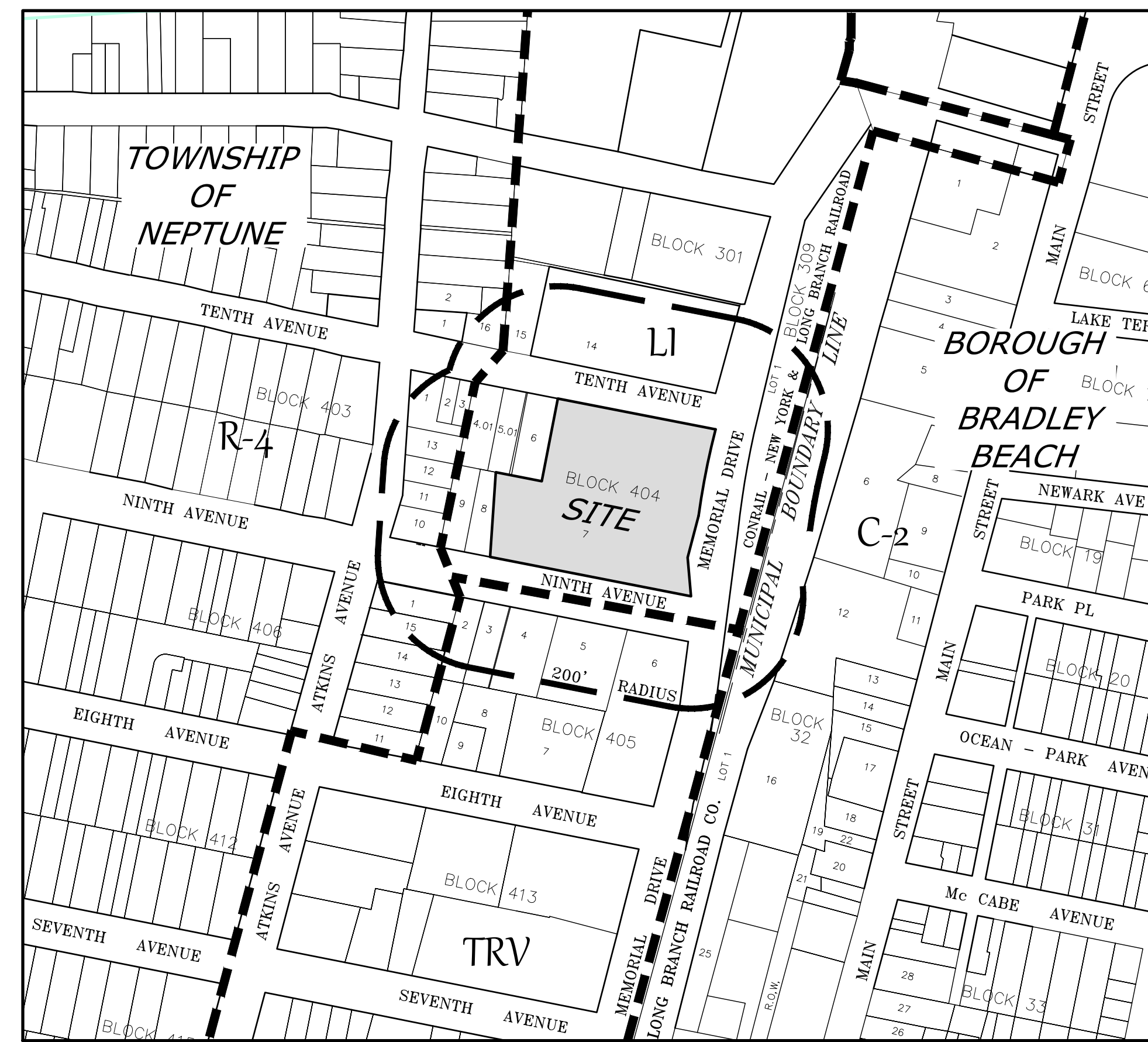
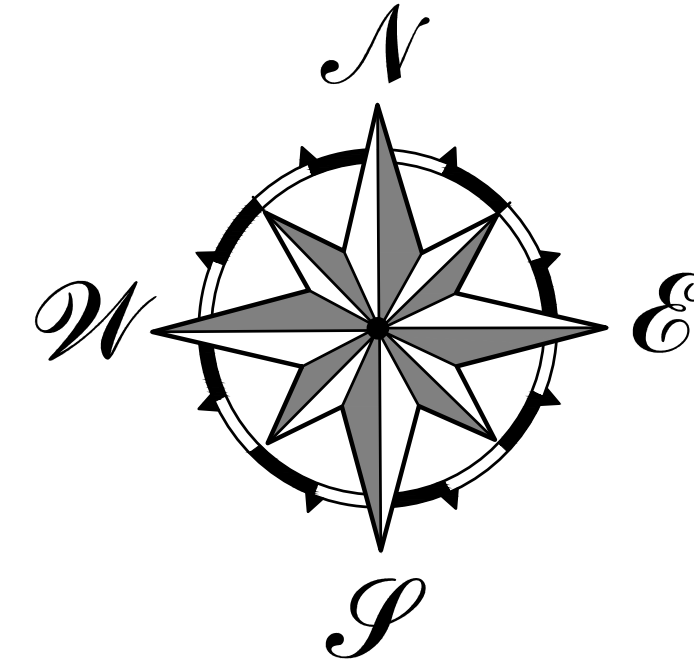


# USE VARIANCE PRELIMINARY & FINAL MAJOR SITE PLAN

## for Compass Self Storage

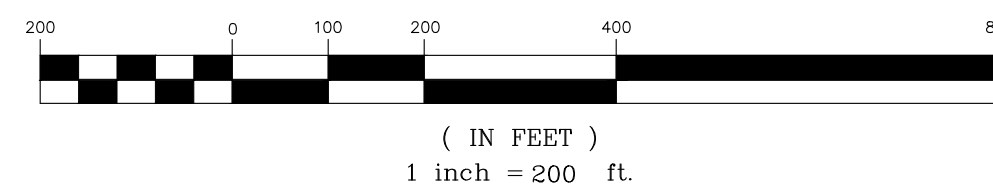
### Lot 7 in Block 404

TOWNSHIP OF NEPTUNE  
MONMOUTH COUNTY, NEW JERSEY



KEY MAP

GRAPHIC SCALE



#### LIST OF OWNERS WITHIN 200'

BLOCK	LOT(S)	OWNER(S)
LOT 7 IN BLOCK 404 NEPTUNE TOWNSHIP MONMOUTH COUNTY, NEW JERSEY		
301	14	OPW LLC
	15	S&N ENTERPRISES, LLC C/O P. STAGAARD
	16	1115 LAND PARTNERS, LLC
309	1	CONRAIL NY-LONG BRANCH
404	1	MEIER, LINDA JEAN
	2	TORRES, FELIX
	3	AGOLIO, JELANI A.
	4,5,6	DALYS, ROBERT G.
	5,6,1	PEREZ, ROGELIO SANCHEZ
	6	1106 TENTH AVE, LLC
	8	NEPTUNE PROPERTIES, LLC
	9	MMS, JENIFER M
	10	GUERRERO, JUAN & FABRIZIO & MORA, GALDYS
	11	CASTANEDA, REYNALDO
	12	JONES, GEORGE & BARBARA L
	13	302 ATKINS LLC
405	1	SAUNDERS, MALCOLM A & PITTMAN, TRACY P
	2	BURTON, TYLER J & COURTNEY K
	3	RUIZ, CAROLINA
	4	NEPTUNE PROPERTIES, LLC
	5,6,8	J.J.P.P. C/O DAVID J HABER, ESQ
	14	LAVARN, WILLIE
	15	RAMOS-VASQUEZ, T & SANCHEZ, A & HERRERA, E
LOT 7 IN BLOCK 404 (NEPTUNE) BRADLEY BEACH MONMOUTH COUNTY, NEW JERSEY		
32	12	JCP&L C/O FE SERVICE TAX DEPARTMENT
96	1	RAILROAD PROPERTY C/O NJ TRANSIT
	2	RAILROAD PROPERTY C/O NJ TRANSIT
OTHERS:		
		NEW JERSEY-AMERICAN WATER COMPANY
		MONMOUTH COUNTY PLANNING BOARD
		NEW JERSEY DEPARTMENT OF TRANSPORTATION
		JERSEY CENTRAL POWER & LIGHT CO.
		MONMOUTH CABLEVISION
		VERIZON
		NJ NATURAL GAS

#### GENERAL NOTES :

- PROPERTY KNOWN AS LOT 7 IN BLOCK 404, NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, AS PER TAX MAP SHEET No. 4 ( TOTAL TRACT AREA OF 96,768 S.F. OR 2.222 ACRES)
- OWNER/APPLICANT: AMSDELL STORAGE VENTURES, IV, LLC  
20445 EMERALD PARKWAY DRIVE, SUITE 220  
CLEVELAND, OHIO 44135  
(216)-458-0670
- ZONED DISTRICT: LI ZONE (SELF STORAGE PERMITTED AS A CONDITIONAL USE AND EXISTS ON THE SITE PER PREVIOUS APPROVALS WITH VARIANCES)

	REQUIRED/ PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	40,000 SF	96,768 SF	96,768 SF.
MAX. DENSITY	N/A	N/A	N/A
MAX. FLOOR AREA RATIO (FAR)	1.6 *	0.682	1.413
MIN LOT WIDTH	150 FT	286 FT.	286 FT.
MIN LOT FRONTAGE	150 FT	286 FT.	286 FT.
MIN LOT DEPTH	200 FT	151 FT.	151 FT.
MIN FRONT YARD SETBACK	40 FT	5.3 FT	5.3 FT.
MIN. FRONT YARD SETBACK (9th AVE.)	40 FT.	6.2 FT.	6.2 FT.
MIN. FRONT YARD SETBACK (10th AVE.)	40 FT.	5.3 FT.	5.3 FT.
MIN. FRONT YARD SETBACK (MEMORIAL DR.)	40 FT.	11.7 FT.	11.3 FT.
MIN. SIDE YARD SETBACK	25 FT.	2.9 FT.	2.9 FT.
MIN. COMBINED SIDE YARD SETBACK	50 FT.	13.2 FT.	13.2 FT.
MIN. REAR YARD SETBACK	25 FT.	1.0 FT.	1.0 FT.
MAX. PERCENT BUILDING COVER	40%	68.24%	75.85%
MAX. PERCENT LOT COVER	70%	87.53%	85.18%
MAX. NUMBER OF STORIES	4	3	4
MAX. BUILDING HEIGHT	60 FT.	18.6 FT.	59 FT.
MIN. IMPROVABLE AREA	16,800 SF.	16,800+ SF.	16,800+ SF.
DIAMETER OF A CIRCLE (FEET)			120+ FT.
OFF-STREET PARKING SPACES			
EXISTING USE OR USES	16	SELF STORAGE	16
PROPOSED USE OR USES		SELF STORAGE	
EXISTING FLOOR AREA		66,038 SF.	
PROPOSED FLOOR AREA		136,721 SF.	

- \* CONDITIONAL USE PERMITS AN F.A.R. OF 0.90 FOR SELF STORAGE
- \* VARIANCE PREVIOUSLY APPROVED AND STILL APPLICABLE
- VARIANCE REQUESTED ( NEW )

- THE PURPOSE OF THIS PLAN IS TO REMOVE EXISTING BUILDINGS "C" AND "D" FROM THE SITE AND REPLACE SAME WITH A NEW CLIMATE CONTROLLED 4-STORY SELF STORAGE BUILDING WITH ACCOMPANYING SITE IMPROVEMENTS.
- EXISTING BOUNDARY AND TOPOGRAPHY TAKEN FROM PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, LOT 7, BLOCK 404, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY", DATED 1/27/2023, BY CREST ENGINEERING ASSOCIATES INC., DANIEL P. HUNDLEY, N.J.P.L.S Lic. No. 33174.
- PARKING CALCULATION:  
2 EMPLOYEES AT 1 SPACE/EACH = 2  
136,721 SF OF BUILDING AT 1/SPACE / 10,000 SF = 14  
TOTAL REQUIRED = 16  
TOTAL PROVIDED = 16 (INCL 1 HANDICAPPED SPACE)- MINIMUM 8' x 18'
- NO TREE REMOVAL IS PROPOSED.
- A WAIVER OF SOIL BORINGS IS REQUESTED.
- COUNTY ROUTE 40-A, MEMORIAL DRIVE, IS UNDER A 5 YEAR MORATORIUM ON ROAD OPENING.

#### SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- DEMOLITION PLAN
- SITE DIMENSION PLAN
- GRADING and UTILITY PLAN
- DETAILS  
(SOIL EROSION AND SEDIMENT CONTROL PLAN)
- DETAILS / PROFILE

Compass Self Storage

Site Plan for  
**LOT 7  
BLOCK 404**  
( TAX MAP SHEET No. 4 )  
TOWNSHIP OF NEPTUNE  
MONMOUTH COUNTY, NEW JERSEY

**COVER SHEET**

SOIL EROSION AND SEDIMENT CONTROL PLAN

THE UNDERSIGNED \_\_\_\_\_ IS THE  
DECLARES THAT \_\_\_\_\_ IS THE  
OWNER OF THE LANDS DELINEATED HEREON AND  
CONSENTS TO THE SUBMISSION OF THESE PLANS  
TO THE APPROPRIATE REVIEWING AGENCIES.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF NEW JERSEY COUNTY OF MONMOUTH

BE IT REMEMBERED THAT ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
\_\_\_\_\_, 20\_\_\_\_ BEFORE ME PERSONALLY APPEARED \_\_\_\_\_  
\_\_\_\_\_, WHO BY ME BEING DULY SWORN ON  
HIS OATH DID DEPOSE AND ACKNOWLEDGE THAT HE IS THE OWNER  
OF THE PREMISES SHOWN ON THIS MAP AND THAT THE FOREGOING  
CONSENT WAS EXECUTED BY HIM AS AND FOR HIS VOLUNTARY ACT  
AND DEED OF SAID CORPORATION

NOTARY PUBLIC

APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE  
TWP. OF NEPTUNE ON \_\_\_\_\_ AS APPLICATION NO. \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

ADMINISTRATIVE OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

NO	REVISION	DESCRIPTION	DATE	BY
1	REVISE FOR TOWNSHIP COMPLETENESS, MONMOUTH COUNTY PLANNING BOARD CONDITIONAL APPROVAL AND FSCD MEMO		8/29/23	EA

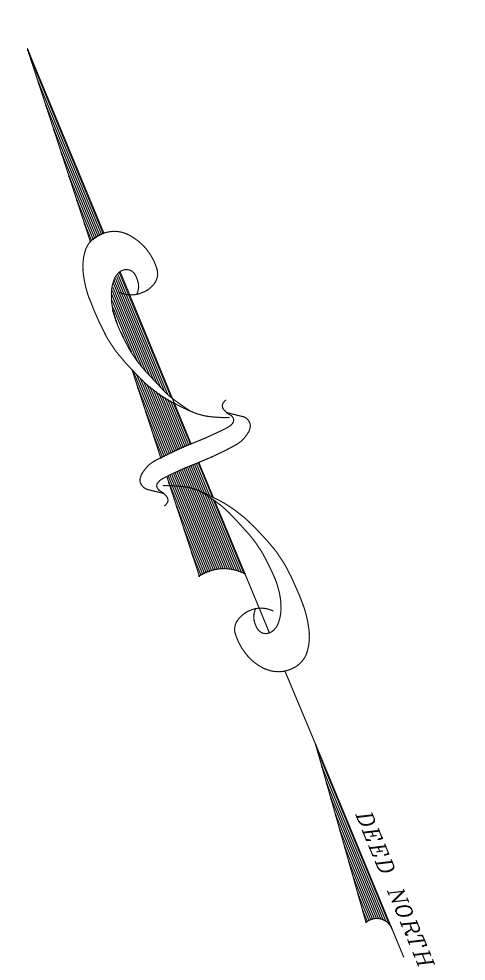
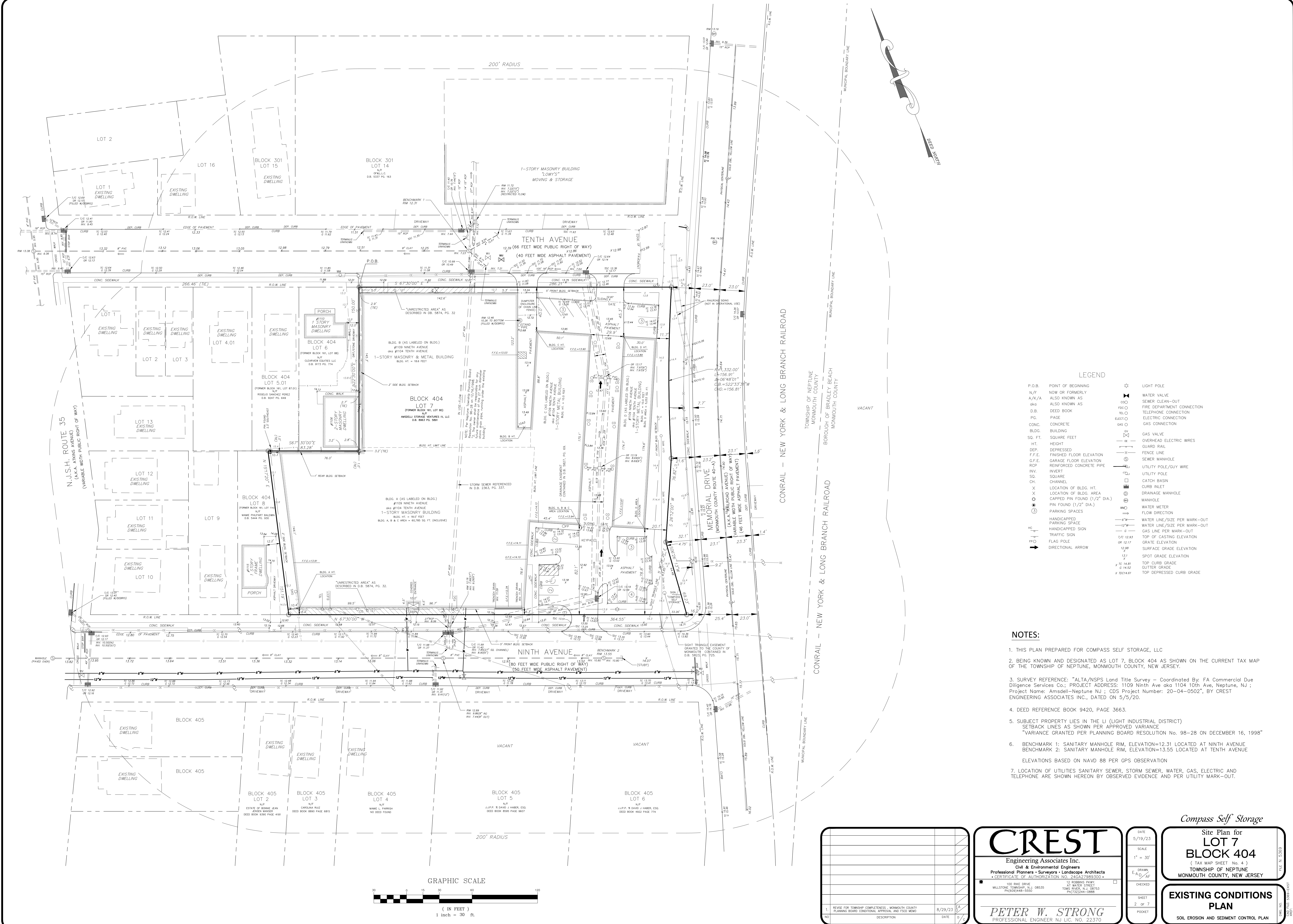
**CREST**  
Engineering Associates Inc.  
Civil & Environmental Engineers  
Professional Planners - Surveyors - Landscape Architects  
• CERTIFICATE OF AUTHORIZATION NO. 245427989-500 •  
100 RYE DRIVE MILLSTONE, NEW JERSEY 08535  
PH: 609-948-5550

