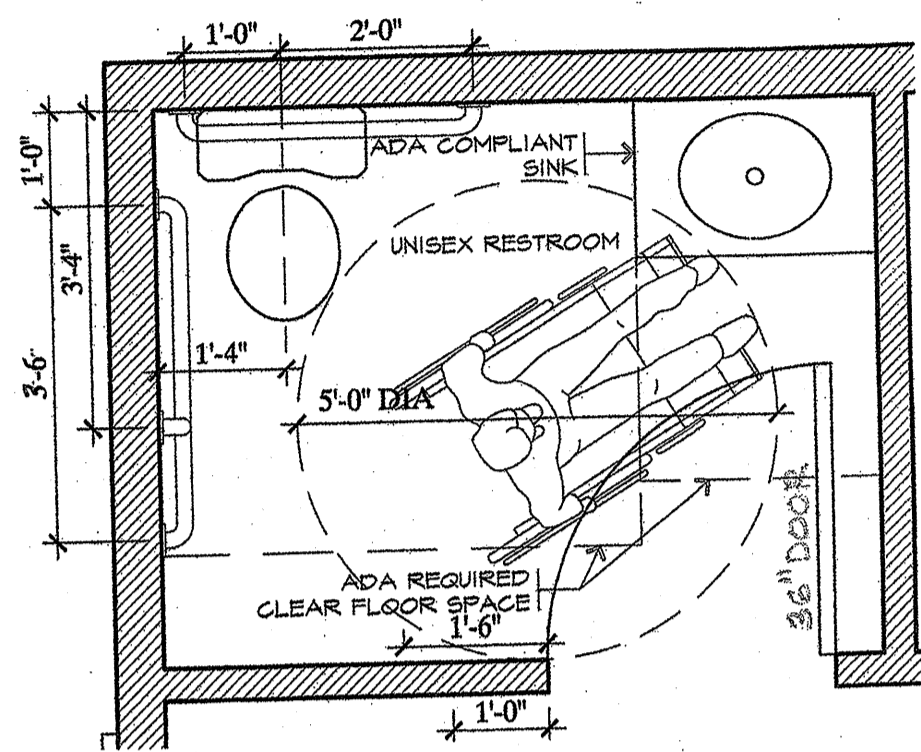
SCALE: N/A DESIGN DEVELOPMENT

DATE: 2/14/22 **A11**

JOB: 2213

Summary of ADA Provisions:

1. New ADA compliant elevators.
2. Replacement of all carpet with new hardwood flooring.
3. New kitchen with ADA adaptable countertop provisions.
4. New barrier free adaptable first floor level bathrooms.
5. All new ADA compliant bathroom fixtures and fittings.
6. Barrier free grab bar provisions in bathrooms and showers.
7. All new lever type ADA compliant interior door hardware.
8. New front loading washers and dryers in laundry.
9. Programmable thermostats with Wi-Fi remote operation.



Barrier-free Lavatory Plan
Scale: 1/2" = 1'-0"

Barrier-free Public Lavatory – Fixtures

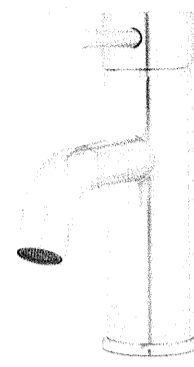
Sink

Signature Hardware – Single Hole ADA Compliant Stoddert 20" or 40" Wall Mounted Sink with overflow.



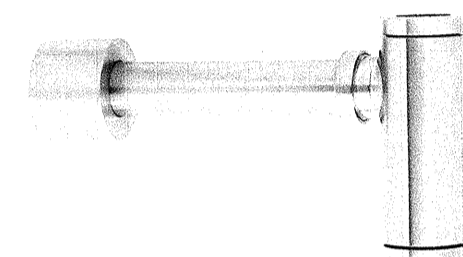
Faucet

Signature Hardware – Lentz Style Single Hole Deck Mounted Bathroom Faucet equipped with ADA compliant lever in brushed chrome finish.



Sink Trap

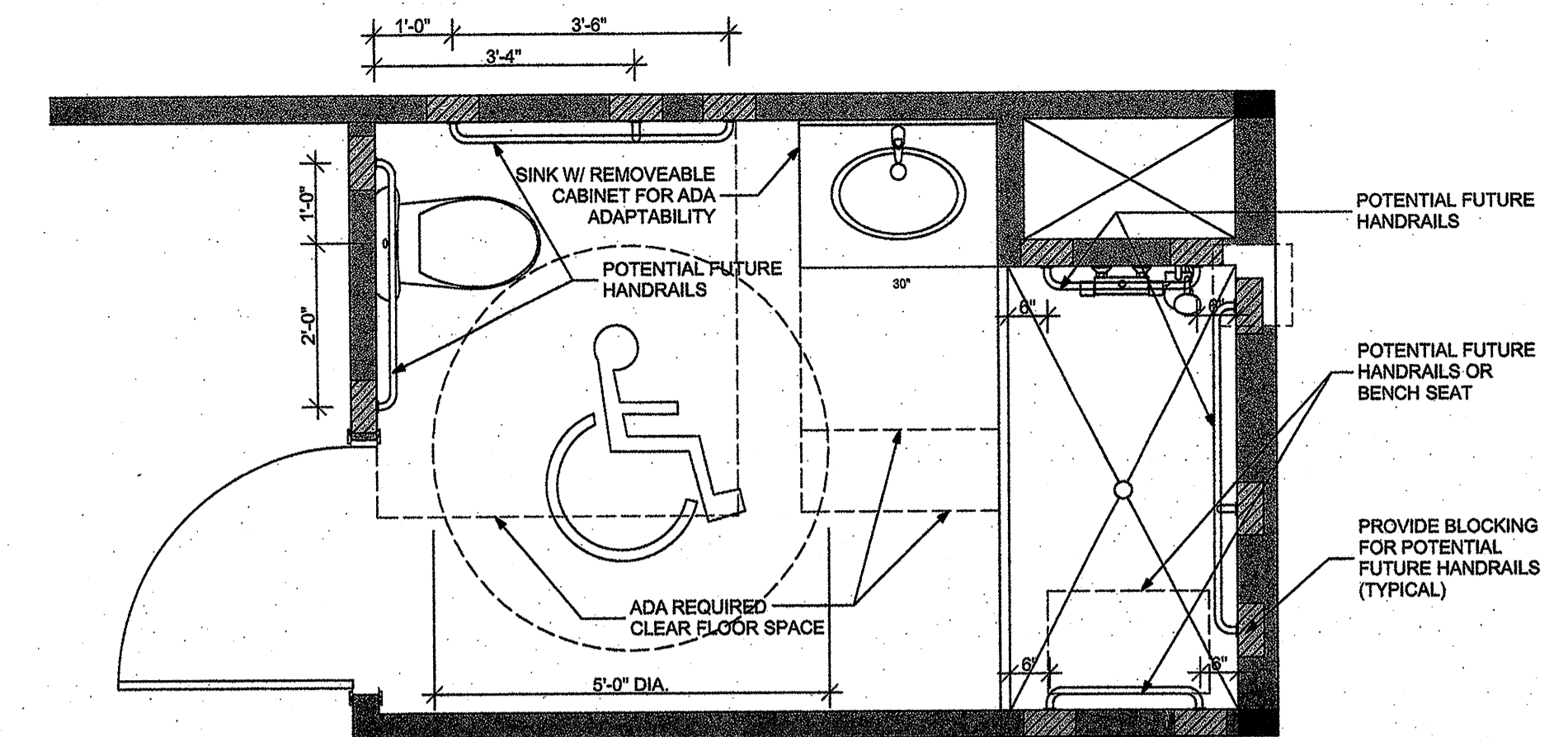
Signature Hardware 1 1/4" x 1 1/4" Round Bathroom Trap with high box flange in brushed chrome finish.



Accessory Schedule

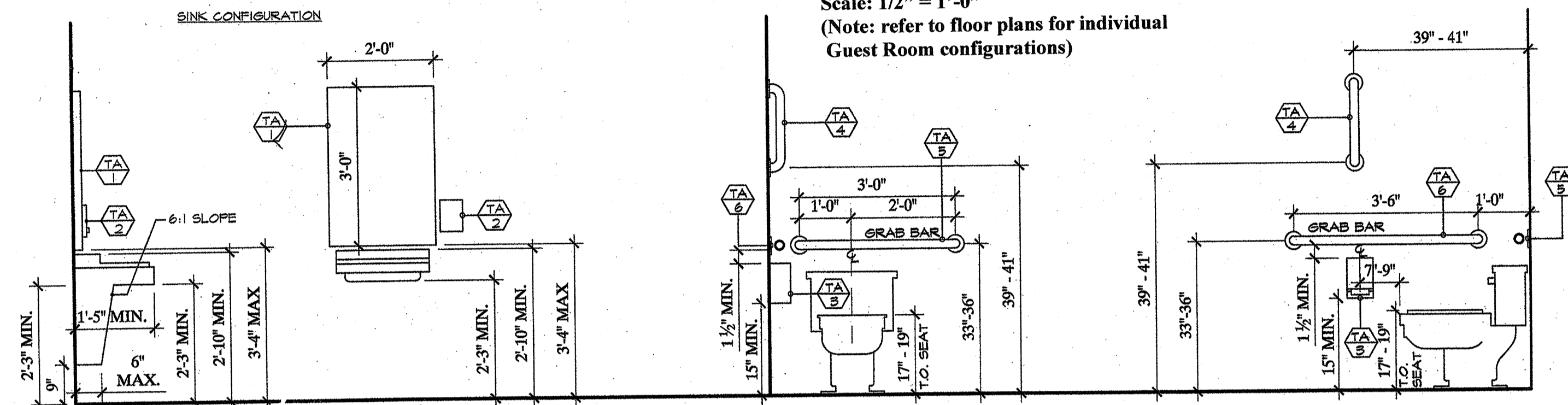
SYMBOL	DESCRIPTION
TA 1	MIRROR
TA 2	LIQUID SOAP DISPENSER
TA 3	DUAL ROLL TOILET TISSUE HOLDER
TA 4	GRAB BAR 12" (VERTICAL)
TA 5	GRAB BAR 36"
TA 6	GRAB BAR 42"

NOTE:
1. TOILET ROOM ACCESSORIES SHALL BE INSTALLED AT HEIGHTS AS PER MANUFACTURER'S SPECIFICATIONS.
2. CONTROLS, OPERATING MECHANISMS, DISPENSING LOCATIONS, ETC., SHALL NOT BE INSTALLED GREATER THAN 4'-0" A.F.F. OR LESS THAN 1'-5" A.F.F.



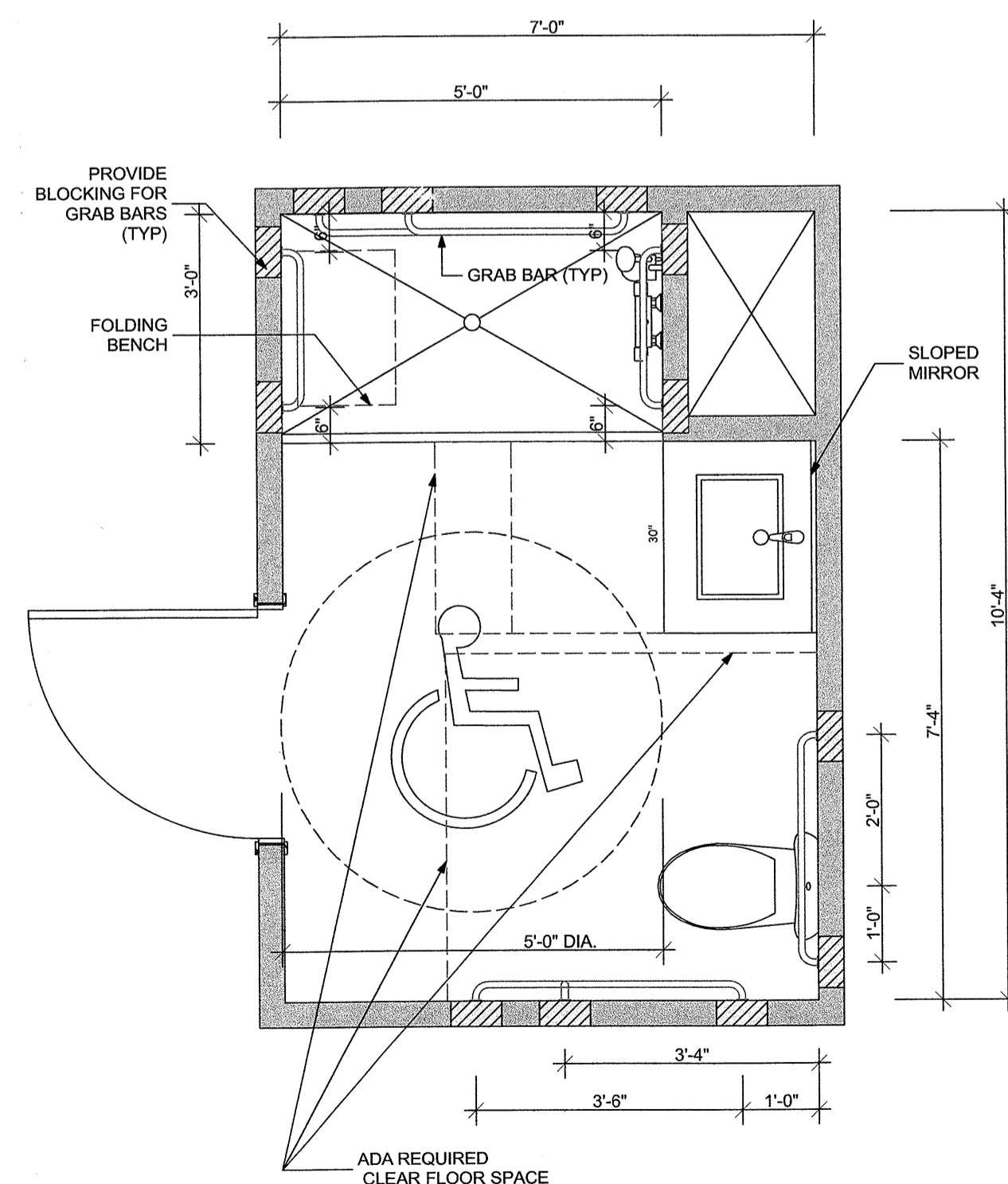
Typical Barrier-free Bathroom w/Shower

Scale: 1/2" = 1'-0"
(Note: refer to floor plans for individual Guest Room configurations)

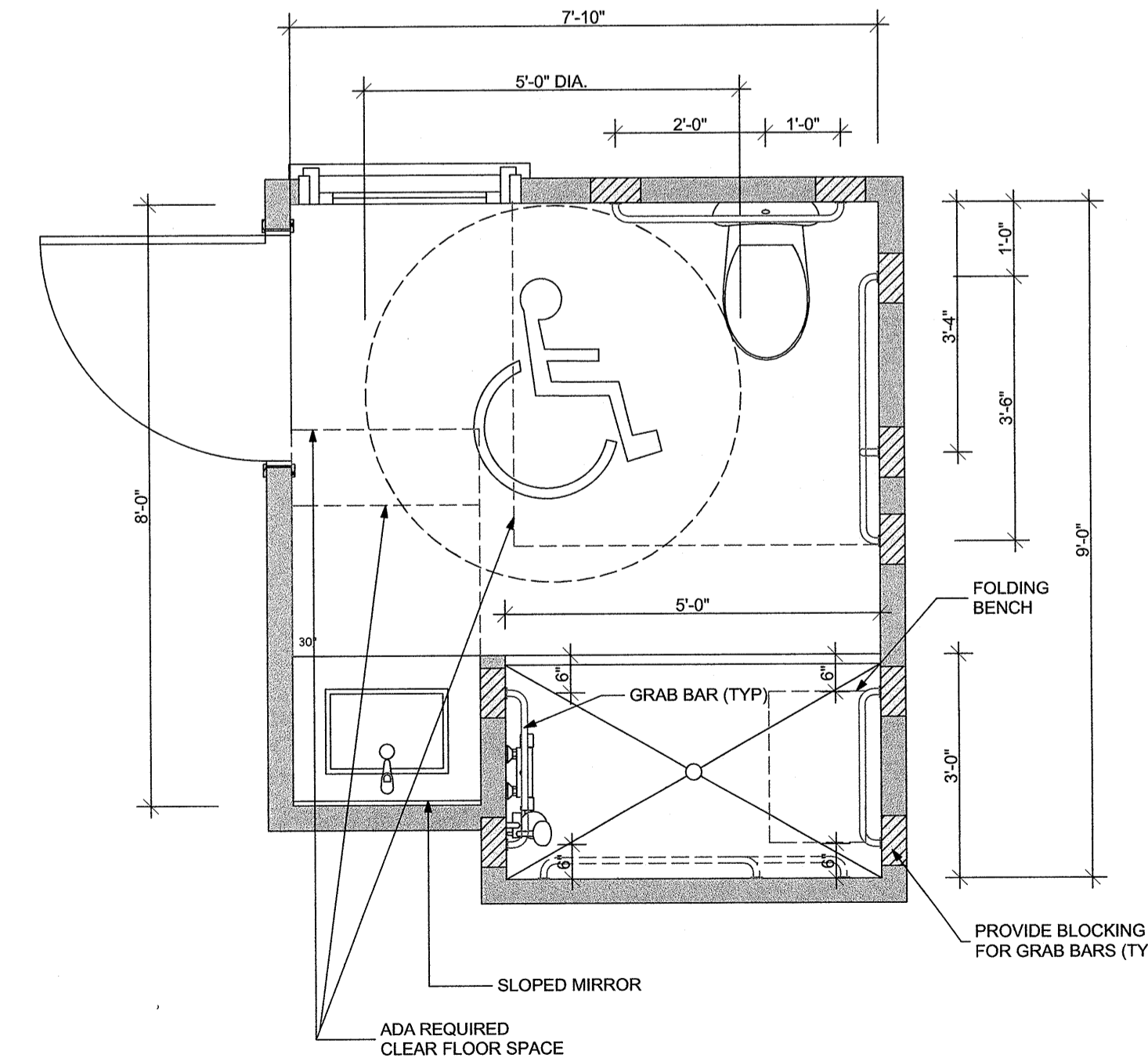


Barrier-free Bathroom Elevations
Scale: 1/2" = 1'-0"

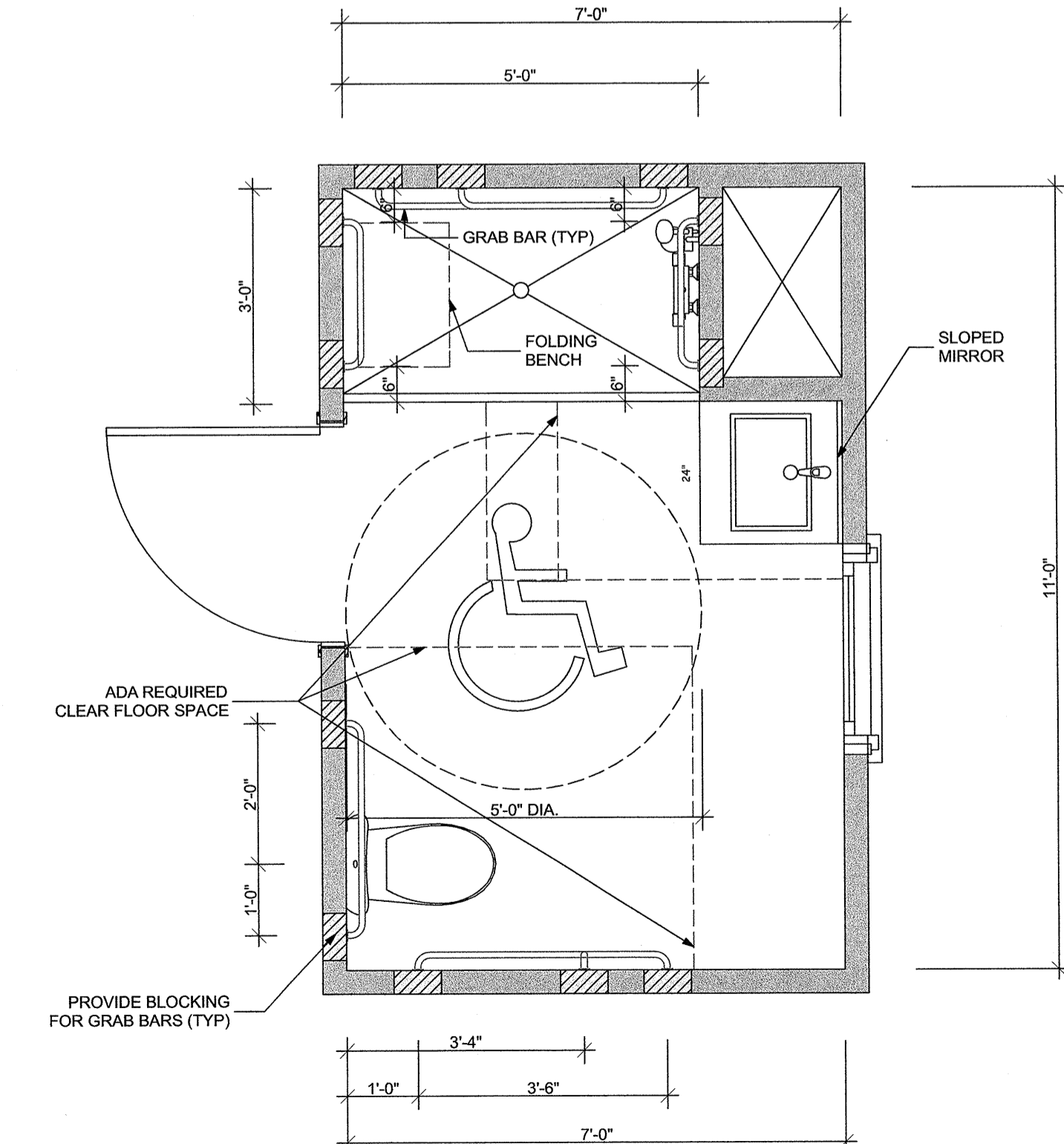
GENERAL NOTES:
1. ALL BARRIER-FREE LAVATORIES TO BE PROVIDED WITH DOOR HARDWARE & BATHROOM FIXTURES W/ BARRIER-FREE LEVER TYPE DOOR HARDWARE & BATHROOM FITTINGS.
2. ALL INTERIOR ACCESS DOORS TO BARRIER-FREE LAVATORY, APARTMENT ENTRIES & OTHER ACCESSIBILITY LOCATIONS SHALL BE PROVIDED WITH DOOR CLEARANCE WIDTH OF 52" MINIMUM.



