

General Notes

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.

3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.

5. SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.

6. THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.

7. THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.

8. UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.

9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

SPECIAL NOTE: INDEMNIFICATION CLAUSE
THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

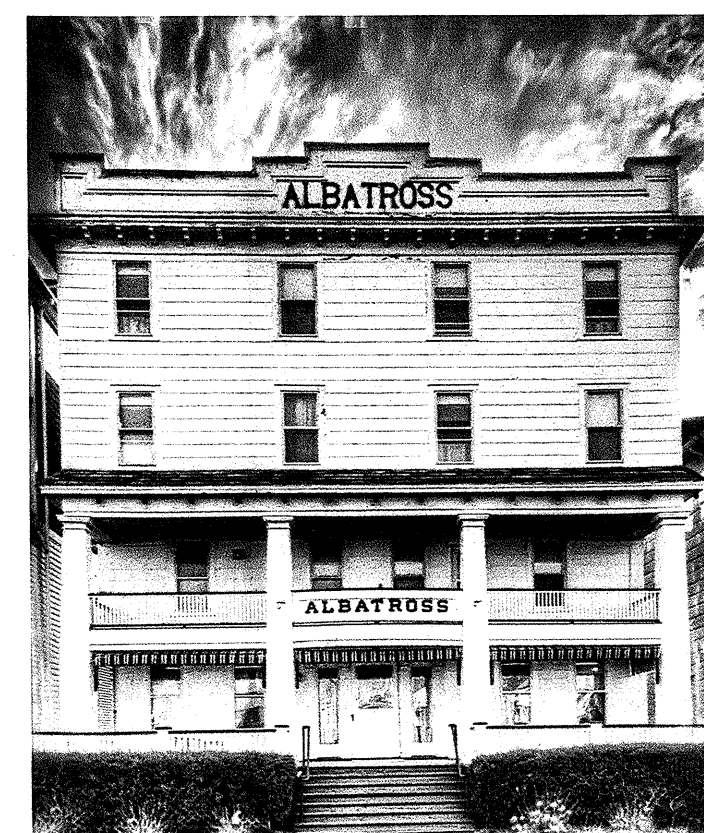


Photo Reference

Special Notes

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PERMITS AND RELATED FEES:
CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:
USE OF THESE CONSTRUCTION DRAWINGS IS LIMITED TO THE PROJECT SITE INTENDED. ALL COPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANDER PAVLIV, AIA AS ARCHITECT OF RECORD. REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Legend

	WALLS TO BE REMOVED
	EXISTING WALLS
	NEW WOOD STUDS WALLS
	EXISTING WINDOW LOCATION
	NEW WINDOW LOCATION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
	STRUCTURAL BEAM
	JOIST FRAMING
	ROOF OVERHANG OR SOFFIT LINE

Albatross Setback Analysis:

Summary - Landmarks Engineering Survey
Completed topo survey and draft setback survey for review by Architect indicates that once we eliminate the setback anomaly of the 38 Ocean Pathway property... there are a total of 7 properties to be included in the final Averaging Survey for submission to Zoning, once plans are completed.

Dwelling/Structure setbacks average 5.54 feet and Covered Porch Decks and/or Structures net an average of 2.19 feet from the property line. The existing enclosed rear of hotel porch, is 3.59 feet from the property line while the covered stoop is only 0.59 feet from the property line. (See Setback Analysis below). Although both conditions are pre-existing and are grandfathered, any second and third level additions must conform to the calculated averages.

McClintock Street Setback Averaging:

Location	to Structure	to Covered Porch
22 Ocean Pathway	6.64	6.64
23 McClintock St.	1.78	0.36
30 Ocean Pathway	8.94	3.34
34 Ocean Pathway	3.59	0.57
36 Ocean Pathway	2.27	2.27
40 Ocean Pathway	7.65	0.83
24 Central Avenue	7.96	1.13
Total	38.83 feet	15.38 feet
Calculated Average	5.54 feet	2.19 feet

Area Calculations

Applicant: 34 OPOG LLC
& Owner: PO Box 76
Columbia, NJ 07832

Site Address: 34 Ocean Pathway, Ocean Grove, NJ 07756
Block #129, Lot #6; ZONE: HD-O

Description: Proposed renovation and addition to the existing 1881 4-story, wood frame, "Albatross Hotel" with a continuance of the hotel use and continuance of existing dining, guest convenience and laundry uses with a net reduction from the existing 39 to 27 guest rooms.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	45.74 ft	no change	30.0 ft
<i>(along Ocean Pathway Flare Line)</i>			
Frontage	45.67 ft	no change	30.0 ft
<i>(along McClintock Street Property Line)</i>			
Depth	111.12 ft	no change	60.0 ft
<i>(along East Property Line)</i>			
Depth	113.72 ft	no change	60.0 ft
<i>(along West Property Line)</i>			
Lot Area	5,134.2 sf*	no change	1,800 sf
	*6,393.8 as per Section 413.06.E		

SETBACK	EXISTING	PROPOSED	ALLOWED
Front	12.57 ft	no change	Section 413.06.D
<i>(to edge of structure from Ocean Pathway Flare)</i>			
Front	0.93 ft	no change	Section 413.06.D
<i>(to edge of covered porch from Ocean Pathway Flare)</i>			
Front	11.57 ft	no change	Section 413.06.D
<i>(to edge of covered porch overhang from Ocean Pathway Flare)</i>			
Front	3.59 ft	no change	Section 413.06.D
<i>(to edge of structure from McClintock Street Property Line)</i>			
Front	1.59 ft	no change	Section 413.06.D
<i>(to edge of overhang from McClintock Street Property Line)</i>			
East Side	2.84 ft	no change	2.0 ft
<i>(to edge of structure)</i>			
West Side	2.12 ft	no change	2.0 ft
<i>(to edge of structure)</i>			
Floor Levels	4 stories	no change	4 stories
Height	46.9 ft	no change	50.0 ft (Hotel)

LOT COVERAGE:

	EXISTING	PROPOSED	PERMITTED
Building:	2,895.0 sf	2,895.0 sf (Same)	
Elevator:	none	92.7 sf	
Covered Porch:	488.9 sf	488.9 sf (Same)	
Total Building:	3,383.9 sf	3,476.6 sf (67.72%)	< (85%)
<i>(includes first floor covered porch)</i>			
Front Steps:	24.5 sf	18.7 sf	N/A
Front Walk:	0.0 sf	3.4 sf	N/A
East Conc Walk:	202.9 sf	266.4 sf	N/A
West Conc Walk:	123.4 sf	removed	N/A
Concrete Drive:	768.6 sf	587.3 sf	N/A
<i>(existing McClintock Street Access to remain)</i>			
Rear Conc. Stoop:	16.3 sf	removed	N/A
Rear Conc. Steps:	15.5 sf	removed	N/A
Rear Wood Stoop:	none	13.2 sf	N/A
Rear Wood Steps:	none	39.6 sf	N/A
Rear Step Conc. Pad:	36.9 sf	40.9 sf	N/A
Rear Side Steps:	10.8 sf	10.8 sf (Same)	N/A
Planter Curb:	6.3 sf	removed	N/A
Bilco Door Access:	33.9 sf	removed	N/A
Basement Stair:	none	43.0 sf	N/A
Total Impervious Coverage:	1,239.1 sf	1,023.3 sf	
Total Lot Coverage:	4,623.0 sf	4,499.9 sf (87.65%)	< (90.0%)

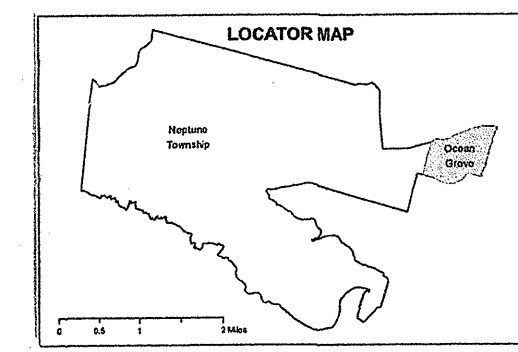
GROSS HANITABLE BUILDING FLOOR AREA TOTALS:

	EXISTING	PROPOSED
Basement:	2,384 sf	2,895 sf
First Floor:	2,895 sf	2,895 sf
Second Floor:	2,650 sf	2,756 sf
Third Floor:	2,650 sf	2,756 sf
Attic Level:	1,679 sf	1,679 sf
Total Area:	12,258 sf	13,259 sf

Design loads in accordance with 2018 IBC/NJ Edition to be:

First Floor Live Load: 40 pounds per sq. ft.
Second Floor Live Load: 30 pounds per sq. ft.
Third Floor Live Load: 30 pounds per sq. ft.
Attic Live Load: 20 pounds per sq. ft.
Snow and Roof Load: 20 pounds per sq. ft.
Design Wind Load: 120 miles per hour

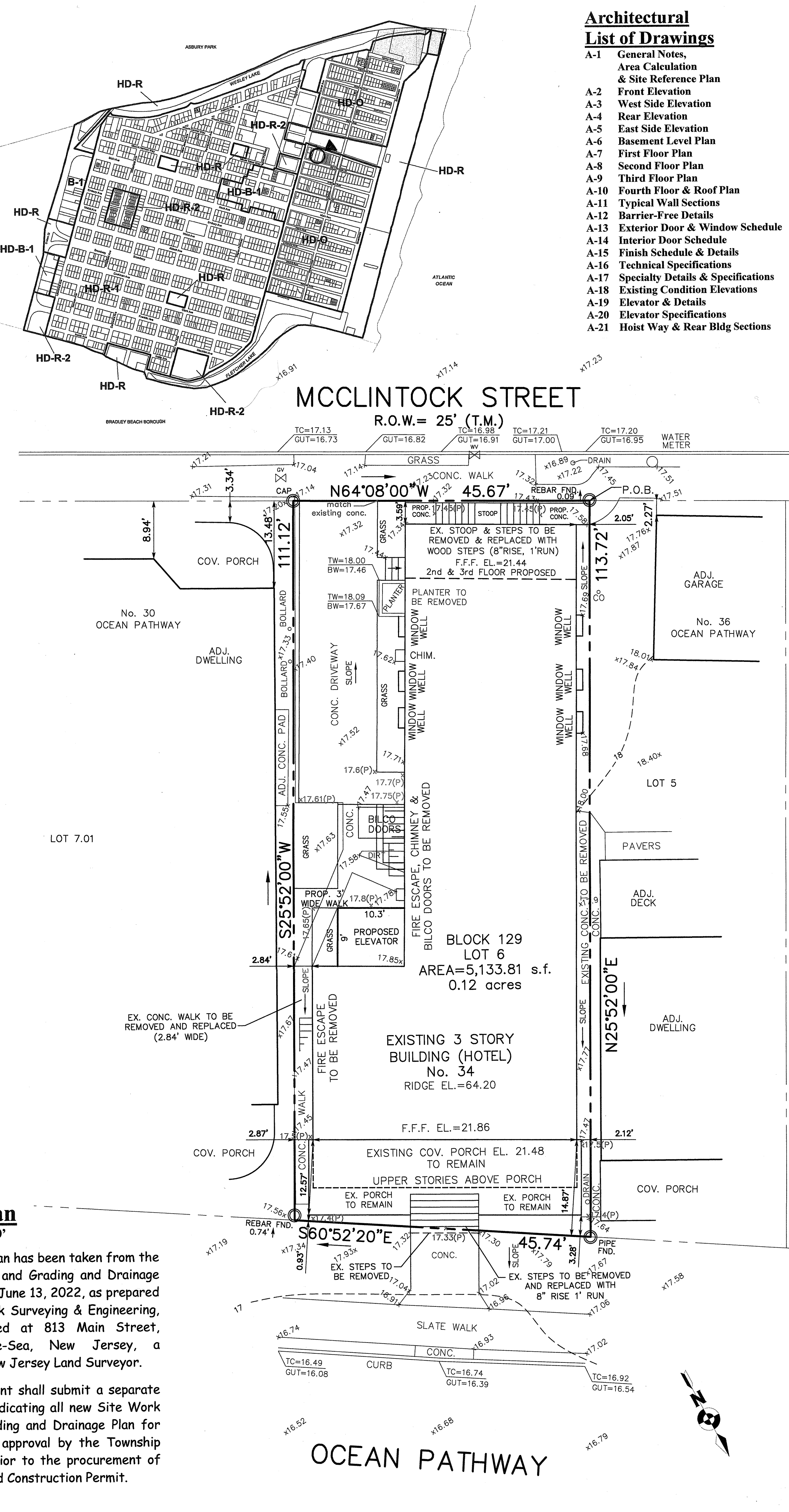
Proposed Plans in accordance with 2018 IBC/NJ Edition



Zoning Map
Ocean Grove
Township of Neptune
Monmouth County, New Jersey

Location Map

Scale: NTS



Site Plan

Scale: 1" = 10'

This Site Plan has been taken from the site survey and Grading and Drainage Plan, dated June 13, 2022, as prepared by Landmark Surveying & Engineering, Inc., located at 813 Main Street, Avon-by-the-Sea, New Jersey, a licensed New Jersey Land Surveyor.

The Applicant shall submit a separate Site Plan indicating all new Site Work with a Grading and Drainage Plan for review and approval by the Township Engineer prior to the procurement of the required Construction Permit.

Architectural

List of Drawings

- A-1 General Notes, Area Calculation & Site Reference Plan
- A-2 Front Elevation
- A-3 West Side Elevation
- A-4 Rear Elevation
- A-5 East Side Elevation
- A-6 Basement Level Plan
- A-7 First Floor Plan
- A-8 Second Floor Plan
- A-9 Third Floor Plan
- A-10 Fourth Floor & Roof Plan
- A-11 Typical Wall Sections
- A-12 Barrier-Free Details
- A-13 Exterior Door & Window Schedule
- A-14 Interior Door Schedule
- A-15 Finish Schedule & Details
- A-16 Technical Specifications
- A-17 Specialty Details & Specifications
- A-18 Existing Condition Elevations
- A-19 Elevator & Details
- A-20 Elevator Specifications
- A-21 Hoist Way & Rear Bldg Sections

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CERTIFICATE OF AUTHORIZATION
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DAVID J. MANTONE
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NJ LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE: General Notes, Area Calculation & Site Plan

DRAWN BY: *TAMP* REVIEWED BY: *WJP*

SCALE: N/A DESIGN DEVELOPMENT

DATE: 8/14/22 **A1**

JOB: 2213

Special Notes:

All proposed work to comply with the 2018 International Building Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

New window sills above 72 inches from grade shall not be below a 24 inch distance from finished floors whereas such windows are to be limited to no more than 4 inches in opening or be equipped with child guards in compliance with the IBC NJ 2018 requirements.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and as specified on the Typical Section Detail where any new roof rafter work is required within areas of masonry chimneys to be removed.

Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

Controlled Roof Drainage to be provided via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

Provide new sheathing in all areas of residing where no sheathing exists.

All gutters and leaders to be new factory finished half round aluminum with exposed strap hangers and round leaders in a matching color as approved by HPC.

All exposed wall conditions will require that insulation is to be provided in accordance with COMcheck energy compliance and specifications.