12 ROBERTS POBY 41 WATER STREET TOMS RIVER, N.J. 08753  
PH: 732-244-0900

**PETER W. STRONG**  
PROFESSIONAL ENGINEER N.J. LIC. NO. 22370

DATE	5/19/23
SCALE	1" = 200'
DRAWN	E.A.D.
CHECKED	
SHEET	1 of 7
POCKET	

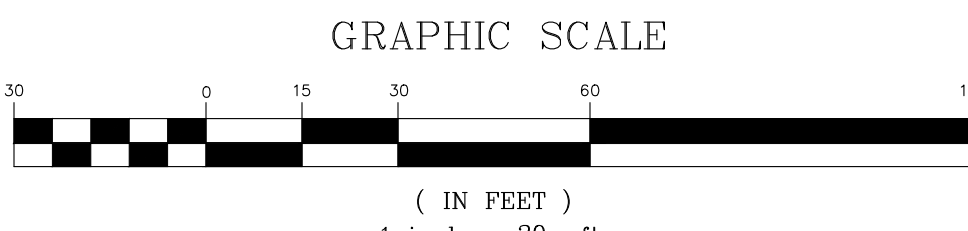
FILE NO. 23069  
DATE FILED 08/30/2023



**LEGEND**

P.O.B.	POINT OF BEGINNING	☆	LIGHT POLE
N/F	NOW OR FORMERLY	—	WATER VALVE
A/K/A	ALSO KNOWN AS	—	SEWER CLEAN-OUT
aka	ALSO KNOWN AS	—	FIRE DEPARTMENT CONNECTION
D.B.	DEED BOOK	—	TELEPHONE CONNECTION
P.G.	PAGE	—	ELECTRIC CONNECTION
CONC.	CONCRETE	—	GAS CONNECTION
BLDG.	BUILDING	—	
SQ. FT.	SQUARE FEET	—	GAS VALVE
HT.	HEIGHT	—	OVERHEAD ELECTRIC WIRES
DEP.	DEPRESSED	—	GUARD RAIL
F.F.E.	FINISHED FLOOR ELEVATION	—	FENCE LINE
G.F.E.	GARAGE FLOOR ELEVATION	—	SEWER MANHOLE
RCP	REINFORCED CONCRETE PIPE	—	UTILITY POLE/GUY WIRE
INV.	INVERT	—	CURB INLET
SQ.	SQUARE	—	MANHOLE
CH.	CHANNEL	—	CATCH BASIN
X	LOCATION OF BLDG. HT.	—	CURB INLET
X	LOCATION OF BLDG. AREA	—	DRAINAGE MANHOLE
X	CARRIED PIN FOUND (1/2" DIA.)	—	MANHOLE
●	PIN FOUND (1/2" DIA.)	—	WATER METER
○	PARKING SPACES	—	FLOW DIRECTION
①		—	WATER LINE/SIZE PER MARK-OUT
		—	WATER LINE/SIZE PER MARK-OUT
		—	GAS LINE PER MARK-OUT
		—	TOP OF CASTING ELEVATION
		—	TOP OF CASTING ELEVATION
		—	GRATE ELEVATION
		—	SURFACE GRADE ELEVATION
		—	SPOT GRADE ELEVATION
		—	TOP CURB GRADE
		—	CUTTER GRADE
		—	TOP DEPRESSED CURB GRADE

- NOTES:**
1. THIS PLAN PREPARED FOR COMPASS SELF STORAGE, LLC
  2. BEING KNOWN AND DESIGNATED AS LOT 7, BLOCK 404 AS SHOWN ON THE CURRENT TAX MAP OF THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY.
  3. SURVEY REFERENCE: "ALTA/NSPS Land Title Survey - Coordinated By: FA Commercial Due Diligence Services Co.; PROJECT ADDRESS: 1109 Ninth Ave aka 1104 10th Ave, Neptune, NJ ; Project Name: Amsdell-Neptune NJ ; CDS Project Number: 20-04-0502", BY CREST ENGINEERING ASSOCIATES INC., DATED ON 5/5/20.
  4. DEED REFERENCE BOOK 9420, PAGE 3663.
  5. SUBJECT PROPERTY LIES IN THE LI (LIGHT INDUSTRIAL DISTRICT) SETBACK LINES AS SHOWN PER APPROVED VARIANCE "VARIANCE GRANTED PER PLANNING BOARD RESOLUTION No. 98-28 ON DECEMBER 16, 1998"
  6. BENCHMARK 1: SANITARY MANHOLE RIM, ELEVATION=12.31 LOCATED AT NINTH AVENUE BENCHMARK 2: SANITARY MANHOLE RIM, ELEVATION=13.55 LOCATED AT TENTH AVENUE ELEVATIONS BASED ON NAVD 88 PER GPS OBSERVATION
  7. LOCATION OF UTILITIES SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRIC AND TELEPHONE ARE SHOWN HEREON BY OBSERVED EVIDENCE AND PER UTILITY MARK-OUT.



1	REVISE FOR TOWNSHIP COMPLETENESS, MONMOUTH COUNTY PLANNING BOARD CONDITIONAL APPROVAL AND FISCAL MEMO	8/29/23	1A
2			1/B
3			1/C
4			1/D
5			1/E
6			1/F
7			1/G
8			1/H
9			1/I
10			1/J

**CREST**  
Engineering Associates Inc.  
Civil & Environmental Engineers  
Professional Planners - Surveyors - Landscape Architects  
• CERTIFICATE OF AUTHORIZATION NO. 245279893-500 •

100 RYE DRIVE  
MILSTONE TOWNSHIP NJ 08535  
PH: 609-448-5550

12 ROBENS PKWY  
41 WATER STREET  
TOWNSHIP OF NEPTUNE, NJ 08273  
PH: 732-224-0908

**PETER W. STRONG**  
PROFESSIONAL ENGINEER N.J. LIC. NO. 22370

Compass Self Storage

Site Plan for  
**LOT 7  
BLOCK 404**  
( TAX MAP SHEET No. 4 )  
TOWNSHIP OF NEPTUNE  
MONMOUTH COUNTY, NEW JERSEY

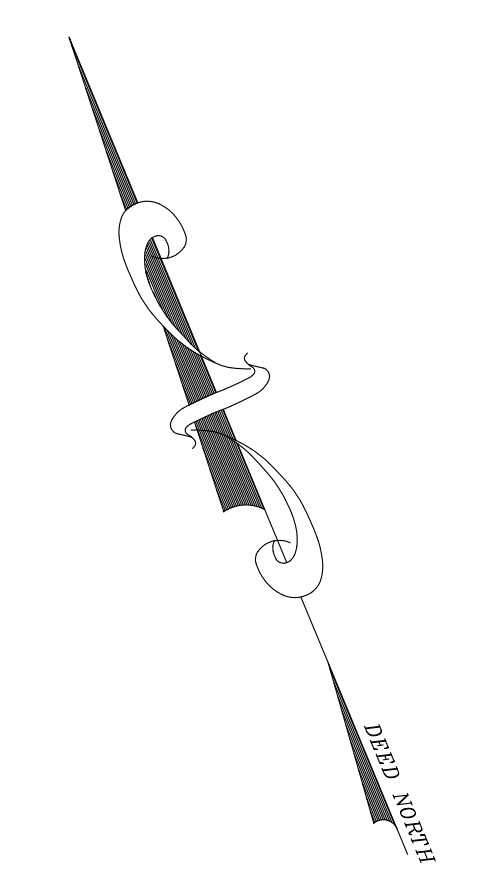
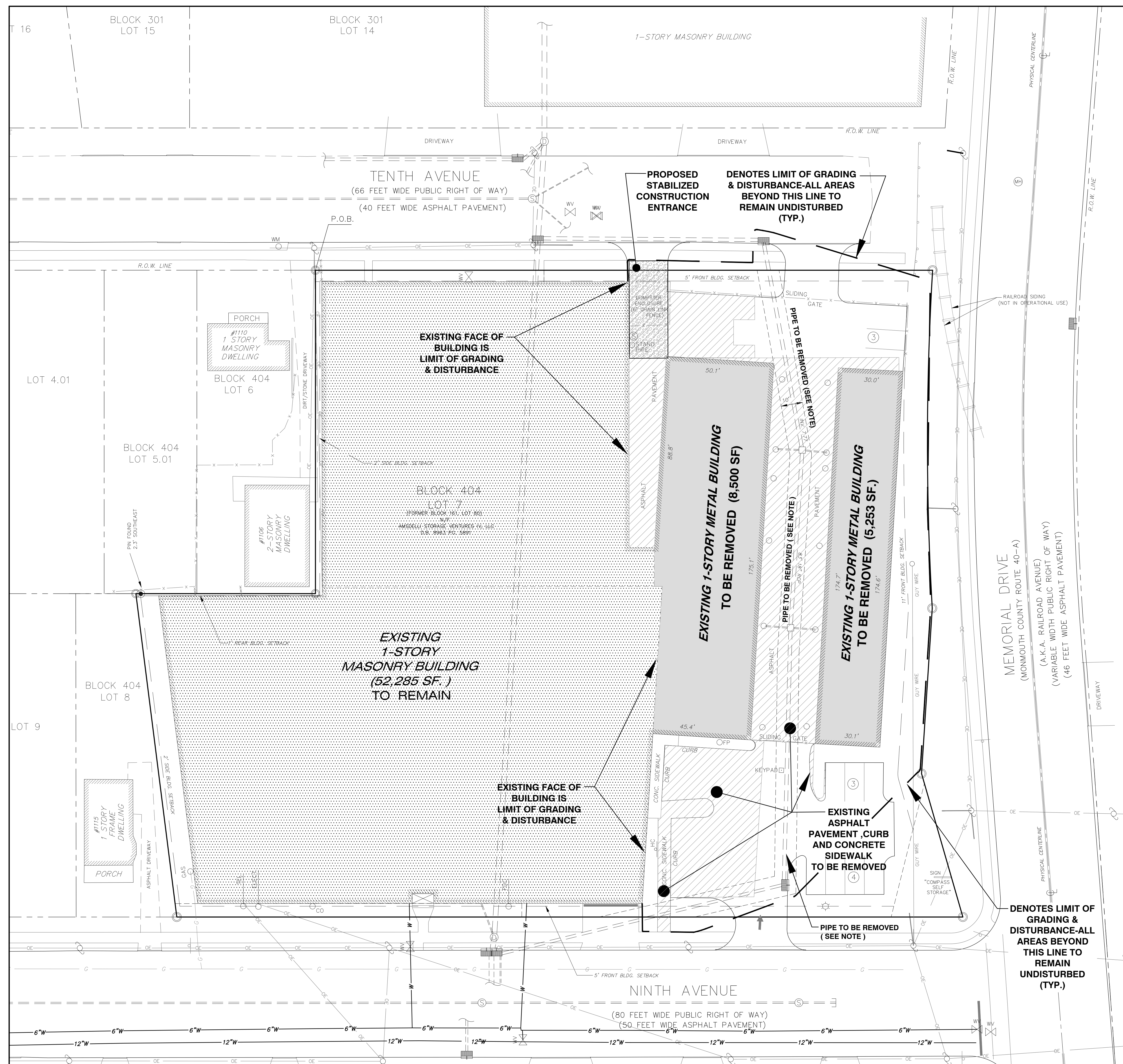
**EXISTING CONDITIONS  
PLAN**

SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE: 5/19/23  
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CHECKED: [ ]  
SHEET: 2 OF 7  
POCKET: [ ]

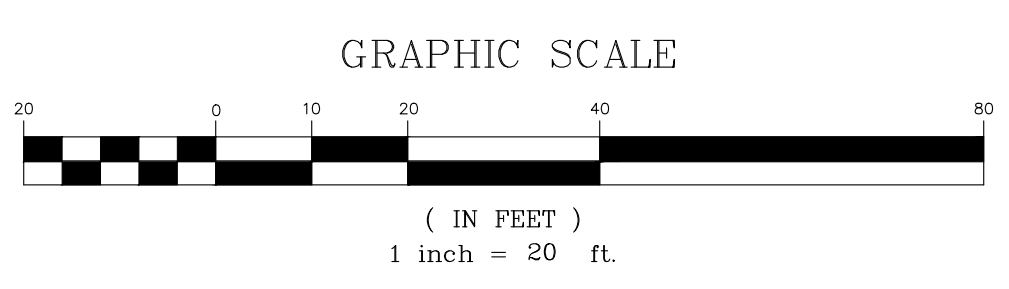
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DATE FILED: 05/23/2023

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**DEMOLITION LEGEND**

	DENOTES BUILDING DEMOLITION ( AREA 13,735 SF.)
	DENOTES PAVEMENT DEMOLITION ( AREA 11,920.9 SF.)



**NOTE :**  
 REMOVE EXISTING 18" RCP STORM DRAIN PLUS INTERMEDIATE INLETS AND ROOF DRAINS BETWEEN EXISTING SITE INLET NEAR NINTH AVENUE AND EXISTING INLET IN TENTH AVENUE

1	REVISE FOR TOWNSHIP COMPLETENESS, MONMOUTH COUNTY PLANNING BOARD CONDITIONAL APPROVAL AND FISCAL MEMO	8/29/23	1A
NO	DESCRIPTION	DATE	BY

**CREST**  
 Engineering Associates Inc.  
 Civil & Environmental Engineers  
 Professional Planners • Surveyors • Landscape Architects  
 • CERTIFICATE OF AUTHORIZATION NO. 248427983-300 •  
 100 RKE DRIVE MILLSTONE TOWNSHIP, NJ 08535 PH: 609-948-5550  
 12 ROSENBERG PKWY. 4TH FLOOR TOWNSHIP OF MONMOUTH, NJ 08053 PH: 732-224-1000