Barrier-free Bath Guest Rm #3
Scale: 1/2" = 1'-0"



Barrier-free Bath Guest Rm #10
Scale: 1/2" = 1'-0"



Barrier-free Bath Guest Rm #24
Scale: 1/2" = 1'-0"

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CERTIFICATE OF AUTHORIZATION
#24GA28223400

DAVID J. MANTONE
PROFESSIONAL ENGINEER
N.J. LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL
PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.	DESCRIPTION	DATE

SHEET TITLE:
Barrier-Free Details

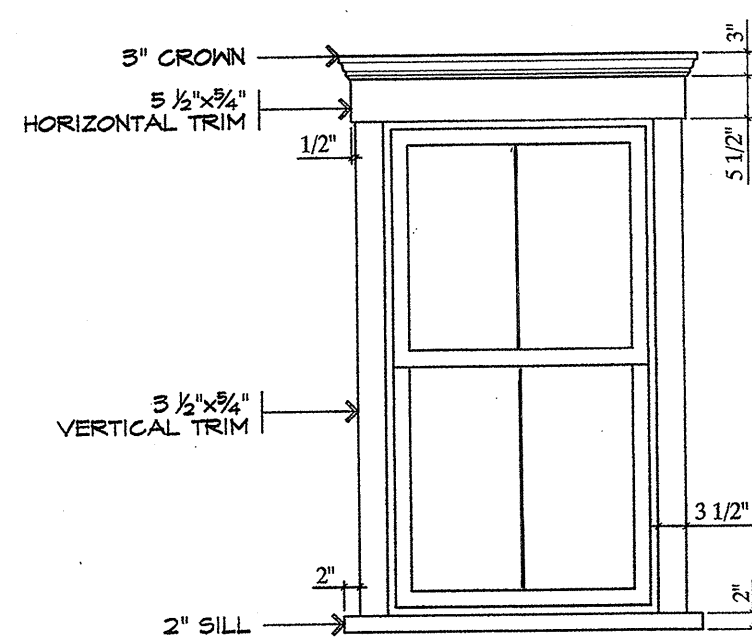
DRAWN BY: **EAC** REVIEWED BY: **MP**

SCALE: N/A DESIGN DEVELOPMENT

DATE: 2/14/23 **A12**

JOB: 2213

NEW PAINTED 5/4" AZEK TRIM AT ALL DOOR AND WINDOW SURROUNDS AND CROWN MOLDINGS W/DRIP CAPS IN ACCORDANCE WITH DETAIL.



Typical Window Trim Detail

Scale: 1/2" = 1'-0"

Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.

Window & Exterior Door Schedule

Room or Area	Quantity	Manufacturer #	Glazing	Egress	FDL Detail	Type/Comments
FIRST FLOOR						
Front Entry	1	Restore Existing Door & side lites;	Replace Glass w/clear tempered	N/A	(see elevation)	Wood Door to be repaired & stained;
Reception/Lobby	3	ADH2658	Low E4	N/A	2 over 2 lite	Double Hung East
	2	ADH2658	Low E4	N/A	2 over 2 lite	Double HungNorth
Dining Area	1	ADH2658	Low E4	N/A	2 over 2 lite	Double HungNorth
	3	ADH2658	Low E4	N/A	2 over 2 lite	Double Hung West
	1	FWHID29611	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing
Kitchen	2	ADH2854	Low E4	N/A	2 over 2 lite	Double Hung
Men's Restroom	1	ADH2644	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Caretaker Quarters Bedroom	1	ADH2652 VIF	Low E4	N/A	2 over 2 lite	Double Hung East
Bath	1	ADH2644	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Grove Guest Suite Bedroom	1	ADH2652	Low E4	N/A	2 over 2 lite	Double Hung
Bath	1	ADH2652	Tempered Glass	N/A	2 over 2 lite	Double Hung
Sitting Room	2	ADH2854	Low E4	N/A	2 over 2 lite	Double Hung East
	3	ADH2654	Tempered Glass	N/A	2 over 2 lite	Double HungSouth
Empire Guest Suite Bedroom	2	ADH2652	Low E4	N/A	2 over 2 lite	Double Hung West
Bath	1	AAN2428	Tempered Glass	N/A	2 lite (see elevation)	Awning West
			w/Privacy Louvers			
Kitchen	1	AAN2428	Low E4	N/A	2 lite (see elevation)	Awning West
Sitting Area	2	ADH2854	Low E4	N/A	2 over 2 lite	Double Hung West
	3	ADH2654	Tempered Glass	N/A	2 over 2 lite	Double HungSouth
Corridor Egress	1	Therma-tru 3070 w/Glass Transom	Tempered Glass	N/A	6 lite Upper Half w/2 lower panels	Hinged Out-swing South Exit Door
SECOND FLOOR						
Guest Room #1 Porch Door	1	FWHID29611	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing
Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Guest Room #2 Room	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung
Guest Room #3 - Barrier-free Unit Porch Door	1	FWHID29611	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing
Room	3	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Guest Room #4 Room	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Bathroom	1	ADH2430	Tempered Glass	N/A	2 over 2 lite	Double Hung West
Guest Room #5 Room	2	ADH2050	Low E4	N/A	2 over 2 lite	Double Hung
Guest Room #6 Porch Doors	1	FWHID54611APLR	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing
Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung West
Guest Room #7 Porch Doors	1	FWHID54611APLR	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing
Room	1 (new opg)	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
	1 (exist'g opg)	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
Guest Room #8 Room	2	ADH2050	Low E4	N/A	2 over 2 lite	Double Hung East
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Interior Stair	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Guest Room #9 Room	1 (exist'g opg)	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
Corridor Egress	1	FWHID2711	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing North Porch
	1	FWHID31611	Tempered Glass	N/A	2 over 3 lite	Hinged In-swing South Porch

THIRD FLOOR

Guest Room #10 - Barrier-free Unit Room	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
	1	ADH2650	Low E4	N/A	2 over 2 lite	Double HungNorth
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Guest Room #11 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung
Guest Room #12 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung
Guest Room #13 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double HungNorth
	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung West
Guest Room #14 Room	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Guest Room #15 Room	2	ADH2448	Low E4	N/A	2 over 2 lite	Double Hung West
Bathroom	1	ADH2448	Tempered Glass	N/A	2 over 2 lite	Double Hung West
Housekeeping Storage Room	1	ADH2448	Low E4	N/A	2 over 2 lite	Double Hung West
Guest Room #16 Room Addition	2	ACW2448 L/R	Low E4	N/A	2 over 2 lite	Faux DHCasement
Room	1	ADH2448	Low E4	N/A	2 over 2 lite	Double Hung West
Bathroom	1	ADH2448	Tempered Glass	N/A	2 over 2 lite	Double Hung West
Guest Room #17 Room Addition	2	ACW2448 L/R	Low E4	N/A	2 over 2 lite	Faux DHCasement
Room	1 (new opg)	ADH2448	Low E4	N/A	2 over 2 lite	Double Hung East
Room	1 (exist'g opg)	ADH2448	Low E4	N/A	2 over 2 lite	Double Hung East
Bathroom	1	ADH2448	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Guest Room #18 Room	2	ADH2448	Low E4	N/A	2 over 2 lite	Double Hung East
Interior Stair	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Guest Room #19 Room	1 (new opg)	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
Room	1 (exist'g opg)	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
FOURTH FLOOR						
Guest Room #20 Room	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung East
	1	ADH2650	Low E4	N/A	2 over 2 lite	Double HungNorth
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung East
Guest Room #21 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung
Guest Room #22 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung
Guest Room #23 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double HungNorth
	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double Hung West
Guest Room #24 Room	2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
	1	AAN2428	Low E4	N/A	2 lite (see elevation)	Awning West
Bathroom	1	ADH2650	Tempered Glass	N/A	2 over 2 lite	Double HungSouth
Guest Room #25 Room	1	ADH2650	Low E4	N/A	2 over 2 lite	Double HungSouth
	1	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
Corridor Access to Mech Roof Deck	1	Insulated HM	N/A	N/A	Insulated Metal w/door closer	Hinged Out-swing Mech Access Door
BASEMENT LEVEL						
Laundry Room General work Area	3	Existing	Existing	N/A	2 over 2 lite	Double Hung East; (replacement is subject to Owner)

Special Notes:

New Windows and Exterior Door Number Designations are referencing Andersen Windows and Doors - A-Series solid core wood, and solid core pine wood doors with High-Performance Insulated Low-E4 Glazing, with Fibrex exterior cladding in color selected by Owner and approved by HPC and have a factory painted "White" interior finish with tempered glass at doors and where noted in Window Schedule. All glazing to be provided with full divided lites with spacer bars. Secondary exit doors to be insulated Therma-tru smooth finish and painted as approved by HPC.

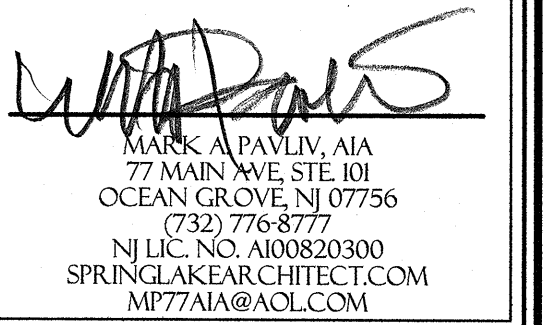
Provide 2 over 2 window sash configuration as indicated on elevations and Window Schedule, or otherwise approved by HPC and Architect.

Window sizes as per Schedule. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. Exterior door hardware and locksets to be oil rubbed bronze finish, or as otherwise selected and approved by Owner and with satin nickel interior finish. All finishes are to be acceptable for exposure to salt air with warrantee against pitting.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

THE ARCHITECT'S STUDIO



IN ASSOC. WITH

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CERTIFICATE OF AUTHORIZATION
#24GA28223400

DAVID J. MANTONE
PROFESSIONAL ENGINEER
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PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.	DESCRIPTION	DATE
2	HPC CONCEPT	9/12/23

SHEET TITLE:
Exterior Door & Window Schedule

DRAWN BY: MP/LWC
REVIEWED BY: MP

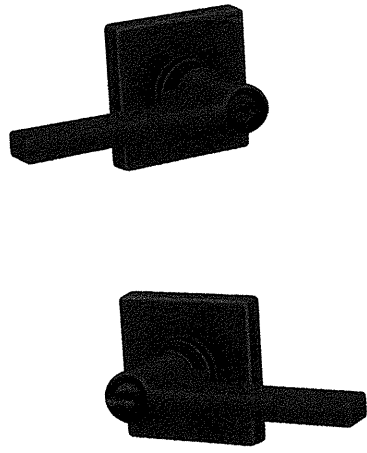
SCALE: N/A
DESIGN DEVELOPMENT

DATE: 2/14/23
A13

JOB: 2213

Typical Interior Lock Profiles

Shlage/Ingersoll Rand "Solstice Collection"
Finish on all hardware, locksets and hinges to be US19 - Flat Black.



Interior Door Hardware

Scale: NTS

Specifications:

- Backset: Adjustable 2-3/8" or 2-3/4"
- Cross Bore: 2-1/8"
- Edge Bore: 1"
- Handling: Reversible Left or Right
- Door Thickness: 1-3/8" to 1-3/4"
- Handle Length: 4-3/8"
- Handle Projection: 2-3/8"
- Latch Faceplate: Drive-In or Round Corner
- Material: Zinc

Product Variations:

- **J170-SOL-COL:** Single Dummy Lever
- **J10-SOL-COL (This Model):** Passage Door Lever Set
- **J40-SOL-COL:** Privacy Door Lever Set
- **J54-SOL-COL:** Single Cylinder Keyed Entry Door Lever Set

Interior Door Schedule

Room or Area	Quantity	Dimensions(w x h)	Thickness	Door Type	Material	Pattern/Style
FIRST FLOOR						
Corridor to Suites	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Kitchen	2 New	36" x 84"	1 3/4"	Hinged	MDF	1-Panel
Public Restrooms	1 HC Lav	36" x 84"	1 3/4"	Hinged	Solid Core Wood	1-Panel
	2 M/W Lavs	32" x 84"	1 3/4"	Hinged	Solid Core Wood	1-Panel
	1 M Lav WC	30" x 84"	1 3/4"	Hinged	MDF	1-Panel
	2 W Lav WC	30" x 84"	1 3/4"	Hinged	MDF	1-Panel
Caretaker Quarters						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Grove Guest Suite						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Empire Guest Suite						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom	1	32" x 80" (VIF)	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
SECOND FLOOR						
Guest Room #1						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Privacy Door (#1-#2)	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #2						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #3 - Barrier-free Unit						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	36" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #4						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #5						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	24" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #6						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #7						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	2	24" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #8						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #9						
Entry	1	32" x 84" (VIF)	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	24" x 80"	1 3/4"	Hinged	MDF	1-Panel
Misc. Corridor						
Corridor Smoke Door 2		36" x 84"	1 3/4"	Hinged	Solid Core Wood	
THIRD FLOOR						
Guest Room #10 - Barrier-free Unit						
Entry	1	36" x 84" (VIF)	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #11						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Privacy Dr (#11-#12)	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #12						
Entry	1	32" x 84" (VIF)	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #13						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Privacy Dr (#13-#14)	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel

Room or Area	Quantity	Dimensions(w x h)	Thickness	Door Type	Material	Pattern/Style
Guest Room #14						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #15						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #16						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #17						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom Privacy	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Guest Room #18						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bedroom Privacy	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #19						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Misc. Corridor						
Corridor Smoke Door 2		36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Corridor Storage	1	24" x 84"	1 3/4"	Hinged	MDF	1-Panel
Housekeeping	1	36" x 84"	1 3/4"	Hinged	MDF	1-Panel
Hall Suite Entry Door 1		36" x 80"	1 3/4"	Hinged	MDF	1-Panel
FOURTH FLOOR						
Guest Room #20/PH						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Suite Privacy Door	1	32" x 80" (VIF)	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	2	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #21						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Suite Privacy Door	1	30" x 80" (VIF)	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	24" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #22						
Entry	1	32" x 84" (VIF)	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Privacy Dr (#22-#23)	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #23						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #24						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Closet	1 Pair	(2) 24" x 80"	1 3/4"	Sliding	MDF	1-Panel
Privacy Dr (#23-#24)	1	32" x 80"	1 3/4"	Hinged	MDF	1-Panel
Guest Room #25						
Entry	1	36" x 84"	1 3/4"	Hinged	Solid Core Wood	
Closet	1	24" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1	30" x 80"	1 3/4"	Hinged	MDF	1-Panel
Bath	1 WC	24" x 80"	1 3/4"	Pocket	MDF	1-Panel
Misc. Corridor						
Corridor Smoke Door 1		36" x 84"	1 3/4"	Hinged	Solid Core Wood	
BASEMENT LEVEL						
Business Office	1	36" x 80"	1 3/8"	Hinged	Tempered Glass	Black Alum Frame
Meeting Room	1	36" x 80"	1 3/8"	Hinged	Tempered Glass	Black Alum Frame
Public Restroom	1	36" x 80"	1 3/4"	Hinged	Solid Core Wood	
Guest Spa	1	36" x 80"	1 3/8"	Hinged	Tempered Glass w/side Glass Panel	Black Alum Frame
Spa Massage #1	1	36" x 80"	1 3/4"	Pocket Door	MDF	1-Panel
Spa Massage #2	1	36" x 80"	1 3/4"	Pocket Door	MDF	1-Panel
Spa Restroom	1	36" x 80"	1 3/4"	Hinged	MDF	1-Panel
Service Corridor	2	36" x 80"	1 3/4"	Hinged	Painted HM	1-Panel
Elevator Equip. Rm	1	36" x 80"	1 3/4"	Hinged	Painted HM	1-Panel
Hotel Pantry	1	36" x 80"	1 3/4"	Hinged	Painted HM	1-Panel
Utility Access Door	2	36" x 80"	1 3/4"	Hinged	Painted HM	1-Panel
Maintenance Room	1	36" x 80"	1 3/4"	Hinged	Painted HM	1-Panel

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PROJECT

ALBATROSS HOTEL

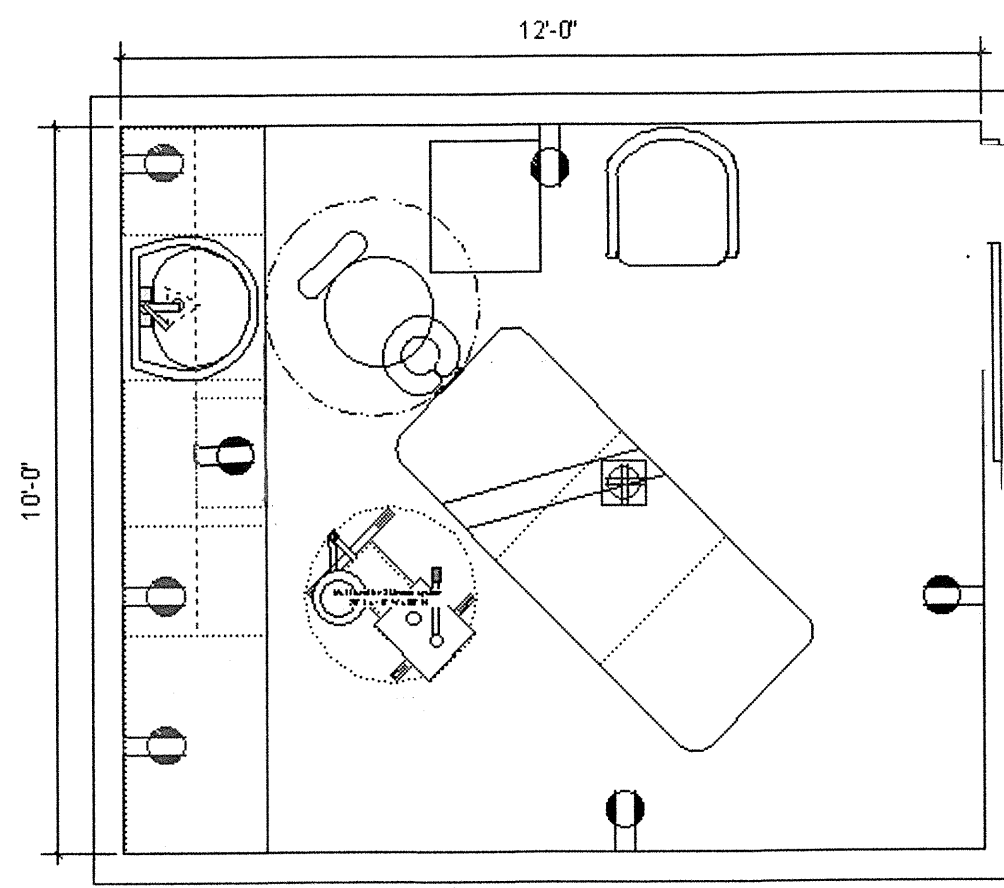
PROPOSED RENOVATIONS
& ALTERATIONS
TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.	DESCRIPTION	DATE