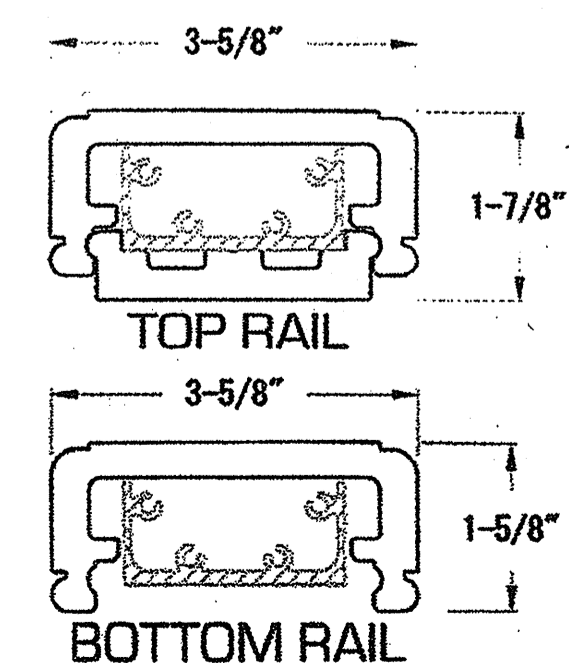
All exposed electrical wiring and service devices within all exposed interior wall partitions and ceilings are to be upgraded to meet code as required.

Carbon Monoxide Alarms are required within the immediate vicinity of all rooms identified as sleeping areas.

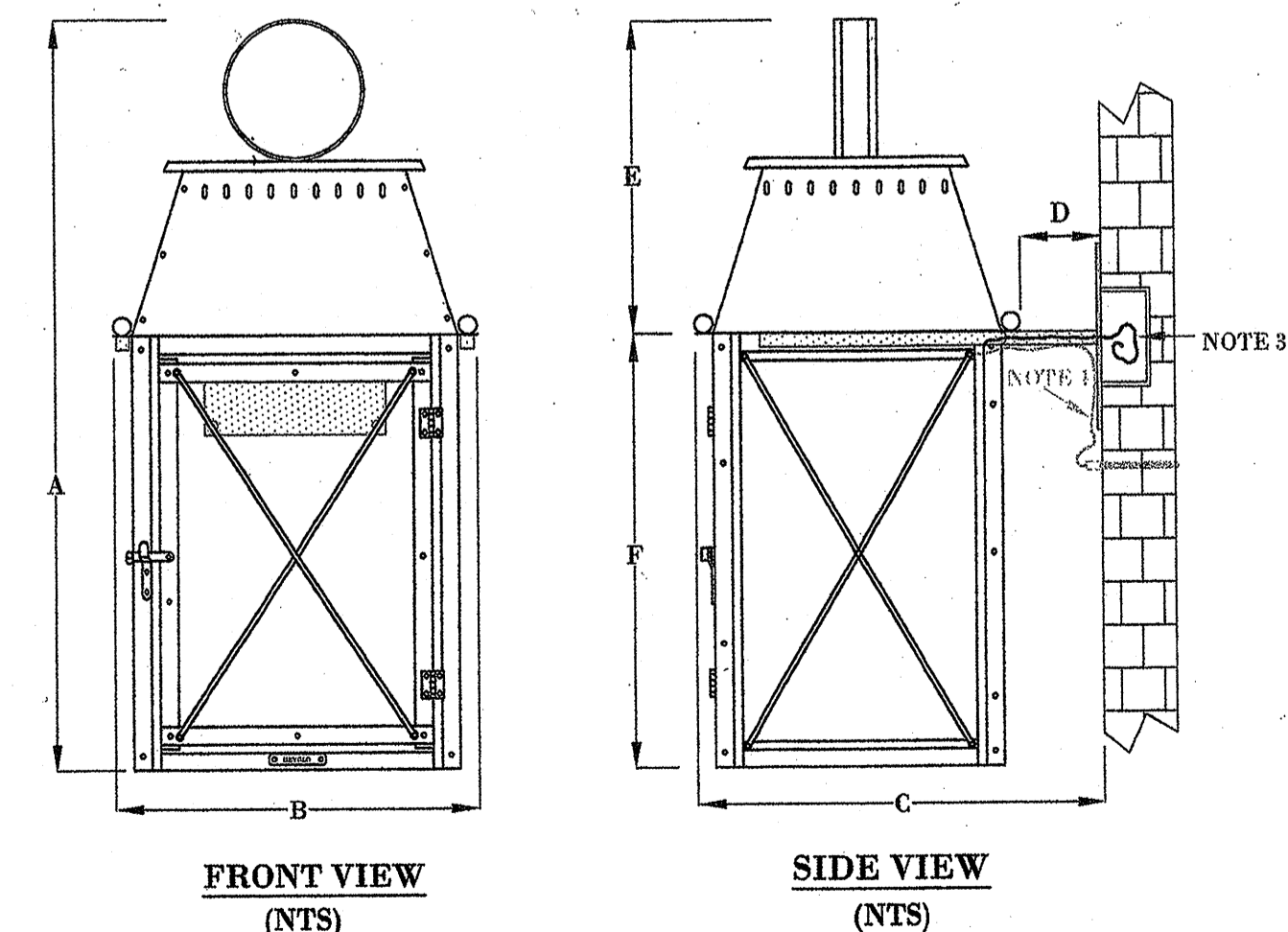
Contractor to verify acceptability of all egress window sizes and tempered glass requirements in accordance with Code.

RS35350

Rail sections are available in 6', 8', 10' & 12'.



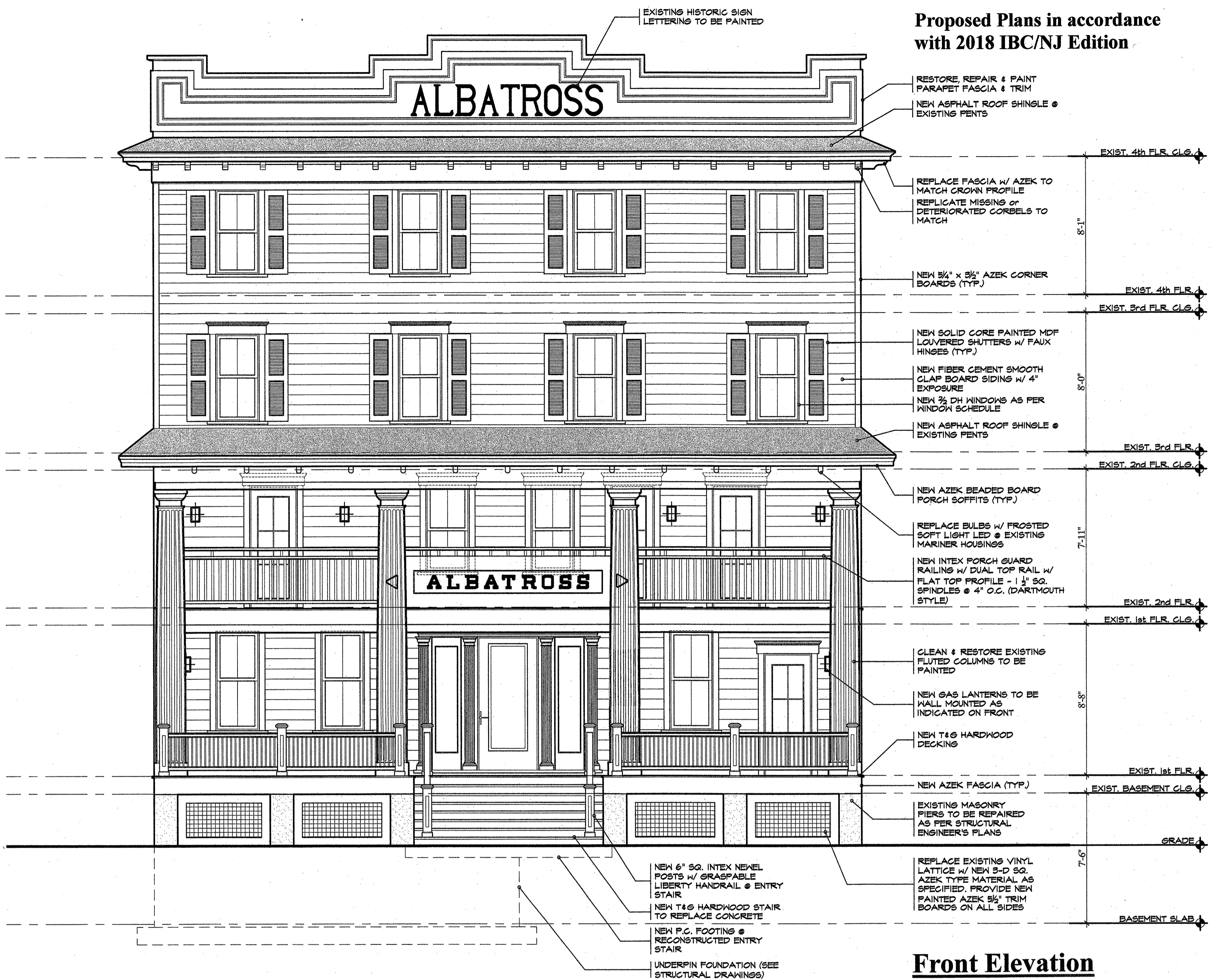
Guard Railing Profile
Scale: NTS



- NOTES:
 1. MOUNTING HARDWARE SUPPLIED BY OTHERS
 2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/4"
 3. ELECTRIC LIGHTS SUPPLIED WITH 1/2 WIRE WITH GROUND
 4. GAS LIGHTS SUPPLIED WITH 1/2" COPPER GAS LINE AND 1/4" x 1/4" GAS LINE ADAPTOR

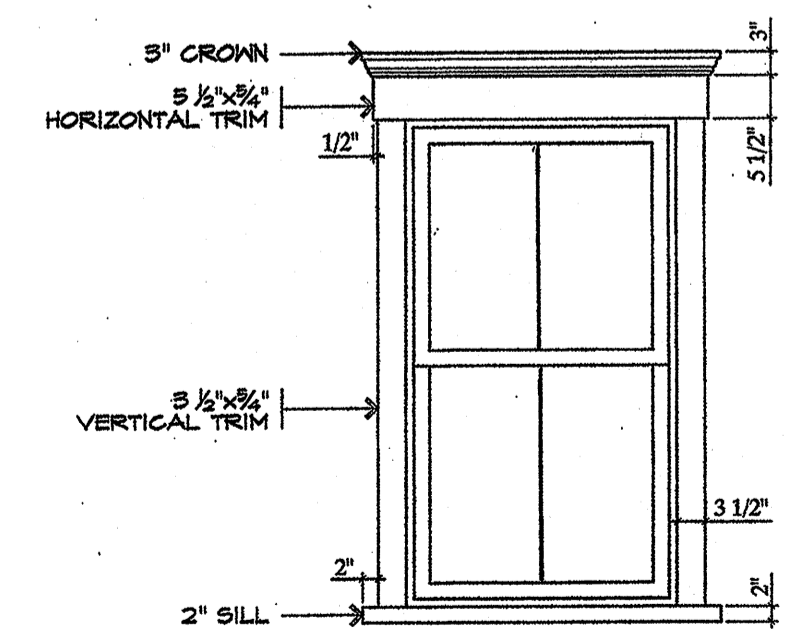
Gas Lantern Detail
Manufacturer Shop Drawings Required

SIZE:	14"	16"	18"	22"
A:	18"	20"	21"	26"
B:	10 1/8"	10 5/8"	8 3/4"	10 3/8"
C:	11 3/8"	11 5/8"	10 1/8"	11 5/8"
D:	2 1/2"	2 1/2"	2 1/2"	2 1/2"
E:	8"	8"	6 1/4"	8"
F:	10 3/8"	12 1/8"	14 3/4"	18 1/8"



Proposed Plans in accordance with 2018 IBC/NJ Edition

Front Elevation
Scale: 1/4" = 1'-0"



Typical Window Trim Detail
Scale: 1/2" = 1'-0"

Exterior Siding Nails:
Contractor to utilize stainless nails in all shingle and trim applications.

THE ARCHITECT'S STUDIO

William Pauls

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PROJECT

ALBATROSS HOTEL
 PROPOSED RENOVATIONS & ALTERATIONS
 TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #5
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: 5B

REVISIONS

NO.:	DESCRIPTION:	DATE:
1	HPC CONCEPT	7/15/23

SHEET TITLE:
Front Elevation

DRAWN BY: DM
 REVIEWED BY: MP

SCALE: NA
 DATE: 2/14/23
 JOB: 2213

DESIGN DEVELOPMENT
A2

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ALBATROSS HOTEL
 PROPOSED RENOVATIONS
 & ALTERATIONS
 TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #6
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: SB

REVISIONS		
NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/16/23

SHEET TITLE:
West Side Elevation

DRAWN BY: DM
 REVIEWED BY: *WP*

SCALE: N/A
 DESIGN DEVELOPMENT

DATE: 2/14/23
 JOB: 2213

A3



Side Elevation
(West)
 Scale: 1/4" = 1'-0"



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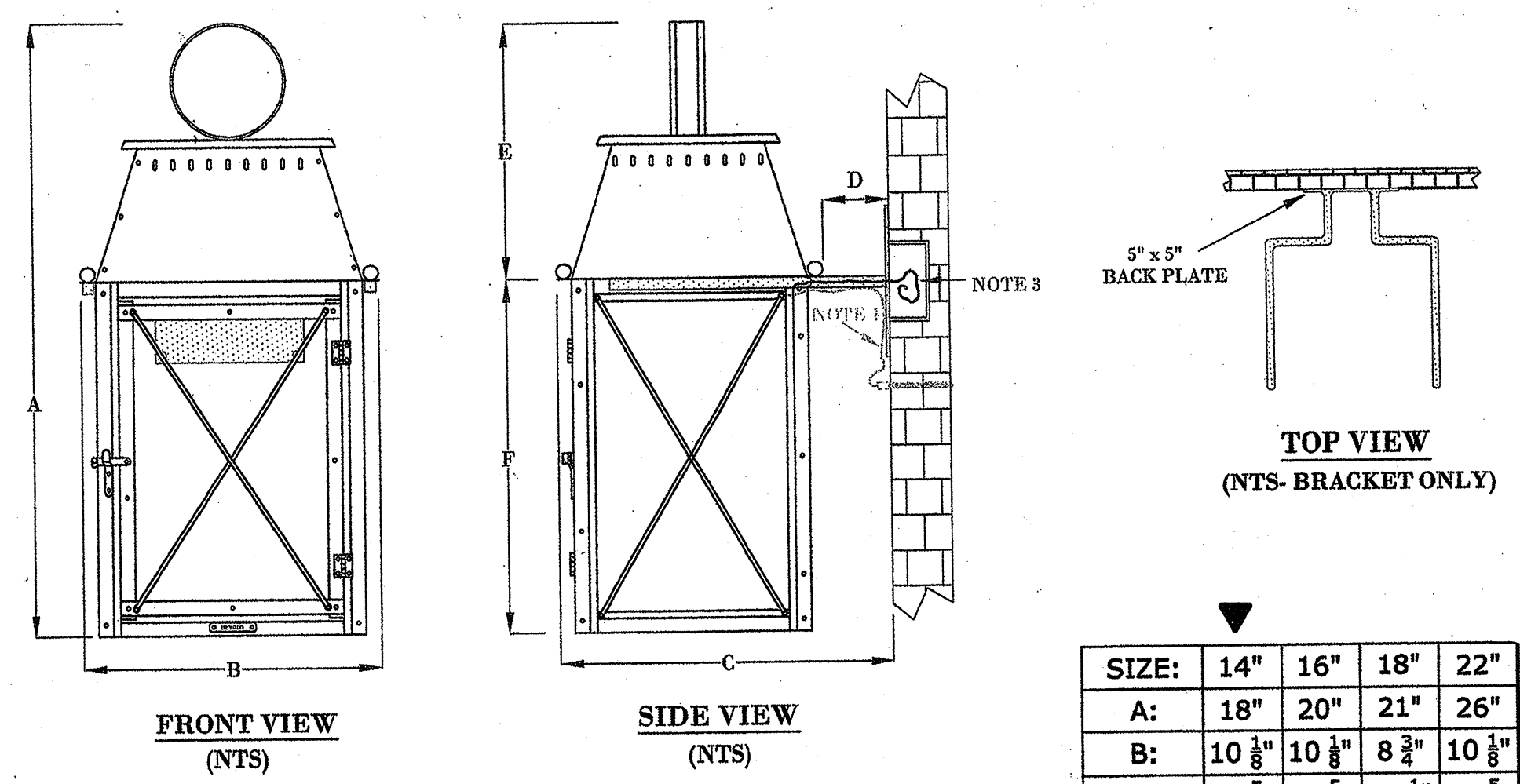
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34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/23