---

**PETER W. STRONG**  
 PROFESSIONAL ENGINEER N.J. LIC. NO. 22370

DATE	5/19/23
SCALE	1" = 20'
DRAWN	E.A.D.
CHECKED	
SHEET	3 OF 7
POCKET	

*Compass Self Storage*

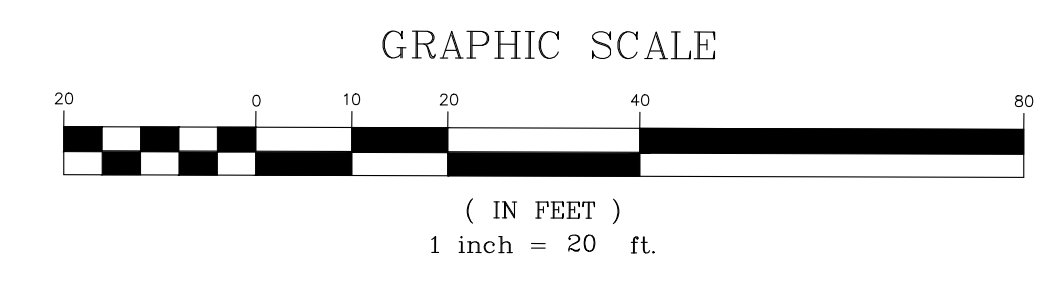
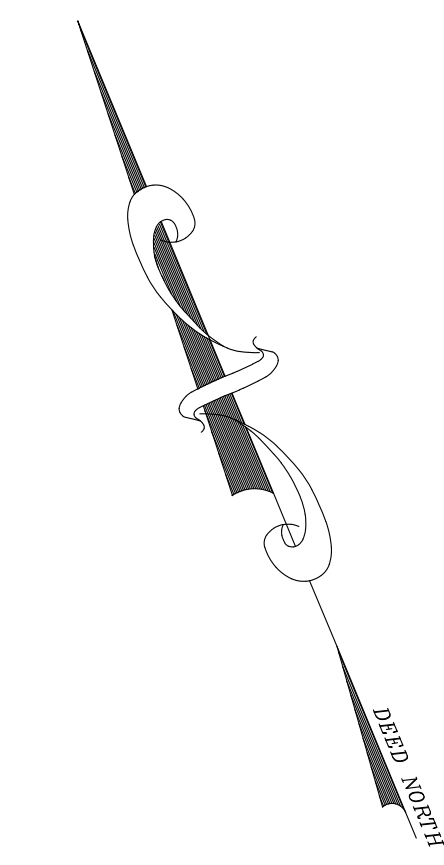
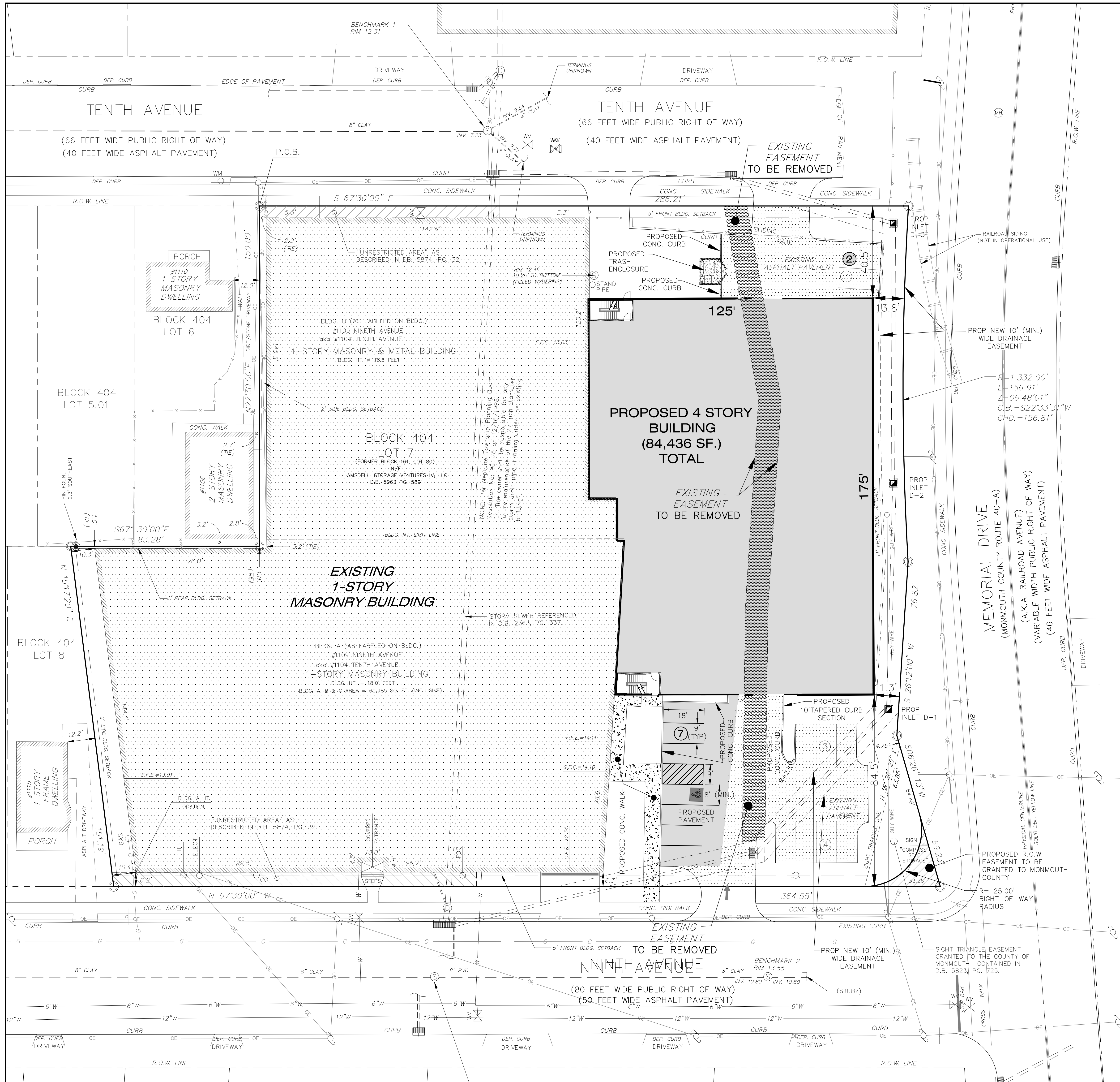
Site Plan for  
**LOT 7  
 BLOCK 404**  
 ( TAX MAP SHEET No. 4 )  
 TOWNSHIP OF NEPTUNE  
 MONMOUTH COUNTY, NEW JERSEY

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**DEMOLITION PLAN**  
 SOIL EROSION AND SEDIMENT CONTROL PLAN

FILE NO. 23-00000-0000  
 SHEET 3 OF 7

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- DENOTES EXISTING ASPHALT TO REMAIN
- DENOTES PROPOSED ASPHALT
- PROP. PARKING SPACES

NOTE:  
 FOR LANDSCAPING AND LIGHTING SEE PLANS BY DESIGNHAUS ARCHITECTURE

NO.	DESCRIPTION	DATE	BY
1	REVISE FOR TOWNSHIP COMPLETENESS, MONMOUTH COUNTY PLANNING BOARD CONDITIONAL APPROVAL AND FSD MEMO	8/29/23	EA

**CREST**  
 Engineering Associates Inc.  
 Civil & Environmental Engineers  
 Professional Planners • Surveyors • Landscape Architects  
 • CERTIFICATE OF AUTHORIZATION, NO. 245027983-500 •  
 100 RYE DRIVE, MILLSTONE TOWNSHIP, NJ 08535  
 609.948.5550

**PETER W. STRONG**  
 PROFESSIONAL ENGINEER NJ LIC. NO. 22370

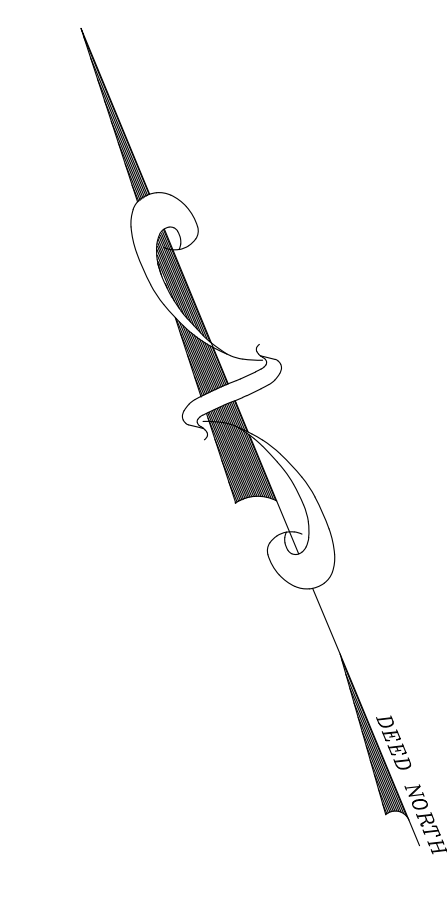
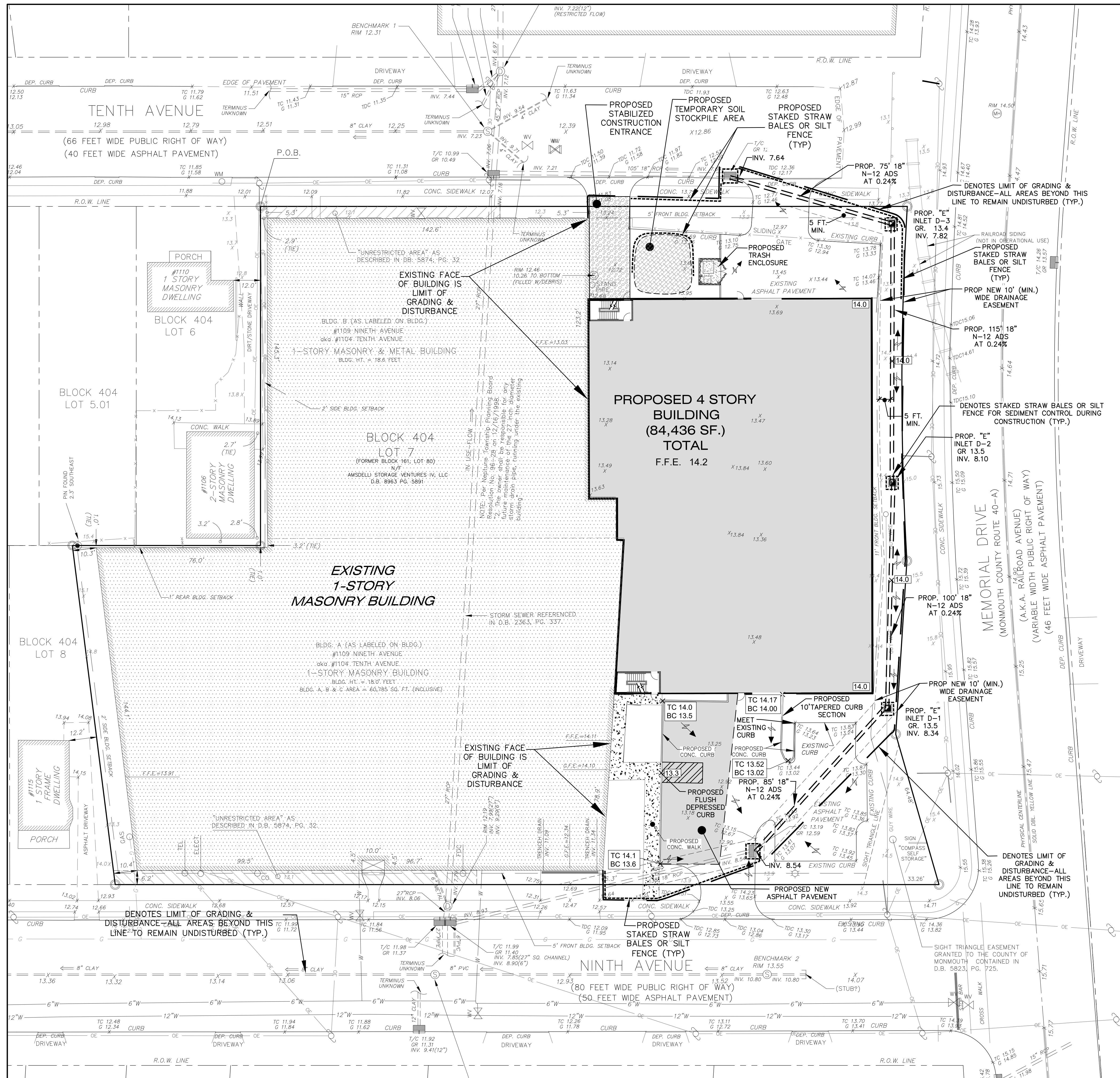
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SCALE	1"=20'
DRAWN	E.A.D.
CHECKED	
SHEET	4 of 7
POCKET	

Compass Self Storage  
 Site Plan for  
**LOT 7  
 BLOCK 404**  
 (TAX MAP SHEET No. 4)  
 TOWNSHIP OF NEPTUNE  
 MONMOUTH COUNTY, NEW JERSEY

**SITE DIMENSION PLAN**  
 SOIL EROSION AND SEDIMENT CONTROL PLAN

FILE NO. 23064-01  
 DATE: 8/29/23

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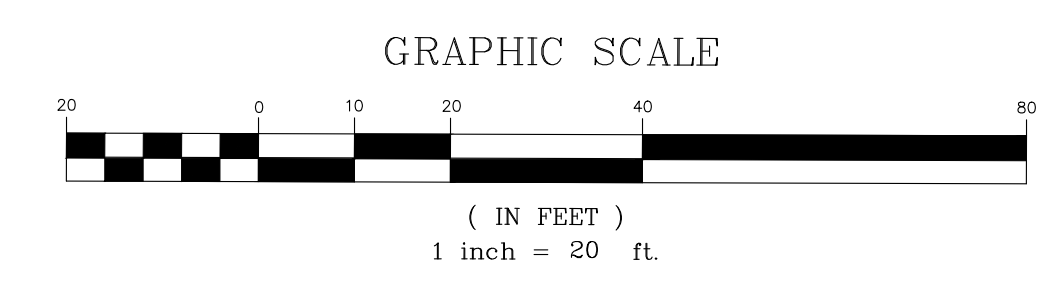
**LEGEND**

P.O.B.	POINT OF BEGINNING	○	LIGHT POLE
N/F	NOW OR FORMERLY	⊗	WATER VALVE
A/K/A	ALSO KNOWN AS	⊕	SEWER CLEAN-OUT
ok	ALSO KNOWN AS	⊗	FIRE DEPARTMENT CONNECTION
D.B.	DEED BOOK	⊗	TELEPHONE CONNECTION
PG.	PAGE	⊗	ELECTRIC CONNECTION
CONC.	CONCRETE	⊗	GAS CONNECTION
BLDG.	BUILDING	⊗	GAS VALVE
SQ. FT.	SQUARE FEET	⊗	OVERHEAD ELECTRIC WIRES
H.T.	HEIGHT	—	GUARD RAIL
DEP.	DEPRESSED	—	FENCE LINE
F.F.E.	FINISHED FLOOR ELEVATION	⊗	SEWER MANHOLE
G.F.E.	GARAGE FLOOR ELEVATION	⊗	UTILITY POLE/GUY WIRE
RCP	REINFORCED CONCRETE PIPE	⊗	UTILITY POLE
INV.	INVERT	⊗	SQUARE
SS	SQUARE	⊗	CATCH BASIN
CH	CHANNEL	⊗	CURB INLET
X	LOCATION OF BLDG. HT.	⊗	DRAINAGE MANHOLE
X	LOCATION OF BLDG. AREA	⊗	MANHOLE
⊗	CAPPED PIN FOUND (1/2" DIA.)	⊗	WATER METER
⊗	PIN FOUND (1/2" DIA.)	⊗	FLOW DIRECTION
⊗	PARKING SPACES	⊗	HANDICAPPED WATER LINE/SIZE PER MARK-OUT
⊗	HANDICAPPED PARKING SPACE	⊗	WATER LINE/SIZE PER MARK-OUT
⊗	HANDICAPPED SIGN	⊗	GAS LINE PER MARK-OUT
⊗	TRAFFIC SIGN	⊗	GRATE ELEVATION
⊗	FLAG POLE	⊗	TOP OF CASTING ELEVATION
⊗	DIRECTIONAL ARROW	⊗	GRATE ELEVATION
		⊗	SURFACE GRADE ELEVATION
		⊗	SPOT GRADE ELEVATION
		⊗	TOP CURB GRADE
		⊗	GUTTER GRADE
		⊗	TOP DEPRESSED CURB GRADE

**PROPOSED FEATURES**

PROP. SURFACE FLOW DIRECTION	→
PROP. INLET W/ SEDIMENT BARRIER	⊗
PROP. SPOT ELEVATION	X 14.0
PROP. TOP CURB/GUTTER GRADE	⊗ TC 14.1 BC 14.0
PROP. INLET	⊗
PROP. STORM SEWER	---
PROP. STAKED STRAW BALES OR SILT FENCE	---

**NOTE:**  
THE U.S.D.A. SOIL CONSERVATION SERVICES " SOIL SURVEY OF MONMOUTH COUNTY " CLASSIFIES THE SOIL ON THE SUBJECT AND SURROUNDING AREAS AS "UL" OR URBAN LAND.



**NOTE:**  
LOCATIONS OF NEW SANITARY SEWER AND WATER SERVICES TO NEW OFFICE LOCATION TO BE DETERMINED WITH INPUT FROM NEPTUNE TOWNSHIP SEWERAGE AUTHORITY, N.J. AMERICAN WATER COMPANY AND BUILDING ARCHITECT

1	REVISE FOR TOWNSHIP COMPLETENESS, MONMOUTH COUNTY PLANNING BOARD CONDITIONAL APPROVAL AND FISCAL MEMO	8/29/23	1A
2			1/B
3			1/C
4			1/D

**CREST**  
Engineering Associates Inc.  
Civil & Environmental Engineers  
Professional Planners • Surveyors • Landscape Architects  
• CERTIFICATE OF AUTHORIZATION NO. 248227989-500 •  
100 RYE DRIVE  
MILLSTONE TOWNSHIP, NJ 08535  
PH: 609/448-5550

12 ROBERTS PARK  
41 WATER STREET  
TOWNSHIP OF NEPTUNE, NJ 08753  
PH: 732/324-0906

**PETER W. STRONG**  
PROFESSIONAL ENGINEER NJ LIC. NO. 22,370

DATE: 5/19/23  
SCALE: 1"=20'  
DRAWN: E.A.D.  
CHECKED:  
SHEET: 5 of 7  
POCKET:

Compass Self Storage  
Site Plan for  
**LOT 7  
BLOCK 404**  
(TAX MAP SHEET No. 4)  
TOWNSHIP OF NEPTUNE  
MONMOUTH COUNTY, NEW JERSEY

**GRADING and UTILITY  
PLAN**  
SOIL EROSION AND SEDIMENT CONTROL PLAN

FILE NO. 23039  
DATE FILED: 05/19/23

SOL EROSION AND SEDIMENT CONTROL NOTES

- 1. THE FRESHWATER SOL CONSTRUCTION DISTRICT SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL SOL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY PERMANENT PROTECTION IS ESTABLISHED.
3. ANY CHANGES TO THE CERTIFIED SOL EROSION AND SEDIMENT CONTROL PLANS WILL BE MADE BY THE CONTRACTOR UNDER THE CLOSE SUPERVISION OF THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOL EROSION AND SEDIMENT CONTROL REQUIREMENTS.