SHEET TITLE:
Interior Door Schedule

DRAWN BY: <i>MP/CP</i>	REVIEWED BY: <i>MP</i>
SCALE: N/A	DESIGN DEVELOPMENT
DATE: 2/14/20	A14
JOB: 2213	



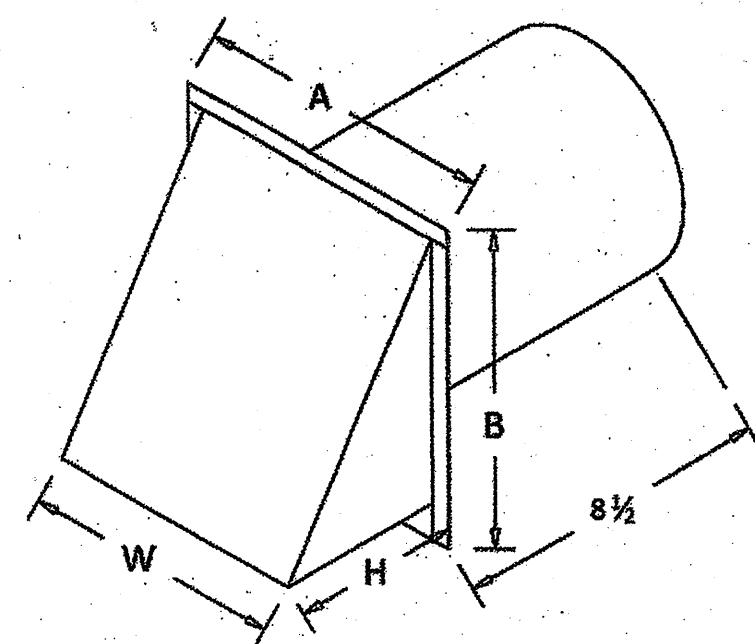
Typical Spa Room
Scale: 3/8" = 1'-0"

Finish Schedule

Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
FIRST FLOOR					
Reception/Lobby	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch and Paint any Ceiling as required
Lobby Stair	Refinish Existing	Refinish Existing	Painted Gyp. Bd.	Painted Gyp. Bd.	Carpet Runner
Dining Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch and Paint any Ceiling as required
Kitchen	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	All paint to be Eggshell
HC Restroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Fixtures by Owner
Women's Restroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Fixtures by Owner
Men's Restroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Fixtures by Owner
Interior Stair	Refinish Existing	Refinish Existing	Painted Gyp. Bd.	Painted Gyp. Bd.	Carpet Runner
Corridor to Suites	Carpet	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Caretaker Quarters					
Bedroom	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Marble	Painted Wood	Painted Gyp. Bd. in Shower Stall;	Painted Gyp. Bd. C.T. Ceiling on Cement Bd. in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
Grove Guest Suite					
Sitting Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bedroom	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Marble	Painted Wood	Painted Gyp. Bd. in Shower Stall;	Painted Gyp. Bd. C.T. Ceiling on Cement Bd. in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
Empire Guest Suite					
Sitting Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bedroom	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Walk-in Closet	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Kitchen Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Cabinetry by Owner
Bath	New Marble	Painted Wood	Painted Gyp. Bd. in Shower Stall;	Painted Gyp. Bd. C.T. Ceiling on Cement Bd. in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
SECOND FLOOR					
Guest Room #1					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath*	New Ceramic Tile	Painted Wood	Painted Gyp. Bd. in Shower Stall;	Painted Gyp. Bd. C.T. Ceiling on Cement Bd. in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower
Guest Room #2					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #3 - Barrier-free Unit					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths) Provide Barrier-free fixtures & fittings;
Guest Room #4					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #5					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #6					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #7					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #8					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #9					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Corridor	Carpet	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Interior Stair	Refinish Existing	Refinish Existing	Painted Gyp. Bd.	Painted Gyp. Bd.	Carpet Runner
THIRD FLOOR					
Guest Room #10 - Barrier-free Unit					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths) Provide Barrier-free fixtures & fittings;
Guest Room #11					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #12					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #13					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #14					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)

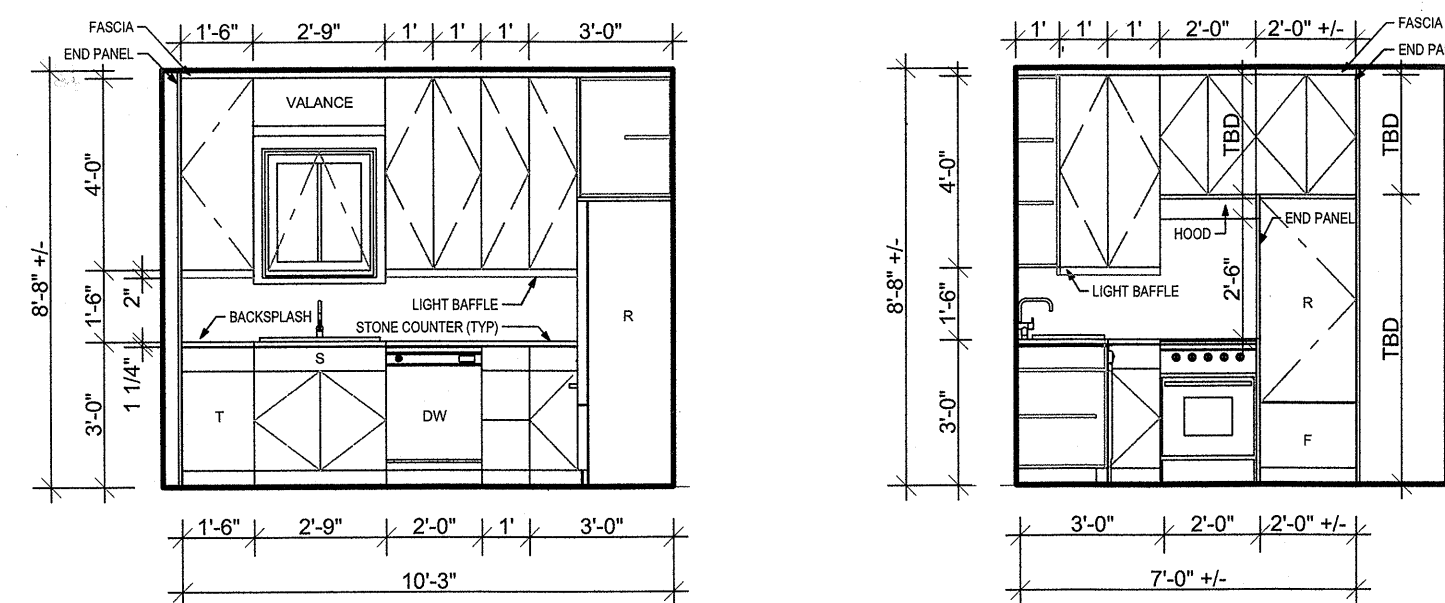
Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
Guest Room #15					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #16					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #17					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #18					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #19					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Housekeeping Storage Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Guest Corridor	Carpet	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Interior Stair	Refinish Existing	Refinish Existing	Painted Gyp. Bd.	Painted Gyp. Bd.	Carpet Runner
FOURTH FLOOR					
Guest Room #20/PI					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #21					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #22					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #23					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Room #24 - Barrier-free Unit					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths) Provide Barrier-free fixtures & fittings;
Guest Room #25					
Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bath	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	*(Typical Finishes in all Guest Baths)
Guest Corridor	Carpet	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Interior Stair	Refinish Existing	Refinish Existing	Painted Gyp. Bd.	Painted Gyp. Bd.	Carpet Runner
BASEMENT LEVEL					
Elevator Lobby	New Slate Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	42" Beaded Bd. Wainscot
HC Restroom	New Slate Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Fixtures by Owner
Business Office	New Slate Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	42" Beaded Bd. Wainscot
Meeting Room	New Slate Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	42" Beaded Bd. Wainscot
Guest Spa Lobby	New Slate Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Wallcovering by Owner
Spa Massage #1	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Wallcovering by Owner
Spa Massage #2	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Wallcovering by Owner
Spa Restroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd. w/42" C.T. Wainscot	Painted Gyp. Bd.	Fixtures by Owner
Service Corridor	Epoxy Paint on Slab	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Elevator Equip Rm	Epoxy Paint on Slab	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Verify all rated finishes.
Hotel Pantry	Epoxy Paint on Slab	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Storage Shelves by Owner
Refrigeration Unit	Refurbish by Others	Refurbish by Others	Refurbish by Others	Refurbish by Others	Coordinated by Owner
Janitor Closet	New Ceramic Tile	Painted Wood	Painted Gyp. Bd. w/42" C.T. Wainscot	Painted Gyp. Bd.	Provide JC slop sink
Maintenance Room	Epoxy Paint on Slab	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Storage Shelves by Owner

NOTES:
 -All references to "C.T." indicates all new Ceramic Tile with final selection to be by Owner.
 -All interior trim to be painted poplar interior trim, casings and 6" minimum baseboard profiles to be approved by Owner.
 -All references to "New Hardwood" indicate new 3" wide Oak wood finished floors to be Owner approved stain color and finish.
 -All references to "Crown Moldings" is to include 5 inch cove molding painted poplar or MDF to be approved by Owner.

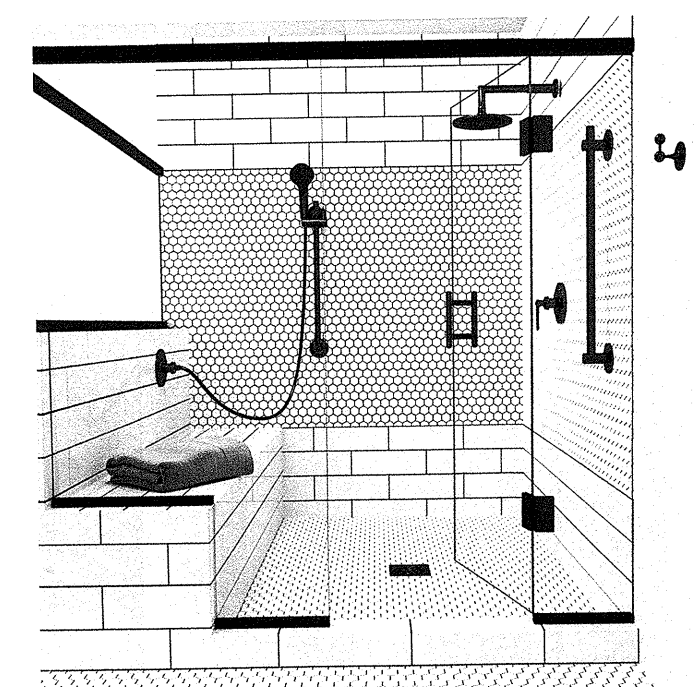
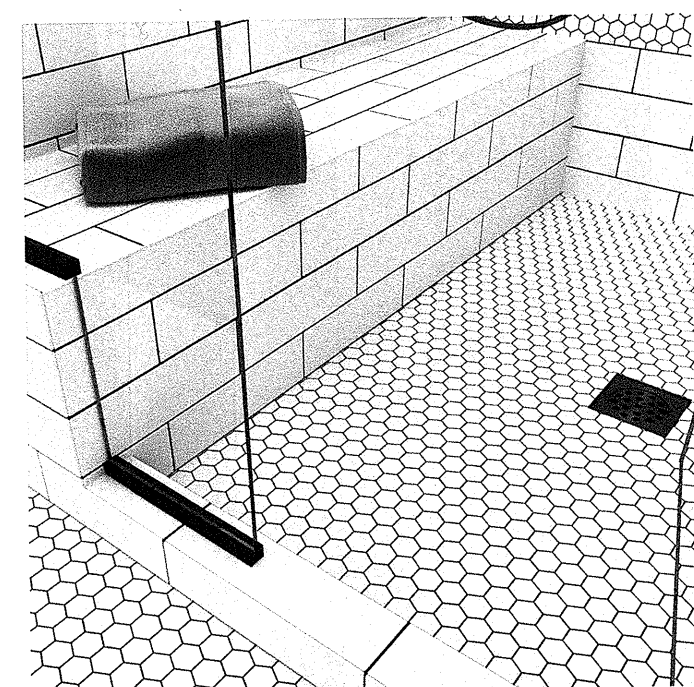


SIZE	A	B	W	H
3	6	6 1/2	5	3 1/4
4	6	6 1/2	5	3 1/4
5	7	7 1/2	6	3 1/4
6	8	8 1/2	7	4 1/2
7	9	9 1/2	8	5
8	10	10 1/2	9	5 1/2
10	13	13 1/2	12	6 3/4
12	15	15 1/2	14	8
14	17	17 1/2	16	9 3/4

Kitchen Exhaust



Empire Guest Suite Kitchen Elevations
Scale: 1/4" = 1'-0"



Guest Bath Tile Patterns & Details
Scale: NTS

THE ARCHITECT'S STUDIO

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CERTIFICATE OF AUTHORIZATION
 #24 GA 28223400

DAVID J. MANTONE
 PROFESSIONAL ENGINEER
 NJ LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #129, LOT #6
 USE GROUP: R-2/A-1
 CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE:
Finish Schedule & Details

DRAWN BY:
 MP/CP/EA

REVIEWED BY:
 MP

SCALE: N/A

DATE: 2/14/23

DESIGN DEVELOPMENT

A15

JOB: 2213

Specifications:

Division 1 - Special Conditions

General Contractor (Contractor) is to coordinate installation of all new exterior and interior finishes, structural work, mechanical equipment, elevator, fire safety systems, all bath and lighting fixtures, and necessary kitchen equipment upgrades.

Immediately upon and after delivery to the project site, the Contractor will be responsible for the storage, installation and protection of all materials and items related to the scope of work until Certificate of Occupancy is issued or accepted by Owner as substantially complete.

Division 1 - General Conditions

All work to comply with the 2018 International Building Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

Construction permits are to be procured by the Contractor. All fees for professional services, permits and other required approvals to be paid by Owner.

All Vendors and Sub-Contractors are responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist in the implementation of the project.

Demolition and Removals:

Exterior siding, gutters, interior plaster walls and other materials within the areas of renovation, and not cited for restoration or reuse, are to be removed to the extent approved by HPC.

Contractor is responsible for the removal of all knob and tube electrical wiring, undersized electrical service panels, galvanized and lead water supply pipes, plaster walls and ceilings, partitions, hardwood flooring, fixtures and fittings and any environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements.

In the event additional environmentally sensitive materials are uncovered during the course of demolition, or construction, the additional cost shall be responsibility of the Owner.

Division 2 - Site Work

Site Work:

Contractor to clean-up and restore all conditions immediately adjacent to the building work areas in an orderly and workmanlike manner as may be required at the completion of the project for final inspection.

Contractor to protect and coordinate all proposed work with the sidewalk pavement interface and be responsible for the installation and/or replacement of any Township of Neptune sidewalk or public right-of-way materials disturbed during construction.

Any new Controlled Roof Drainage to be provided via a round aluminum leader pipe system which sized to collect and discharge roof water to the storm drainage system as indicated on the site drainage and grading plan prepared by the project's Site Engineer.

Division 3 - Concrete

Footings & Foundations:

Concrete footings designed for soil bearing capacity specified. All footings to sound bearing of a minimum of 3'-0" below grade and be of an ultimate strength of not less than 3,500 psi in 28 days or as otherwise indicated on the Structural Engineering details. Minimum footing width to be 24" or as otherwise noted on the Structural Engineering plans.

Concrete Slabs:

Fill compaction for poured concrete slabs to be 90% maximum density with modified proctor test ASTM D-698 or 95% maximum density with standard proctor test ASTM D-698.

Any disturbed soil to be re-compacted in lifts of not greater than 12 inches in depth. Provide new 6 mil polyethylene dampness barrier at all new interior poured concrete slabs.

Concrete Curb Cuts and Aprons:

Provide repair and/or reconstruction of existing curb cut and aprons with steel mesh reinforced poured concrete to withstand 9,000 psi. as detailed on the Site Grading and Drainage Plans.

Division 4 - Masonry

Masonry:

Any new concrete block foundations, where noted or required, to be filled solid at all bearing conditions.

Provide wire mesh at alternating courses of concrete block and all vertical steel reinforcement bars as specified in plans and details. Install first floor framing bracing prior to back filling any new masonry walls.

Defective Masonry:

Defective or deficient existing brick or concrete block masonry foundation conditions are to be repointed and repaired. Additional found defective and deficient foundation conditions are to be brought to the attention of the Architect. Provide new underpinning of the existing foundation walls where indicated on the Structural Engineering Plans.

Brick Masonry Piers:

New faux thin cut brick veneers to be applied to existing pier locations as indicated on the elevation drawings at the front covered porch. Above grade foundation walls to be painted flat black over cured cement parging prior to the installation of **Painted 3-D** synthetic polymer lattice panel framed with painted **Azek** where indicated on elevation drawings.

Existing Flue/Chimney:

Existing masonry chimney flues to be removed and impacted framing to be repaired and building envelope to match adjacent materials and finishes.

Division 5 - Metals

Structural Steel:

Any new structural steel to be in accordance with Structural details and specifications.

Fasteners:

All metal hangers, straps or fasteners in contact with pressure treated ACQ lumber shall be zinc coated and compliant with ASTM A-153 as manufactured by "Simpson" or approved by Architect.

Division 6 - Woods & Plastics

Lumber:

All required framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. Any framing in contact with concrete to be pressure treated ACQ lumber.

Contractor to utilize wall bracing panel construction method which specifically states that all new Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with the **Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition** and comply with a minimum 120 mph three (3) second wind gust conditions and structural design in this area.

Use of any alternate long span manufactured lumber in deviation from that specified on the drawings, is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect and Structural Engineer prior to such substitution or change.

All new window and door headers to be (2) 2"x10" or new 3 1/2" x 9 1/2" LSL unless otherwise determined in field and approved by the Architect.

All new interior partition framing to be Douglas Fir in configuration as depicted on plans. Firestop block between all floors where balloon framing is exposed.

Sheathing:

All exterior wall sheathing where found to be defective or missing, after all layers of siding are removed, is to receive new 5/8" CDX plywood or **OSB Windstorm** nailed to Code with 6" spacing. Sheathing on any exterior walls within 5'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Such wall assemblies shall be 1-hour fire rated for exposure on both sides.

Sub-floor:

Any new sub-floor to be 3/4" T&G applied and fastened with screws and glued. Use of **OSB Gold Edge Bond** is an acceptable alternate. All screws to be spaced at 6" and as otherwise required by Code.

Exterior Architectural Trim:

All new ornamental architectural trim, brackets, window, drip and door caps and articulated door and window casings and surrounds, as shown on the Elevations and Details to be synthetic polymer as manufactured by **Azek**, with all final profiles subject to review and approval by Architect and HPC.

All window and door surrounds to be 5/4" thickness in order to attain proper dimensional relief. All staple holes and fastening dibits to be filled and sanded in preparation of application of paint.

Porch, Floor and Entry Stair Planking:

New first floor exterior stair treads and porch deck to be tongue and groove 5/4" lpe Hardwood. All covered porch decking surfaces to pitch to drain at 1/8" per foot minimum. Stairs to be constructed utilizing matching T&G lpe hardwood treads and constructed with closed painted **Azek** risers and stringers.

Division 7 - Thermal & Moisture Protection

Exterior Facings:

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings and shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds in this zone.

Siding:

All existing asbestos shingle siding to be removed and replaced with new smooth faced fiber cement clap board with 4 inch exposure, as manufactured by James Hardie Siding. The use of proper aspirators is recommended when cutting of cement fiber materials.

Cement fiber siding may not be installed when wet or stacked on pallet after 3 days of rain. Material must be fully dried when wet or stored with tarp coverings to remain dry when stored on-site. All cuts required to be made with fiber cement blade.

Foundation Damp Proofing:

New or exposed masonry foundations to receive two coats of rubberized waterproofing on exterior face.

Vapor Barrier Paper and Wraps:

All new exterior vapor barrier to be surfactant resistant type (certified anti-salt and soap resistant). Contractor to install **Henry Company Blue Skin** at all exterior wall and roofing sheathing prior to application of exterior siding or roof shingles, with all seams and methods in accordance with the manufacturer's specification and recommended flashing tape at all window, door or other openings to retain warranty.

Shower Stall Fiberglass Application and Pan:

New bathroom shower to be fiberglass formed and water tested prior to tile application.

Upper Floor Porch Deck Surfaces:

All existing and proposed new upper-level covered porch deck surfaces to received 2 coats of fiberglass membrane in Architect and HPC approved color.

Roofing:

Flat roof to be mechanically fastened .045 minimum EPDM roof membrane with positive edge fastening with water tight .032 aluminum flashing or better. Flat roof to be pitched 1/4" per foot to promote drainage.

Insulation:

Exterior Wall Insulation to be spray closed cell foam type with an R-21 rating or R-7 per inch minimum. Provide R-30 in floor over unconditioned spaces and R-38 in ceilings as noted on the Typical Wall Section Detail or as required by the Energy Compliance Summary and Certification prepared by the Consulting Mechanical Engineer, and approved by the Architect.

All perimeters at windows and doors are to be adequately sealed and caulked so as to eliminate perimeter air infiltration. Application of caulk at window and door perimeters as well as other through wall penetrations and resulting construction joints are subject to approval by the Architect on-site.