DRAWN BY: DM	REVIEWED BY: WP
SCALE: N/A	DESIGN DEVELOPMENT
DATE: 8/14/23	A4
JOB: 2213	

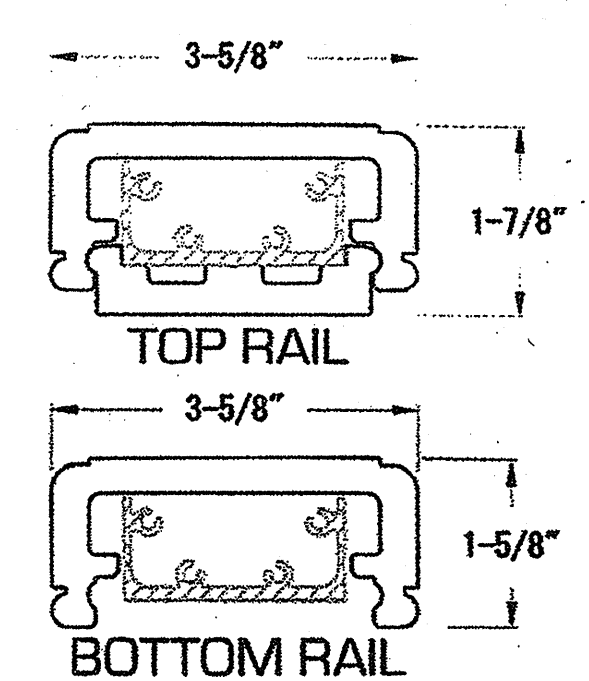


- NOTES:
1. MOUNTING HARDWARE SUPPLIED BY OTHERS
 2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/4"
 3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
 4. GAS LIGHTS SUPPLIED WITH 1/2" COPPER GAS LINE AND 1/2" x 1/2" GAS LINE ADAPTOR

Gas Lantern Detail
Manufacturer Shop Drawings Required

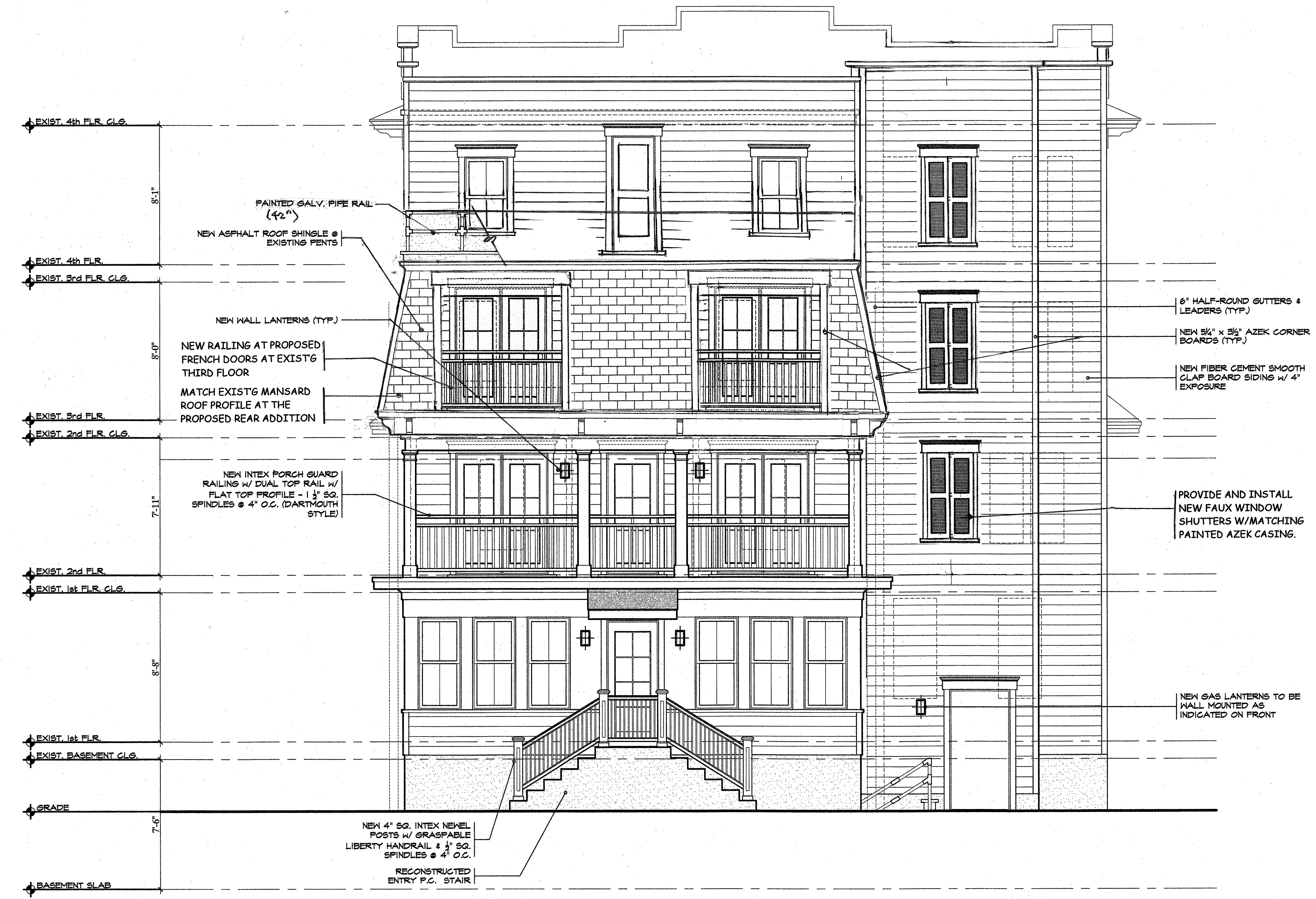
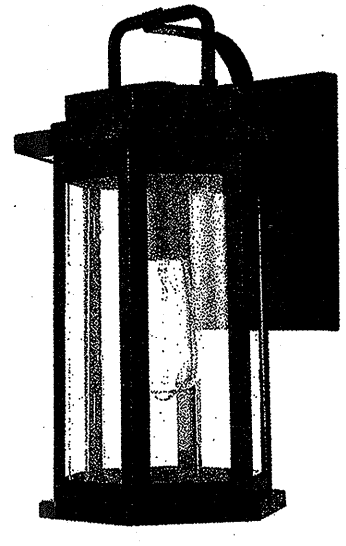
RS35350

Rail sections are available in 6', 8', 10' & 12'.



Guard Railing Profile

Scale: NTS



Rear Elevation

(South)

Scale: 1/4" = 1'-0"

Dwelling/Structure setbacks average 5.54 feet and Covered Porch Decks and/or Structures net an average of 2.19 feet from the property line. The existing enclosed rear of hotel porch, is 3.59 feet from the property line while the covered stoop is only 0.59 feet from the property line. (See Setback Analysis below). Although both conditions are pre-existing and are grandfathered, any second and third level additions must conform to the calculated averages.

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36 Ocean Pathway	2.27	2.27
40 Ocean Pathway	7.65	0.83
24 Central Avenue	7.96	1.13
Total	38.83 feet	15.38 feet

Calculated Average 5.54 feet 2.19 feet

Typical Window Trim Detail

Scale: 1/2" = 1'-0"

Exterior Siding Nails:
Contractor to utilize stainless nails in all shingle and trim applications.

Electrical Lighting

Exterior surface mounted electrical fixtures for proposed side yard conditions - as per plan.

Millennium Lighting Ellis 15" Tall Outdoor Wall Sconce in Powder Coat Black with seeded glass shade.

REVISIONS		
NO.	DESCRIPTION	DATE
1	WPC CONCEPT	7/15/22

DRAWN BY: DM	REVIEWED BY: <i>MP</i>
-----------------	---------------------------



**Side Elevation
 (East)**
 Scale: 1/4" = 1'-0"

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PROJECT

ALBATROSS HOTEL
 PROPOSED RENOVATIONS
 & ALTERATIONS
 TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
 OCEAN GROVE, NEW JERSEY 07756
 BLOCK #29, LOT #6
 USE GROUP: R-2/A1
 CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE:

Basement Level Plan

DRAWN BY: DM

REVIEWED BY: *MP*

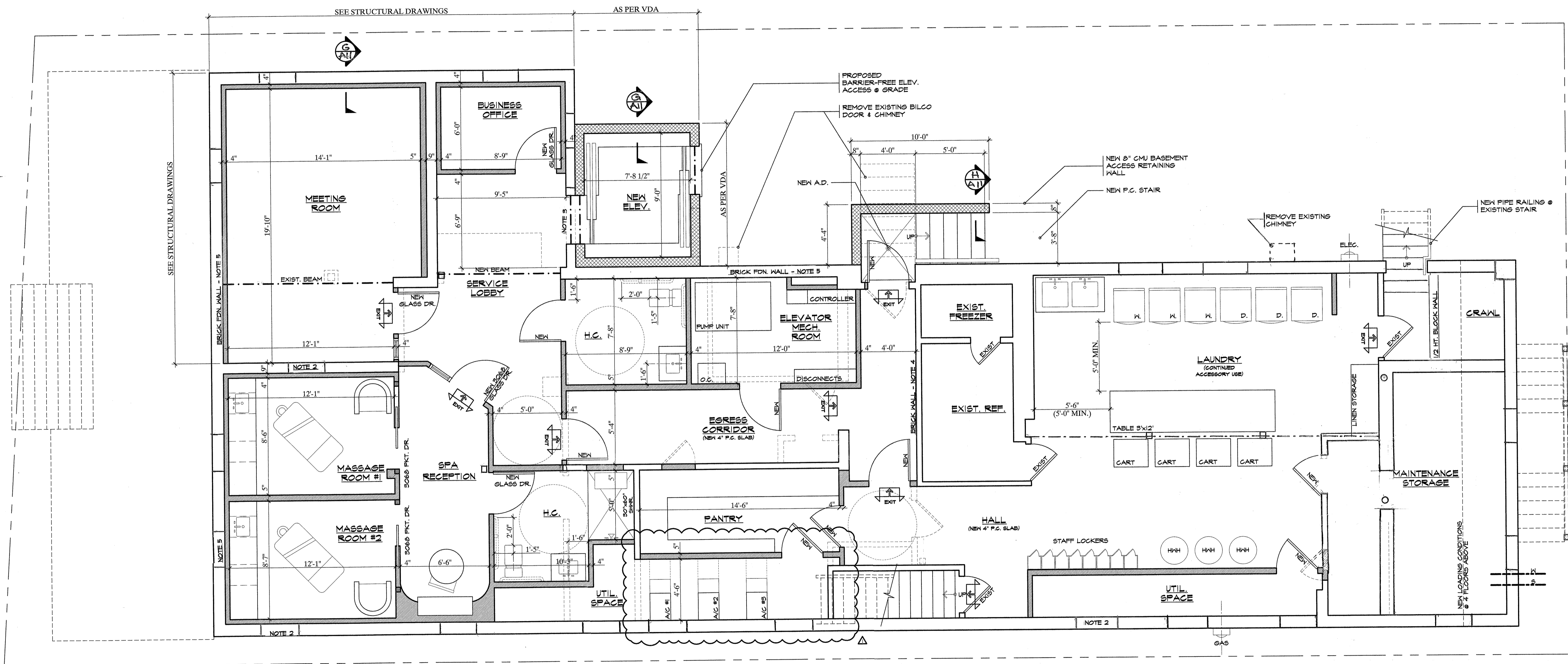
SCALE: NA

DESIGN DEVELOPMENT

DATE: 7/1/14

A6

JOB: 2213



Basement Plan

Scale: 1/4" = 1'-0"

ALBATROSS EXISTING CONDITIONS
GENERAL BASEMENT & FOUNDATION PLAN NOTES:

- PLANS MAY NOT REPRESENT NON-STRUCTURAL WOOD WALL CONDITIONS @ BASEMENT LEVEL.
- OPENINGS IN BRICK OR BLOCK WALLS W/ INFILL HAVE VARYING CONDITIONS. ACTUAL LOCATIONS TO BE CONFIRMED FIELD.
- OPENINGS IN BRICK WALLS @ NORTH EASTERN CORNER OF BUILDING ASSUMED TO HAVE 4" BLOCK INFILL FOR OPENINGS IN 12" THICK BRICK WALL - CONTRACTOR TO CONFIRM WALL CONDITIONS & OPENINGS.
- IRREGULAR BRICK FOUNDATION VARYING THICKNESS THROUGHOUT HEIGHT OF WALL - 1'-2" FARGE FINISHES.
- BRICK FOUNDATION WALL W/ WOOD PANEL FINISH - CONFIRM WALL THICKNESS IN CONDITIONS IN FIELD.
- TRUE 2x STUD BEARING WALL W/ POSTS THROUGH OUT - PLASTER & LATHE FINISH.
- OVERALL FOUNDATION FOOTPRINT DIMENSIONS EXPRESSED AS 2' SMALLER ON ALL SIDES THAN OVERALL BUILDING DIMENSIONS.
- ALL FRAMING CONDITIONS, JOIST ORIENTATIONS, MEMBER SIZES TO BE VERIFIED IN FIELD.
- ALL LOCATIONS OF ELEMENTS & CONDITIONS SHOWN IN PLAN TO BE VERIFIED IN FIELD.



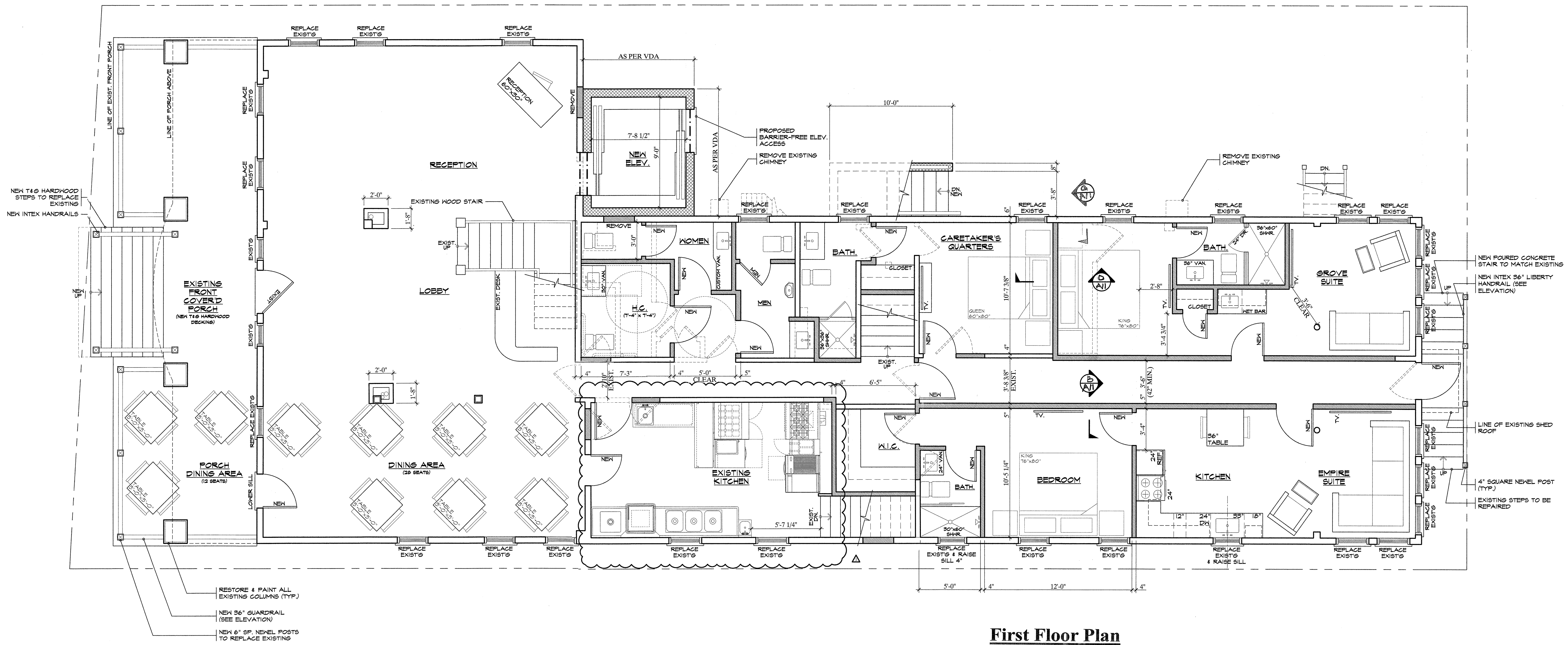
REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE:
First Floor Plan

DRAWN BY: DM
REVIEWED BY: MP

SCALE: N/A
DATE: 8/13/22
JOB: 2213
DESIGN DEVELOPMENT
A7



First Floor Plan
Scale: 1/4" = 1'-0"

Tempered Glass Note:

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all Hinged Doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. All tempered glass to be clearly etched by manufacturer to reflect tempered glass condition.