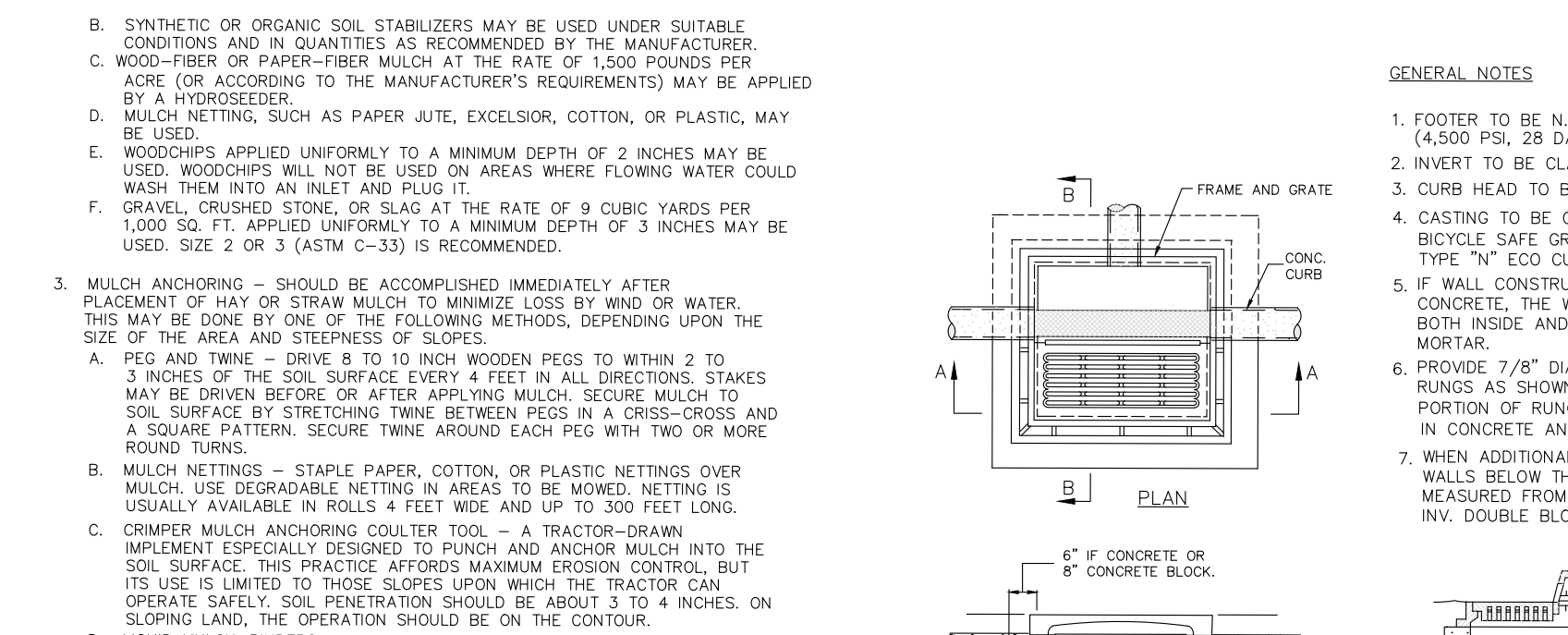
- 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH VALLEYS AND AT CRESTS OF BANKS THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
5. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH. IN AREAS OF VERY HIGH WINDS, MULCH SHOULD BE APPLIED AT THE FOLLOWING RATES:
(a) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY DRAINAGE CONDITIONS WILL BE HELD IN PLACE FOR UP TO 100 DAYS.
(b) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING, SHALL BE HELD IN PLACE FOR UP TO 100 DAYS.
(c) WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS USED AT THE RATE OF 1,500 POUNDS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER AND MAY BE APPLIED BY A HYDROSEEDER OR OTHER MEANS THAT CAN BE USED IN THE WIND.

- 6. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.
7. MULCH ANCHORING - MULCH ANCHORS SHALL BE USED TO ANCHOR MULCH TO THE SOIL SURFACE. ANCHORS SHALL BE APPLIED AT THE RATE OF 3 TONS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER AND MAY BE APPLIED BY HAND OR MECHANICALLY.
8. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.

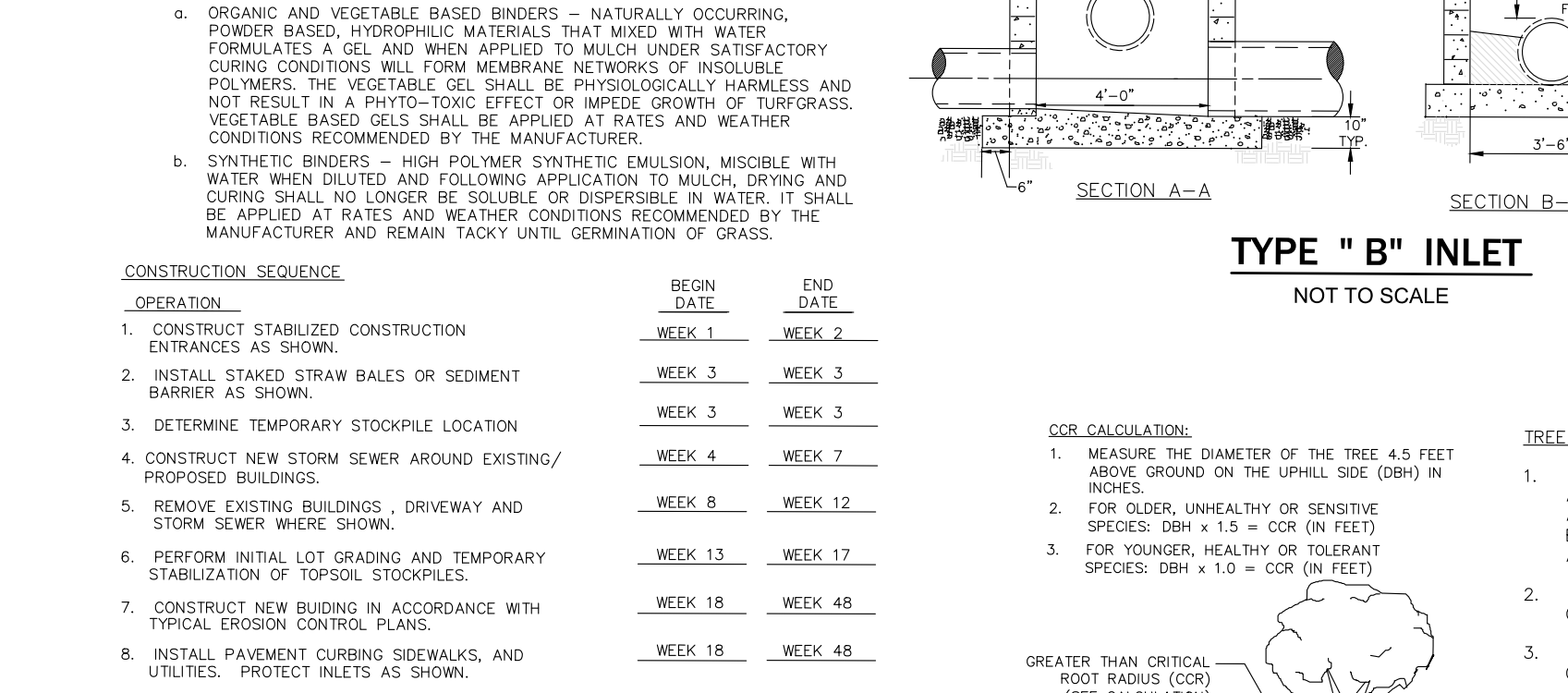
- 9. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.
10. MULCH ANCHORING - MULCH ANCHORS SHALL BE USED TO ANCHOR MULCH TO THE SOIL SURFACE. ANCHORS SHALL BE APPLIED AT THE RATE OF 3 TONS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER AND MAY BE APPLIED BY HAND OR MECHANICALLY.
11. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.

- 12. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.
13. MULCH ANCHORING - MULCH ANCHORS SHALL BE USED TO ANCHOR MULCH TO THE SOIL SURFACE. ANCHORS SHALL BE APPLIED AT THE RATE OF 3 TONS PER ACRE OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER AND MAY BE APPLIED BY HAND OR MECHANICALLY.
14. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.

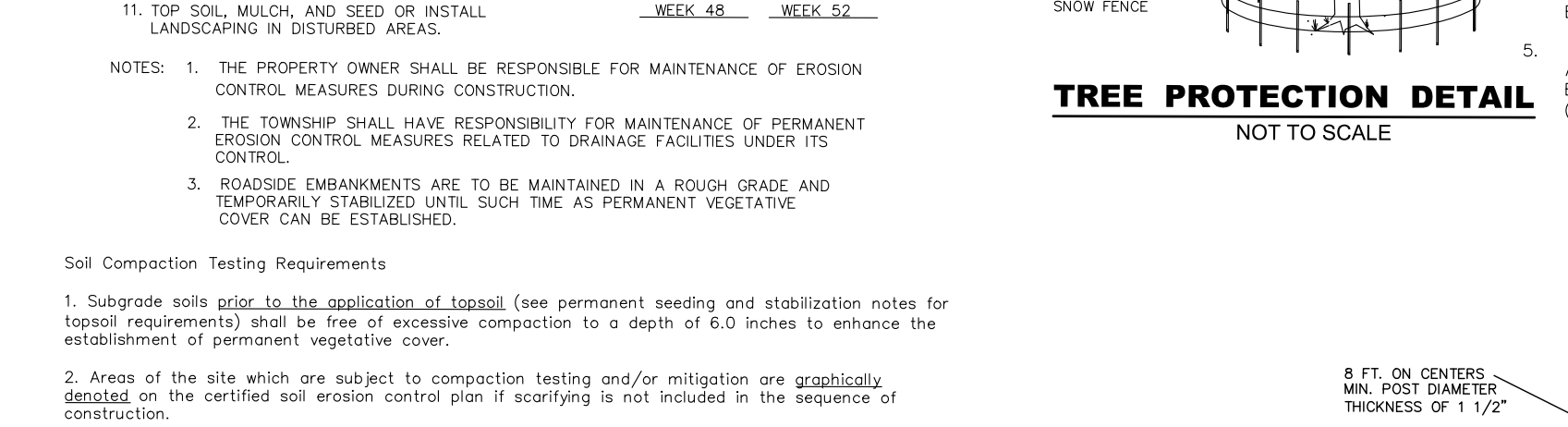
15. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE USE A RECOMMENDED NETTING IN AREAS TO BE MOWED.



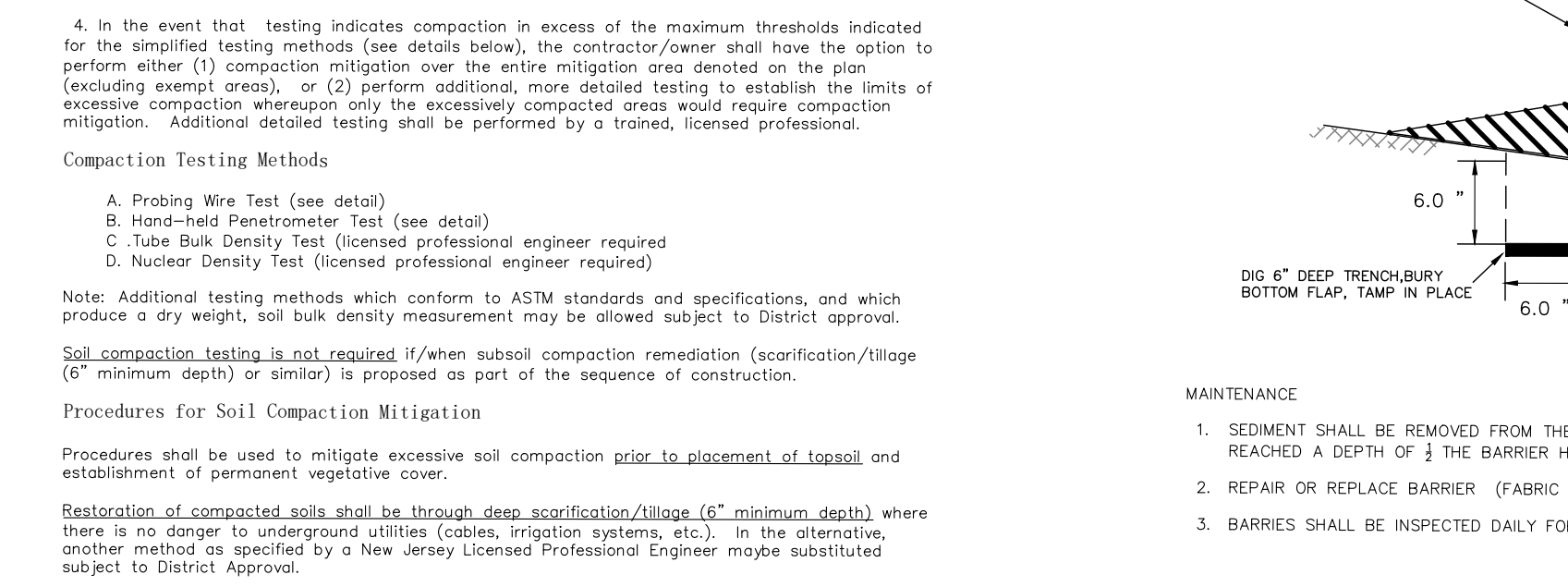
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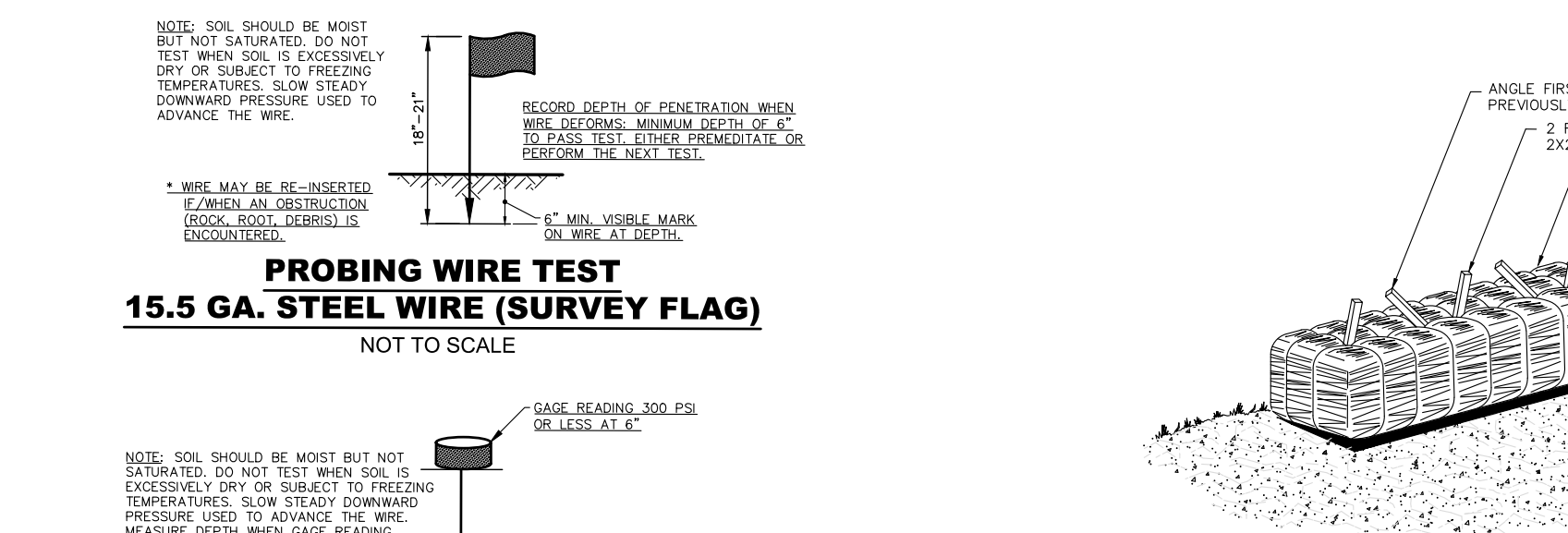
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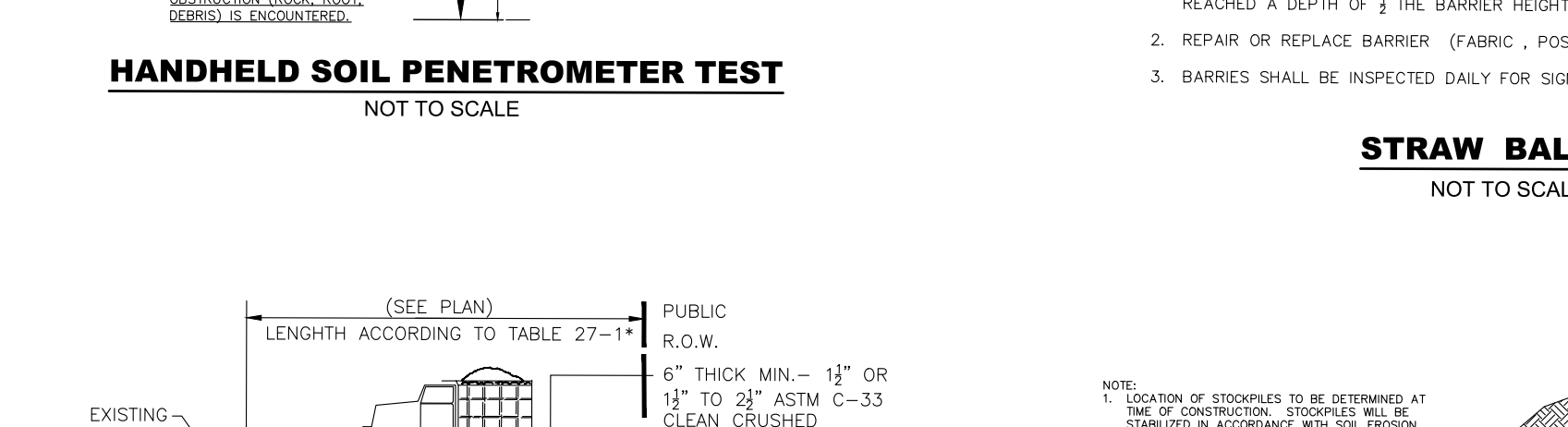
TREE PROTECTION DETAIL NOT TO SCALE