Sealants:

Provide required fire stopping sealants and systems at all rated wall, floor and ceiling penetrations in accordance with listed UL designation.

Acoustic Treatment:

Provide acoustic sealant at top and bottom of all full height partitions and at all through wall penetrations at such locations. Sealant to be non-drying, non-hardening, synthetic rubber type recommended for sealing interior joints to reduce noise transmission of airborne sound.

Contractor to provide and install mineral wool or open cell spray foam insulation in all wall cavities between all hotel in order to maximize sound attenuation to a STC 52 rating or better. Provide full cavity fiberglass batt insulation or open cell spray foam at all bath wall partitions within all hotel guest rooms and between all public space, common areas and public corridors.

Division 8 - Doors & Windows

Windows

Windows to be factory finished white solid core double-hung wood type with 2 over 2 Full Divided Lites with matching color spacer bars, 7/8" muntins and Low-E4 insulated clear glass, as noted on the Window Schedule. New and replacement windows to be as manufactured by Andersen Windows – A-Series to be approved by Architect Review of Shop Drawings.

Contractor is responsible to verify all sizes in field and notify Architect of any conflicts. Contractor to submit vendor shop drawings for review and approval by the Architect prior to the placement of window order.

Tempered Glass:

Provide tempered glass at Basement Level Spa and wherever bottom edge of glass is within a 24" arc of all Hinged Doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. All tempered glass to be etched by manufacturer to reflect tempered glass condition.

Hotel Lobby Main Entry Door:

Restore existing front door assembly with sidelights. In the event front door leaf determined not restorable, a new solid Core 2" Hardwood door is to be installed to fit within the existing frame in a configuration as selected by the Owner and subject to an administrative approval by HPC.

Hotel Lobby Main Entry Door Hardware:

Hardware to be barrier-free lever type and be as selected by Owner and provided by Contractor. Finish to be rubbed oil bronze or as otherwise approved by Owner.

Exterior Utility and Public Egress Doors:

Secondary service, exit and utility doors to be factory finished 4-panel doors equipped with panic bar hardware and door closers. Contractor to submit all shop drawings for all required door closers and related hardware, for approval

Secondary Ground Floor Exterior Door Hardware:

All lobby, public corridor space flooring to be restored and refinished. All hotel corridor floors to be carpeted. All hotel guest room interior wood flooring to be 2 1/4" wide Red Oak of highest quality with minimal knots in grain with stain finish subject to approval by Owner. Provide 3 coats of polyethylene throughout all areas.

Corridor Hotel Room Entry Doors & Hardware:

Provide 1-hour fire rated solid core wood 1 panel hotel unit entry doors with door closers. Door hinges at metal door frames to be as manufactured by Stanley Hardware, or approved equal. Hinges to be 4 1/2 x 4 1/2" five (5) knuckle type Stanley model FBB179 and conform to ANSI A8112 Steel for medium weight doors with ball bearing operation and be self-lubricating type. Hinge and pins to be stainless steel. Finish to be US19 – Flat Black.

Door stop to be as manufactured by IVES/USA. Stops to be IVES model FS438 dome type and conform to ANSI 156.16 with replaceable non-marring, rubber bumper in aluminium casing and matching screw anchor. Overall door stop height to be 1 3/8" with base height of 9/16" and base diameter of 1 3/4" x 2" in oval base plate form. Finish to be US19 – Flat Black.

Interior Doors:

All interior doors within hotel guest rooms and all other incidental service spaces, excluding fire rated spaces or corridor doors, to be 1 3/4" x 6'-8" height MDF pre-hung 1-panel solid core type, as noted in Interior Door Schedule, and as manufactured by Lemieux Doors, or Architect approved equal.

Interior Door Hardware:

Install all door hardware as required by plan and approved in required shop drawing submittal indicating all privacy, passage and keyed locksets and door closer locations. Guest room and between room privacy doors to be keyless card type. All door lockset hardware to be matching Series – ADA Compliant lever type Hardware as manufactured by Shlage/Ingersoll Rand model #J10SOL622COL – "Solice Collection" or equal. Finish on all hardware, locksets and hinges to be US19 – Flat Black.

Exterior Covered Porch Access Doors:

Exterior hotel guest room doors to be Fibrex clad solid core wood as manufactured by Andersen Doors & Windows, A-Series, as per Window & Door Schedule.

Division 9 - Finishes

Gypsum Board:

All new interior Gypsum Board to be screwed in place and be 5/8" and in accordance with assembly type as noted in the provided Typical Wall Section Details. Install 5/8" water resistant gypsum board in all wet bathroom wall and ceiling areas and cement board in all bath shower and tub areas.

Interior Window Trim:

All interior trim to be painted MDF in accordance with Interior Designer and Owner selected and approved interior trim profiles. Sample mock-up of all interior trim to be prepared by Contractor for Owner review.

Closet Shelving:

All hotel guest room closets to receive stainless steel hanging rods and vinyl coated steel wire shelving.

Interior Paint:

All interior walls to receive two coats of Benjamin Moore Aura flat VOC free acrylic latex interior paint. Specified paint is self-priming.

Basement utility, mechanical, hotel operations laundry room and all exposed ceiling elements including ductwork, pipes, steel framing, and underside of floor above, to receive two coats of Benjamin Moore flat latex paint at conclusion of all mechanical installations and modifications, with the exception of fire suppression sprinkler heads, which are to be free of any paint application.

All interior paint color subject to approval by Owner.

Provide one (1) coat rust inhibitor and (1) coat prime paint to all exposed steel and other metals subject to corrosive action.

Painting Sub-contractor to provide a minimum of one (1) round of touch-up. Touch-up paint to include wall to wall and point to point finish in all cases.

Prior to surface preparation and application operations, completely mask, remove, or otherwise protect hardware, accessories, plates, lighting fixtures, floors, and similar items in contact with or in the vicinity of coating surfaces, but not scheduled to receive special coating. Protect and store removed items. Re-install items after completion of coating application. Before applying special coating, thoroughly clean surfaces involved. Surfaces shall be clean, dry, and adequately protected from dampness. Surfaces shall be smooth, even and true to place, and free of any foreign material which will adversely affect adhesion or appearance of applied coating. Paint shall be applied under adequate illumination, evenly spread, and smoothly applied, free of runs, sags, lap marks, air bubbles, and pinholes to assure a smooth finish.

At the conclusion of work, the Painting sub-contractor shall remove all paint splatters from adjoining surfaces, repair any damage to coatings or surfaces caused by cleaning operations, and remove debris from job site and leave storage area clean.

Wood Flooring:

All lobby, public corridor space flooring to be restored and refinished. All hotel corridor floors to be carpeted. All hotel guest room interior wood flooring to be 2 1/4" wide Red Oak of highest quality with minimal knots in grain with stain finish subject to approval by Owner. Provide 3 coats of polyethylene throughout all areas.

Prior to application, installer is to prepare al sub-floors to be clean and attain a maximized smooth finish. Room and wood flooring material should be maintained at a minimum temperature of 65 degrees for 48 hours prior to installation of flooring.

Tile:

Install all floor and wall tile in accordance with the Finish Schedule utilizing thin set latex mortar on waterproof membrane. Backsplash tile, where indicated on plans, to be approved by Owner and complement other stone top as selected by Owner.

Thin set mortar type to be Latacrete 254 Platinum Polymer modified latex Portland Cement. Grout to be Latacrete Spectralock Pro Type, or equal. Waterproof membrane to be fabric reinforced liquid latex product as manufactured by Latitcrete International, Inc. Installer to use Latitcrete 9235 Waterproofing Membrane – self curing liquid rubber polymer with reinforcing fabric. Installation to be in accordance with manufacturer's guidelines.

Use of transition strips, thresholds, saddles and reducers subject to review and approval by Architect. Installer to supply and install all mortar, waterproof membranes, grout, and all similar and related installation materials. Tile and grout color to be selected by Owner and supplied by Contractor. Installer to be responsible for all tile quantity measurements and calculations.

Interior Beaded Board Wainscot:

Provide beaded board wainscot utilizing Poplar veneer and moldings to attain 36" height with chair rail. Wainscot to be applied to gypsum board walls as per Finish Schedule. Sample panel to be provided in field for approval by Owner. Wainscot Panels to be painted as specified and coordinated with placement of all openings, doors, window and base trim.

Basement Concrete Floor Paint:

Apply BEHR Premium #902 Slate Gray 1-Part Epoxy Concrete Floor Paint in all basement floor areas where specified in Finish Schedule. Concrete floor to be clear of all dust and debris and paint application to be in strict compliance with manufacturer's instructions.

Built-in Storage and Cabinetry Work:

Cabinetry, where indicated on plans, to be of highest quality in Owner approved painted finish. Cabinet maker to be responsible for all field measurement, appliance size coordination and hook-up requirements, and fabrication. Cabinet maker to supply to site and install finished cabinetry product.

Counter Tops:

Counter Top fabricator/supplier to be responsible for the field measurement and verification, fabrication, supply and installation of all counter tops to be 1 1/2" Quartzite with edge detail when approved by Owner.

Exterior Paint:

Apply one coat primer and two finish coats of Benjamin Moore Latex or approved equal, to all column and fascia assemblies, as approved by HPC.

Columns:

All existing exterior columns to be restored or as per the original configuration and tooling in accordance with architectural elevations and historic photos.

All new columns to be painted synthetic polymer type as manufactured by HB&G, or equal, in accordance with profiles and dimensions noted on plans.

Exterior Railing System:

All existing or new Covered Porch railing to be Intex Dartmouth with flat top profile, as detailed, with 1 1/2" square spindles spaced at 4" o.c. with dual top rail, where noted on elevation drawings.

Exterior Architectural Trim:

All ornamental architectural trim and cornices as shown on the Elevations are to be repaired and restored in accordance with historic documentation and Architect determined original conditions. Where restoration is determined not to be feasible by the Architect, architectural ornamentation is to be replicated in wood or to be as manufactured by Azek, Fypon or equal, and painted as specified. Approved equal subject to review by Architect.

Division 10 - Specialties

Telephone:

Provide all telephone, cable, wi-fi and Cat6 wiring for hotel guest room operation, as specified by Owner.

Fire Extinguishers:

Contractor to provide and install fire extinguishers in accordance with Code utilizing Multi-purpose Dry-Chemical Type and be UL rated 2-A:10-B:C, 5 pound nominal capacity. Mounting brackets to be standard steel type with plated or baked enamel finish.

Gutters and Leaders:

Contractor to provide new 6" aluminum half-round type gutters with "exposed hangers" at 24" o.c. with round pipe leader outlets and connection to drain as per local requirements, as per plan. Color to complement fascia and corner boards as approved by HPC.

Window Shutters:

Contractor to provide and install new solid core louvered window shutters where shown on elevations to replicate original shutter configurations with faux shutter hinges secured to window casings.

Division 11 - Equipment

Commercial Kitchen Equipment:

All Kitchen appliances, stainless steel cabinetry and shelving, food preparation equipment, refrigeration, grease traps, ansul devices, hoods and dining area furnishings, to be specified, supplied and installed by others and purchased by Owner and filed separately.

Individual hotel guest room minibars to be supplied by others when requested at Owner's option.

A new central vending machine and icemaker area to be located as per plan. Vending machines supplied and installed and maintained by others.

Owner to supply laundry washer and dryer equipment, folding tables, laundry bins and related storage cabinetry. Contractor to provide hook-up of washer and dryer appliances.

Division 12 - Furnishings

All miscellaneous lobby interior and hotel guest room furnishings to be supplied and installed by Owner.

Division 13 - Special Construction

Exterior Signage:

Hotel name signage to be restored. Any new signage to be in accordance with Neptune Township Ordinance Section 416.08.D.3. and filed separately for all permits.

Exterior Gas Lantern Appliances:

Provide and install new wall mounted exterior Gas Lanterns by the Bevalo Gas & Electric Lighting Co., or equal, at front covered porch (North) positions. Final positions to be confirmed by Owner in the field. All other exterior lighting to be LED wall mounted lanterns.

Exterior Gas Lantern Appliances:

Provide and install new wall mounted exterior Gas Lanterns by the Bevalo Gas & Electric Lighting Co., or equal, at front covered porch (North) positions. Final positions to be confirmed by Owner in the field. All other exterior lighting to be LED wall mounted lanterns.

Bathroom & Lavatory Fixtures & Fittings:

All Bathroom and Lavatory fixtures, faucets, shower heads, paper dispensers, hand dryers and grab bars and lavatory accessories to be approved by Owner and installed by Plumbing Sub-Contractor.

All Barrier-free designated area fixtures and fittings to be ADA compliant and to be US19 – Flat Black, as indicated on Specialty Item and Finish Schedules on plans, or as otherwise noted to be brushed chrome (or similar) as approved and provided by Owner.

Contractor to install double stud on the flat behind any grab bar fastening points to attain a 200-pound static load where grab bars, towel bars and paper holders are to be provided, as detailed on plans.

Public Area Lavatory Barrier-free Sinks:

All individual barrier-free lavatory sinks to be White Vitreous China wall mounted type Single Hole ADA Compliant as manufactured by Signature Hardware – Stoddert 20" or 40" Wall Mounted Sink with overflow, in size as needed per plan, to be provided by Owner.

Public Area Lavatory Barrier-free Sink Faucets:

Barrier free sink faucet as manufactured by Signature Hardware – Lentz Style Single Hole Deck Mounted Bathroom Faucet equipped with ADA compliant lever with Signature Hardware 1 1/4" x 1 1/4" Round Bathroom Trap with high box flange in brushed chrome finish, or otherwise selected and provided by Owner.

Public Area Lavatory Barrier-free Toilets:

All public lavatory toilets to be White Vitreous China One Piece elongated and wall mounted Flushometer Valve Toilet tested for 1000 lb static load and ADA compliant by American Standard "A'wall" elongated Wall Mounted Toilet with flushometer (without seat) model #2856128.02, or approved equal.

Public Lavatory Hand Dryers:

All hand dryers to be as manufactured by Sloan, model #EHD-401 Sensor Activated Hand Dryer for surface mounting. 110/120 VAC, 20 Amp, or equal, or as otherwise selected and provided by Owner.

Public Lavatory Room Accessories:

Install required accessories in lavatories including but not limited to Bobrick model B 686 double toilet paper roll dispenser and Bobrick model B-354 wall mounted sanitary napkin disposal units in brushed finish.

Public Lavatory Barrier-free Mirrors:

Provide and install ADA compliant 24" x 30" chrome framed and angled wall mounted mirrors over each barrier free sink in public barrier-free lavatory spaces.

Guest Room Bathroom Sink Vanities:

Install console single hole combo White ceramic sink vanities with lower Matte Black Drawer manufactured by Scarabeo model #5115-SOL1-49 with matching Black sink basin stopper and overflow trim, with Basin Depth: 3.5" - Basin Width: 12.2" - Basin Length: 19.5" - Overall Length: 31.9" - Overall Depth: 17.3" - with Basin Height: 5.5" or as otherwise selected and provided by Owner from the "Scarabeo Collection".

Guest Room Barrier-free Bathroom Sinks:

Install individual barrier-free 40" White Vitreous China Single Hole ADA Compliant lavatory sinks, as manufactured by Signature Hardware – Stoddert Wall Mounted Sink with overflow, in 20" size where noted or required per plan, as provided by Owner. Provide chrome finished trap pipes in all exposed locations.

All Guest Room Sink Faucets:

Sink faucets to be Centerset Faucet with Speed Connect Technology Faucet to be US19 – Flat Black finish by VIGO Davidson model #VG01043MB or equal, to be approved and provided by Owner.

All Guest Room Barrier-free Shower Fittings:

Specialty Engineering

Detailed Specifications prepared by Consulting MEP, Sprinkler, Structural, Site and Elevator Design Engineers included in supporting Construction Documents to be filed separately.

Division 14 - Conveying Systems

Elevator:
Proposed new mid-rise 6 stop, 3,500 pound capacity roped hydraulic elevator system, cab and all related equipment, to be compliant with all current operating standards as enforced by the New Jersey DCA.

Floor and ceiling finishes as selected by Owner. Provide and install all required interior cab grab bars, elevator control panel and related floor level signage. Control panel and grab bars to be new stainless steel brushed finish. Indirect interior cab lighting to be ceiling integrated. Machine room as specified on plans.

All elevator operating equipment, requirements, and service connections to be engineered by others with the following design parameters. Cab size to accommodate barrier-free turning radius at a minimum with high ceiling for furniture and mattress movement. Refer to Elevator Consultants Plans and Details.

The CMU hoist way to be absolutely plumb with Dual Door opening operation with Barrier-free rear at grade access and front opening Lobby provisions.

Division 15 - Mechanical/Plumbing

Unless indicated in the construction documents, all mechanical work such as, but not limited to heating and air conditioning are to be established and engineered by others. HVAC Sub-contractor is to be responsible for coordination of final location of all ductwork, returns and equipment which is subject to review and approval by the Architect. HVAC sub-contractor to coordinate with the Contractor all provisions for maximum sound attenuation and installation of isolators at points of equipment placement upon roof structural support members. All HVAC to be engineered by others. Refer to MEP plans

Fire Suppression/Sprinklers:

All levels, interior public and hotel guest room spaces to be protected. Fire suppression and sprinkler heads are to be designed and engineered by the Fire Suppression Sub-Contractor, or others, in accordance with Code as engineered by others and will be filed separately. Refer to MEP drawings and specifications.

Division 16 - Electrical

Electrical Service, Wiring and Connections:
Contractor to verify adequacy of existing electrical service prior to preparing an application for construction permit. All electrical work to be engineered by others and filed separately. Refer to MEP plans and specifications.

Wall Switches & Lighting Controls:

All electrical wall switches to be rocker panel type as manufactured by Lutron, or equal. All public lavatories to be equipped with motion sensor wall switches. Renovated restaurant space to be equipped with dimmer capabilities throughout. All light switch controls to be compatible with LED lighting fixtures. All public corridor lighting to be centrally controlled. All ground floor exterior lighting to be operated by photocell device. Alley way lighting to be operated by motion detection device. Refer to engineered MEP plans and specifications prepared by others for all details.

Convenience Receptacles:

All electrical service convenience receptacles to be appropriate for their intended uses and have Underwriters Laboratory Certification. Provide GFI receptacles in all wet areas as per Code including covered porch areas, as per plan and shown on MEP plans and details.

Lighting Fixture Wiring:

All electrical work such as, but not limited to connection of power to renovated kitchen, public corridor, all basement level functions, basement level, stairwell and exterior lights are to be connected to service panels by Contractor. All interior lighting to be LED type.

Fire Protection Emergency Power Requirements

The following systems that support life safety in a building shall be provided with an approved secondary power source:

- Exit signage
- Exit lighting (exit access and exit)

Electrical Life-safety System Connections:

Electrical Sub-Contractor to provide all emergency strobe lights, illuminated exit signage, fire alarm and emergency annunciator systems as schematically indicated on MEP plans and details engineered by others and required by Code.

Contractor to provide new hard wired smoke detection and carbon monoxide alarms as noted on MEP plans.

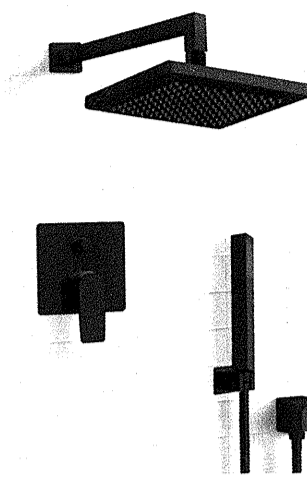
Exterior Lighting Compliance:

All proposed exterior electrical and gas lantern lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent property occupancy.

Guest Hotel Room - Specialty Bath Items

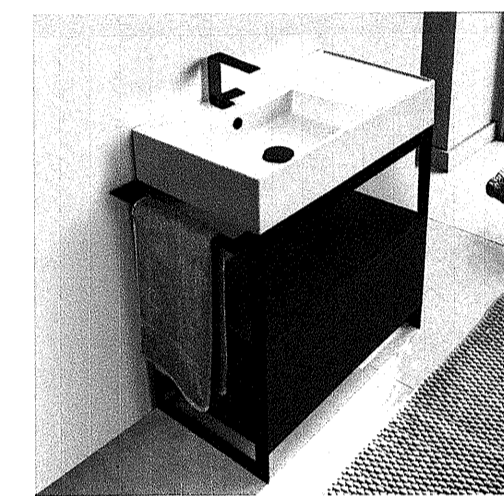
Shower System Kit

Remer Orsino Shower Black Matte Trim Kit System with 8" square rain head and hand-held shower wand in Guest Room shower stall



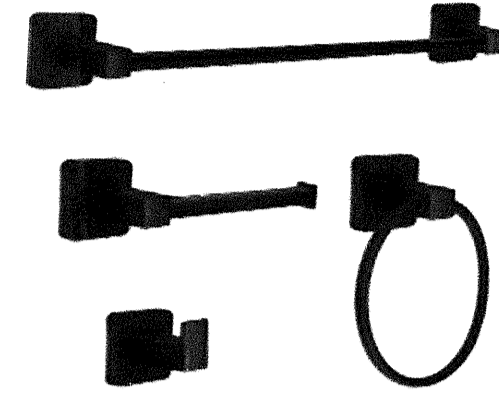
Sink/Vanity Console

Scarabeo single hole combo White Ceramic sink/vanity console with lower Matte Black Drawer with matching Black sink basin stopper and overflow trim. Model sizes vary to accommodate each Guest Bath dimensions.