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CERTIFICATE OF AUTHORIZATION
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PROJECT

ALBATROSS HOTEL
PROPOSED RENOVATIONS
& ALTERATIONS
TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE
1	HPC CORRECT	7/15/22

SHEET TITLE:

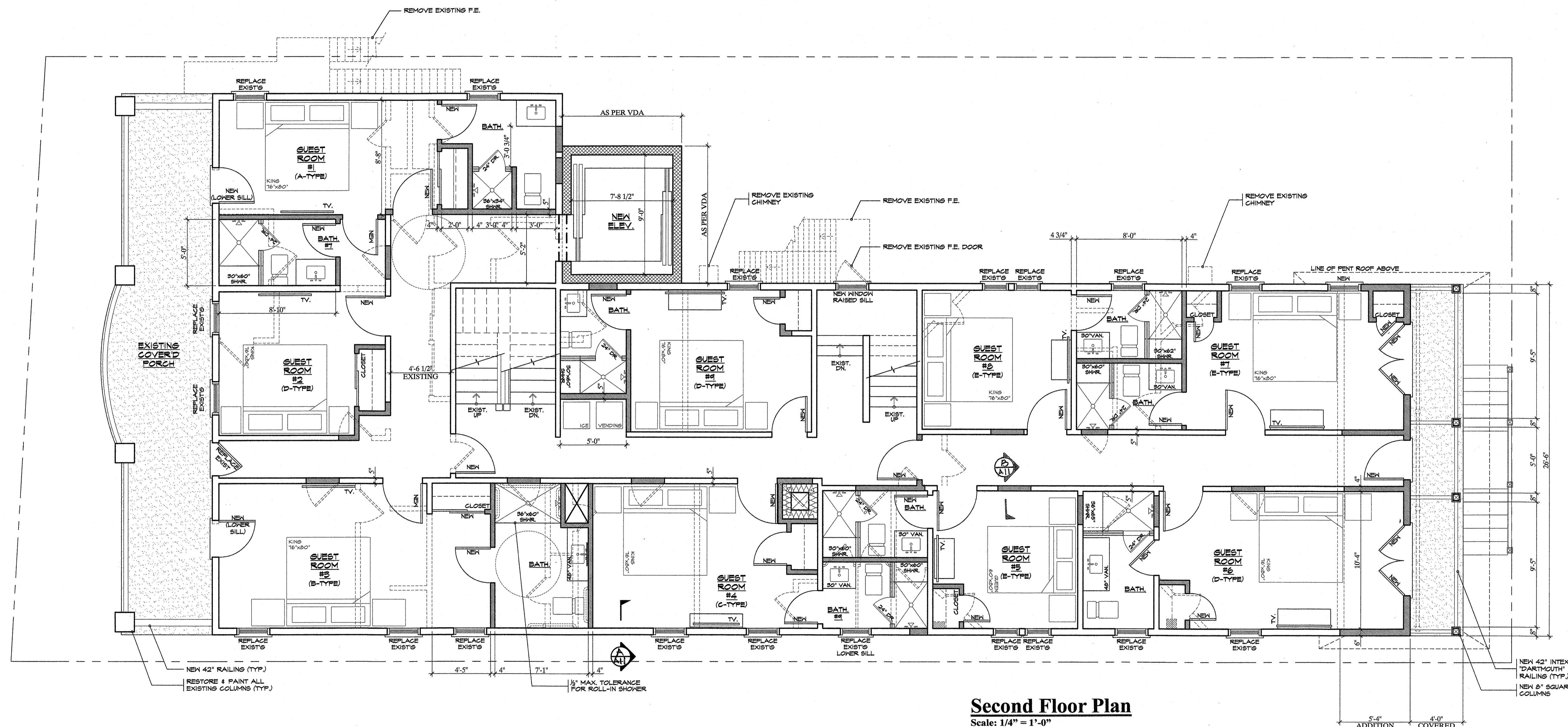
Second Floor Plan

DRAWN BY: DM REVIEWED BY: HPC

SCALE: N/A DESIGN DEVELOPMENT

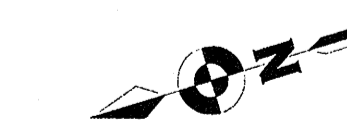
DATE: 2/14/22 A8

JOB: 2213



Second Floor Plan
Scale: 1/4" = 1'-0"

Owner Submittal Requirements:
Contractor to provide sample and associated catalog information to Owner for final selection of Front Door, Soffit Brackets, Exterior Light Fixtures, all Moldings and Decorative Trim and Door Hardware prior to the order of material.



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TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #139, LOT #5
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/12

SHEET TITLE:

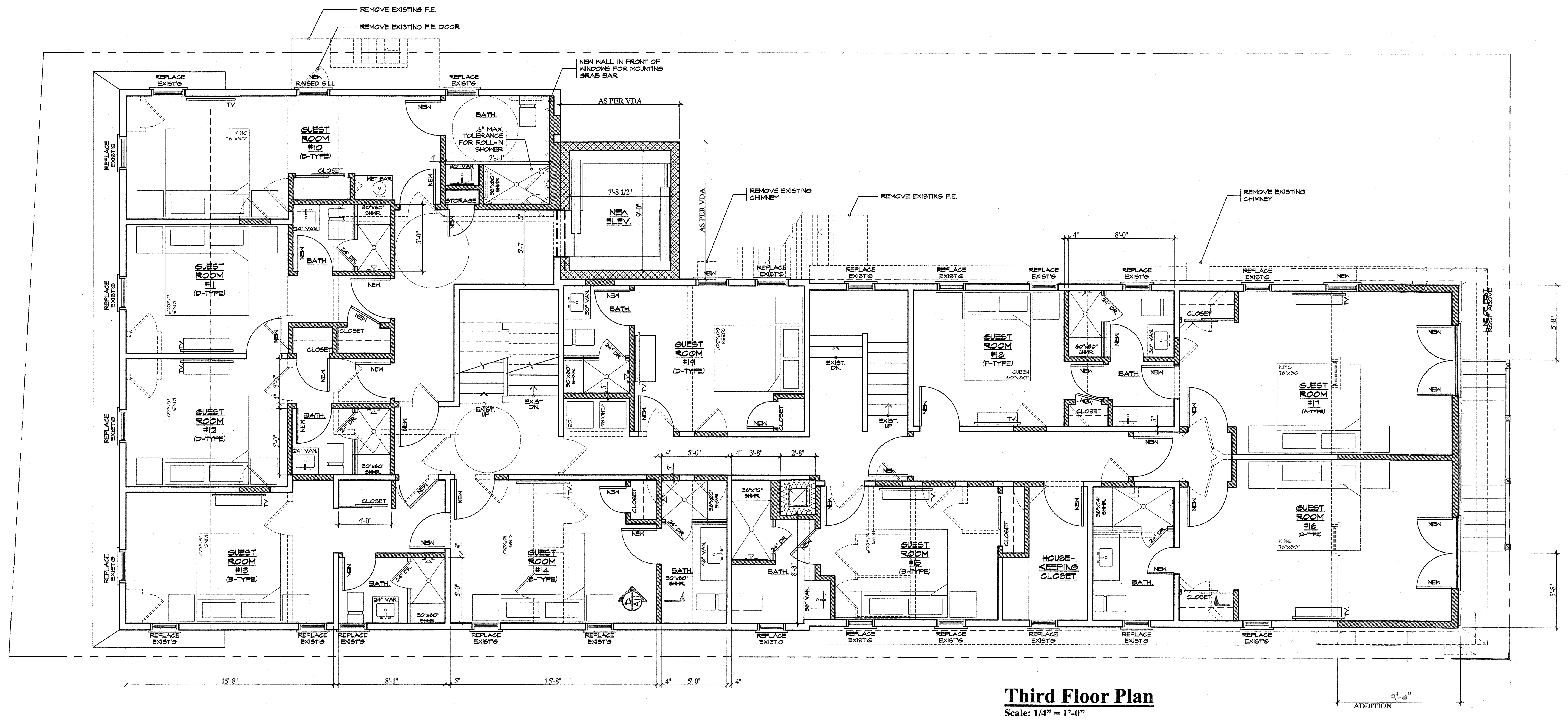
Third Floor Plan

DRAWN BY: DM
REVIEWED BY: [Signature]

SCALE: N/A
DESIGN DEVELOPMENT

DATE: 7/14/12
A9

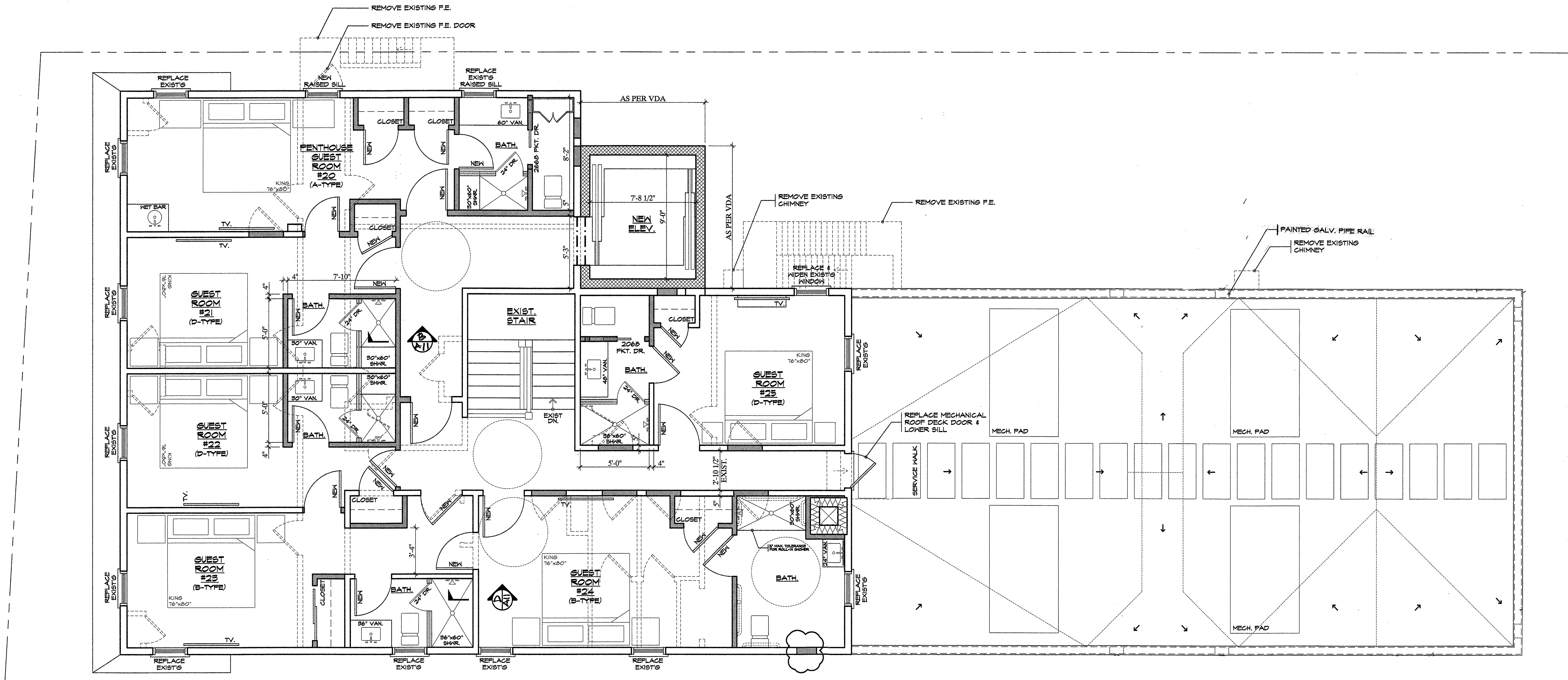
JOB: 2213



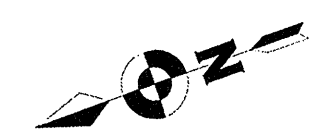
Third Floor Plan
Scale: 1/4" = 1'-0"



NO.	DESCRIPTION	DATE
1	HPC CONCEPT	7/15/12

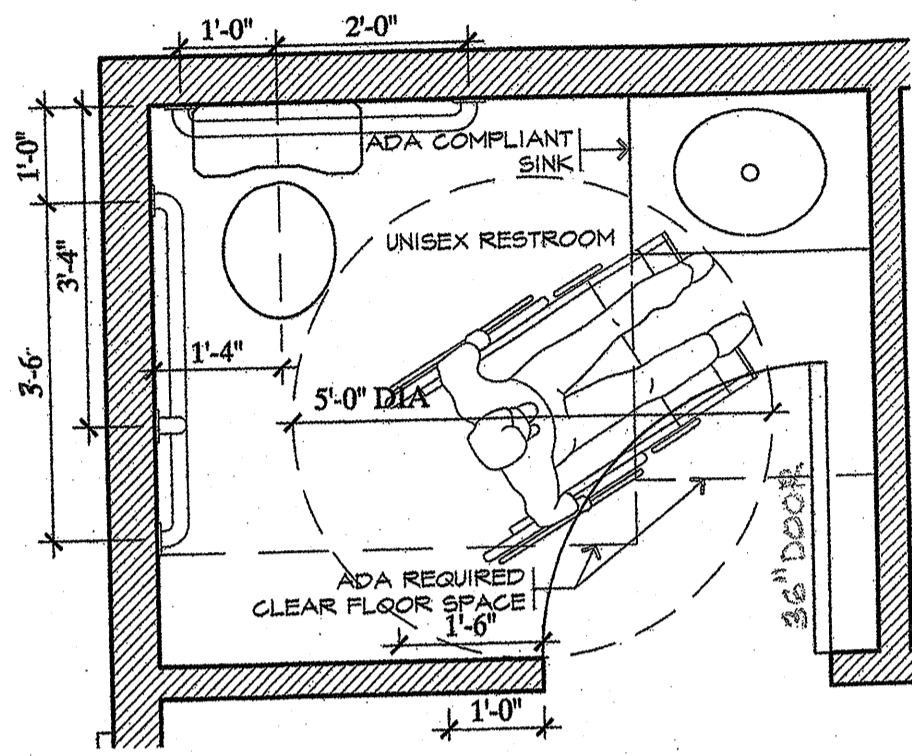


Fourth Floor Plan
 Scale: 1/4" = 1'-0"



Summary of ADA Provisions:

1. New ADA compliant elevators.
2. Replacement of all carpet with new hardwood flooring.
3. New kitchen with ADA adaptable countertop provisions.
4. New barrier free adaptable first floor level bathrooms.
5. All new ADA compliant bathroom fixtures and fittings.
6. Barrier free grab bar provisions in bathrooms and showers.
7. All new lever type ADA compliant interior door hardware.
8. New front loading washers and dryers in laundry.
9. Programmable thermostats with Wi-Fi remote operation.