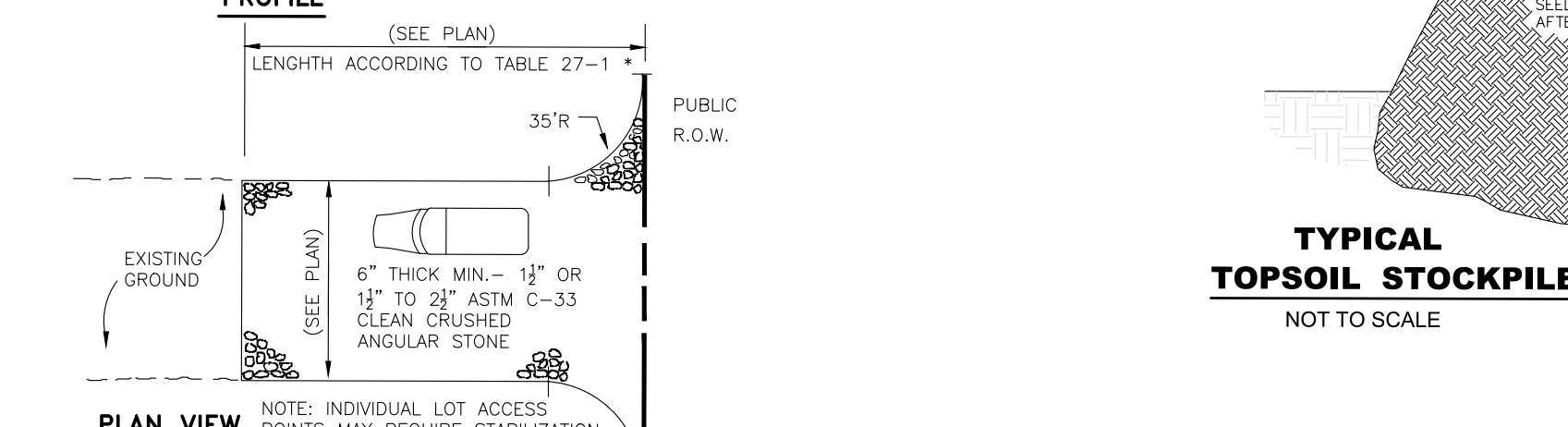
DEWATERING DETAIL NOT TO SCALE



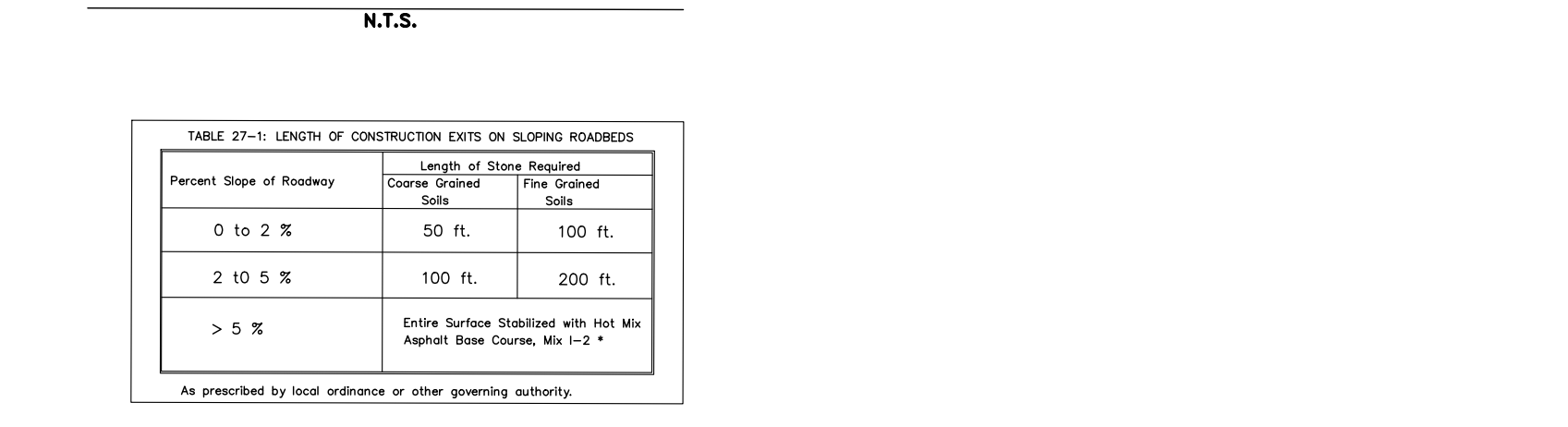
RIP-RAP CROSS-SECTION NOT TO SCALE



RIP-RAP DETAIL NOT TO SCALE



SILT FENCE & INSTALLATION DETAIL NOT TO SCALE



PROBING WIRE TEST (SURVEY FLAG) NOT TO SCALE



HANDHELD SOIL PENETROMETER TEST NOT TO SCALE



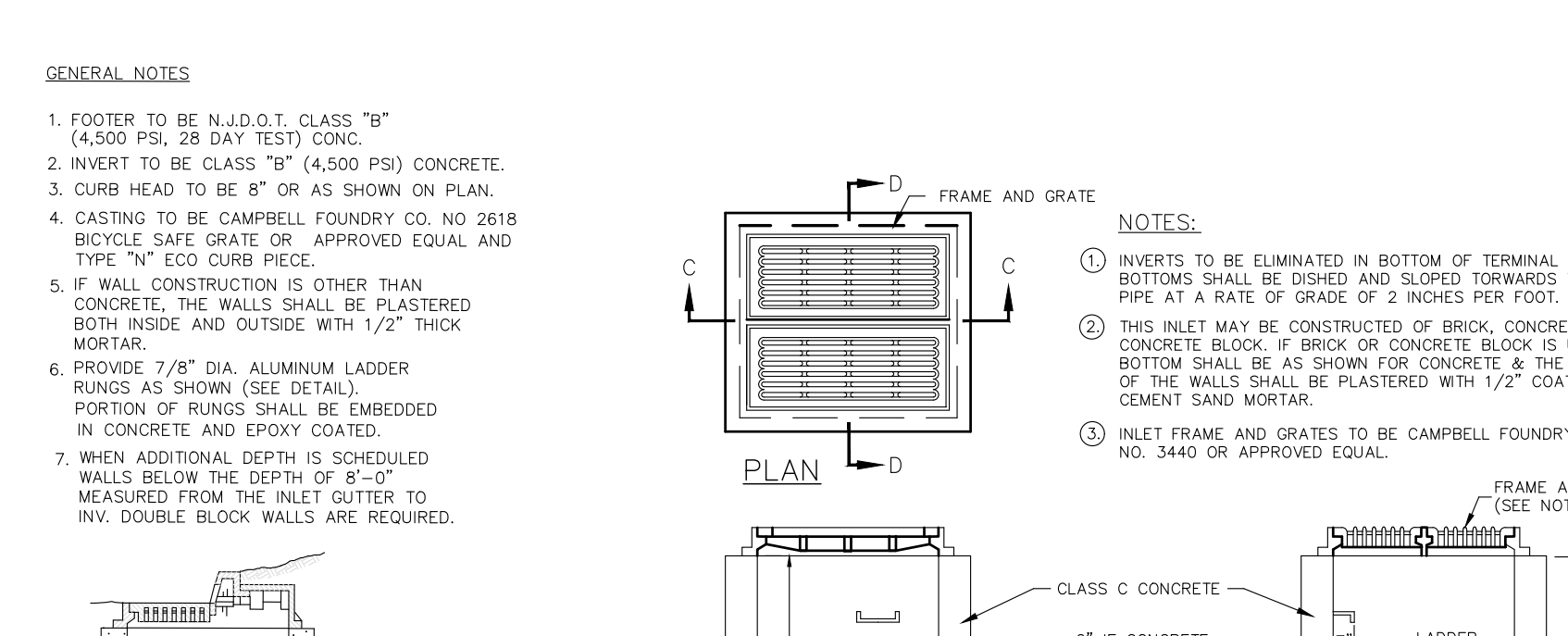
STRAW BALE DETAIL NOT TO SCALE



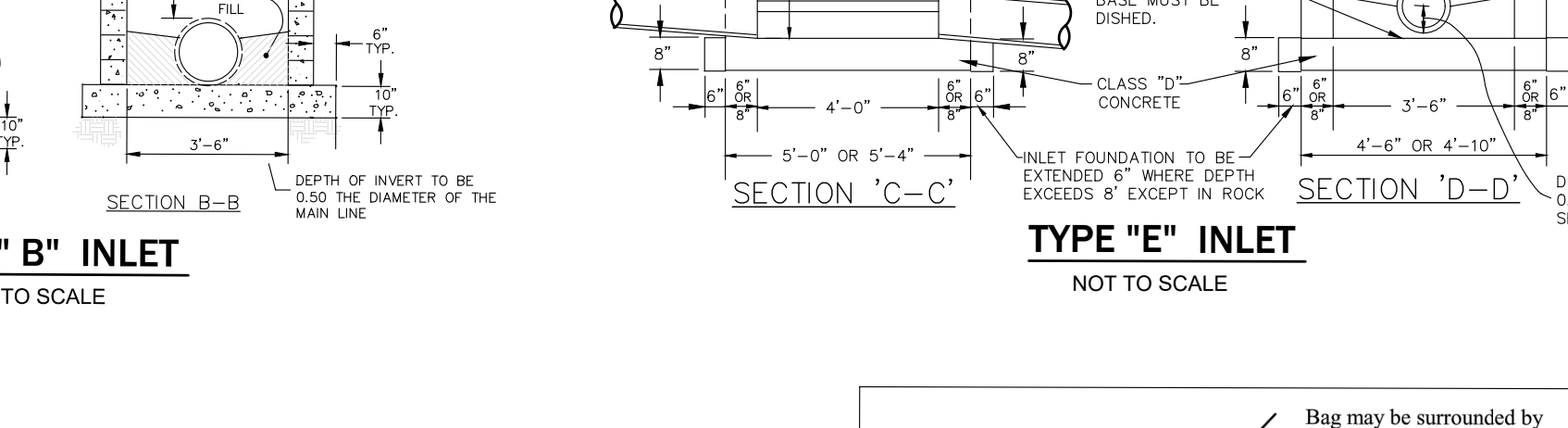
TYPICAL TOPSOIL STOCKPILE NOT TO SCALE



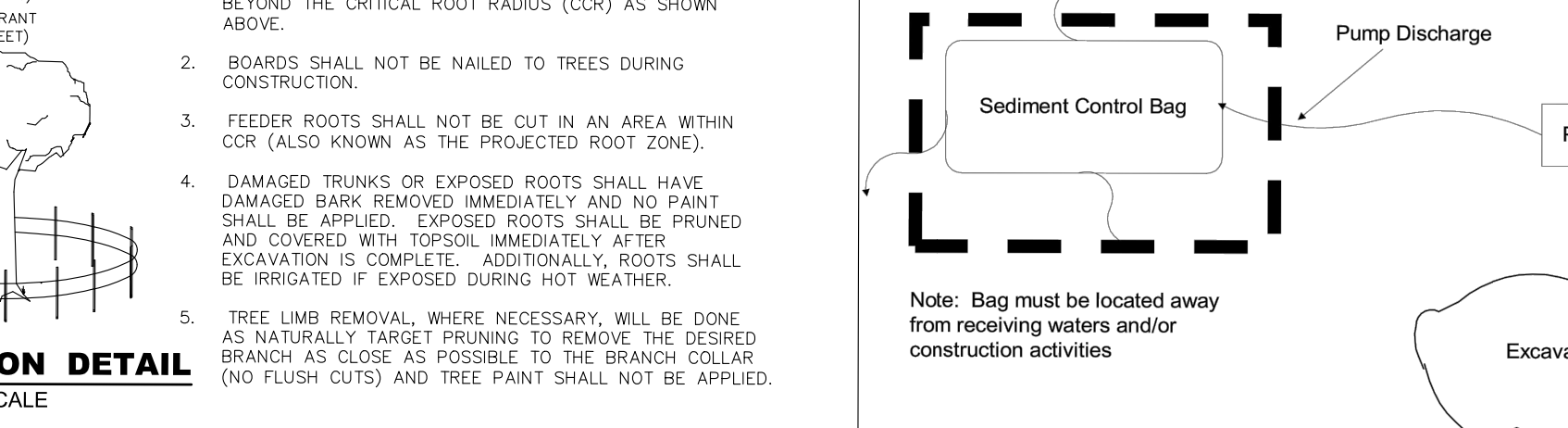
STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