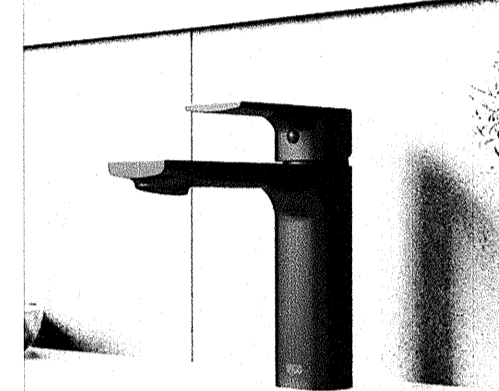
Guest Bathroom Accessories

AITKININ 4-piece stainless steel accessory bath kit in US - Black Matte finish, or approved equal, with concealed screws.



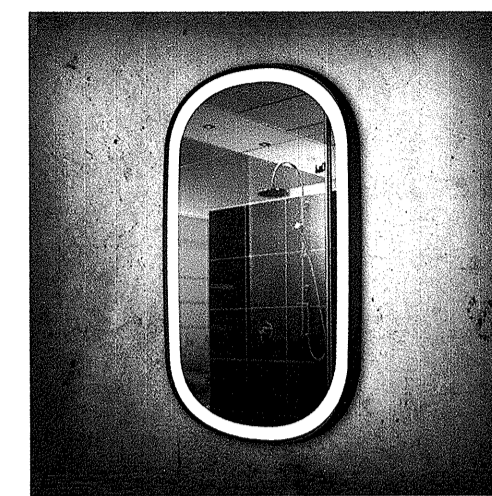
Sink Faucet

VIGO - Davidson US19 - Flat Black finish Centerset Faucet model #VGO1043MB with Speed Connect Technology.



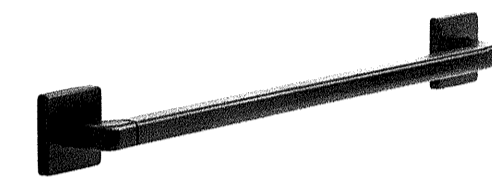
Bathroom Mirror

Remer Orsino Black Matte Shower Trim Kit System with 8" square rain head and hand-held shower wand in each Guest Room shower stall, or approved equal.



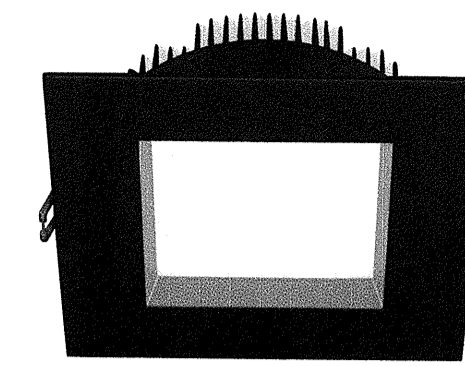
Guest Bathroom Grab Bars

Black Matte 18 Gauge 1 1/4" diameter US-19 Matte Black finish with concealed screws as manufactured by Delta - "Angular Modern Decorative" in all required barrier free Guest Bath areas and Guest Room Shower Stalls. Wall clearance to be 1 1/2" in all locations. All length dimensions as per detailed plans.



Typical Recessed Lighting & Trim

Scale: NTS



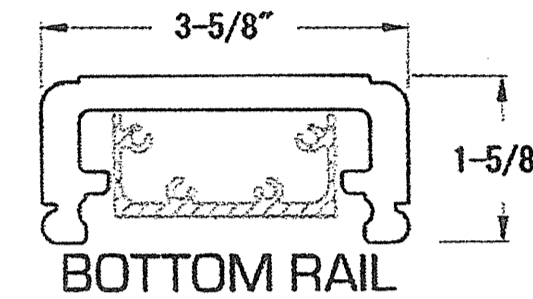
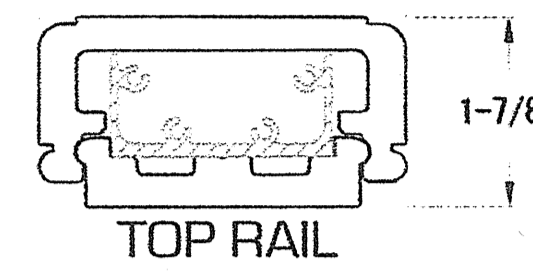
RS35350

Rail sections are available in 6', 8', 10' & 12'.

Rail Kits include:
Horizontal Rails, Structural Reinforcements, Square Balusters, Hardware and Crush Blocks

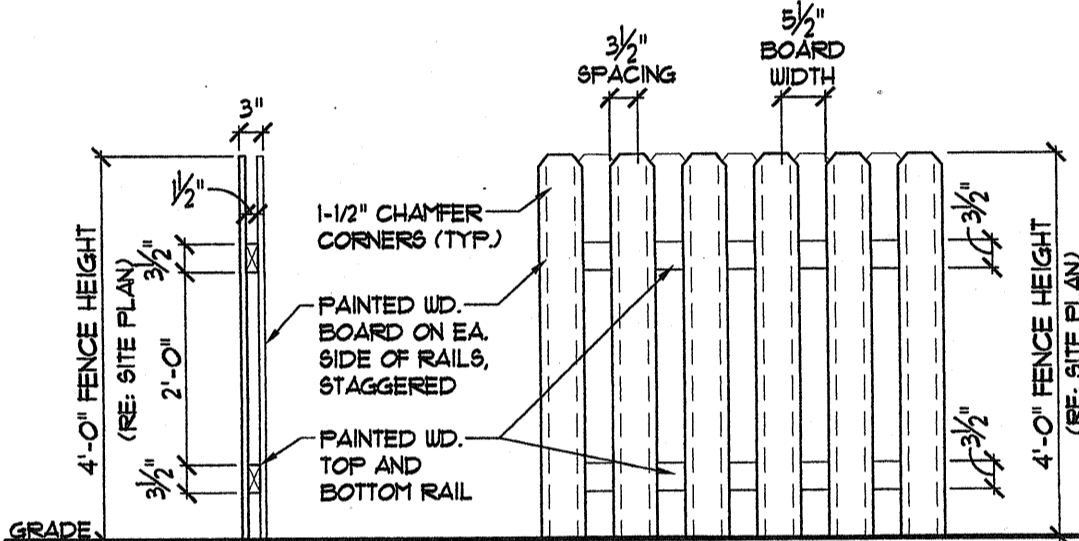
Rail Sets include:
Horizontal Rails, Structural Reinforcements, Brackets, Screws and Crush Blocks

3-5/8"



Guard Railing Profile

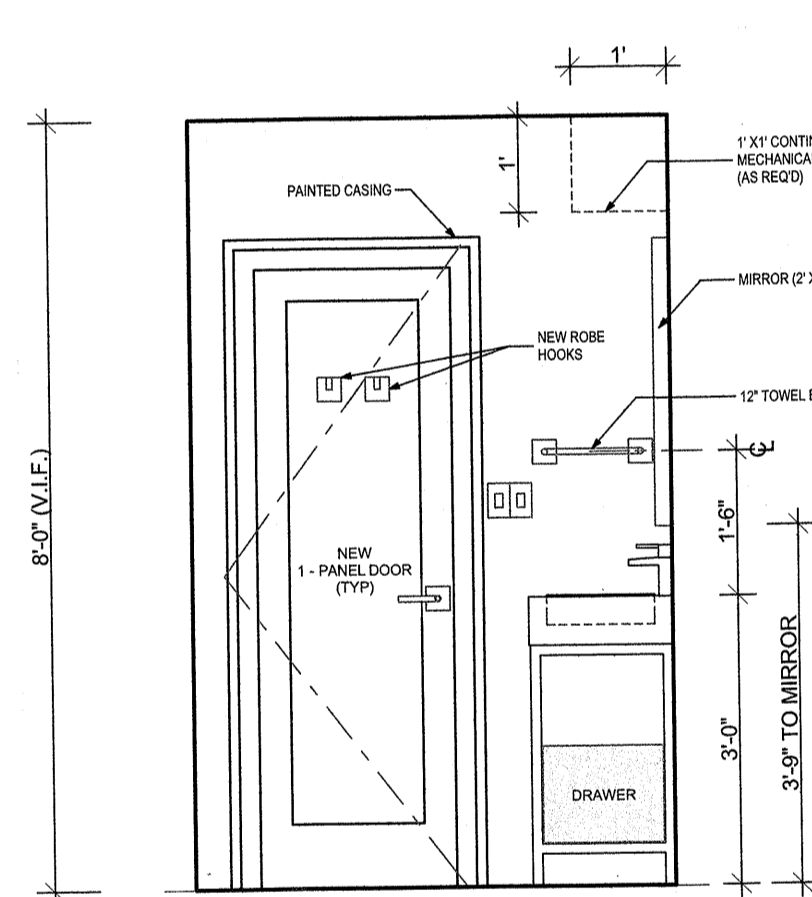
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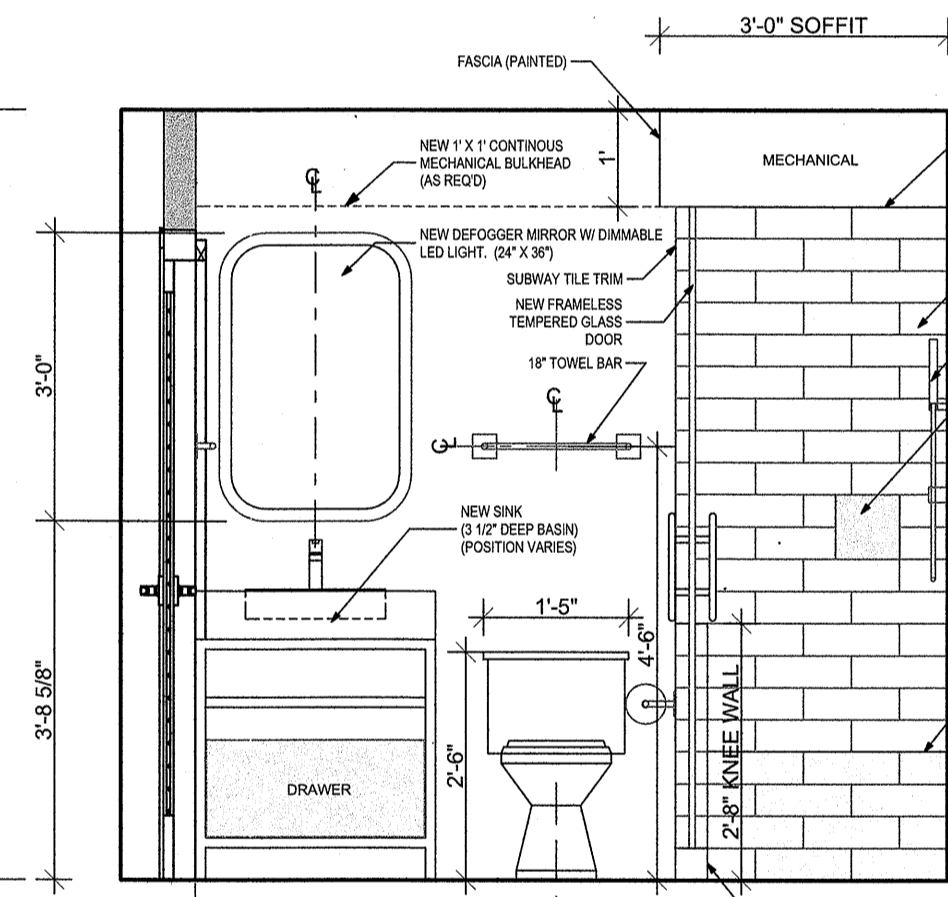
Board-on-Board Fence Details

Scale: 1/2" = 1'-0"

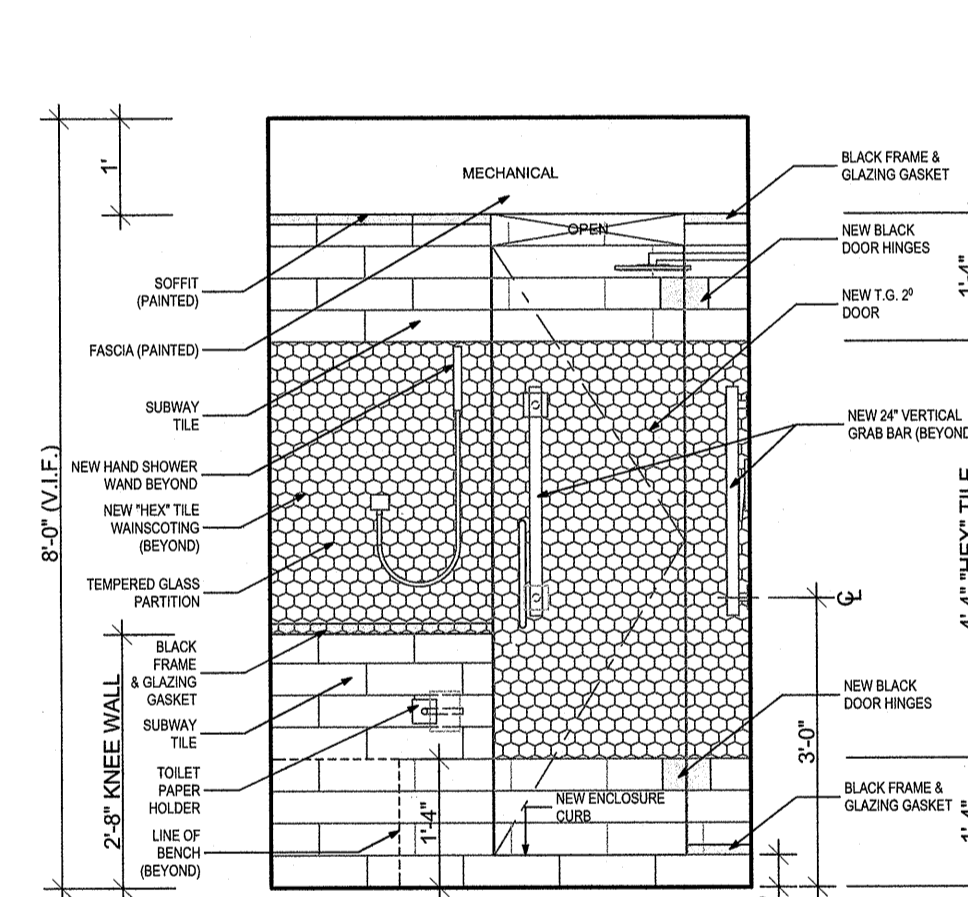
NOTE: FENCE PAINT COLOR SHALL BE SUBMITTED TO HPC FOR APPROVAL