Barrier-free Lavatory Plan
Scale: 1/2" = 1'-0"

Barrier-free Public Lavatory – Fixtures

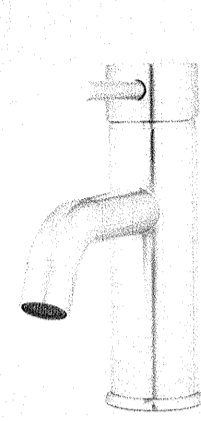
Sink

Signature Hardware – Single Hole ADA Compliant Stoddert 20" or 40" Wall Mounted Sink with overflow.



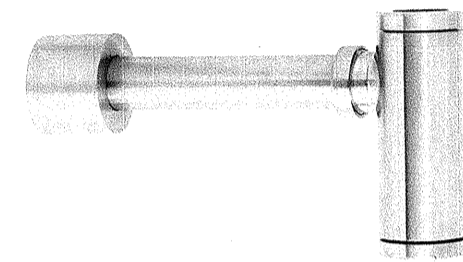
Faucet

Signature Hardware – Lentz Style Single Hole Deck Mounted Bathroom Faucet equipped with ADA compliant lever in brushed chrome finish.



Sink Trap

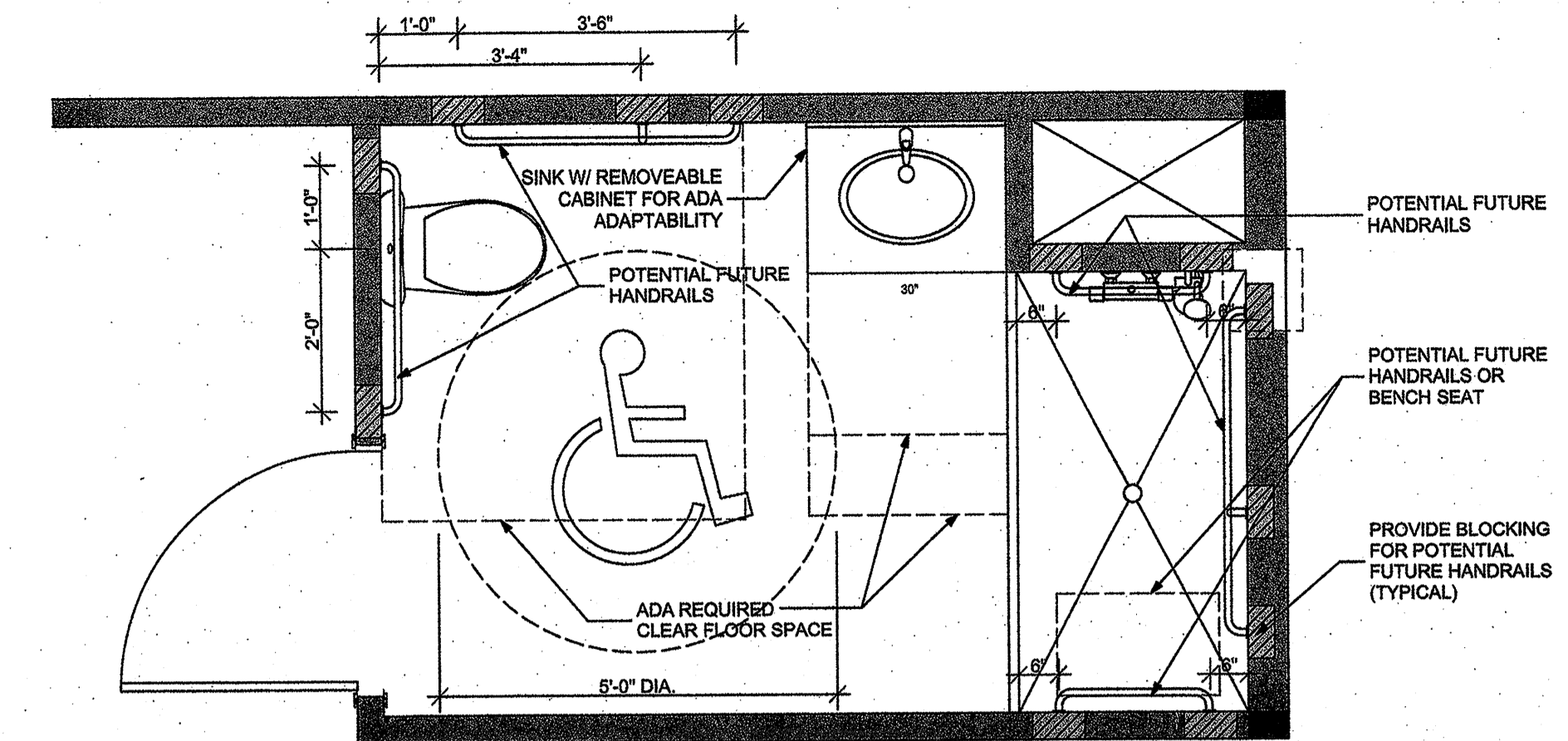
Signature Hardware 1 1/4" x 1 1/4" Round Bathroom Trap with high box flange in brushed chrome finish.



Accessory Schedule

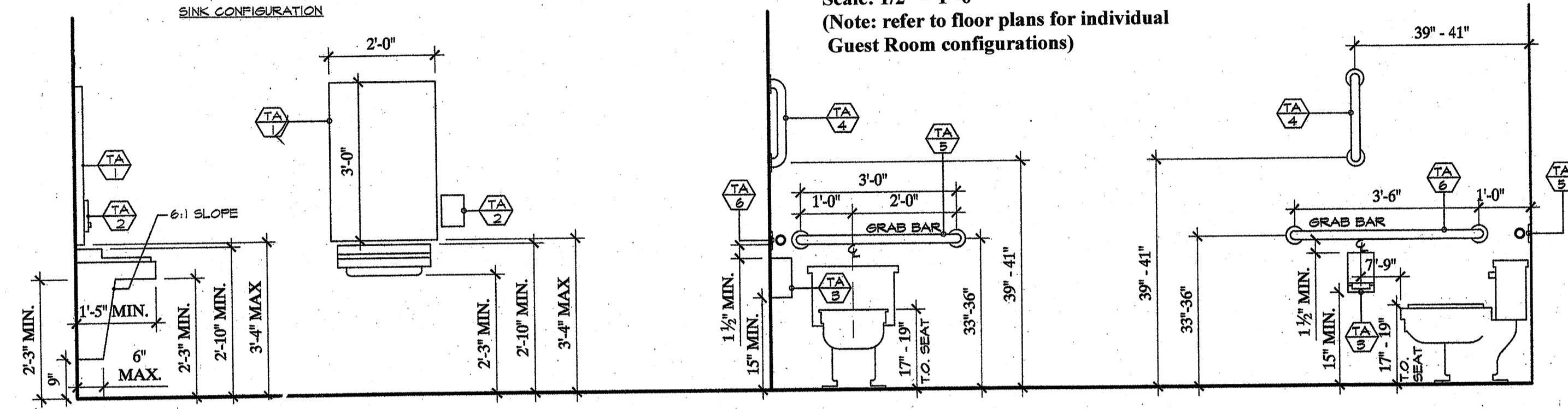
SYMBOL	DESCRIPTION
TA 1	MIRROR
TA 2	LIQUID SOAP DISPENSER
TA 3	DUAL ROLL TOILET TISSUE HOLDER
TA 4	GRAB BAR 18" (VERTICAL)
TA 5	GRAB BAR 36"
TA 6	GRAB BAR 42"

NOTE: 1. TOILET ROOM ACCESSORIES SHALL BE INSTALLED AT HEIGHTS AS PER MANUFACTURER'S SPECIFICATIONS.
2. CONTROLS, OPERATING MECHANISMS, DISPENSING LOCATIONS, ETC., SHALL NOT BE INSTALLED GREATER THAN 4'-0" A.F.F. OR LESS THAN 1'-5" A.F.F.



Typical Barrier-free Bathroom w/Shower

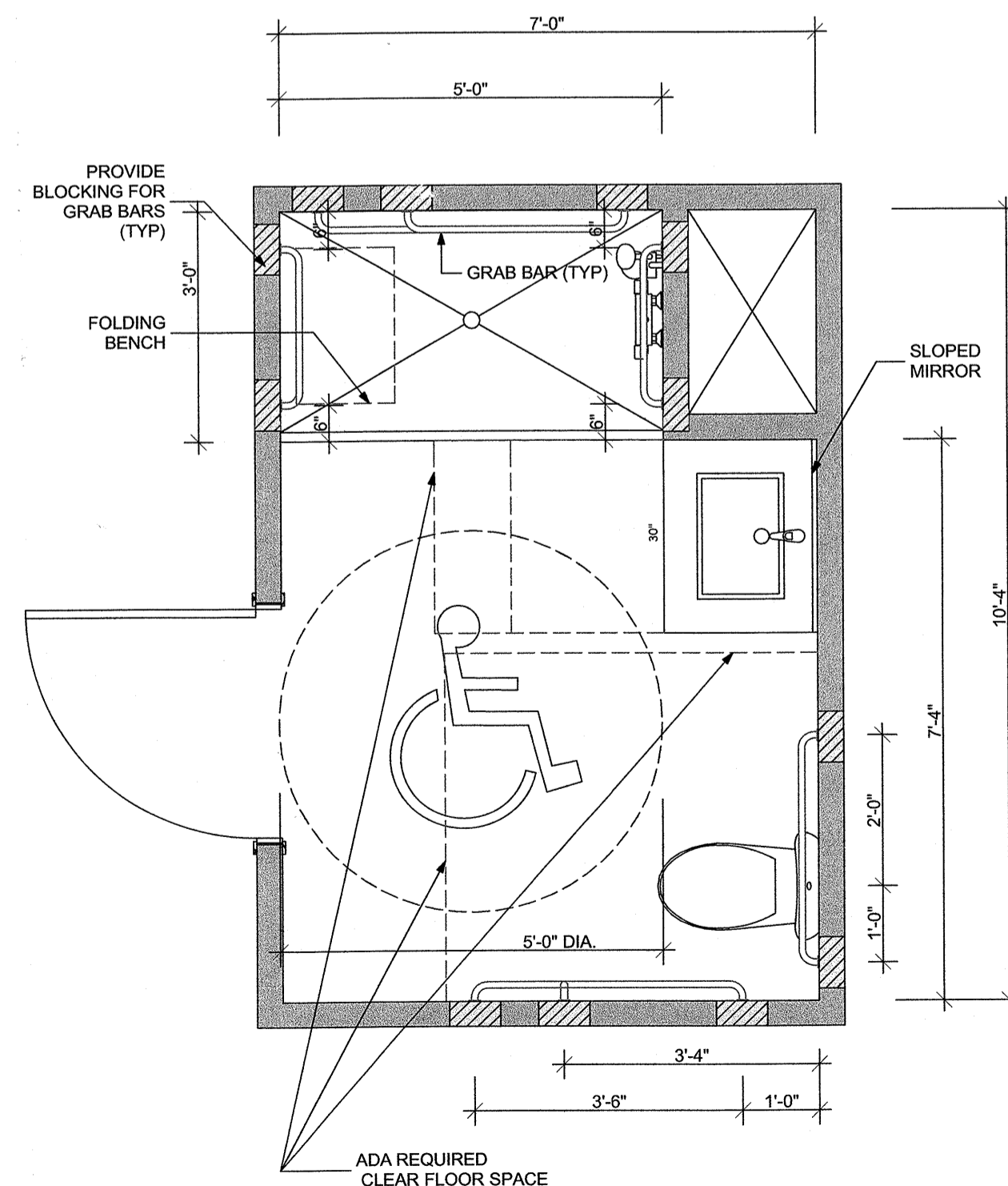
Scale: 1/2" = 1'-0"
(Note: refer to floor plans for individual Guest Room configurations)



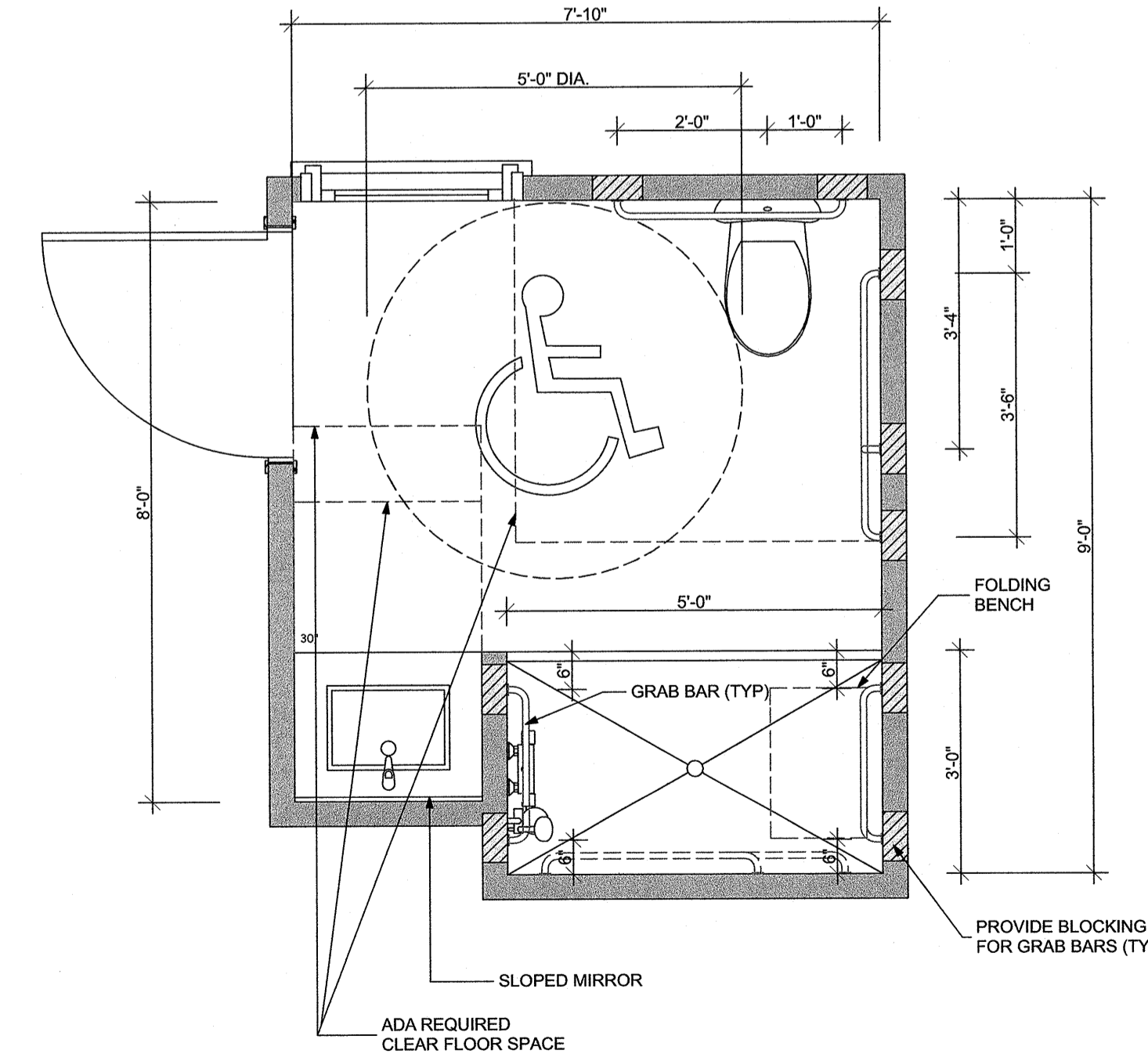
Barrier-free Bathroom Elevations
Scale: 1/2" = 1'-0"