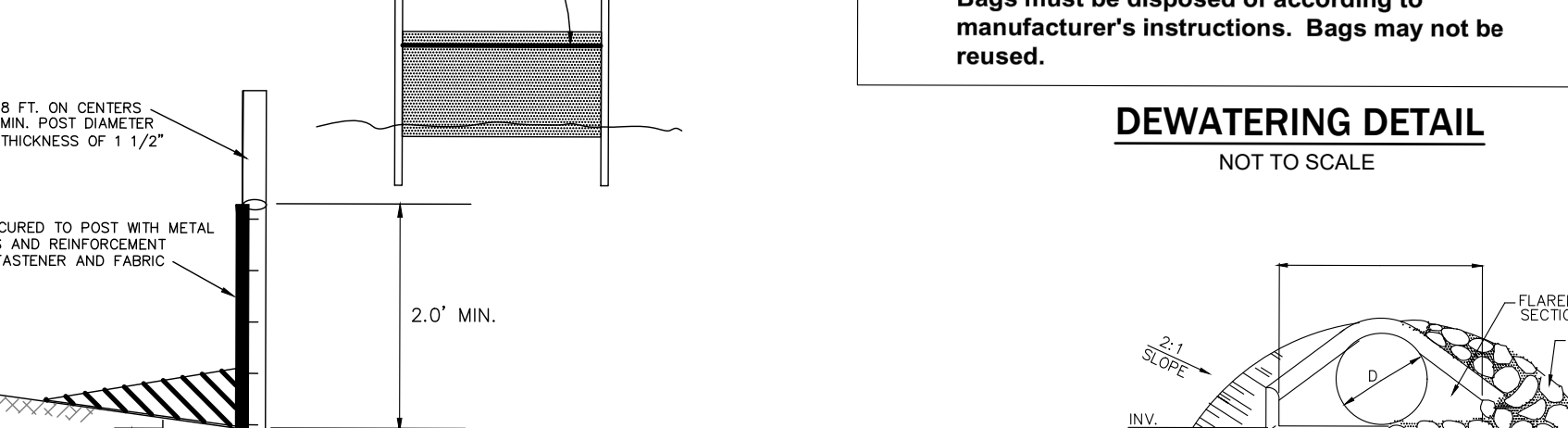
MEW C-C



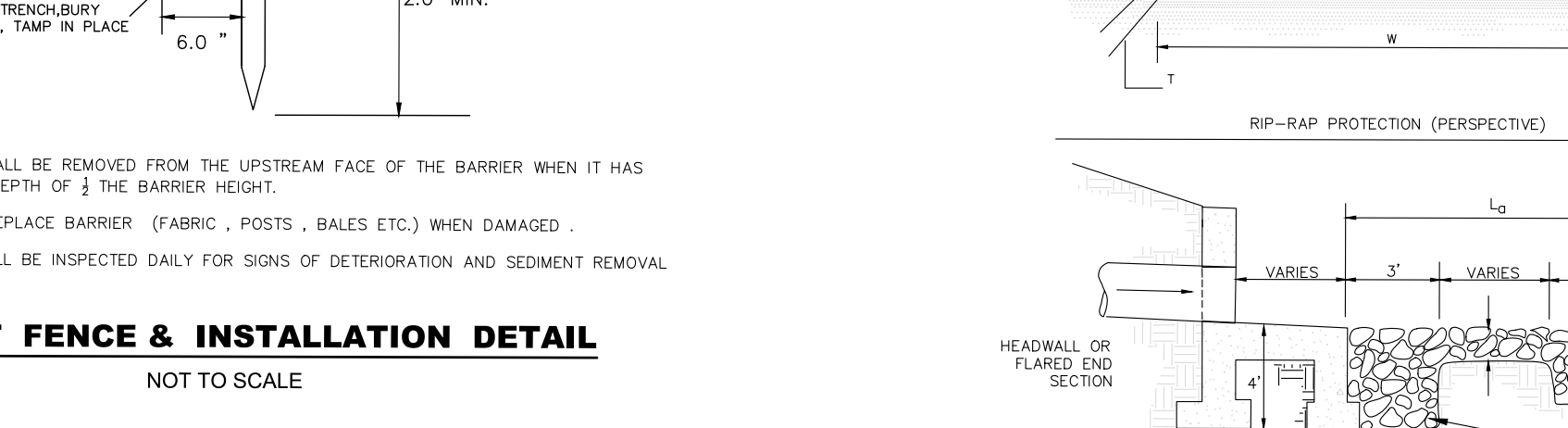
MEW D-D



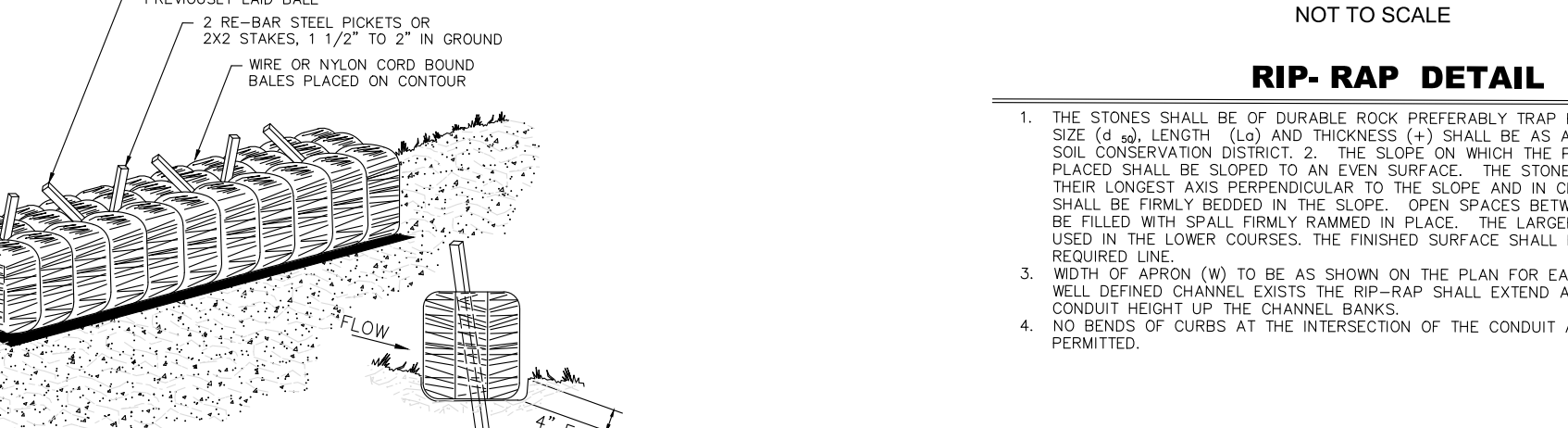
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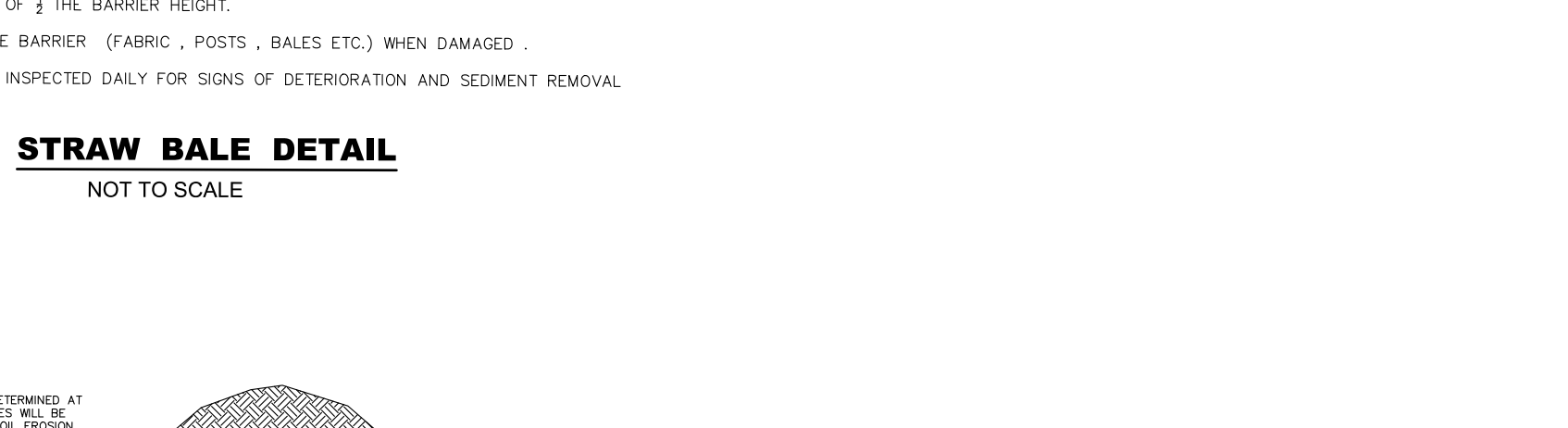
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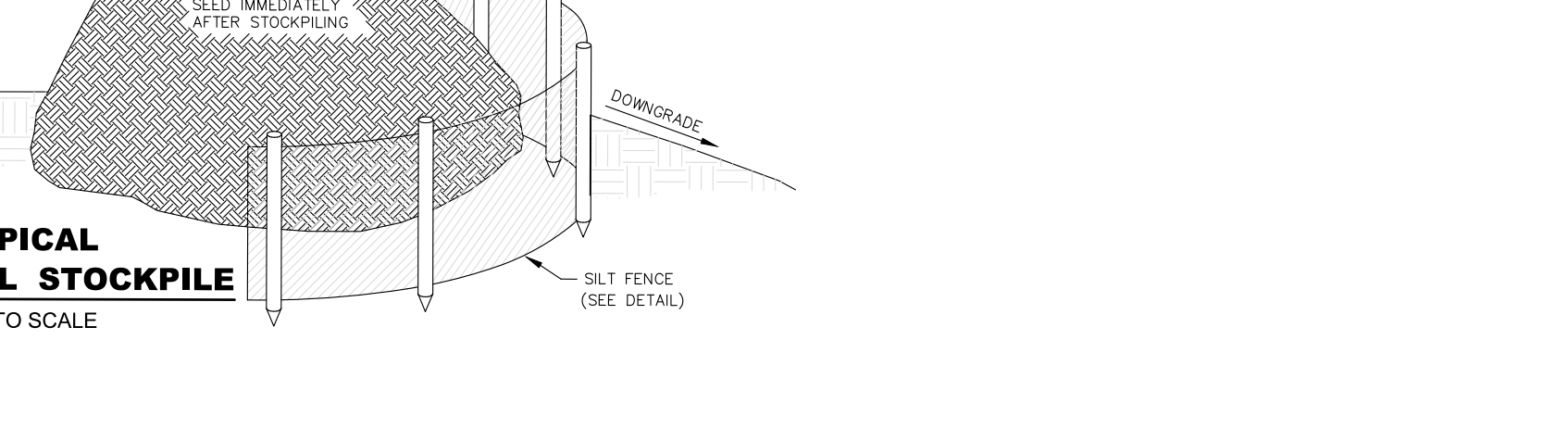
BAG PROTECTION NOT TO SCALE



SOIL DECOMPACTION AND PREPARATION DETAIL (NONE REQUIRED)



LEGEND



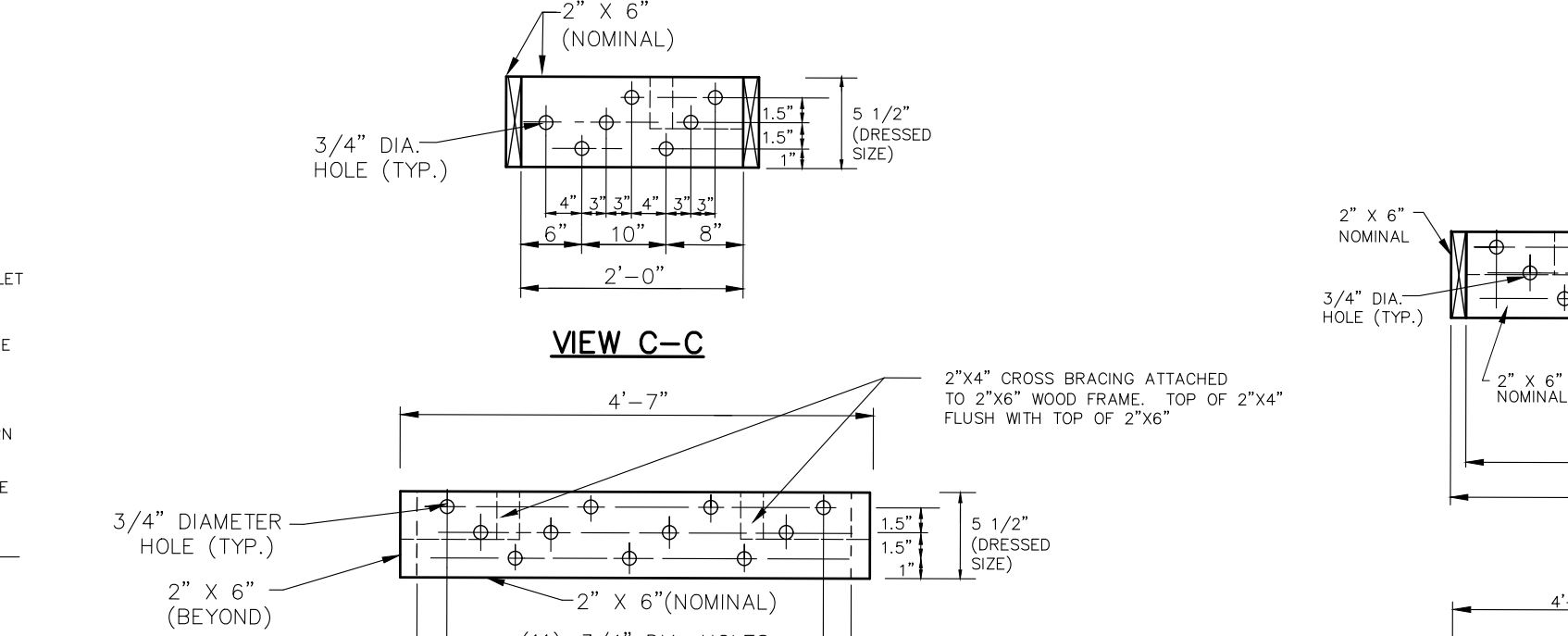
COMPASS SELF STORAGE



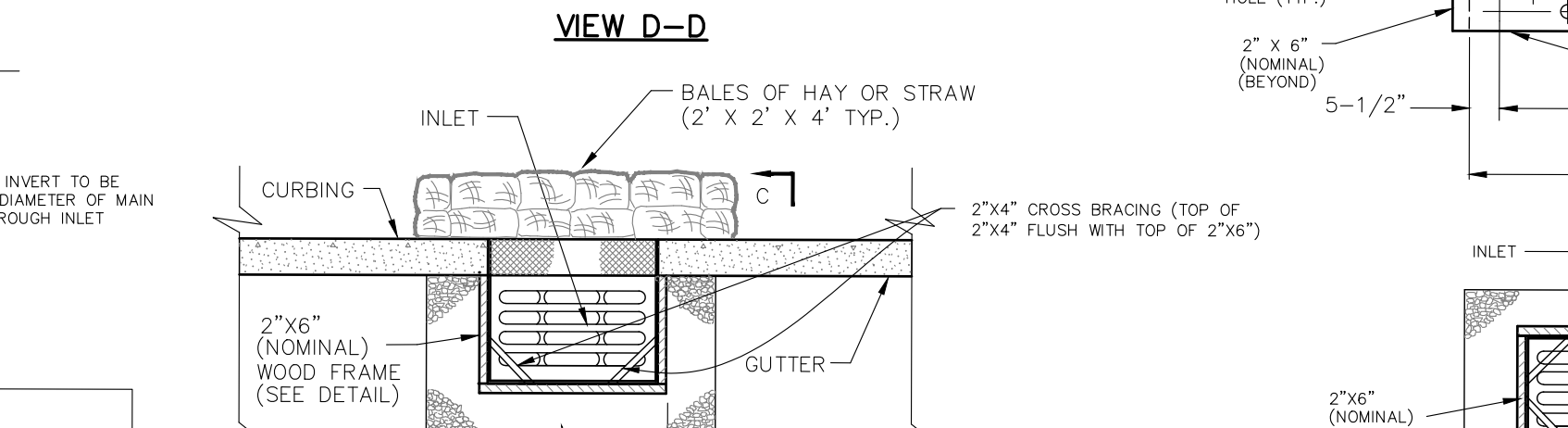
CRESCENT ENGINEERING ASSOCIATES INC.



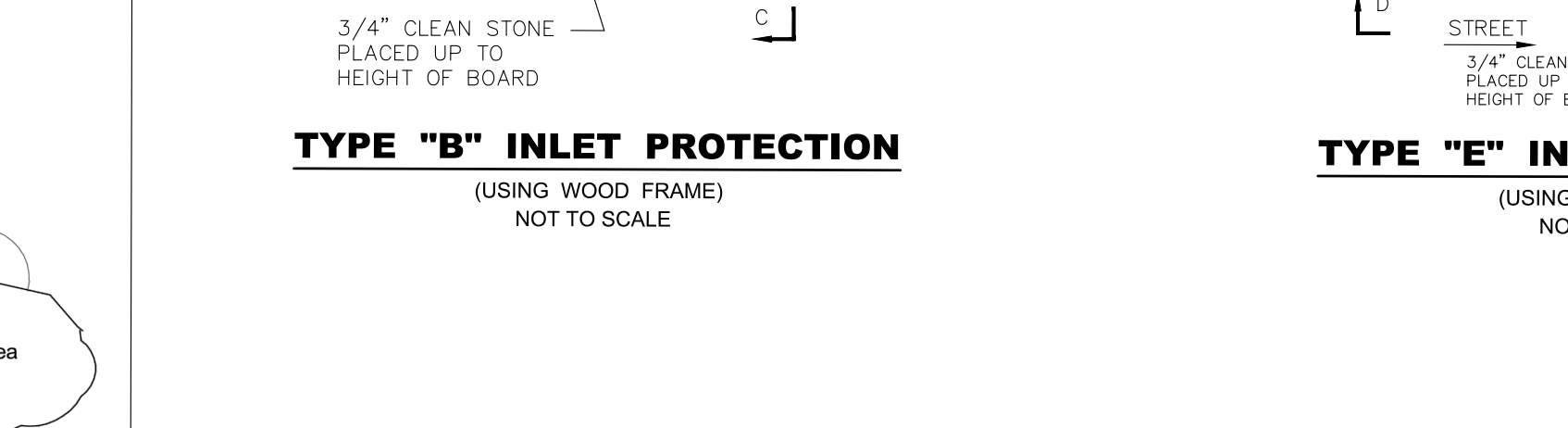
PETER W. STRONG



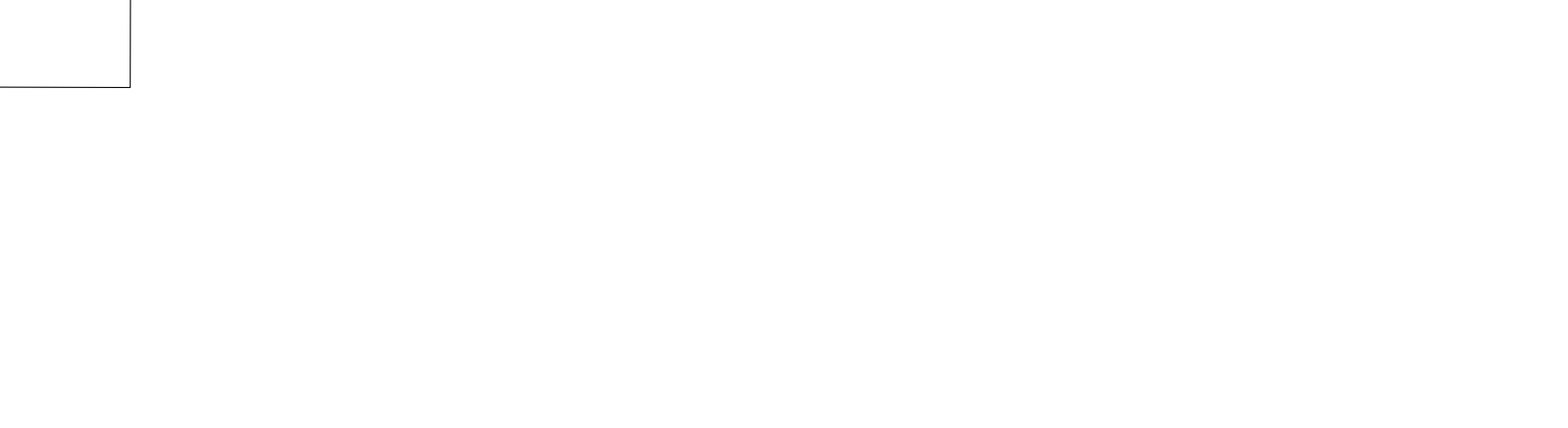
MEW C-C



MEW D-D



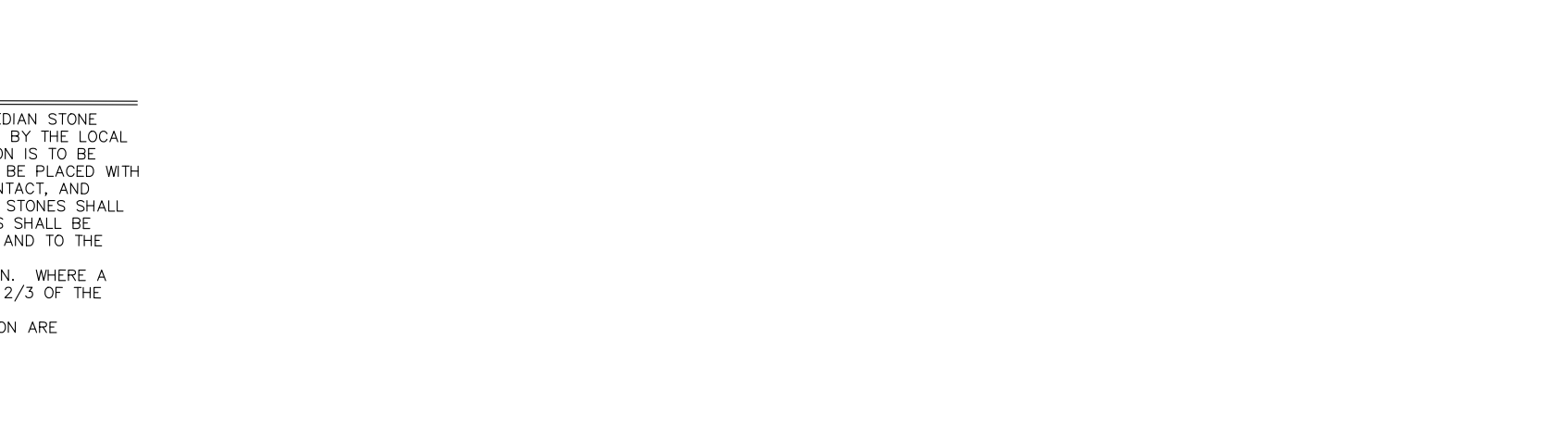
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TYPE 'E' INLET PROTECTION (USING WOOD FRAME) NOT TO SCALE



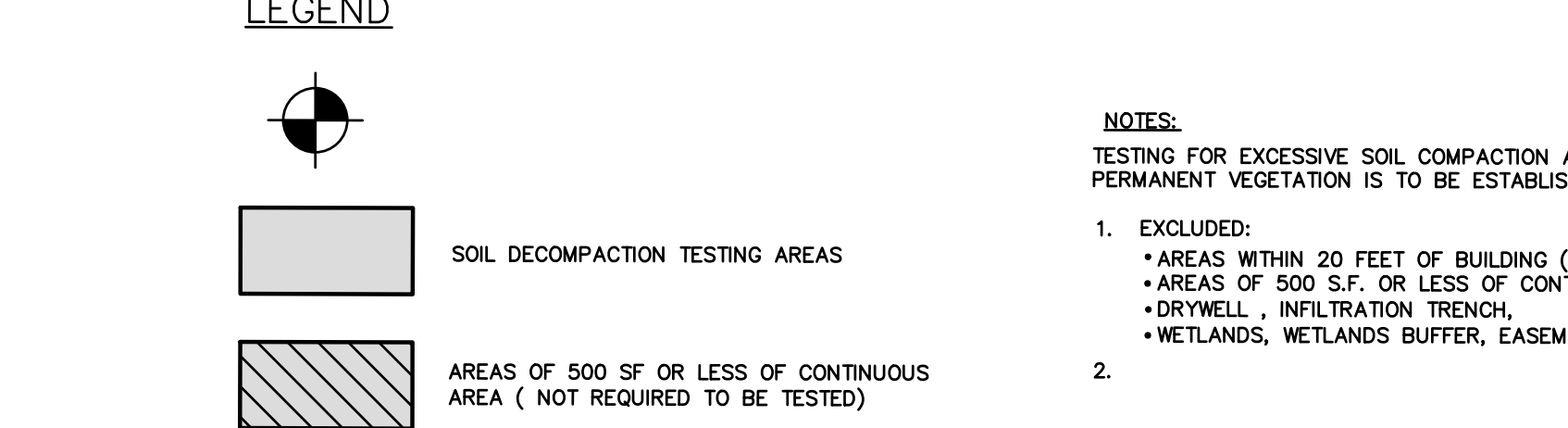
BAG PROTECTION NOT TO SCALE



SOIL DECOMPACTION AND PREPARATION DETAIL (NONE REQUIRED)