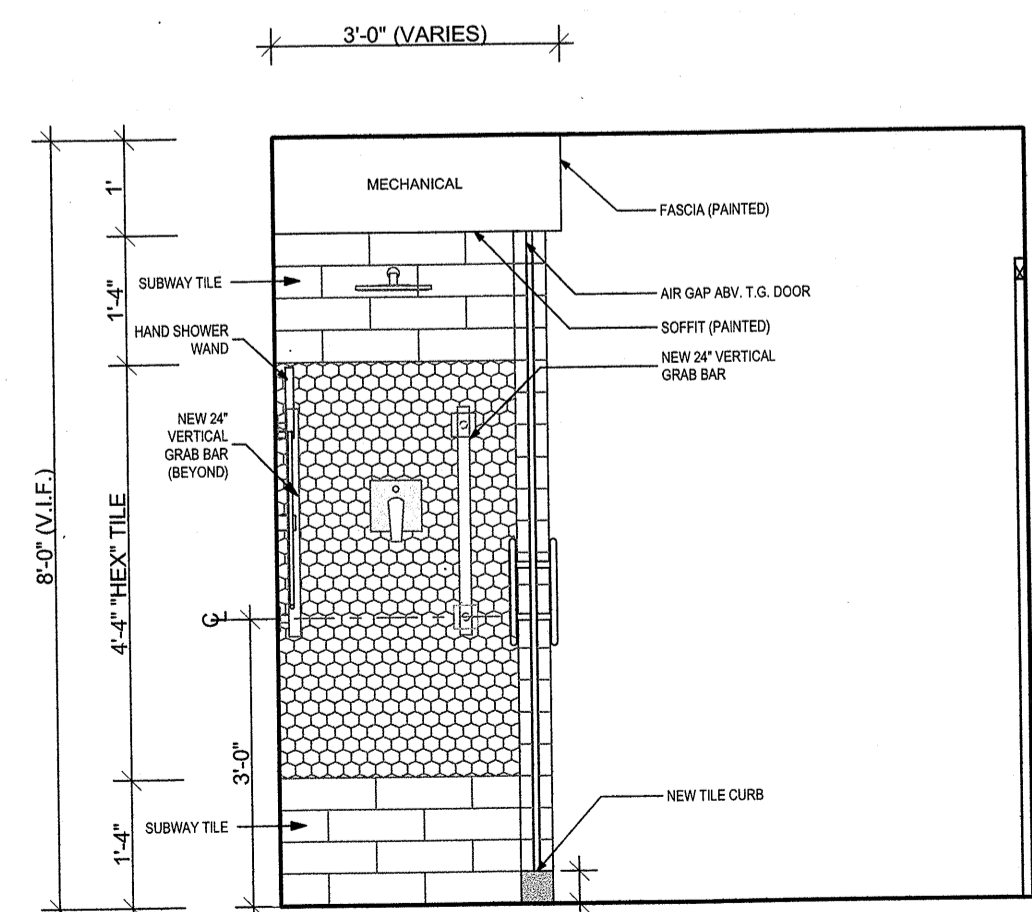
Typical View towards Guest Bath Door



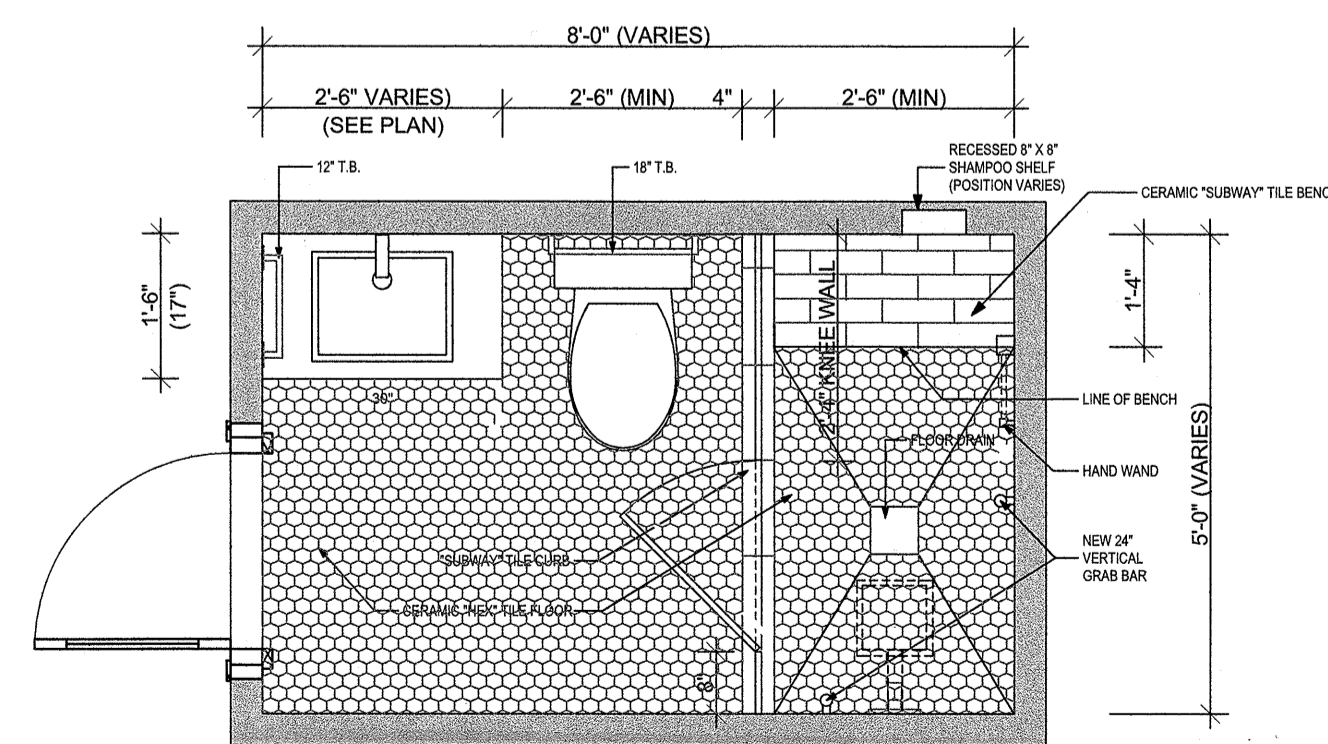
Typical View to Sink Vanity Console



Typical View towards Shower Stall

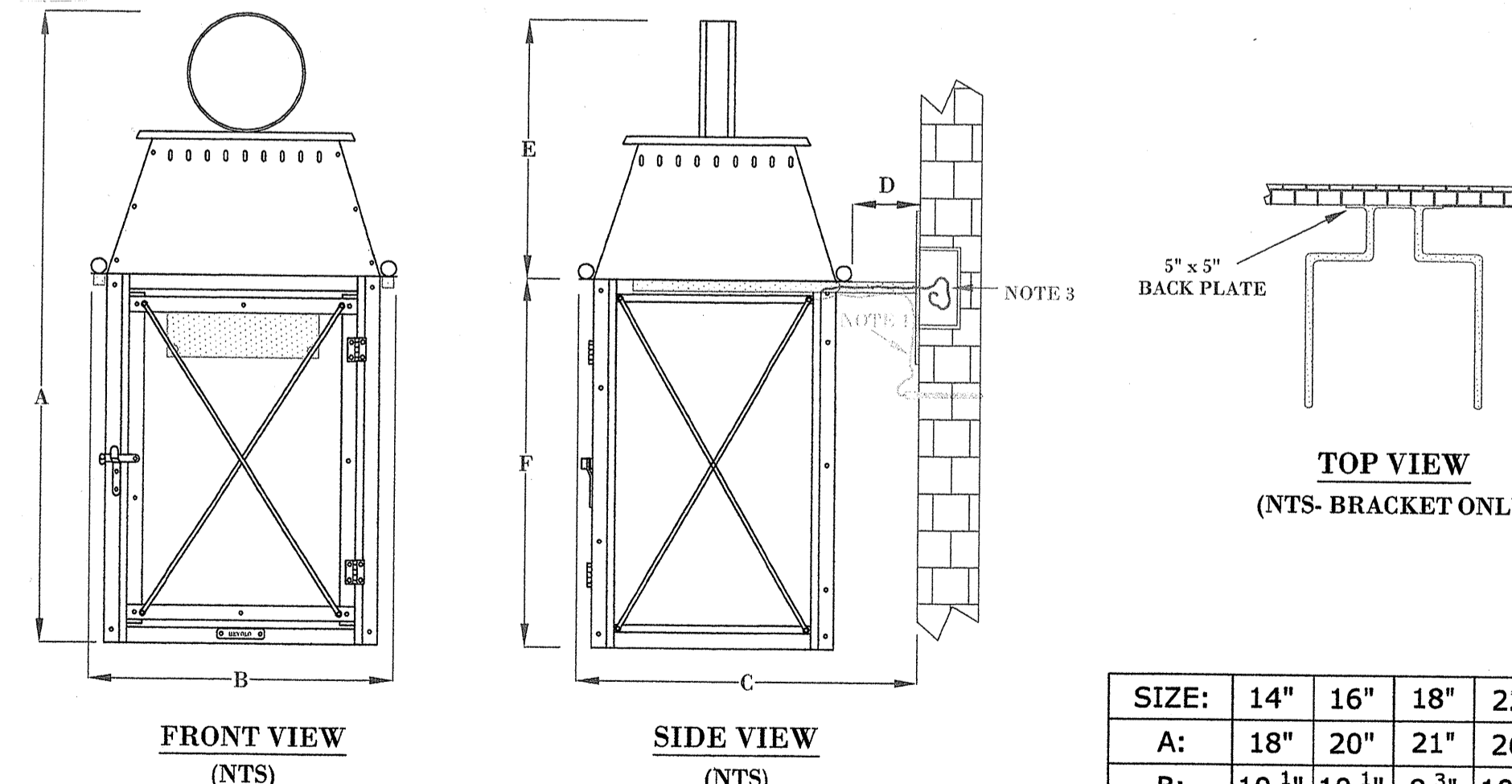


Typical View towards Shower Controls



Guest Bath Plan Details

Scale: 1/2" = 1'-0"



NOTES:

1. MOUNTING HARDWARE SUPPLIED BY OTHERS
2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/8"
3. ELECTRIC LIGHTS SUPPLIED WITH 1/8" WIRE WITH GROUND
4. GAS LIGHTS SUPPLIED WITH 1/2" COPPER GAS LINE AND 1/2" x 1/2" GAS LINE ADAPTOR

Gas Lantern Detail

Manufacturer Shop Drawings Required

Electrical Lighting

Exterior surface mounted electrical fixtures for proposed rear at grade elevator access and side yard conditions - as per plan. Gas lantern fixture to be same but with 60 watt faux flame lamp with rain glass to eliminate any glare.

SIZE:	14"	16"	18"	22"
A:	18"	20"	21"	26"
B:	10 1/8"	10 1/8"	8 3/4"	10 1/8"
C:	11 1/8"	11 1/8"	10 1/8"	11 1/8"
D:	2 1/2"	2 1/2"	2 1/2"	2 1/2"
E:	8"	8"	6 1/4"	8"
F:	10 1/8"	12 1/8"	14 1/4"	18 1/8"

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CERTIFICATE OF AUTHORIZATION #24GA28223400

DAVID J. MANTONE
PROFESSIONAL ENGINEER
N.J. LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.:	DESCRIPTION:	DATE:
2	HPC CONCEPT	9/12/23

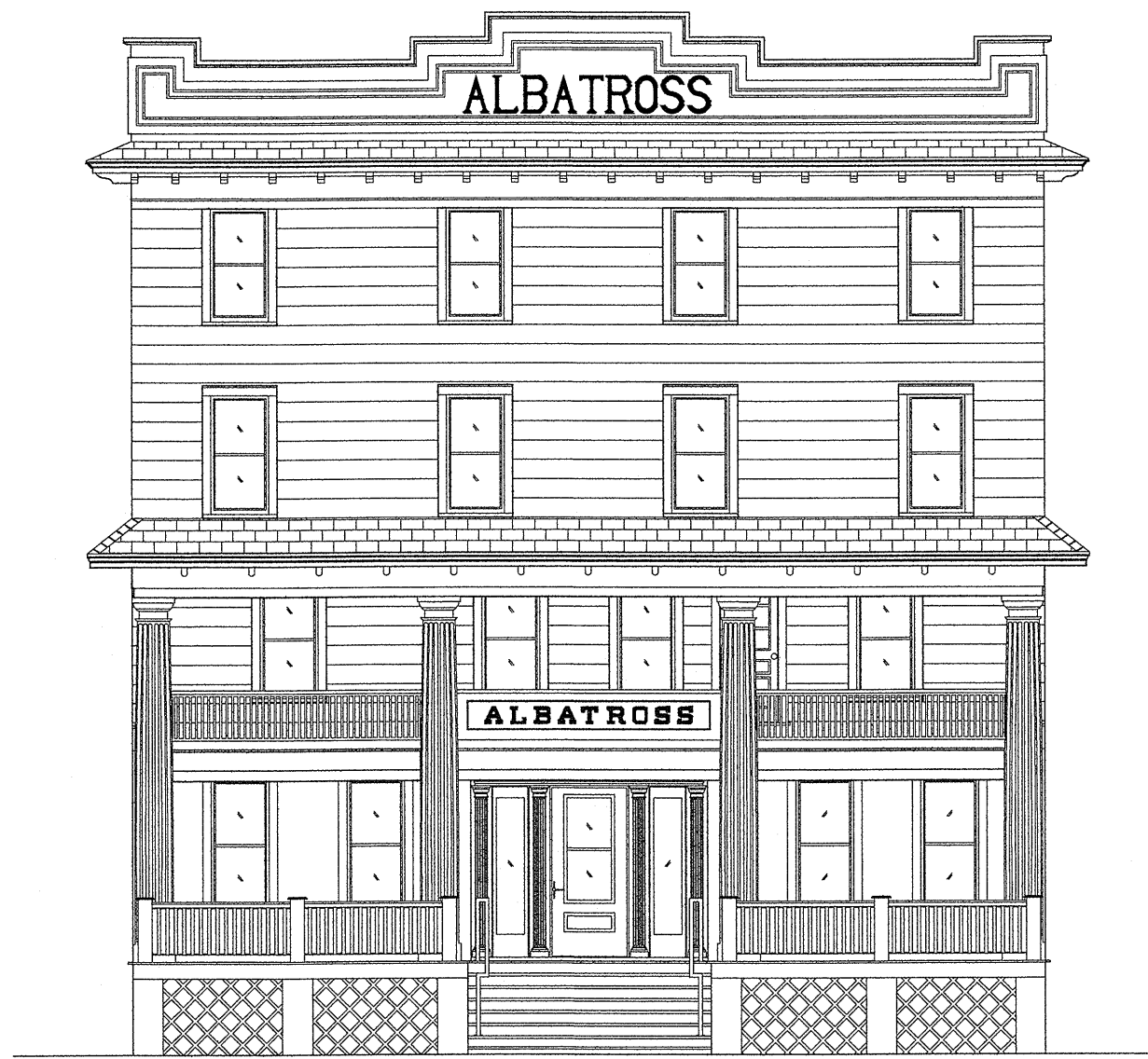
SHEET TITLE: Specialty Details & Specifications

DRAWN BY: MP/EP/EAC
REVIEWED BY: [Signature]

SCALE: N/A
DESIGN DEVELOPMENT

DATE: 2/14/23
A17

JOB: 213



Front Elevation
Scale: 1/4" = 1'-0"



Side Elevation (West)
Scale: 1/4" = 1'-0"



Rear Elevation (South)
Scale: 1/4" = 1'-0"



Side Elevation (East)
Scale: 1/4" = 1'-0"

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ALBATROSS HOTEL
PROPOSED RENOVATIONS
& ALTERATIONS
TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT 46
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.:	DESCRIPTION:	DATE:

SHEET TITLE:
As-Built Elevations

DRAWN BY: <i>THS</i>	REVIEWED BY: <i>MP</i>
SCALE: N/A	DESIGN DEVELOPMENT
DATE: <i>01/19/03</i>	A18
JOB: 2213	

FLOOR	FTF	F	R
4	8'-1"	X	
3	9'-0"	X	
2	8'-11"	X	
1	9'-8"	X	X
B	8'-6"	X	X

INTERMEDIATE SUPPORT REQUIRED AT FLOORS MARKED WITH AN ASTERISK. SEE PIT AND RAIL LOADS CHART FOR MAXIMUM VERTICAL SPAN GUIDE RAIL SUPPORT.

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PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #6
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: 5B

REVISIONS

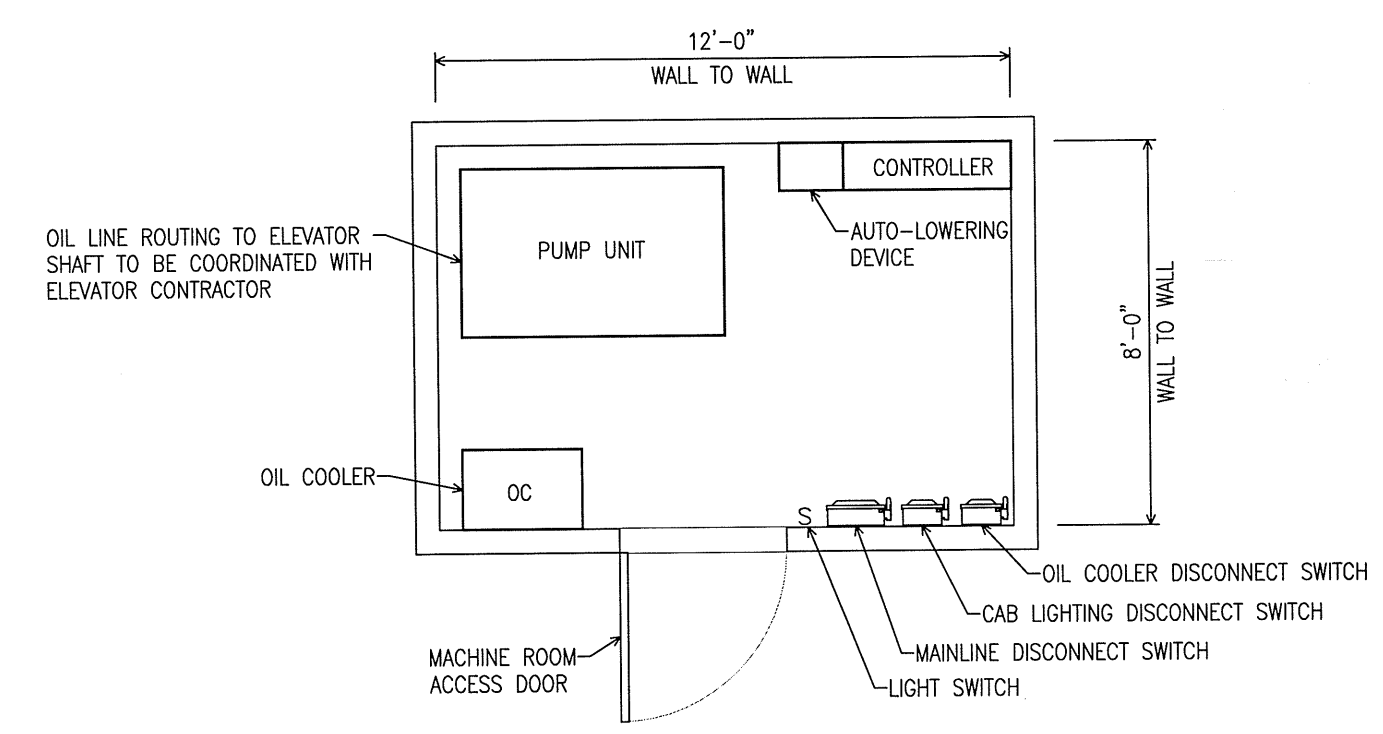
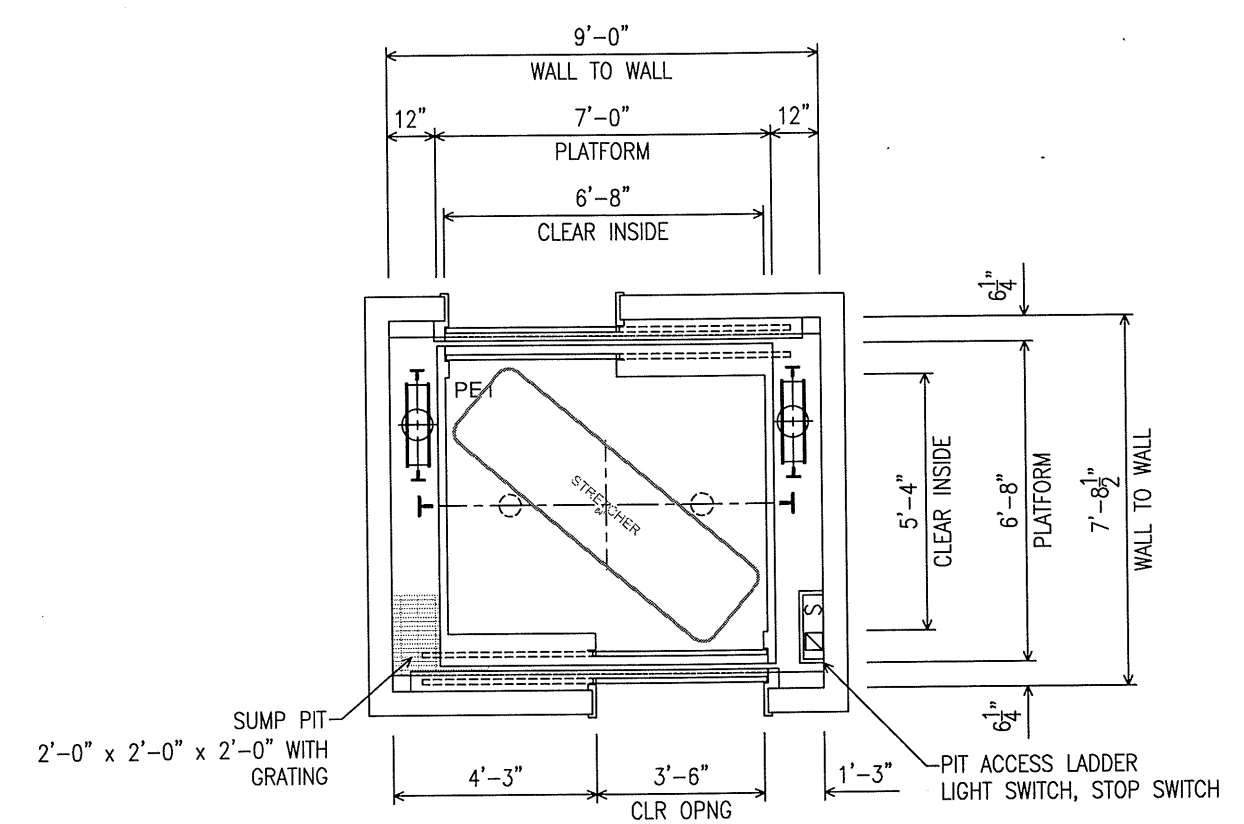
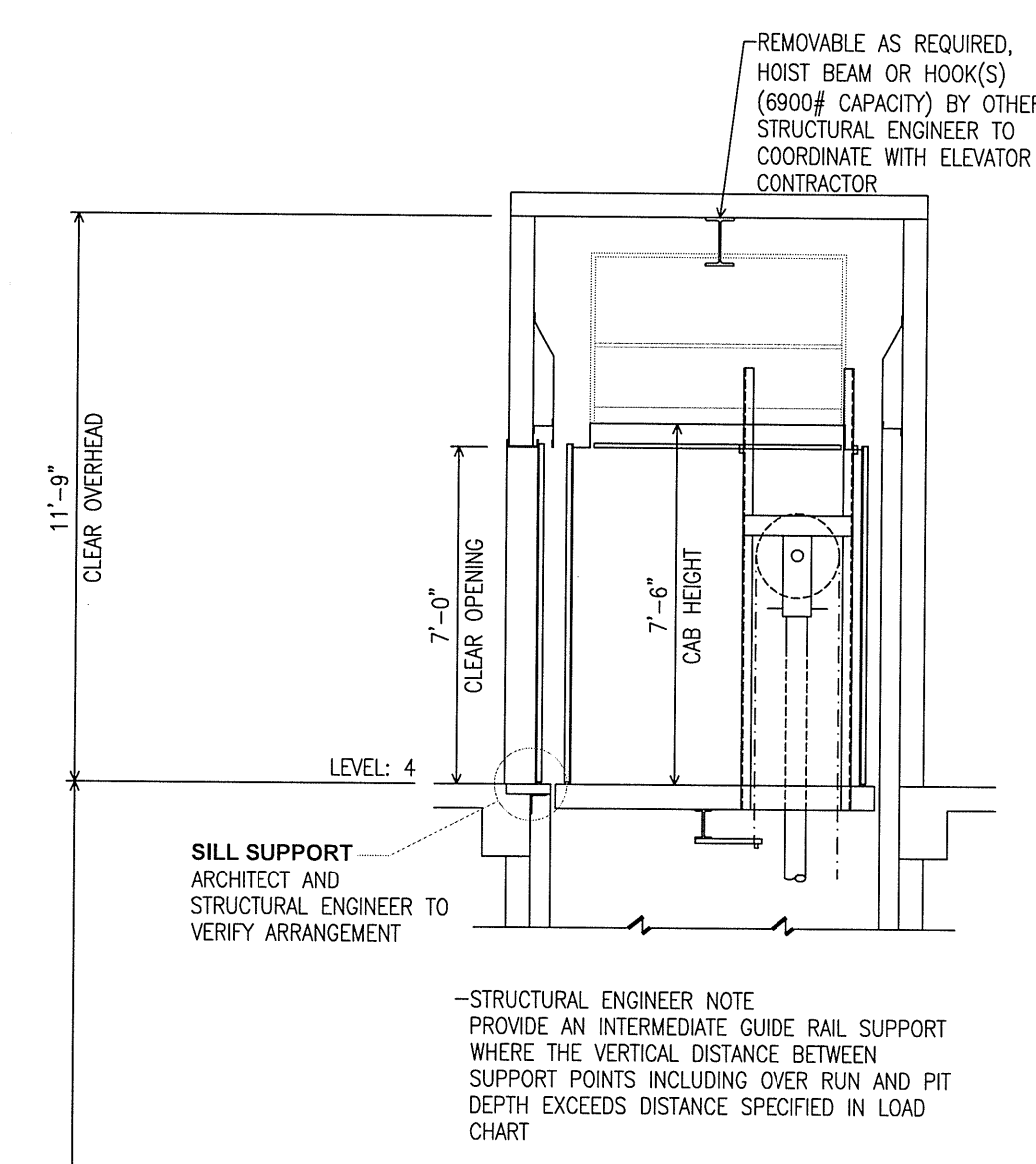
NO.	DESCRIPTION	DATE

SHEET TITLE: Elevator Details

DRAWN BY: *BS* REVIEWED BY: *MP*

SCALE: N/A DESIGN DEVELOPMENT

DATE: 02/14/23 **A19**
 JOB: 2213



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 Phone: 973-984-8220 Fax: 973-984-2339
 e-mail: eng@vdaassoc.com
 120 Eagle Rock Avenue, Suite 310
 East Hanover, NJ 07930

Refer to full Elevator Specification as provided in the attached Section 14 24 00 HYDRAULIC Elevator Document pages 1 through 55 as prepared by VDA Elevator Consultant and issued March 27, 2023.