GENERAL NOTES:

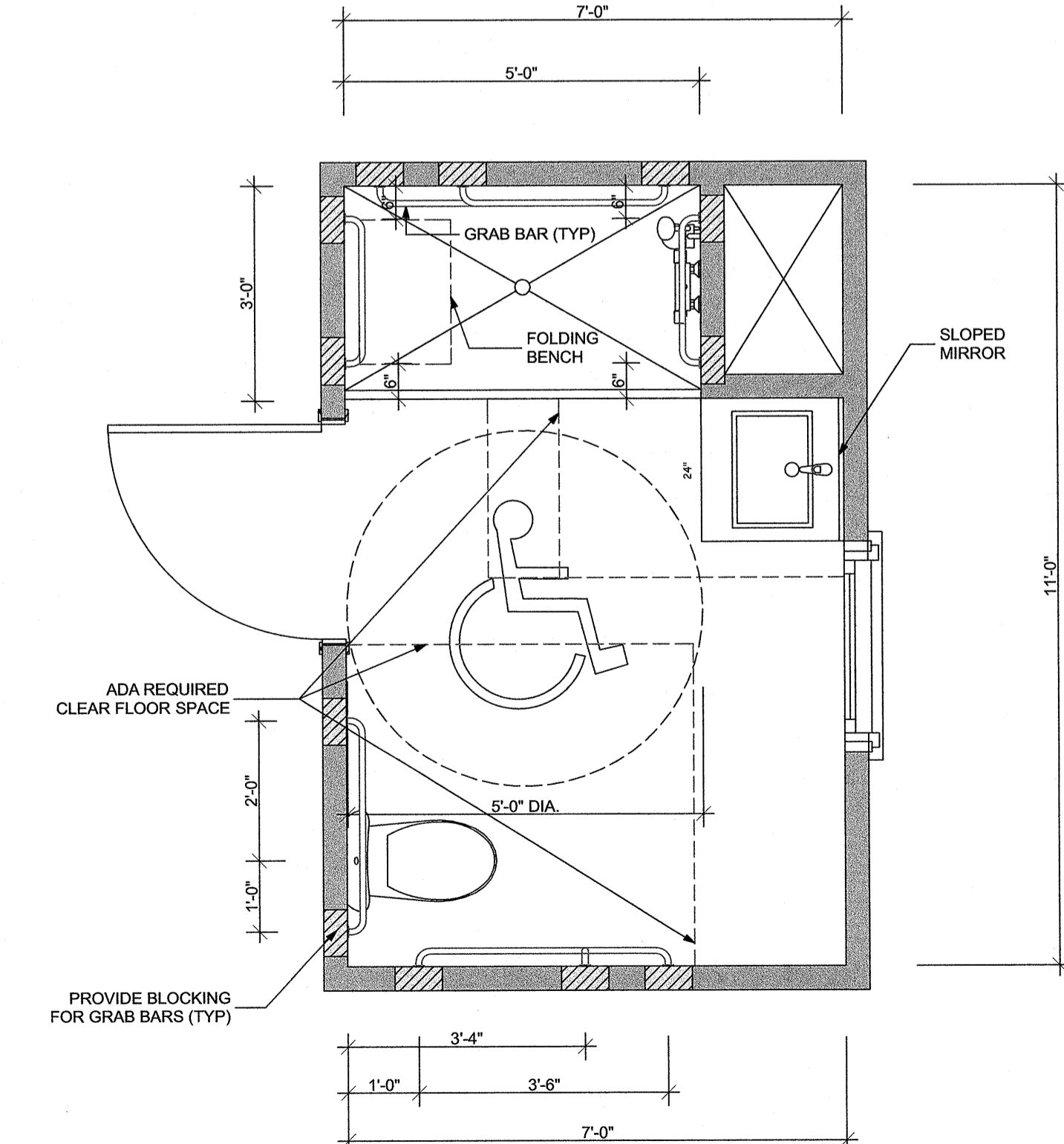
1. ALL BARRIER-FREE LAVATORIES TO BE PROVIDED WITH DOOR HARDWARE & BATHROOM FIXTURES W/ BARRIER-FREE LEVER TYPE DOOR HARDWARE & BATHROOM FITTINGS.
2. ALL INTERIOR ACCESS DOORS TO BARRIER FREE LAVATORY, APARTMENT, ENTRIES & OTHER ACCESSIBILITY LOCATIONS SHALL BE PROVIDED WITH DOOR CLEARANCE WIDTH OF 32" MINIMUM.



Barrier-free Bath Guest Rm #3
Scale: 1/2" = 1'-0"



Barrier-free Bath Guest Rm #10
Scale: 1/2" = 1'-0"



Barrier-free Bath Guest Rm #24
Scale: 1/2" = 1'-0"

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PROJECT

ALBATROSS HOTEL
PROPOSED RENOVATIONS
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TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2 / A-1
CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE:

Barrier-Free Details

DRAWN BY: EAC
REVIEWED BY: MF

SCALE: N/A
DESIGN DEVELOPMENT

DATE: 2/14/23
A12

JOB: 2213

Specialty Engineering

Detailed Specifications prepared by Consulting MEP, Sprinkler, Structural, Site and Elevator Design Engineers included in supporting Construction Documents to be filed separately.

Division 14 - Conveying Systems

Elevator:
Proposed new mid-rise 6 stop, 3,500 pound capacity roped hydraulic elevator system, cab and all related equipment, to be compliant with all current operating standards as enforced by the New Jersey DCA.

Floor and ceiling finishes as selected by Owner. Provide and install all required interior cab grab bars, elevator control panel and related floor level signage. Control panel and grab bars to be new stainless steel brushed finish. Indirect interior cab lighting to be ceiling integrated. Machine room as specified on plans

All elevator operating equipment, requirements, and service connections to be engineered by others with the following design parameters. Cab size to accommodate barrier-free turning radius at a minimum with high ceiling for furniture and mattress movement. Refer to Elevator Consultants Plans and Details.

The CMU hoist way to be absolutely plumb with Dual Door opening operation with Barrier-free rear at grade access and front opening Lobby provisions.

Division 15 - Mechanical/Plumbing

Unless indicated in the construction documents, all mechanical work such as, but not limited to heating and air conditioning are to be established and engineered by others. HVAC Sub-contractor is to be responsible for coordination of final location of all ductwork, returns and equipment which is subject to review and approval by the Architect. HVAC sub-contractor to coordinate with the Contractor all provisions for maximum sound attenuation and installation of isolators at points of equipment placement upon roof structural support members. All HVAC to be engineered by others. Refer to MEP plans

Fire Suppression/Sprinklers:

All levels, interior public and hotel guest room spaces to be protected. Fire suppression and sprinkler heads are to be designed and engineered by the Fire Suppression Sub-Contractor, or others, in accordance with Code as engineered by others and will be filed separately. Refer to MEP drawings and specifications.

Division 16 - Electrical

Electrical Service, Wiring and Connections:
Contractor to verify adequacy of existing electrical service prior to preparing an application for construction permit. All electrical work to be engineered by others and filed separately. Refer to MEP plans and specifications.

Wall Switches & Lighting Controls:

All electrical wall switches to be rocker panel type as manufactured by Lutron, or equal. All public lavatories to be equipped with motion sensor wall switches. Renovated restaurant space to be equipped with dimmer capabilities throughout. All light switch controls to be compatible with LED lighting fixtures. All public corridor lighting to be centrally controlled. All ground floor exterior lighting to be operated by photocell device. Alley way lighting to be operated by motion detection device. Refer to engineered MEP plans and specifications prepared by others for all details.

Convenience Receptacles:

All electrical service convenience receptacles to be appropriate for their intended uses and have Underwriters Laboratory Certification. Provide GFI receptacles in all wet areas as per Code including covered porch areas, as per plan and shown on MEP plans and details.

Lighting Fixture Wiring:

All electrical work such as, but not limited to connection of power to renovated kitchen, public corridor, all basement level functions, basement level, stairwell and exterior lights are to be connected to service panels by Contractor. All interior lighting to be LED type.

Fire Protection Emergency Power Requirements

The following systems that support life safety in a building shall be provided with an approved secondary power source:

- Exit signage
- Exit lighting (exit access and exit)

Electrical Life-safety System Connections:

Electrical Sub-Contractor to provide all emergency strobe lights, illuminated exit signage, fire alarm and emergency annunciator systems as schematically indicated on MEP plans and details engineered by others and required by Code.

Contractor to provide new hard wired smoke detection and carbon monoxide alarms as noted on MEP plans.

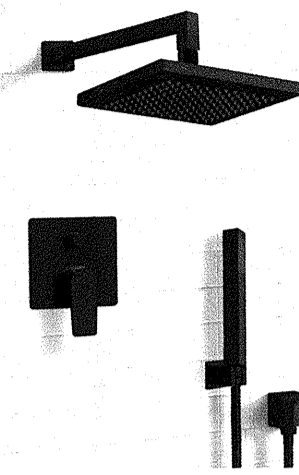
Exterior Lighting Compliance:

All proposed exterior electrical and gas lantern lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent property occupancy.

Guest Hotel Room - Specialty Bath Items

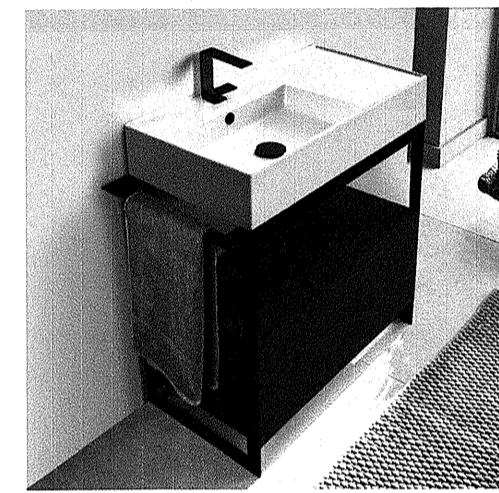
Shower System Kit

Remer Orsino Shower Black Matte Trim Kit System with 8" square rain head and hand-held shower wand in Guest Room shower stall



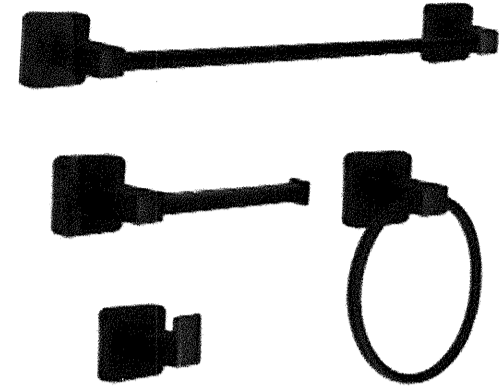
Sink/Vanity Console

Scarabeo single hole combo White Ceramic sink/vanity console with lower Matte Black Drawer with matching Black sink basin stopper and overflow trim. Model sizes vary to accommodate each Guest Bath dimensions.



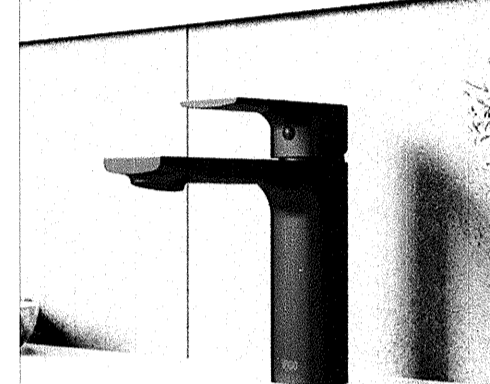
Guest Bathroom Accessories

AITKININ 4-piece stainless steel accessory bath kit in US - Black Matte finish, or approved equal, with concealed screws.



Sink Faucet

VIGO - Davidson US19 - Flat Black finish Centerset Faucet model #VGO1043MB with Speed Connect Technology.



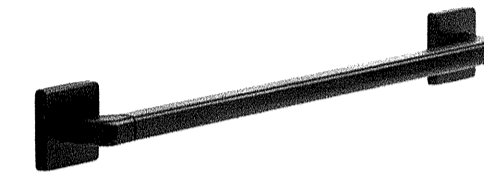
Bathroom Mirror

Remer Orsino Black Matte Shower Trim Kit System with 8" square rain head and hand-held shower wand in each Guest Room shower stall, or approved equal.



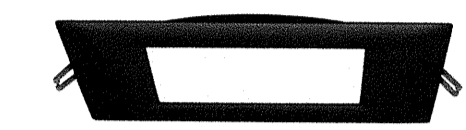
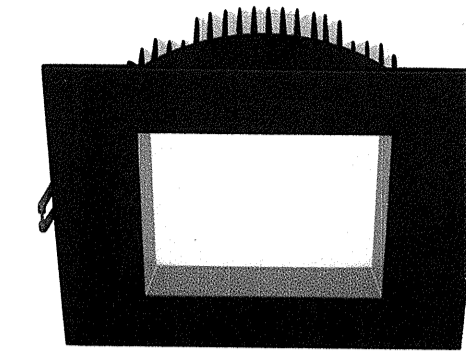
Guest Bathroom Grab Bars

Black Matte 18 Gauge 1 1/4" diameter US-19 Matte Black finish with concealed screws as manufactured by Delta - "Angular Modern Decorative" in all required barrier free Guest Bath areas and Guest Room Shower Stalls. Wall clearance to be 1 1/2" in all locations. All length dimensions as per detailed plans.



Typical Recessed Lighting & Trim

Scale: NTS



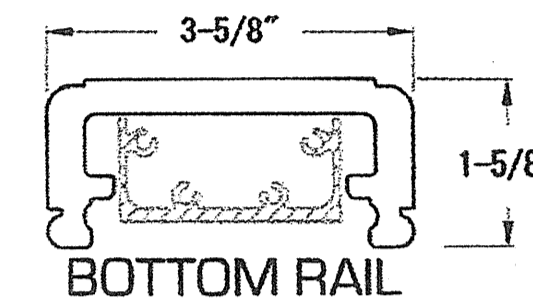
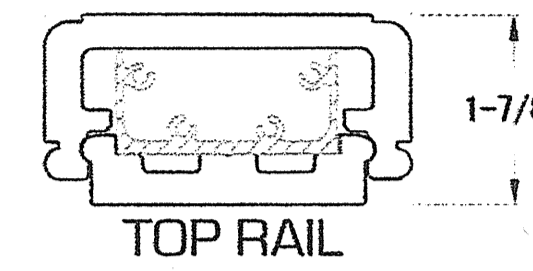
RS35350

Rail sections are available in 6', 8', 10' & 12'.