LEGEND



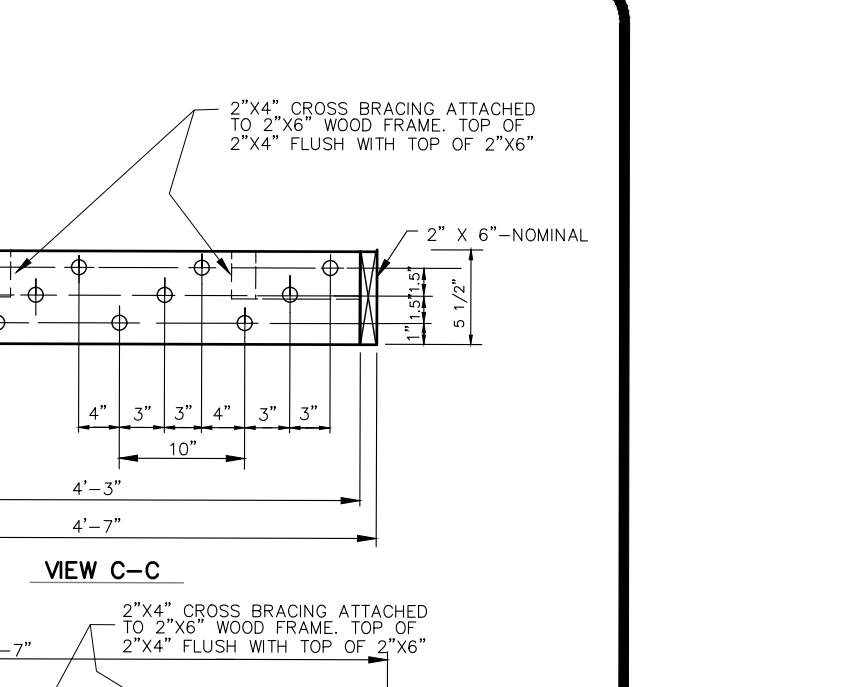
COMPASS SELF STORAGE



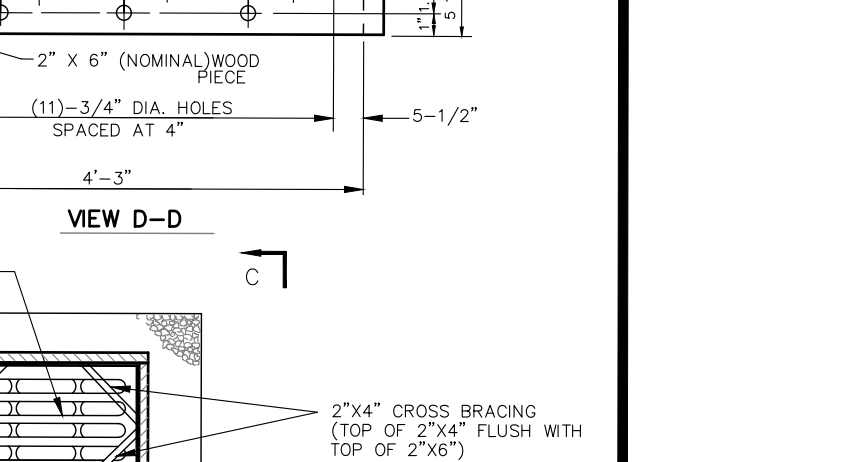
CRESCENT ENGINEERING ASSOCIATES INC.



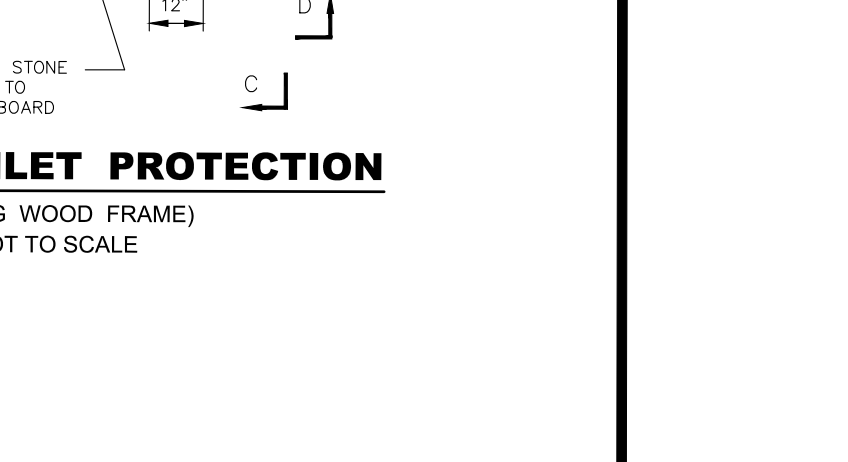
PETER W. STRONG



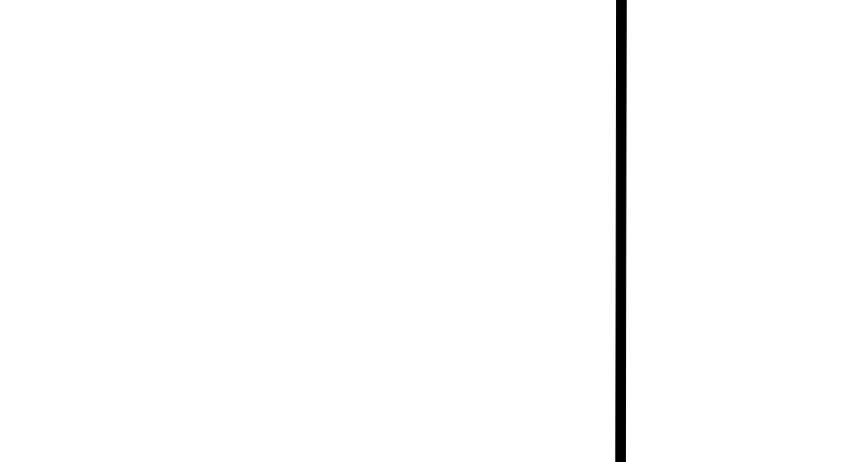
MEW C-C



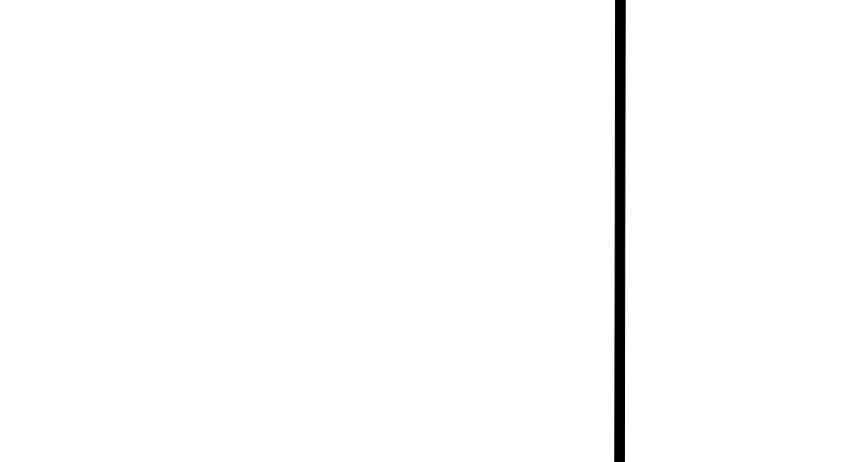
MEW D-D



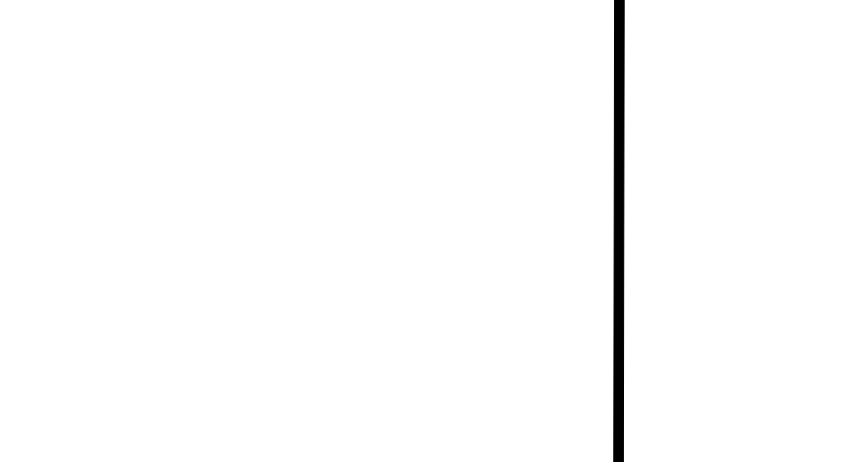
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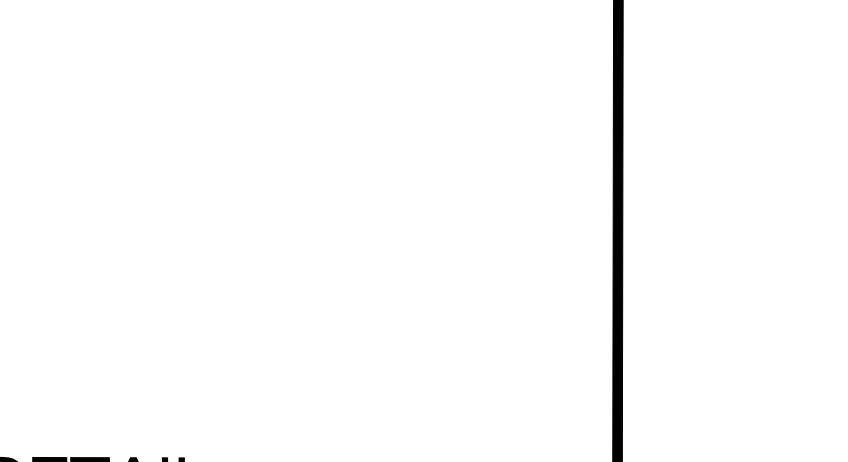
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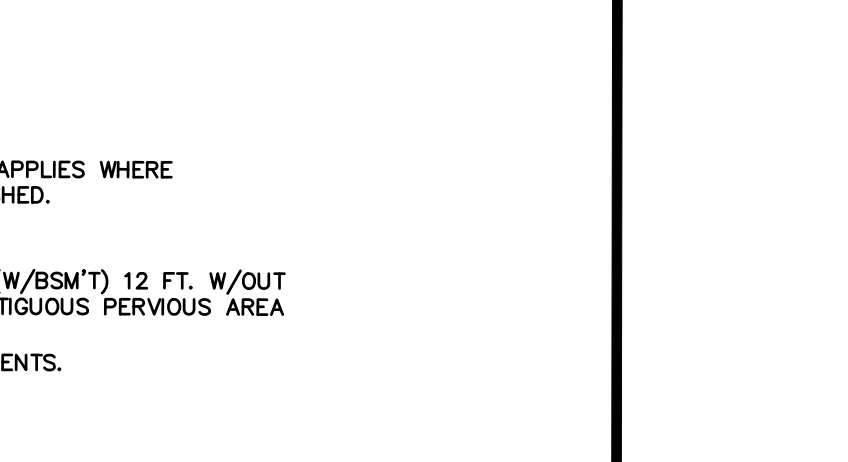
BAG PROTECTION NOT TO SCALE



SOIL DECOMPACTION AND PREPARATION DETAIL (NONE REQUIRED)



LEGEND



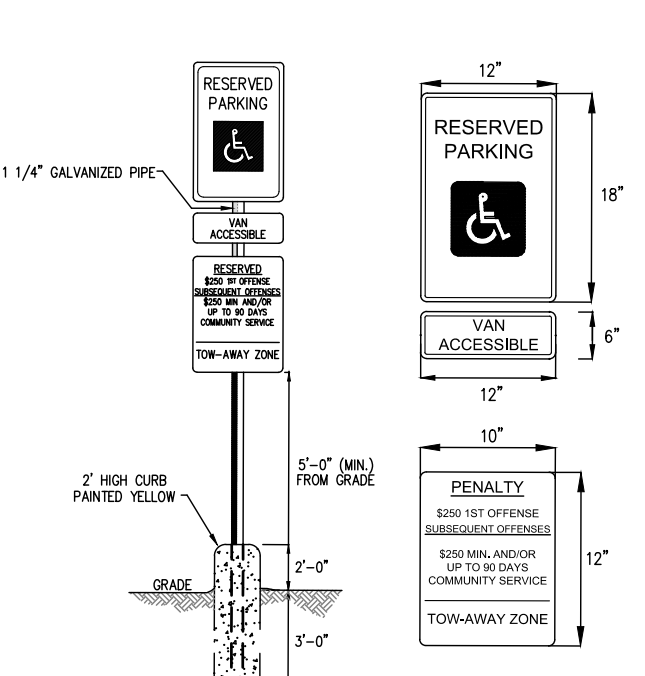
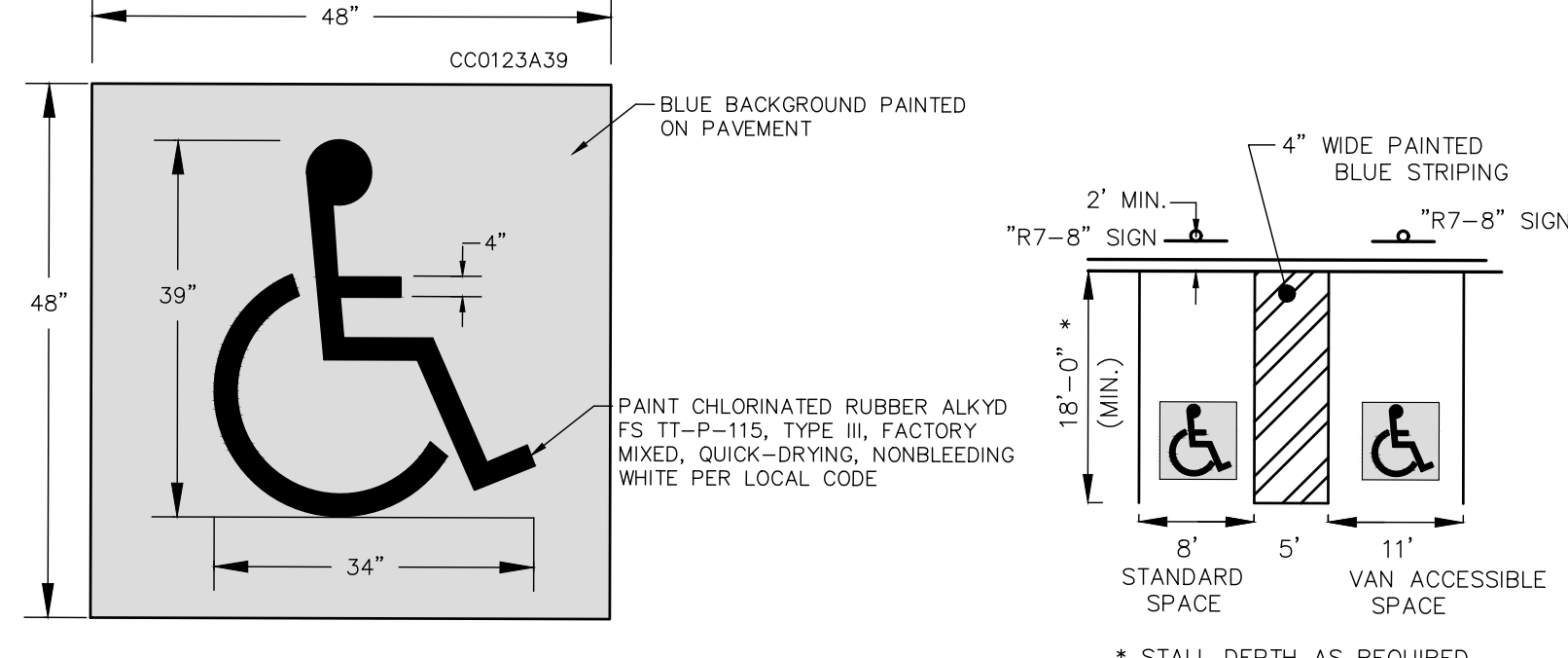
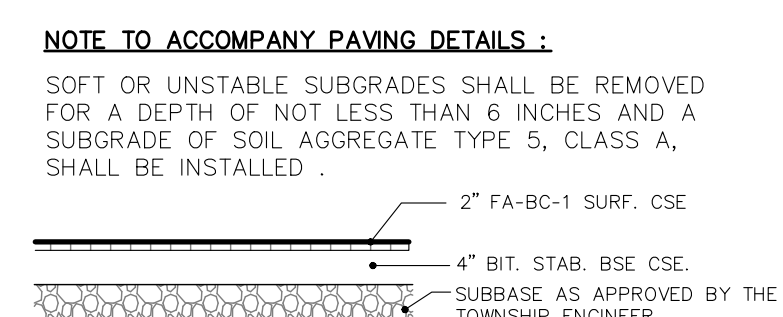
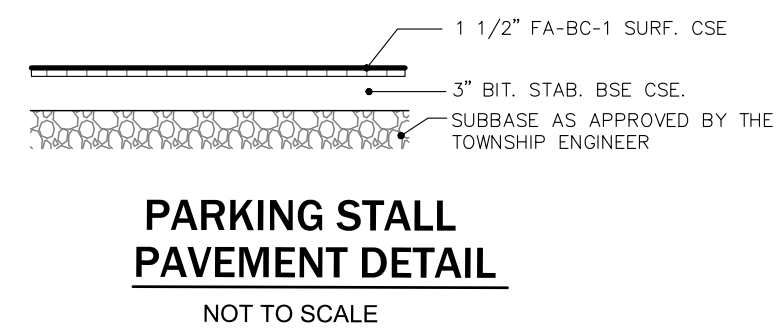
COMPASS SELF STORAGE



CRESCENT ENGINEERING ASSOCIATES INC.