PASSENGER ELEVATOR
 PE1
 CLASS "C3" LOADING
 3500# @ 150 FPM

POWER AND VENTILATION / UNIT
 POWER BASED ON: 208V 3-PHASE-60 HERTZ

MOTOR HP	FULL LOAD RUNNING AMPS	FULL LOAD ACCEL. AMPS	HEAT RELEASE BTU/HR/UNIT	LOADS SHOWN ARE ESTIMATED. COORDINATE FINAL LOADS WITH ELEVATOR MANUFACTURER
60	252	531	38500	

- HYDRAULIC MACHINE ROOM NOTES:
- AIR CONDITIONING EQUIPMENT SHALL NOT BE LOCATED DIRECTLY ABOVE ELEVATOR EQUIPMENT. COORDINATE FINAL LOCATION OF AC EQUIPMENT WITH THE ELEVATOR SHOP DRAWINGS.
 - PROVIDE SELF CLOSING, SELF LOCKING, FIRE RATED MACHINE ROOM DOOR PER CODE. MINIMUM 200 LUX MEASURED AT MACHINE ROOM FLOOR REQUIRED.
 - MAINTAIN 7'-0" CLEAR HEIGHT THROUGHOUT ENTIRE MACHINE ROOM AFTER INSTALLATION OF EQUIPMENT.
 - MACHINE ROOM TO BE VENTILATED DIRECTLY TO OUTSIDE AIR, NATURALLY OR MECHANICALLY IN ACCORDANCE WITH NYC CODE REGULATIONS.
 - EQUIPMENT IN THE MACHINE ROOM SHALL BE USED FOR THE FUNCTION OF THE ELEVATOR ONLY.
 - ACCESS TO ANOTHER PORTION OF THE BUILDING, INCLUDING THE ROOF, THROUGH THE MACHINE ROOM IS PROHIBITED PER CODE.
 - MACHINE ROOM TEMPERATURE MUST BE MAINTAINED BETWEEN 55-95 DEG. F.
 - LOCATE MACHINE ROOM WITHIN 40'-0" OF HOISTWAY (OR IN ACCORDANCE WITH LOCAL CODE REGULATIONS) AND SHALL NOT CROSS AN EXPANSION JOINT.

PIT AND RAIL LOADS PE1

SEISMIC CLASS LOAD RATING	S2
RAIL WEIGHT/SIZE	15
HYDRAULIC CYLINDER	A * 13.0 K
CAR BUFFER REACTION ***	B * 13.3 K
WEIGHT ONE STACK CAR RAIL	700 #
	F _{SW} * 19.1 K
RAIL LOADS PER RAIL	NORMAL R1 800 #
	FORCES R2 800 #
	SEISMIC R1 ** 1200 #
	FORCES R2 ** 600 #
MAX VERT SPAN GUIDE RAIL SUPPORT	6'

RAIL support points shall have a max deflection of 1/8" when acted upon by forces R1 and R2 1/4" when acted upon by seismic forces R1 and R2

LOADS SHOWN ARE ESTIMATED. COORDINATE FINAL LOADS WITH ELEVATOR MANUFACTURER

Elevator Specification

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Work Included: The extent of the work is indicated on the drawings.
- B. Work of this Section includes labor, materials, tools, equipment, appliances and services required to manufacture, deliver and install the units complete as shown on the drawings, as specified herein, and/or as required by job conditions.

- C. The work and/or requirements specified in all sections is described in singular with the understanding that identical work shall be performed on all units or associated systems unless otherwise specified herein.

- D. The work shall include, but is not limited to the following:
- One (1) 3500 lbs. capacity dual roped holess hydraulic passenger elevator operating at 150 fpm.
 - Clear overrun of 11'-9". Calling for a 7'-6" cab height and removable hoist beam.

E. Related Sections

- Division 01: Protecting hoistway during installation of equipment, LEED Reporting Form, Construction Waste Management, Sustainable Design Requirements, Indoor Air Quality Management, Volatile Organic Compound Limits, Cutting and patching, Concrete pits and slabs.
- Division 03: GROUTING
- Section 03 60 00: GROUTING
- Section 05 12 00: Structural steel hoistway frame, hoist beam in overhead.
- Section 05 50 00: Access Ladders, smoke hole grating, railing and inspection platforms, intermediate support members, sump pit covers, Interior Ornamental Metals.
- Section 05 70 00: Elevator pit waterproofing.
- Section 08 80 00: Interior Glass and Glazing.
- Section 09 20 00: Shaft and machine room walls.
- Section 09 20 00: Shaft and machine room walls.
- Section 09 60 00: Ventilation of hoistway and machine room, and fire extinguisher in machine room.
- Division 23: Power feeders to starter panels through fused main line switches Branch circuits through fused disconnects for car lights.
- Division 26: Lights and GFI receptacles in machine room and pit.
- Division 26: Signal wiring to initiate emergency power operation.
- Division 26: Signal wiring from smoke detectors to a junction box in the machine room.
- Division 26: Empty conduit runs for wiring required to monitor elevators from a central location.
- Division 26: Shunt trip devices to automatically disconnect the main power supply to the elevators prior to the activation of sprinkler system.
- Division 27: Life safety system speakers and telephone communication wiring to a junction box in the machine room for each elevator.
- Division 27: Card reader and CCTV Systems, device and their interface with the elevator system.
- Division 27: Telephone communications wiring terminated in a junction box located next to the controller.
- Division 27: Ethernet port in each elevator machine room, fire command center and building engineer's office.

F. Abbreviations and Symbols

1. The following abbreviations, Associations, Institutions, and Societies may appear in the Project Manual or Contract Documents:

ADA	Americans with Disabilities Act
AHJ	Authority Having Jurisdiction
AIA	American Institute of Architects
ANSI	American National Standards Institute
ASME	American Society of Mechanical Engineers
ASTM	American Society for Testing and Materials
AWS	American Welding Society
IBC	International Building Code
IEEE	Institute of Electrical and Electronics Engineers
NEC	National Electrical Code
NEMA	National Electrical Manufacturers Association
NFPA	National Fire Protection Agency
OSHA	Occupational Safety and Health Act

G. Codes and Ordinances / Regulatory Agencies

1. Work specified by the Contract Documents shall be performed in compliance with applicable Federal, State, and municipal codes and ordinances in effect at the time of Contract execution. Regulations of the Authority Having Jurisdiction shall be fulfilled by the Contractor and Subcontractors. The entire installation, when completed, shall conform with all applicable regulations set forth in the latest editions of:

- Local and/or State laws applicable for logistical area of project work.
- Building Code applicable to the AHJ.
- Elevator Code applicable to the AHJ.
- Safety Code for Elevators and Escalators, ASME A17.1 and all supplements as modified and adopted by the AHJ.
- Safety Code for Elevators and Escalators, A17.1S supplement to A17.1 as modified and adopted by the AHJ for Machine Room Less installations (MRL).
- Guide for Inspection of Elevators, Escalators, and Moving Walks, ASME A17.2.
- Safety Code for Existing Elevators and Escalators, ASME A17.3 as modified and adopted by the AHJ.
- Guide for emergency evacuation of passengers from elevators, ASME A17.4.
- National Electrical Code (ANSI/NFPA 70).
- American with Disabilities Act - Accessibility Guidelines for Building and Facilities and/or A117.1 Accessibility as may be applicable to the AHJ.
- ASME A17.5/CSA-B44.1 - Elevator and escalator electrical equipment.
- ECC (Energy Conservation Code) as may be applicable to the AHJ.

2. The Contractor shall advise the Owner's Representative of pending code changes that could be applicable to this project and provide quotations for compliance with related costs.

H. Reference Standards

- AISC - Specification for the Design, Fabrication and Erection of Structural Steel for Buildings.
- ANSI/AWS D1.1 - Structural Welding Code, Steel.
- ANSI/NFPA 80 - Fire Doors and Windows.
- ANSI/UL 10B - Fire Tests of Door Assemblies.
- ASTM D1785 - PVC Pipe
- ASTM D2466 - PVC Pipe Fittings
- ASTM D2564 - Cement for PVC Pipe and Fittings
- ANSI/IEEE - 519-Latest Edition.
- ANSI/IEEE - Guide for Surge Withstand Capability (SWC) Tests
- ANSI Z97.1 - Laminated/Safety Tempered Glass

I. Definitions

- Defective Work: Operation or control system failure, including excessive malfunctions; performances below specified ratings; excessive wear; unusual deterioration or aging of materials or finishes; unsafe conditions; need for excessive maintenance; abnormal noise or vibrations; and similar unusual, unexpected, and unsatisfactory conditions.
- Provide: Where used in this document, provide shall mean to install new device, apparatus, system, equipment or feature as specified in this document.
- Definitions in ASME A17.1 as amended or modified by the AHJ apply to work of this Section.

PERMITS AND SUBMITTALS

A. Permits

- Comply with the requirements of Division 01.
- Prior to commencing work specified by the Contract Documents, the Contractor shall, at its own expense, obtain all permits or variances as may be required by the AHJ and provide satisfactory evidence of having obtained said permits and variances to both the Owner's Representative and Consultant.
- File necessary drawings for approval of all Authorities Having Jurisdiction.

B. Submittals

- Comply with the requirements of Division 01.
- Submit the following

Item No.	Quantity	Size	Description
S1	3	12" x 12"	Exposed finishes as requested by Architect
S2	1	Actual	Each fixture as requested by the Architect
S3	1	Actual	Mitered, corner construction of entrance frame
S4	1	Actual	Entrance Jamb and Car Braille plate

- The samples shall be:
- Held on site after inspection and used as a standard for acceptance or rejection of subsequent production units.
 - Labeled to identify their intended use and relation to the documents, e.g., car finishes, control panel, etc.
 - Returned to the elevator contractor at the completion of the project.

Subject to approval, where an item of equipment is a standard item, copies of the manufacturer's catalogue or brochure may be accepted provided that all dimensions and relevant information are shown in the catalogue or brochure.

C. Shop Drawings - Submit computer generated layout drawings for approval. Include the following:

- A listing of all components, devices and sub-systems including:
 - Manufacturer and location of plant
 - Size and model number
- Machine room plan indicating:
 - Location of equipment
 - Service connections
 - Power unit weight
 - Oil line and conduit routing
 - Reactions
- Fully dimensioned hoistway plan and section of each unit indicating:
 - Platform (with cab), hoistway and entrance dimensions
 - All running clearances
 - Location of fixtures
 - Buffers, service ladders and pit reactions
 - Location of inserts
 - Rail Reactions
- Entrance details
- Shil support detail
- Fixture details including hall lanterns, hall pushbutton stations, car operating panel, etc.
- Wiring diagrams
- Insert diagrams
- Cab details including wall, ceiling, base, handrail, lighting, fixtures, front return and transom plans and sections

D. Calculations

- Rail loads
- Pit and machine room reactions
- Heat emissions in machine room and hoistway.
- Electrical loads including, accelerating and running currents. Include all auxiliary loads.

E. Keys

- Upon the initial acceptance of work specified by the Contract Documents on each unit, the Contractor shall deliver to the Owner, six (6) keys for each general key-operated device that is provided under these specifications in accordance with ASME A17.1, Part 8 standards as may be adopted and modified by the AHJ.
- All other keying of access or operation of equipment shall be provided in accordance with ASME A17.1 Part 8 as may be adopted and modified by the AHJ.

F. Diagnostic Tools

- Prior to seeking final acceptance of the project, the Contractor shall deliver to the Owner any specialized tools required to perform diagnostic evaluations, adjustments, and/or programming changes on any microprocessor-based control equipment installed by the Contractor. All such tools shall become the property of the Owner.
 - Owner's diagnostic tools shall be configured to perform all levels of diagnostics, systems adjustment and software program changes which are available to the Contractor.
 - Owner's diagnostic tools that require periodic re-calibration and/or re-initiation shall be performed by the Contractor at no additional cost to the Owner for a period equal to the term of the maintenance agreement from the date of final acceptance of the project.
 - The Contractor shall provide a temporary replacement, at no additional cost to the Owner, during those intervals in which the Owner might find it necessary to surrender a diagnostic tool for re-calibration, re-initiation or repair.
- Contractor shall deliver to the Owner, printed instructions, access codes, passwords or other proprietary information necessary to interface with the microprocessor-control equipment.

G. Wiring Diagrams, Operating Manuals and Maintenance Data

- Comply with the requirements of Division 01.
- Deliver to the Owner, four (4) identical volumes of printed information organized into neatly bound manuals prior to seeking final acceptance of the project.
 - The manuals shall also be submitted in electronic form on non-volatile media, incorporating raw 'CAD' and/or Acrobat 'PDF' file formats.
 - Manuals, as well as electronic copies, shall contain the following:
 - Step-by-step adjusting, programming and troubleshooting procedures that pertain to the solid-state microprocessor-control and motor drive equipment.
 - Passwords or identification codes required to gain access to each software program in order to perform diagnostics or program changes.
 - A composite listing of the individual settings chosen for variable software parameters stored in the software programs of both the motion and dispatch controllers.
 - Method of control and operation.
 - Provide four (4) sets of "AS INSTALLED" straight-line wiring diagrams in both hard and electronic form in accordance with the following requirements:
 - Displaying name and symbol of each relay, switch or other electrical component utilized including identification of each wiring terminal.
 - Electrical circuits depicted shall include all those which are hard wired in both the machine room and hoistway.
 - Supplemental wiring changes performed in the field shall be incorporated into the diagrams in order to accurately replicate the completed installation.

- Furnish four (4) bound instructions and recommendations for maintenance, with special reference to lubrication and lubricants.
- Manuals or photographs showing controller repair parts with part numbers listed.

F. Training

- Prior to seeking final acceptance of the project, the Contractor shall conduct an eight-hour training program on-site with building personnel selected by the Owner.
 - The focus of the session shall include:
 - Instructions on proper safety procedures and who to contact for the purpose of assisting passengers that may become entrapped inside an elevator car.
 - Explain each control feature and its correct sequence of operation.
 - Control features covered shall include but not be limited to:
 - Independent Service Operation.
 - Emergency Fire Recall Operation - Phase I
 - Emergency In-car Operation - Phase II.
 - Emergency Power Operation.
 - Emergency Communications Equipment.
 - Interactive Systems Management.
 - Remote Monitoring/Controls.

G. Patents

- Patent licenses which may be required to perform work specified by the Contract Documents shall be obtained by the Contractor at its own expense.
- The Contractor agrees to defend and save harmless the Owner, Consultant and agents, servants, and employees thereof from any liability resulting from the manufacture or use of any patented invention, process or article of appliance in performing work specified in the Contract Documents.

H. Advertising

- Advertising privileges shall be retained by the Owner.
- It shall be the responsibility of the Contractor to keep the job site free of posters, signs, and/or decorations.
- Contractor's logo shall not appear on facelates or entrance sills without the approval of the Owner.

1.3 QUALITY ASSURANCE

A. Energy Conservation Code

- The Contractor shall comply with the requirements set forth in the Energy Conservation Code as may be applicable to the AHJ.
- Except for equipment or systems under the purview of other disciplines, elevator and escalator equipment provided by the Contractor requiring compliance shall include, but not be limited to:

- Energy efficiencies of car interior lighting and ventilation
- Automatic operation of car interior lighting and ventilation through the individual car controller

B. Qualifications

- The work shall be performed by a company specialized in the business of manufacturing, installing and servicing conveying systems of the type and character required by these specifications with a minimum of ten (10) years of experience.
- Prior written acceptance is required for manufacturers other than those listed, before quoting this project. Requests for acceptance will not be considered unless they are submitted before bid date and are accompanied by the following information:

- List of five (5) similar installations having exact equipment being proposed for this project arranged to show name of project, system description and date of completed installation. The list shall include the names, position and resumes of the construction team and field supervisor of the installations.
- Complete literature, performance and technical data describing the proposed equipment. Include the names, position and resumes of the proposed construction team and field supervisor.
- List of ten (10) service accounts by building name, building manager or owner, including phone numbers.
- Location of closest service office from which conveying system will be maintained.
- Location of closest parts inventory for this installation.
- List of the names, positions and resumes of the construction teams and field supervisor for the installation.

C. Structural, Mechanical and Electrical Design Parameters

- The mechanical and electrical systems and the building structure have been designed for the following design loads:
 - Structural Loads:
 - The pit, machine room and rail loads are shown on the drawings.
 - Power supply: 208V-3PH-60Hz
 - Electrical Loads: (PE1) 60 HP
252 A. FLR (Full Load Running)
531 A. FLA (Full Load Acceleration)
 - Heat Release: (PE1) 38,500 BTU/HR/UNIT
- Submit a written statement with the bid that the above design loads and the clearance requirements shown on the Architectural drawings are acceptable for the proposed equipment. If not, specifically state the design variances.
- After the award, if the type of equipment provided requires structure, mechanical and electrical system changes and/or revisions, the Elevator Contractor shall be responsible for all additional design and construction costs.
- Electrical equipment, motors, controllers, etc., installed under this contract shall have necessary CSA/US or UL listing as may be required by the AHJ. Equipment shall be labeled or tagged accordingly.

1.4 DELIVERY / STORAGE / HANDLING / COORDINATION

A. Delivery and Storage of Material and Tools

- Comply with the requirements of Division 01.
- Delivery, Storage and Handling:
 - Deliver materials to the site ready for use in the accepted manufacturer's original and unopened containers and packaging, bearing labels as to type of material, brand name and manufacturer's name. Delivered materials shall be identical to accepted samples.
 - Store materials under cover in a dry and clean location, off the ground.
 - Remove delivered materials which are damaged or otherwise not suitable for installation from the job site and replace with acceptable materials.
- The Owner shall bear no responsibility for the materials, equipment or tools of the Contractor and shall not be liable for any loss thereof or damage thereto.
- The Contractor shall confine storage of materials on the job site to the limits and locations designated by the Owner and shall not unnecessarily encumber the premises or overload any portion with materials to a greater extent than the structural design load of the Facility.

B. Work with Other Trades / Coordination

- Coordinate installation of sleeves, block outs, equipment with integral anchors, and other items that are embedded in concrete or masonry for the applicable equipment. Furnish templates, sleeves, equipment with integral anchors, and installation instructions and deliver to Project site in time for installation.
- Coordinate sequence of installation with other work to avoid delaying the Work.
- Coordinate locations and dimensions of other work relating to the equipment scheduled for installation including pit ladders, sumps, and floor drains in pits; entrance subsills; machine beams; and electrical service, electrical outlets, lights, and switches in pits and machine rooms, secondary levels, overhead sheave rooms and hoistways as it relates to the specific equipment.

1.5 WARRANTY / MAINTENANCE SERVICES

A. Contract Close-Out, Guarantee and Warranties

- Comply with the requirements of Division 01.
- Guarantee and Warranties:
 - Warrant the equipment installed under these specifications against defects in material and quality of installation and correct any defects not due to ordinary wear and tear or improper use of car which may develop within one year from the date each unit is completed and placed in permanent operation and accepted by the Owner.
 - This warranty shall be written and issued at the completion of each unit prior to final payment.

B. Maintenance

- Interim Maintenance: Provide full protective maintenance on the units that are completed and accepted by the AHJ and that may be put in service prior to the overall project completion. The maintenance service shall be as hereinafter specified under the Full Protective Maintenance Service in "3" below and include all code mandated safety and local law tests and inspections that may come due while on this service.

- The price quoted shall be on a per unit per month basis.
- Warranty Maintenance: Provide full protective maintenance on the specified equipment for a period of twelve (12) months from the date of final acceptance of the entire installation as specified under the Full Protective Maintenance Service in "3" below.
 - The price for this service shall be included in the base price or as otherwise specified in the contract documents.

- Full Protective Maintenance Service: Submit a separate price for a Full Protective Maintenance Service for the specified units based on a five (5) year contract. The price shall be submitted on the company's own form but shall include all requirements as specified hereinafter. Note: All maintenance shall comply with Part 8 of the ASME A17.1 Code and modified or amended by the Authority Having Jurisdiction.

- Maintenance work shall be performed by certified/qualified personnel directly employed and supervised by the service contractor.
- Perform scheduled maintenance work and repairs during the regular working hours of regular working days of the trade. All work shall be coordinated with the Building Manager.
- Provide emergency callback service and repair twenty-four (24) hours a day, seven (7) days a week, including holidays, but regular regular examinations at no extra cost to the Owner. The response time during working hours shall not exceed [one (1)/two (2) hour(s)]. Perform emergency repairs within four (4) hours to restore the equipment to operating order. The following conditions will require emergency callback services for elevators:

- Passenger entrapment.
- Failure or malfunction of control system.
- Shutdown of any elevator.