Rail Kits include:
Horizontal Rails, Structural Reinforcements, Square Balusters, Hardware and Crush Blocks

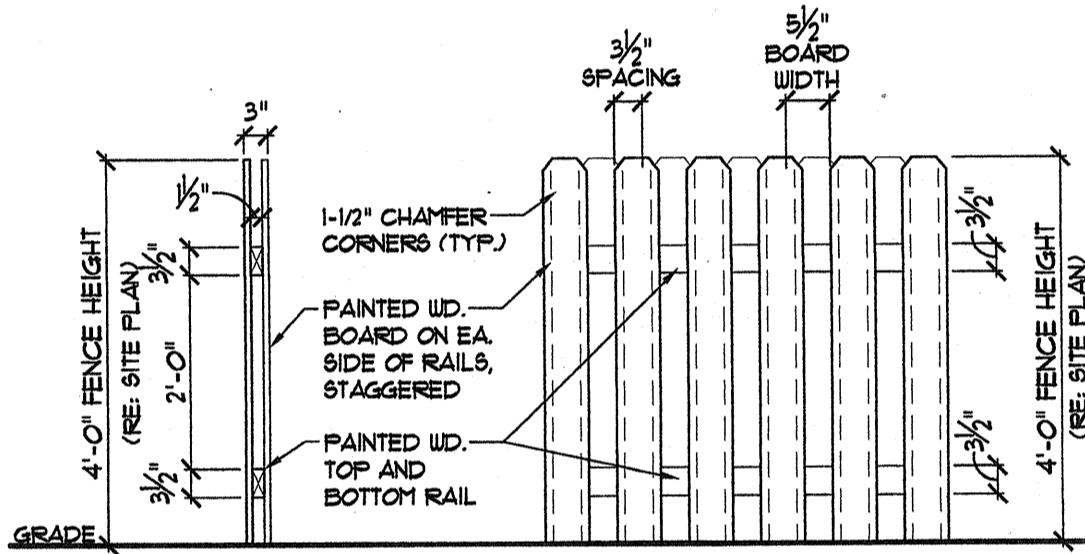
Rail Sets include:
Horizontal Rails, Structural Reinforcements, Brackets, Screws and Crush Blocks

3-5/8"



Guard Railing Profile

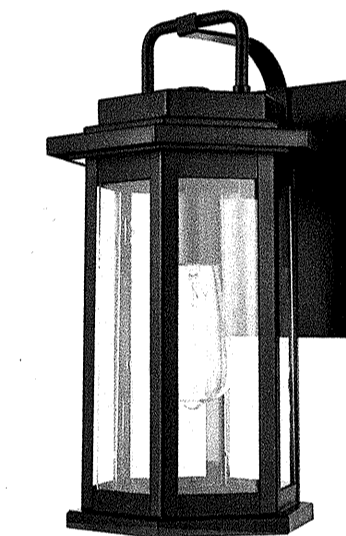
Scale: NTS



Board-on-Board Fence Details

Scale: 1/2" = 1'-0"

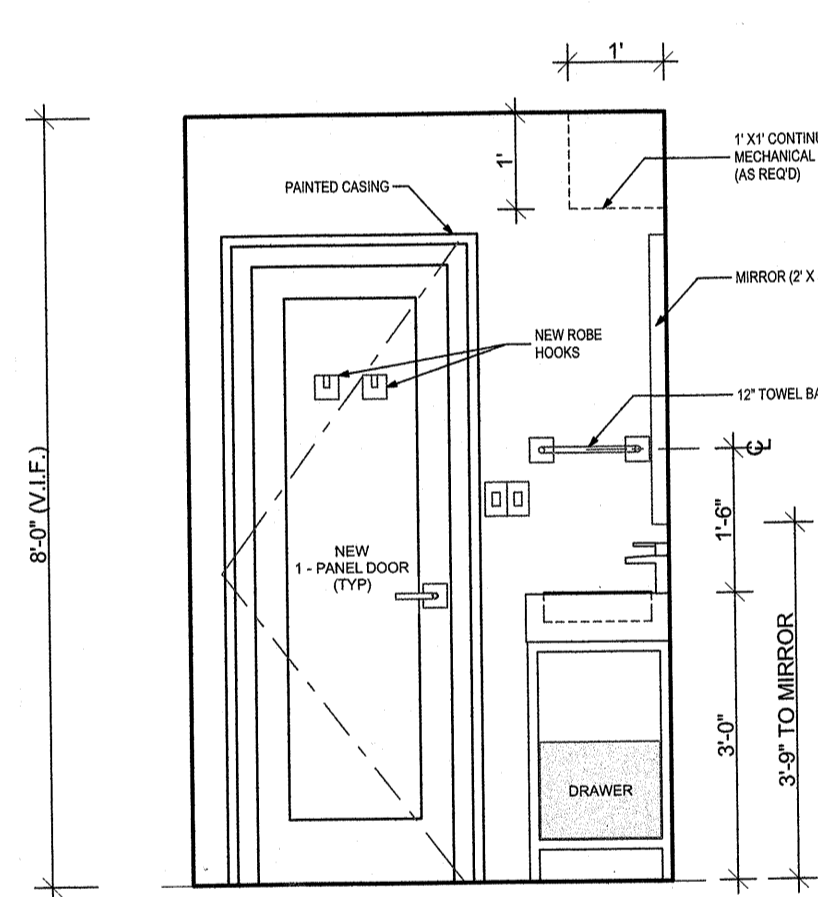
NOTE: FENCE PAINT COLOR SHALL BE SUBMITTED TO HPC FOR APPROVAL



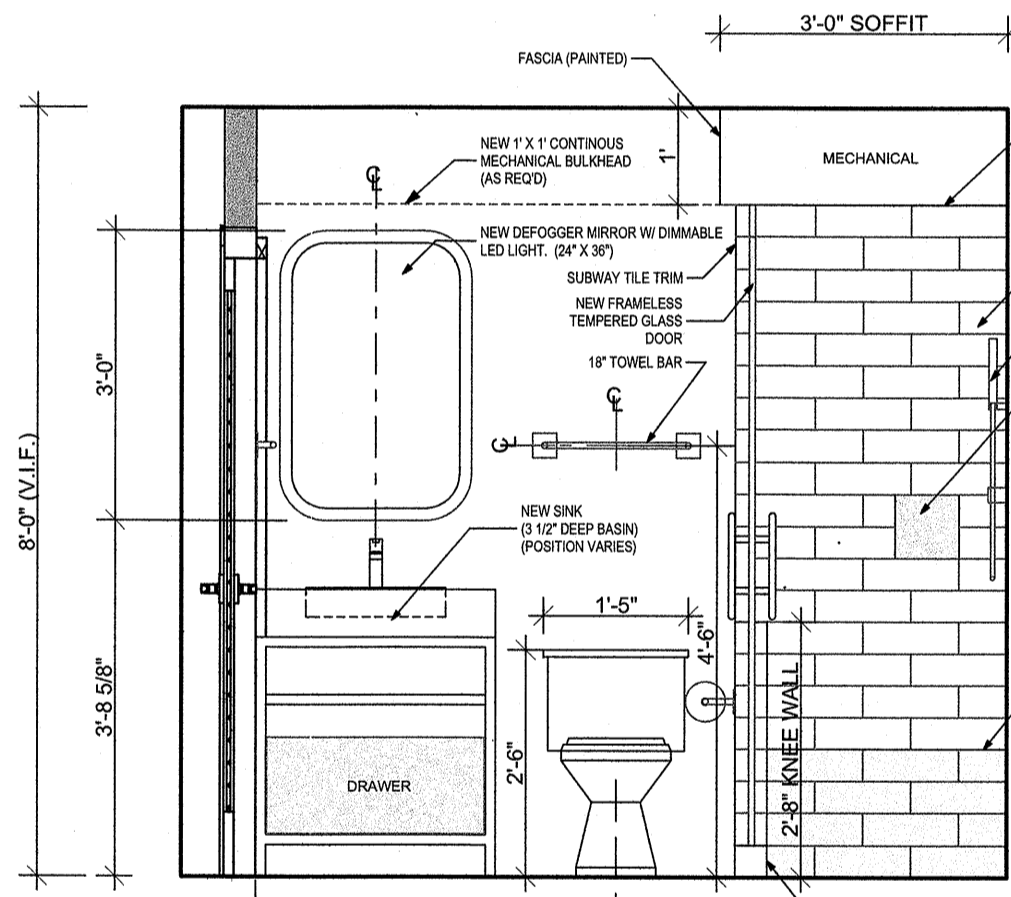
Electrical Lighting

Exterior surface mounted electrical fixtures for proposed rear balcony and side yard conditions - as per plan.

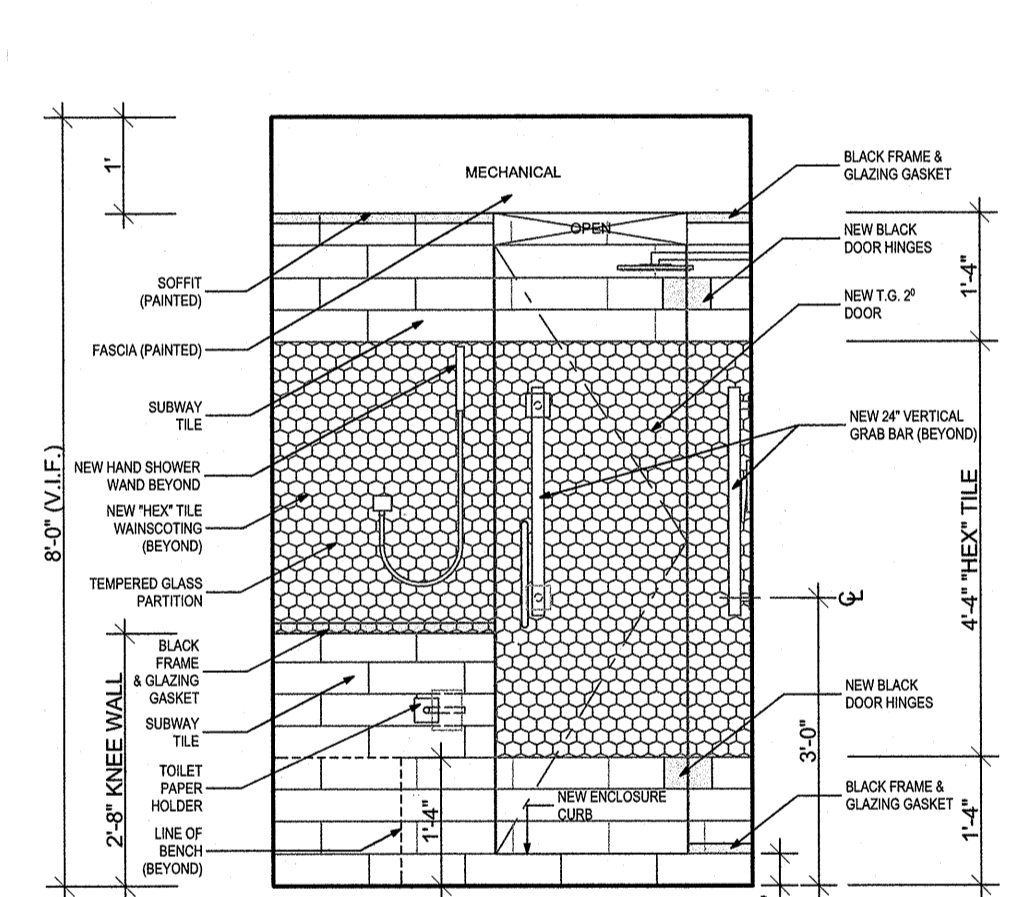
Millennium Lighting Ellis 15" Tall Outdoor Wall Sconce in Powder Coat Black with seeded glass shade.