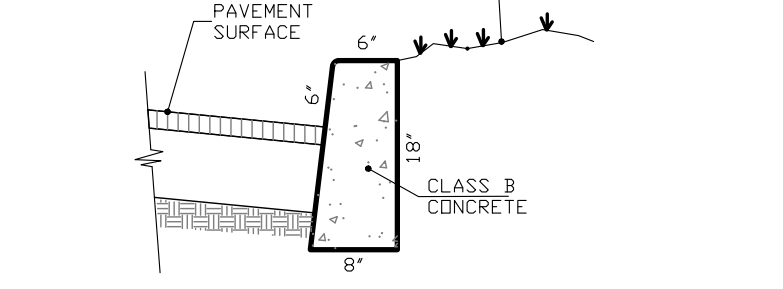


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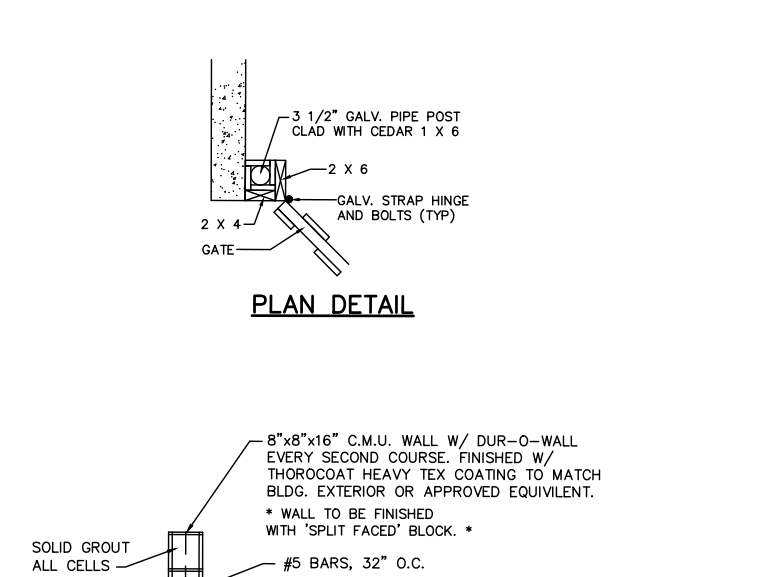
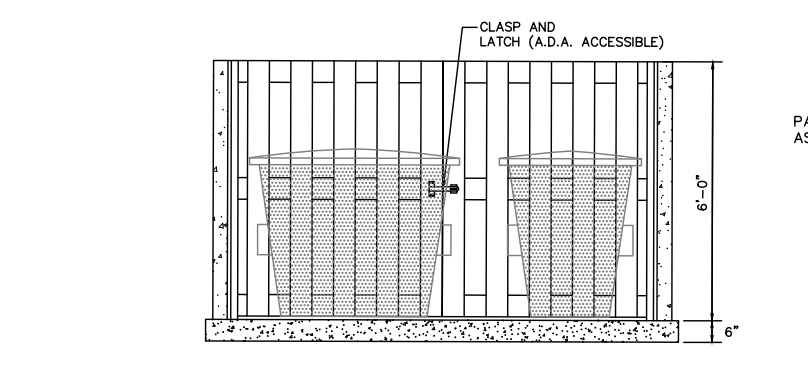
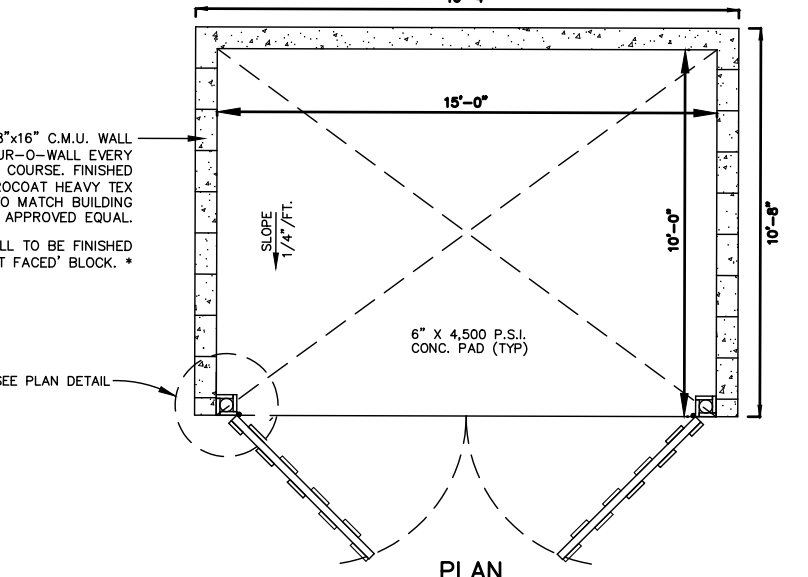


TYPICAL HANDICAP PARKING STRIPING DETAIL NOT TO SCALE

HANDICAP PARKING SIGN DETAIL NOT TO SCALE

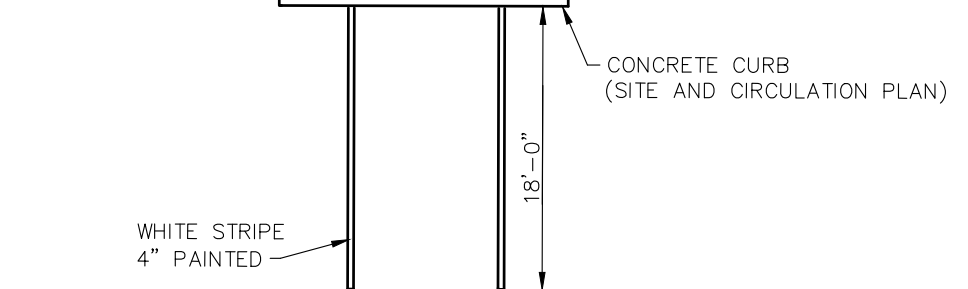


CONCRETE CURB NOT TO SCALE

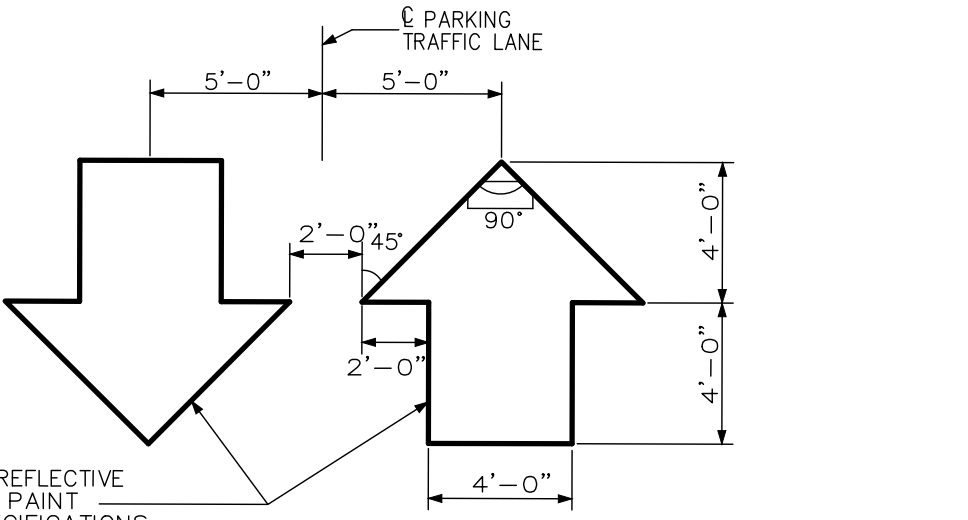


15' x 10' REFUSE ENCLOSURE DETAIL NOT TO SCALE

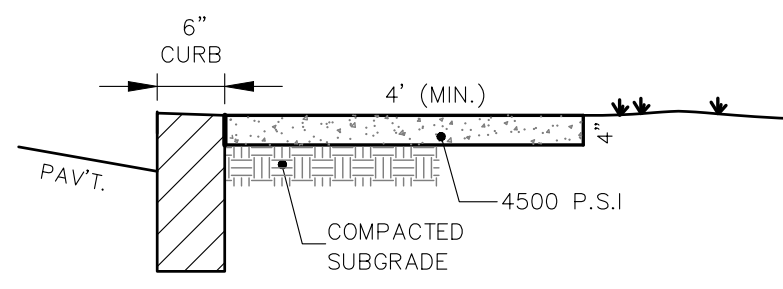
FOOTING & WALL SECTION



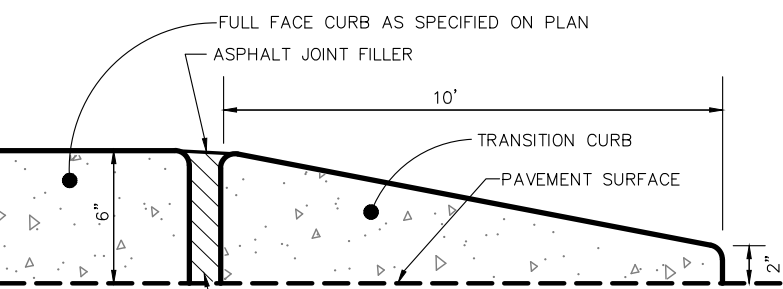
TYPICAL PARKING SPACE DETAIL NOT TO SCALE



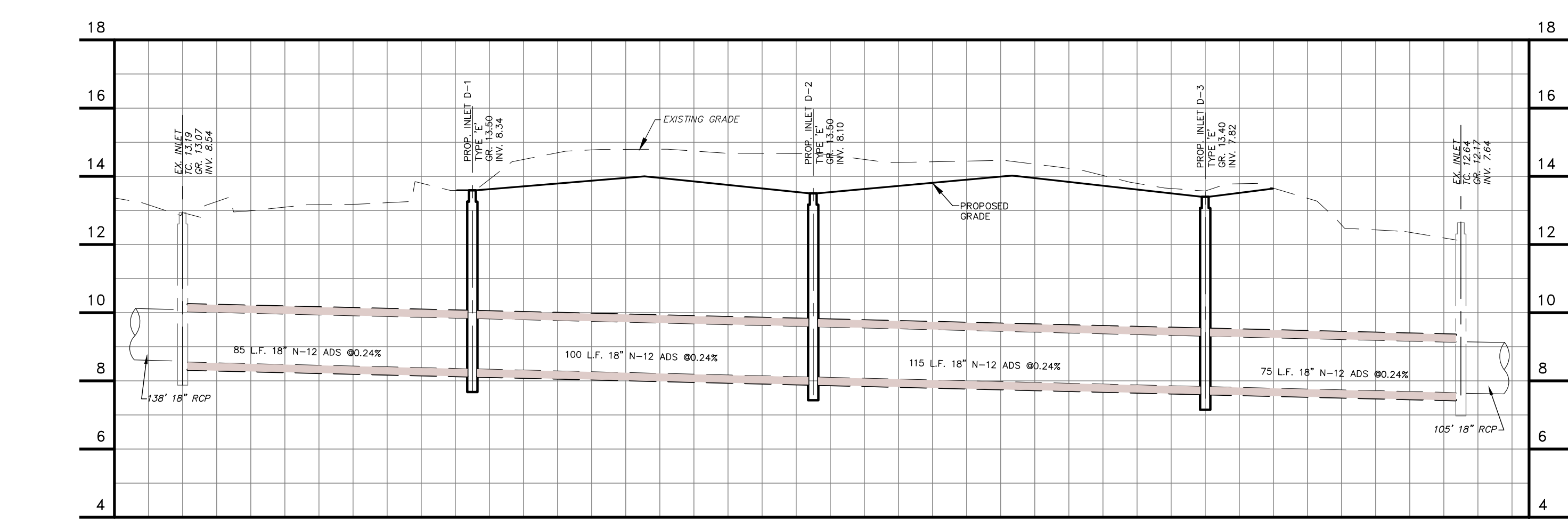
TRAFFIC ARROW STRIPING DETAIL FOR PARKING LOT NOT TO SCALE



CONCRETE SIDEWALK DETAIL NOT TO SCALE



TAPERED CURB SECTION NOT TO SCALE



EXISTING INLET TO EXISTING INLET

**GENERAL NOTES:**

- ALL POSTS TO BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND AS INDICATED BELOW.
- ALL SMALL SIGN SUPPORTS TO BE OF THE BREAKAWAY TYPE WITH EXCEPTION OF THOSE INSTALLED BEHIND GUIDE RAIL OR OTHER ROADSIDE BARRIER.
- ALL STEEL POSTS AND BRACKETS TO BE CUT, BENT, AND HOLES PUNCHING AND DRILLED BEFORE GALVANIZING GALVANIZING TO BE ACCORDING TO ASTM A58.
- ALL STEEL U-POST SIGN SUPPORTS MUST BE INSTALLED FACING THE PREDOMINANT TRAFFIC FLOW USE A MOUNTING BRACKET OR SIDE MOUNTED SIGN BRACK AS "ONE WAY" SIGNS INSTALLED IN MEDIANS.
- SIGN PANEL SIZES ARE TO DETERMINE POST TYPE AND NUMBER AS SHOWN ON THE DETAIL. BOLTS ARE NOT TO PROVIDE MORE THAN 1/2" BEYOND THE NUT WHEN TIGHT, BUT ARE TO ENGAGE ALL THREADS IN THE NUT.
- WHEN BOLTS ARE INSTALLED ON SLOPES 1/4" OR FLATTER, THE MINIMUM VERTICAL CLEARANCE REQUIREMENTS FOR BOLTS ARE:
  - FOR SINGLE POST INSTALLATIONS - THE MINIMUM DISTANCE BETWEEN THE EDGE OF THE PAVEMENT AND THE BOTTOM OF ANY PANEL MUST BE 7 FEET AND THE MINIMUM DISTANCE FROM EDGE OF PAVEMENT TO THE TOP OF ANY SIGN PANEL MUST BE 6 FEET.
  - FOR MULTIPOST INSTALLATIONS - THE MINIMUM DISTANCE BETWEEN THE EDGE OF PAVEMENT AND THE BOTTOM OF A MAIN SIGN PANEL MUST BE 7 FEET.
  - SECONDARY SIGN PANELS (LAND SERVICE HIGHWAYS) - THE MINIMUM DISTANCE BETWEEN THE EDGE OF PAVEMENT AND THE BOTTOM OF A SECONDARY SIGN PANEL IS 6 FEET.
  - SECONDARY SIGN PANELS (INTERSTATE AND FREEWAYS) - THE BOTTOM OF THE MAIN SIGN TO BE A MINIMUM OF 8 FEET AND THE SECONDARY SIGN PANEL A MINIMUM OF 6 FEET ABOVE THE EDGE OF PAVEMENT.
- WHERE GRADING OF 1/4" OR FLATTER CANNOT BE OBTAINED OR WHERE CURB OR BERM IS GREATER THAN 4 INCHES THE MINIMUM VERTICAL CLEARANCE WILL BE MEASURED FROM THE GROUND LINE TO THE BOTTOM OF THE SIGN.
- THE HORIZONTAL OFFSET FROM EDGE OF PAVEMENT TO EDGE OF SIGN IS DERIVED FROM SECTION A-A OF THE MANUAL AND FOLLOWS:
  - FOR URBAN INSTALLATIONS - IN AREAS WHERE LATERAL OFFSETS ARE LIMITED, A MINIMUM LATERAL OFFSET OF 3 FEET IS DESIRABLE A MINIMUM OFFSET OF 4 FEET FROM THE FACE OF THE CURB MAY BE USED IN AREAS WHERE THE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING HOLES ARE CLOSE TO THE CURB.
  - FOR RURAL INSTALLATIONS - 6 FEET MINIMUM DESIRABLE FROM EDGE OF SHOULDER, BUT 5 FEET MINIMUM DESIRABLE FROM EDGE OF TRAFFIC OR AUXILIARY LANE.
  - FOR INTERSTATE AND FREEWAY INSTALLATIONS - 8 FEET MINIMUM DESIRABLE FROM EDGE OF SHOULDER, BUT NOT LESS THAN 7 FEET FROM THE EDGE OF TRAFFIC OR AUXILIARY LANE.
  - FOR RAMP INSTALLATIONS - 6 FEET MINIMUM FROM EDGE OF ROAD.
  - WHERE BEHIND GUIDE RAIL - 4 FEET MINIMUM FROM BACK OF BEAM GUIDE RAIL ELEMENT TO SIGN POST.
- DO NOT INSTALL PERMANENT SIGN SUPPORTS ON SLOPES GREATER THAN 1/4" EXCEPT WHERE GRADING OF 1/4" CANNOT BE OBTAINED ON THE SIGN SUPPORTS WILL BE BEHIND A TRAFFIC BARRIER THE SLOPE IS TO EXCEED A MINIMUM OF 3 FEET BEYOND THE OUTSIDE EDGE OF SIGN (SEE GRADING DETAIL FOR SLOPE TREATMENT).
- EXTRUDED ALUMINUM SIGN PANELS ARE NOT PERMITTED FOR USE WITH STEEL U-POST SIGN SUPPORTS.
- DO NOT PLACE STEEL U-POST SIGN SUPPORTS IN FRONT OF GUIDE RAIL AND THE POSTS MUST NOT STRADDLE GUIDE RAIL.
- TO EXTEND THE HEIGHT OF A SIGN POST, A MAXIMUM OF ONE SPLICE MAY BE MADE AND MUST BE A MINIMUM OF 8 FEET FROM THE GROUNDLINE TO CENTER LINE OF SPLICE.

**STEEL U-POST SIGN SUPPORTS**  
N.T.A. CD-42.4  
NEW JERSEY DEPARTMENT OF TRANSPORTATION  
**CONSTRUCTION DETAILS**  
92/164

**STEEL U-POST SIGN SUPPORTS**  
N.T.A. CD-42.5  
NEW JERSEY DEPARTMENT OF TRANSPORTATION  
**CONSTRUCTION DETAILS**  
92/164

WEIGHT #	DIMENSIONS (IN)			AREA			X-X AXIS			Y-Y AXIS		
USE	2"	2 1/2"	3"	INCHES	INCHES	INCHES	INCHES	INCHES	INCHES	INCHES	INCHES	INCHES
2.00	1.98	3.00	1.25	0.880	0.760	0.558	0.213	0.026	0.382	0.000	0.000	0.000
4.00	1.98	3.00	1.25	0.880	0.760	0.558	0.213	0.026	0.382	0.000	0.000	0.000

**TYPE 1 STEEL U-POST PROPERTIES**  
\*\* GOVERNING SECTION

Compass Self Storage

Site Plan for LOT 7 BLOCK 404 (TAX MAP SHEET No. 4) TOWNSHIP OF NEPTUNE MONMOUTH COUNTY, NEW JERSEY

Engineering Associates Inc. Civil & Environmental Engineers Professional Planners • Surveyors • Landscape Architects  
CERTIFICATE OF AUTHORIZATION NO. 246227989300

105 HIVE DRIVE MILLSTONE TOWNSHIP, N.J. 08535 PH(609)468-5550

12 ROBINS DRIVE AT WATER STREET TOWNSHIP, N.J. 08755 PH(732)244-0885

PETER W. STRONG PROFESSIONAL ENGINEER N.J. LIC. NO. 22370

DATE: 5/19/23  
SCALE: N.T.S.  
DRAWN: M.F.  
CHECKED:  
SHEET: 7 of 7  
PROJECT:

DETAILS / PROFILE  
SOIL EROSION AND SEDIMENT CONTROL PLAN