- Maintenance shall include monthly examination, adjustment, lubrication, repair or replacement of electrical and mechanical parts of all equipment and apparatus.
- The maintenance survey shall also cover relamping of machine room and pit lighting fixtures, signal and operating fixtures, communication system, cab ventilation system, monitoring and control panels. The disconnect means, fuses, car enclosures, car doors and hoistway entrances are excluded. Repair equipment whenever required and use only genuine standard parts produced and manufactured for equipment concerned.

- Include a minimum of two (2) hours of monthly labor per unit for the specified scheduled preventive maintenance service.
- The performance of mandated inspections and tests of the equipment, as required by the AHJ, shall be included in this agreement.

- Where required by the AHJ, witnessing shall be performed by a third party licensed agency hired directly by the Owner.
- Where testing is required to be performed after normal business hours, Contractor shall invoice the after-hours work at the premium portion of the hourly billing rate only.

- Provide firefighter and emergency power tests and inspections as may be required. There will be two emergency power tests per year which shall be conducted after work hours at no extra cost to the Owner.
- One (1) month prior to the warranty expiration period, perform a Performance and Maintenance survey of all devices covered under the agreement and submit a report listing the recorded performance data, the emergency call-back services rendered during the year, and recommendations to further improve reliability and performance.

- When requested, provide a recording of each car's acceleration, deceleration and jerk rates along with a 3-day history of average corridor call wait times from 7 a.m. to 6 p.m. as recorded on a specified Tuesday, Wednesday and Thursday.
- Provide and document all required periodic testing.

- During every scheduled maintenance visit, make sure the machine room and pit areas are clean.

- Paint the machine room floor and machine room equipment every three (3) years.
- Adjust controls and maintain the equipment to meet the performance requirements as hereinafter specified.
- If overtime repairs and maintenance services are requested and pre-approved by the Owner, the Contractor shall pay for the regular labor portion, and the Owner will cover the premium portion of the labor only.
- Keep permanent record of inspections, maintenance services including lubrication procedures, emergency call-back services, repairs and replacements.
- Maintain a complete set of updated wiring diagrams and schematic control diagrams in the machine room and provide the Owner with an additional record set.

- Supply all necessary lubricants, cleaning materials and repair parts required to keep the system in good working order during maintenance periods.
- Maintain an adequate stock of spare parts for maintenance or repair work and minor callback service repairs within the confines of the building in areas designated and assigned by the Owner. Maintain a catalog of spare parts available on site.
- Additional parts or equipment required for maintenance and repair of the systems may be stored at the Contractor's facilities with the understanding delivery of same for emergency procedures must be made within two (2) hours to the job site.
- Other materials and equipment normally not stocked by the Trade Contractor locally must be available within twenty-four (24) hours for delivery to the job site from remote facilities and/or Supplier Contractors responsible to the Contractor for stocking the materials or equipment.

- If the requirements for stockade of parts as defined herein are not met on any item, immediately notify the Owner in writing as to the circumstances and provide a confirmed delivery date for the required materials and equipment.
- Should it become necessary to work on the equipment, proper safety barricades shall be erected to protect people from all hazards.
- If for any reason (such as strike), it is mutually agreed to temporarily reduce the level of maintenance, the monthly amount of the maintenance contract shall be reduced to reflect the reduction in maintenance services.
- Should the Owner request that the maintenance Contractor perform any work on the equipment of this Contract, but not included in the terms of the Contract, then payment for such work shall be based on the rates included in the Contract for time and material.
- Thirty (30) days before the annual renewal of this agreement, adjust monthly maintenance price as follows:

- Eighty percent (80%) of the current maintenance price based on current straight-time hourly rate for a mechanic.
- Twenty percent (20%) of the current maintenance price based on the established difference in the "Producer Commodity Prices for Wholesale Metals and Metal Products Index".
- Notwithstanding anything to the contrary, the maximum annual increase shall not be more than three percent (3.0%) of the total contracted payment for the preceding contract year.

- Cancellation: The Owner has the right to cancel this contract on 30 days' notice.
- Obtain the following minimum insurance coverage:

a. Commercial General Liability Insurance on an Occurrence basis including:

- Bodily Injury, Property Damage including Personal Injury and death.
- "Per Project" endorsement.
- Broad form property damage liability.
- Blanket Contractual Liability including contractual liability assumed by this contract.
- Independent Contractors Protective Liability coverage. The minimum limit for Comprehensive Liability insurance coverage shall be:
 - Each Occurrence: \$1,000,000
 - General Aggregate: \$2,000,000including "Per Project" endorsement Products & Completed Operations Aggregate: \$1,000,000
- Excess liability limits of not less than:
 - Each Occurrence: \$4,000,000Coverage to follow form of underlying policies.
- Worker's Compensation Insurance - In accordance with the statutory limits.
- Employer's Liability Insurance - With a minimum limit of not less than:
 - Bodily Injury by Accident: \$1,000,000 each accident
 - Bodily Injury by Disease: \$1,000,000 each employee
 - Bodily Injury by Disease: \$1,000,000 policy limit
- Statutory State Disability Benefits Insurance covering all persons employed by the Contractor in connection with this contract.

- The foregoing insurance policies shall be primary to any other insurance which may be carried by the Owner or Owner's Agent and shall name the Owner, the Owner's Agent and the Consultant as additional insured with a specific policy endorsement as follows:
- Certificates of Insurance evidencing such coverage shall be filed with the Owner's Agent prior to the commencement of the contract and all renewals of insurance certificates shall be furnished prior to the expiration of any coverage herein.
- The policies shall contain a provision giving Owner and Owner's Agent thirty (30) days, or any longer period prescribed by New Jersey Insurance Law, prior written notice of any change or cancellation of such insurance, in the event of cancellation of Non Payment of Premium, in which ten (10) day notice will be provided. This notice shall be included on the Certificate of Insurance.
- All insurance shall be with a licensed and admitted insurance carrier maintaining no less than an A.M. Best's rating of "A" or better, shall be size VII, and shall be subject to acceptance by Owner's Agent in its sole discretion.
- The Contractor agrees that the required insurance is not intended to limit the Contractor's liability in the event that Contractor is deemed to be negligent in causing bodily injury or property damage during the course of its operation.
- The Contractor shall, at its own expense, maintain physical damage insurance in the amounts and against the perils desired by the Contractor on all property of any kind owned or rented by the Contractor. The Contractor hereby waives its rights of recovery against the owner for any damage or loss to property of any kind which is owned or rented by Contractor or for which the Contractor is liable.

1.6 ALTERNATES / ALLOWANCES / UNIT PRICES

A. Alternates

1. Value Engineering Alternate

- It is understood that the base specification reflects minimum standards. The above Value Engineering Alternate allows individual contractors to suggest specific performance criteria which may be of interest to the Owner and may reflect a degree of quality above the requirements of the base specification.
- Voluntary alternate prices may be acceptable as a deviation from, not a substitute for, the basis of bid work of this bid package.
- In order to submit a voluntary alternate, the following must be provided at the time of the bid:
 - A complete bid reflecting the requirements of the base specification.
 - All alternates must be accompanied with pertinent data, technical documentation and reference/installation for review.
 - Along with the pricing for voluntary alternates submit the maintenance price for each.
- State the amount to be deducted from the base bid if the elevator is designed for Class "A" loading.
- Confirm if the cab height can be increased given the 11'-9" clear overrun with removable hoist beam.
- State the amount to be deducted from the base bid if the car information display position indicator is replaced with a 2" high, 10-segment LED type position indicator with direction arrows, integral with the car operating panel would be provided instead.
- State the amount to be deducted from the base bid if the EMIS is removed from the scop.
- State the amount to be deducted from the base bid if the lobby control panel is remove from the scope.
- State the amount to be added to the base bid for a two-way communication system with video and messaging capabilities.

PART 2 - PRODUCTS

2.1 GENERAL DESCRIPTION

Quantity	One (1) dual roped holess hydraulic
1. Quantity	One (1) dual roped holess hydraulic
2. Type	Passenger - Class C3
3. Capacity (lbs.)	3500
4. Speed (fpm)	150
5. Travel in Feet	36'-1"
6. Number of Landings	Five (5)
7. Number of Openings	Seven (7)
8. Front Opening	All @ B, 1-4
9. Rear Opening	Two @ B, 1
10. Operation	Simplex selective collective
11. Control	AC for hydraulics
12. Firmman's Control	Phase II
13. Number of Push Button Risers	Two (2)
14. Clear Inside Platform Size	6'-8" wide x 5'-4" deep
15. Guide Rails	Steel tees, provide rail backing as required
16. Buffers	Spring
17. Cab	As further specified.
18. Entrance Size	3'-6" wide x 7'-0" high
19. Door Operation	Single speed side opening
20. Machine Type	Hydraulic pump
21. Pump Location	Remote @ B - See Architectural drawings
22. Power Supply	208 - 3 - 60

2.2 MANUFACTURERS

A. Pre-Approved Equipment Manufacturers

- In addition to Original Equipment Manufacturers, the following manufacturer's equipment and materials have been pre-approved for use on this project.
- Other manufacturer's products not specifically mentioned below shall be considered for approval on an individual basis.
 - Controller - GAL (GALaxy), Motion Control Engineering, Elevator Controls Corporation, Elevator Systems, Inc., Sinarrisa, Schumacher.
 - Tracks, Hangers, Interlocks and Door Operators - G.A.L., ECL.
 - Fixtures - G.A.L., Adams, EPCO, Monitor, E-Motive USA, C.E. Electronics, Innovation, MAD, National.
 - Door Protective Device - Janus, Adams, G.A.L., T.L. Jones, Tri-Tronics.
 - Cabs and Entrances - GEC Elevator Cab, EDI/ECI, Elie Elevator Cab, Forms + Surfaces, National Cab & Door, Tyler, Vels, Gunderlin, Eklund, EMCO, Columbia Elevator Products, United Cabs, USC Elevator.
 - Guide Rails - Savera, Monteferro.
 - Electrical Traveling Cables - Dralix, James Monroe.
 - Hydraulic Systems/Components - Cantoni, ECS Corporation, Elevator Equipment Corporation, Monrain Vertical Transport (MVT), MEI, Schumacher.
 - Guide Shoes/Rollers - ELSCO, G.A.L.
 - Wire Ropes - Paulsen, Bethlehem, Wayland, DraKa.
 - Intercommunications/Telephones - Webb Electronics, K-Tec, Ring, Wurtec, Janus, approved equal.

THE ARCHITECT'S STUDIO

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CERTIFICATE OF AUTHORIZATION
#24GA28223400

DAVID J. MANTONE
PROFESSIONAL ENGINEER
N.J. LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT #6
USE GROUP: R-2/A-1
CONSTRUCTION TYPE: 5B

NO.	REVISIONS	DESCRIPTION	DATE

SHEET TITLE:

Elevator Specifications

DRAWN BY: *BP*

REVIEWED BY: *WP*

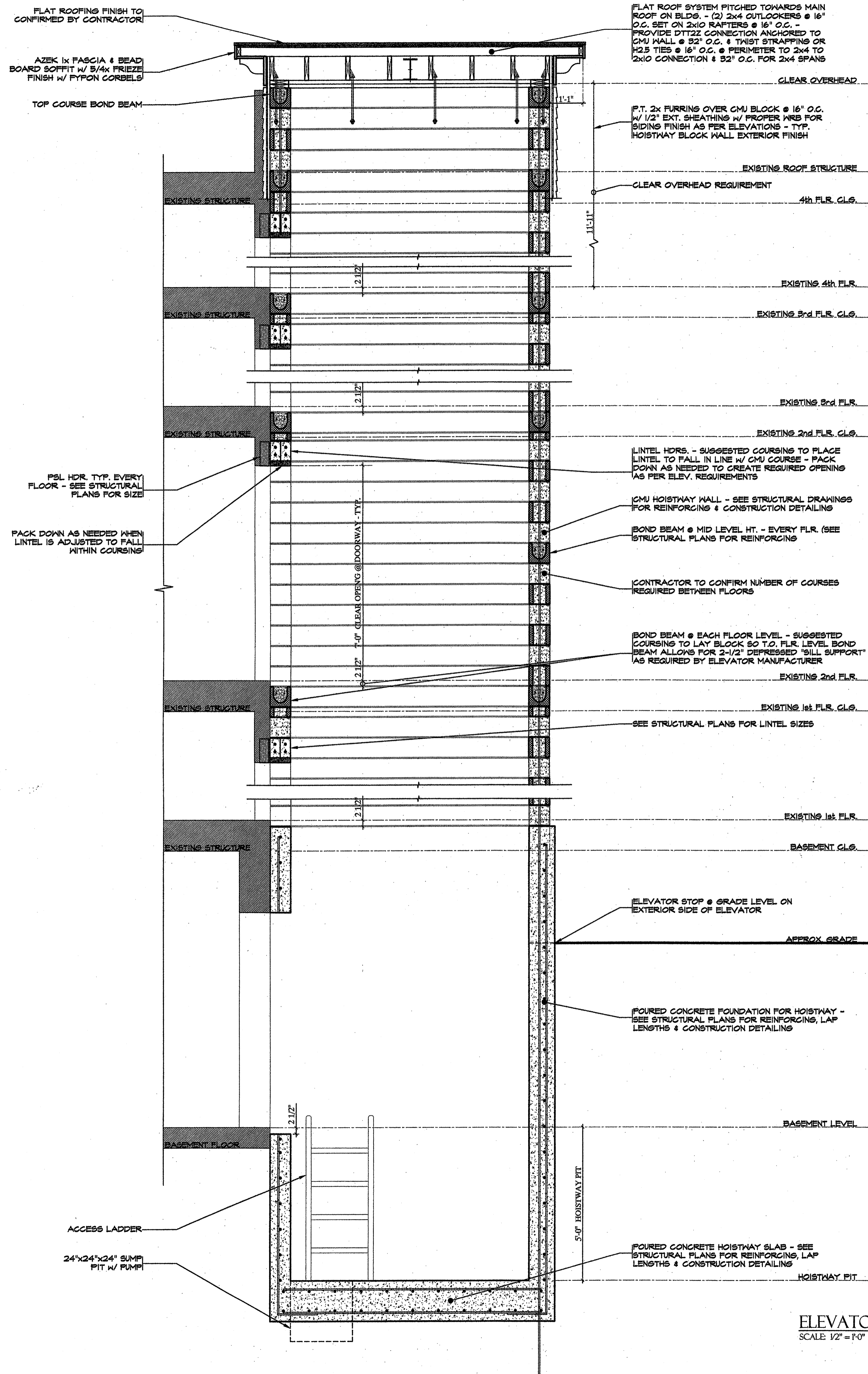
SCALE: N/A

DESIGN DEVELOPMENT

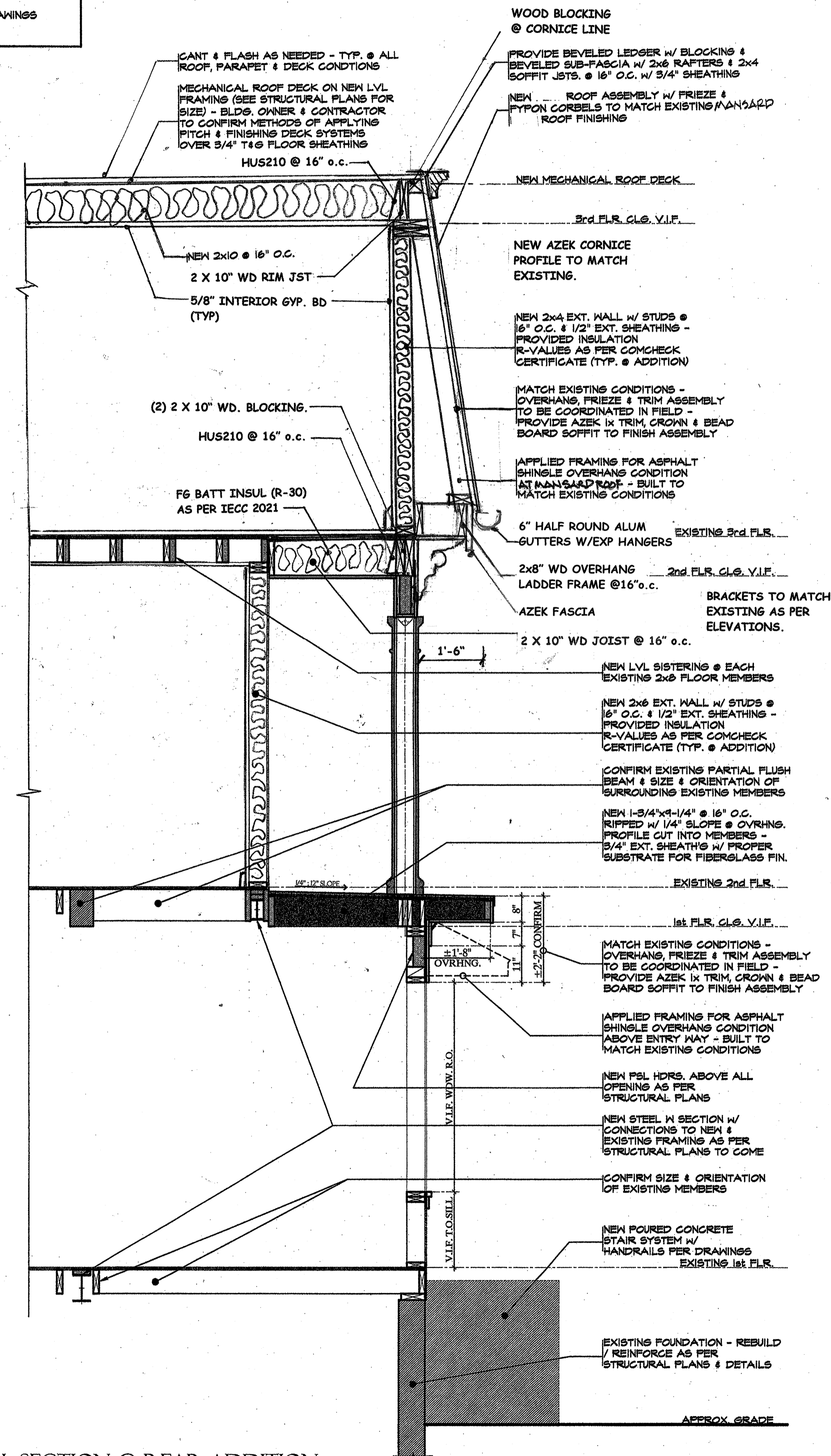
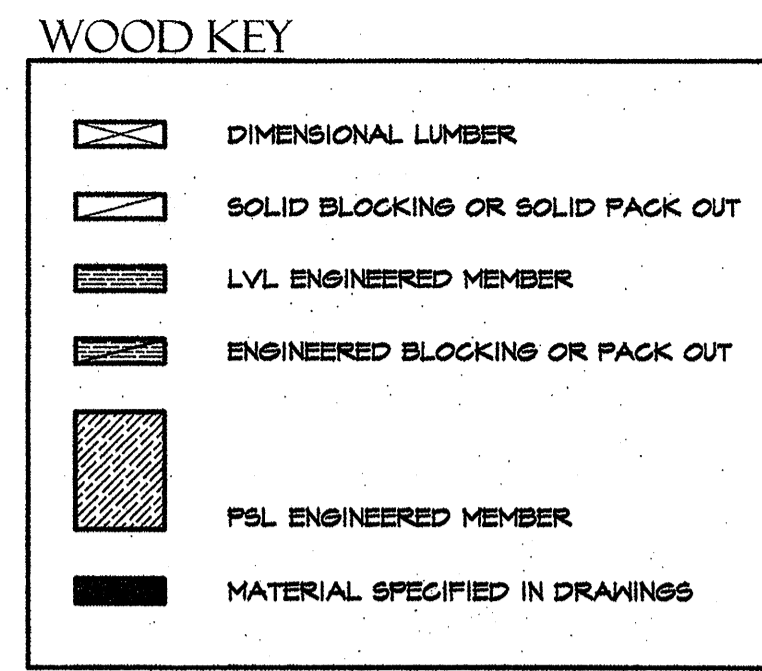
DATE: 2/14/20

A20

JOB: 221



ELEVATOR HOISTWAY SECTION
SCALE: 1/2" = 1'-0"



WALL SECTION @ REAR ADDITION
SCALE: 1/2" = 1'-0"

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CERTIFICATE OF APPROPRIATION
#24GA28223400

DAVID J. MANTONE
PROFESSIONAL ENGINEER
N.J. LIC. NO. 24G-028223400

PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE
1	HPS CONCEPT	7/5/22

SHEET TITLE:
ELEVATOR HOISTWAY SECTION & WALL SECTION AT REAR ADDITION

DRAWN BY: LMC
REVIEWED BY:

SCALE: AS NOTED
DATE: 4/28/23
JOB: 2213

ADDENDUM 7
A21
OF