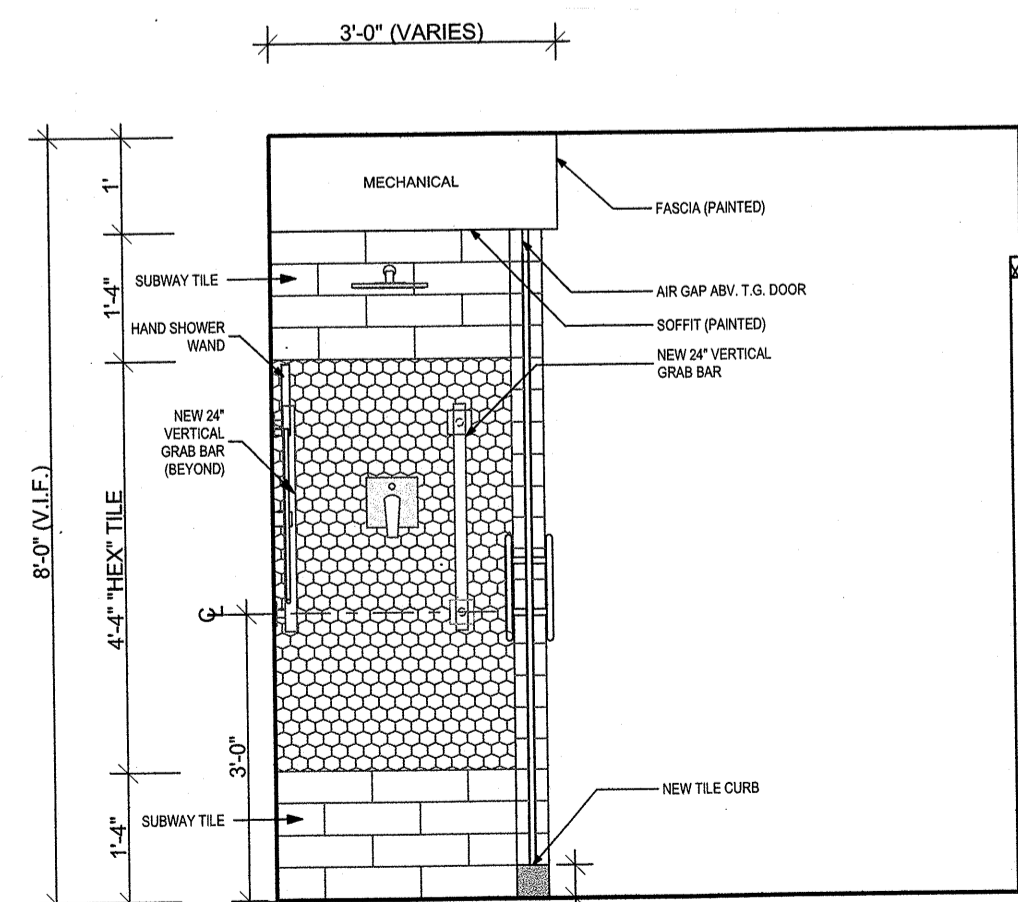
Typical View towards Guest Bath Door



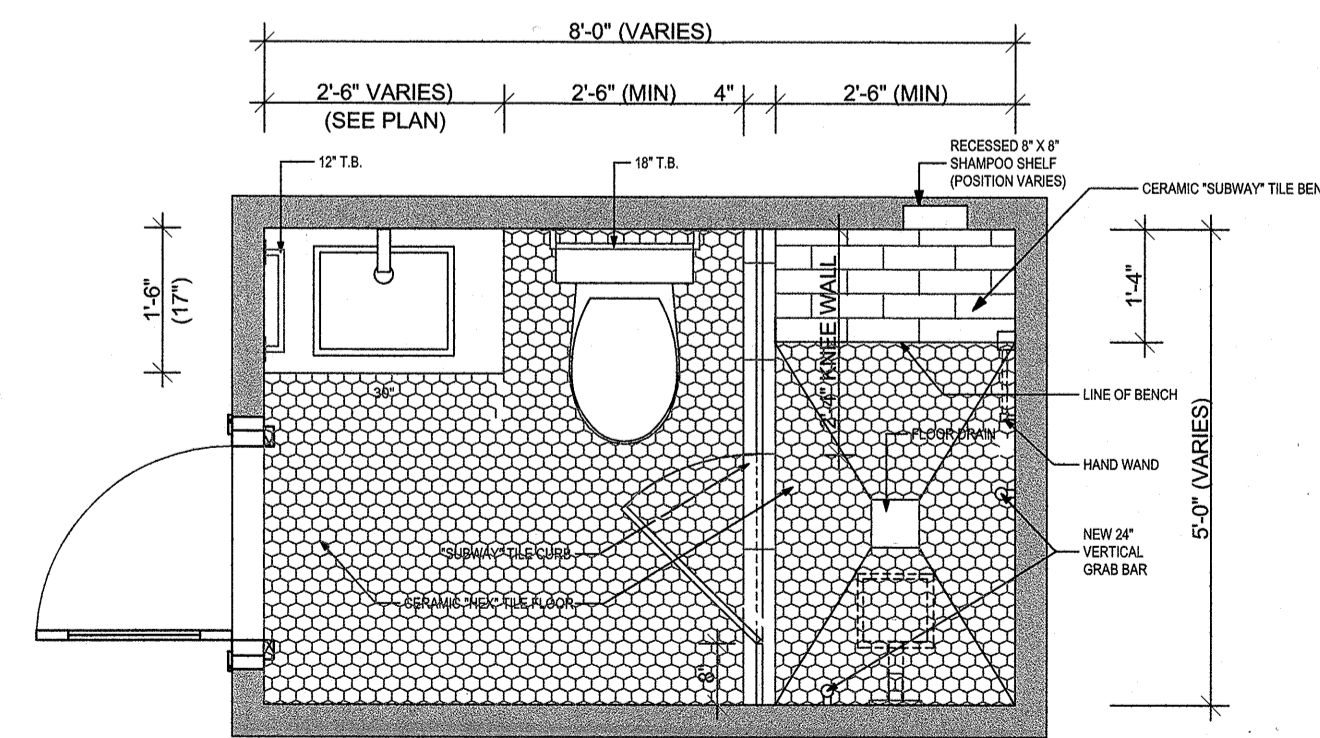
Typical View to Sink Vanity Console



Typical View towards Shower Stall

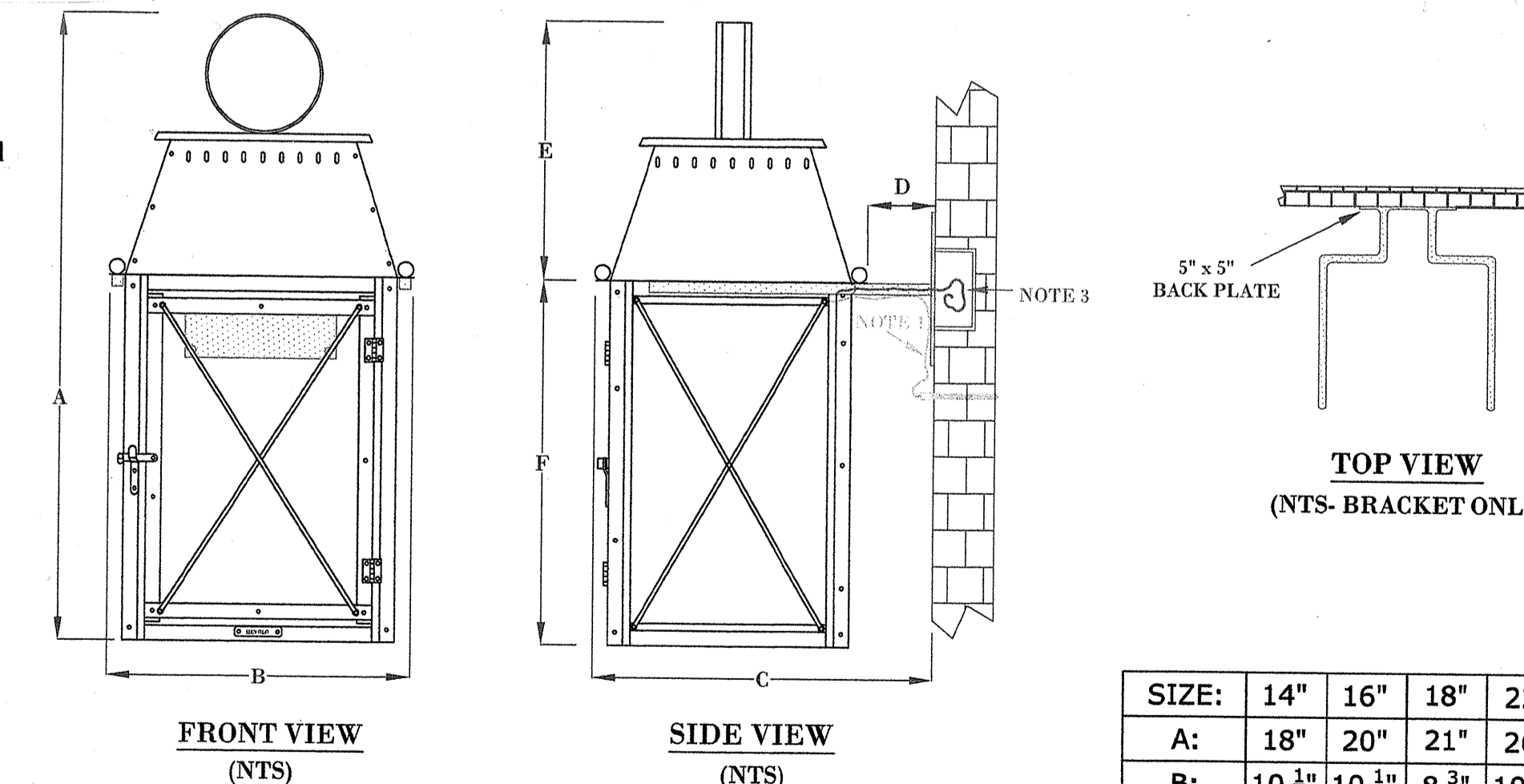


Typical View towards Shower Controls



Guest Bath Plan Details

Scale: 1/2" = 1'-0"



NOTES:

- MOUNTING HARDWARE SUPPLIED BY OTHERS
- FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/8"
- ELECTRIC LIGHTS SUPPLIED WITH 1/2 WIRE WITH GROUND
- GAS LIGHTS SUPPLIED WITH 3/8" COPPER GAS LINE AND 1/2" x 1/2" GAS LINE ADAPTOR

Gas Lantern Detail

Manufacturer Shop Drawings Required

SIZE:	14"	16"	18"	22"
A:	18"	20"	21"	26"
B:	10 1/8"	10 3/8"	8 3/4"	10 1/8"
C:	11 5/8"	11 3/8"	10 5/8"	11 5/8"
D:	2 1/2"	2 1/2"	2 1/2"	2 1/2"
E:	8"	8"	6 1/4"	8"
F:	10 5/8"	12 5/8"	14 3/4"	18 1/8"

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PROJECT

ALBATROSS HOTEL

PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2 / A-1
CONSTRUCTION TYPE: 5B

REVISIONS
NO.: DESCRIPTION: DATE:

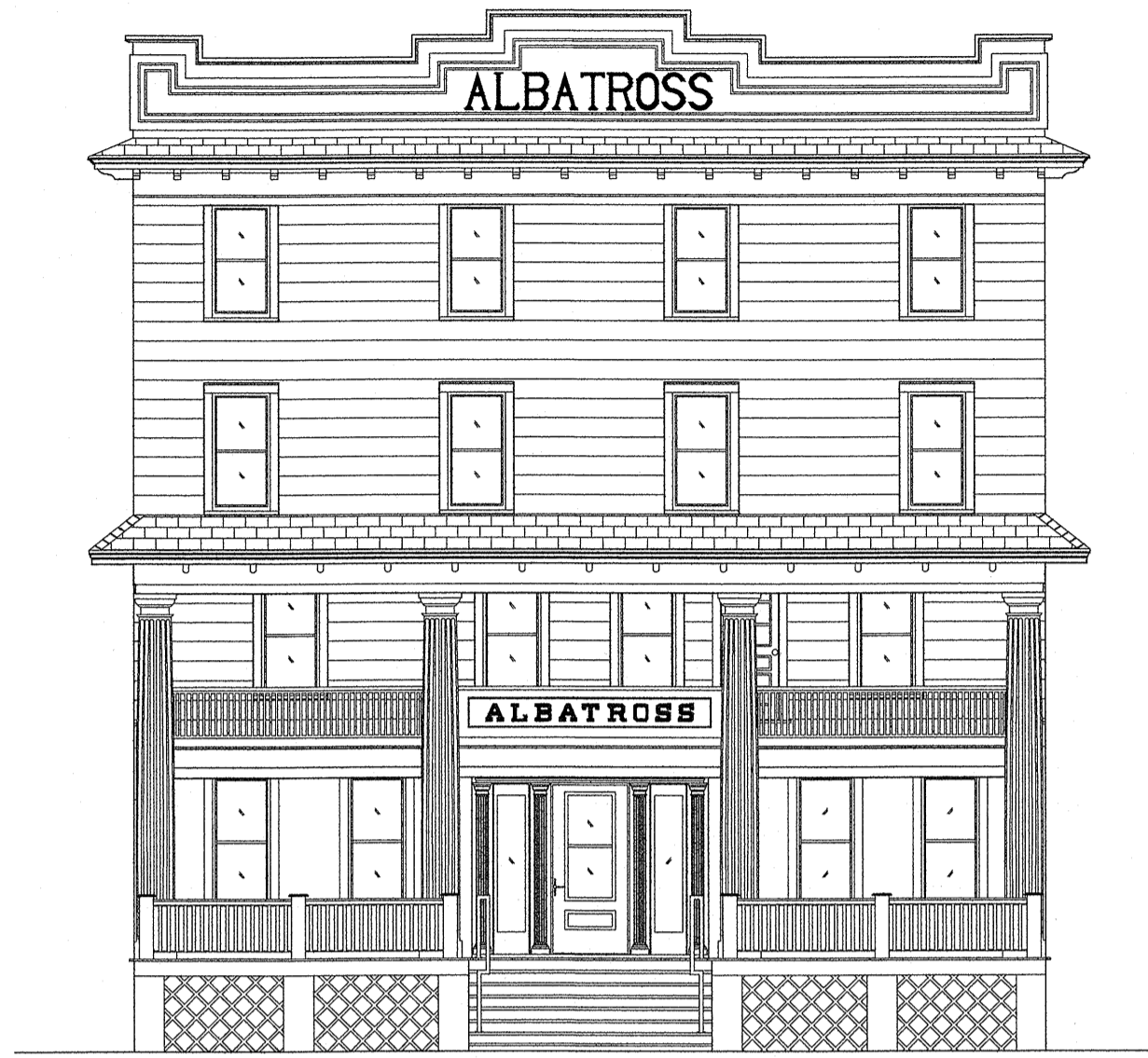
SHEET TITLE:
Specialty Details & Specifications

DRAWN BY: MP/CP/EAC
REVIEWED BY: MD

SCALE: NA
DESIGN DEVELOPMENT

DATE: 2/14/23
JOB: 2213

A17



Front Elevation
Scale: 1/4" = 1'-0"



Side Elevation (West)
Scale: 1/4" = 1'-0"



Rear Elevation (South)
Scale: 1/4" = 1'-0"



Side Elevation (East)
Scale: 1/4" = 1'-0"

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OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.	DESCRIPTION	DATE


SHEET TITLE:
As-Built Elevations

DRAWN BY: <i>THW</i>	REVIEWED BY: <i>MP</i>
SCALE: N/A	DESIGN DEVELOPMENT
DATE: <i>2/12/07</i>	A18
JOB: 2213	

FLOOR	FTF	F	R
4	8'-1"	X	
3	9'-0"	X	
2	8'-11"	X	
1	9'-8"	X	X
B	8'-6"	X	X

INTERMEDIATE SUPPORT REQUIRED AT FLOORS MARKED WITH AN ASTERISK. SEE PIT AND RAIL LOADS CHART FOR MAXIMUM VERTICAL SPAN GUIDE RAIL SUPPORT.

THE ARCHITECT'S STUDIO



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CERTIFICATE OF AUTHORIZATION
#24GA28223400

DAVID J. MANTONE
PROFESSIONAL ENGINEER
NJ LIC. NO. 24GA28223400

PROJECT

ALBATROSS HOTEL
PROPOSED RENOVATIONS & ALTERATIONS TO EXISTING 4-STORY HOTEL

34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #129, LOT #6
USE GROUP: R-2 / A1
CONSTRUCTION TYPE: 5B

REVISIONS

NO.	DESCRIPTION	DATE

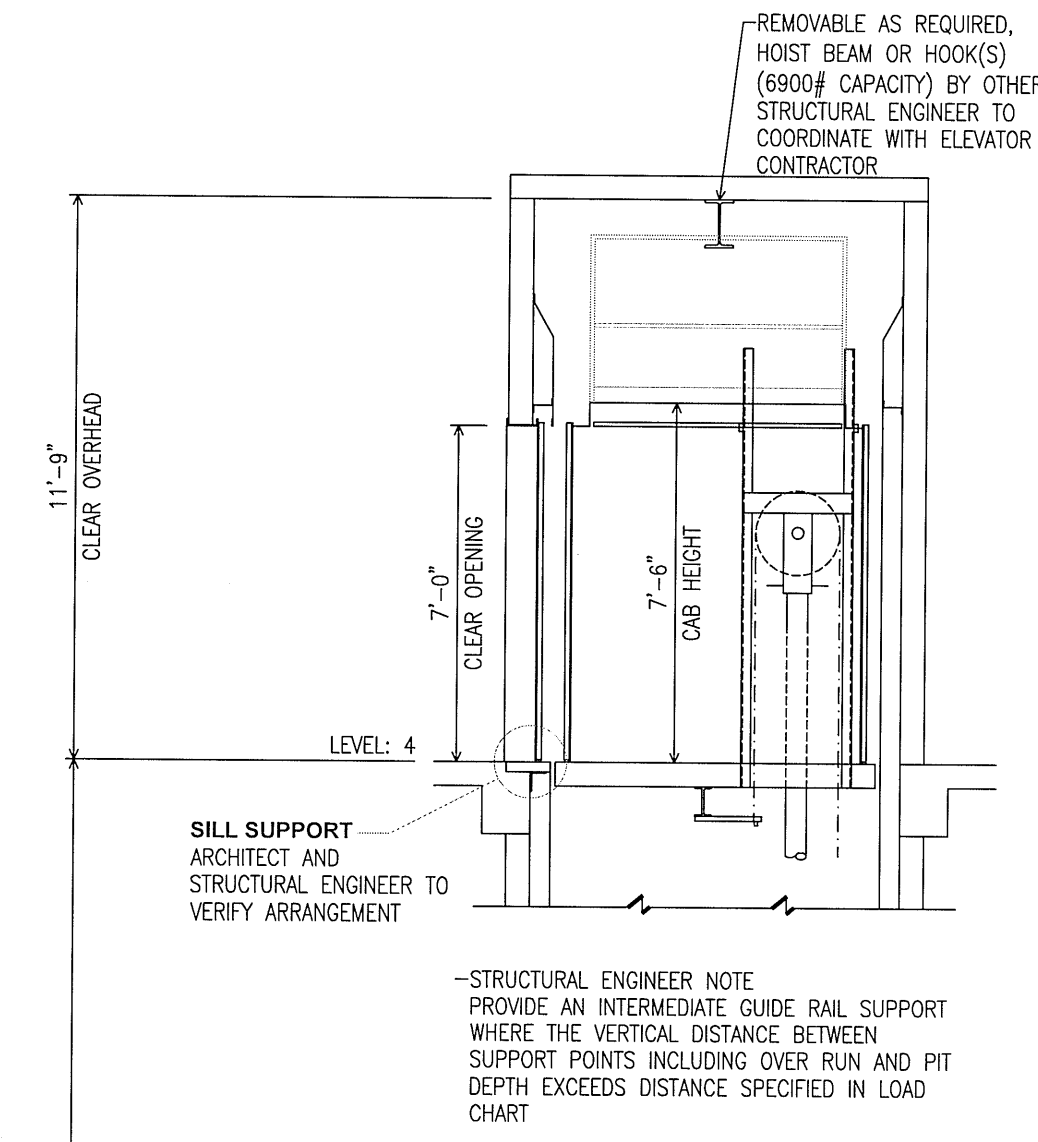
SHEET TITLE:
Elevator Details

DRAWN BY: *De* REVIEWED BY: *JP*

SCALE: N/A DESIGN DEVELOPMENT

DATE: 2/14/22 **A19**

JOB: 2213

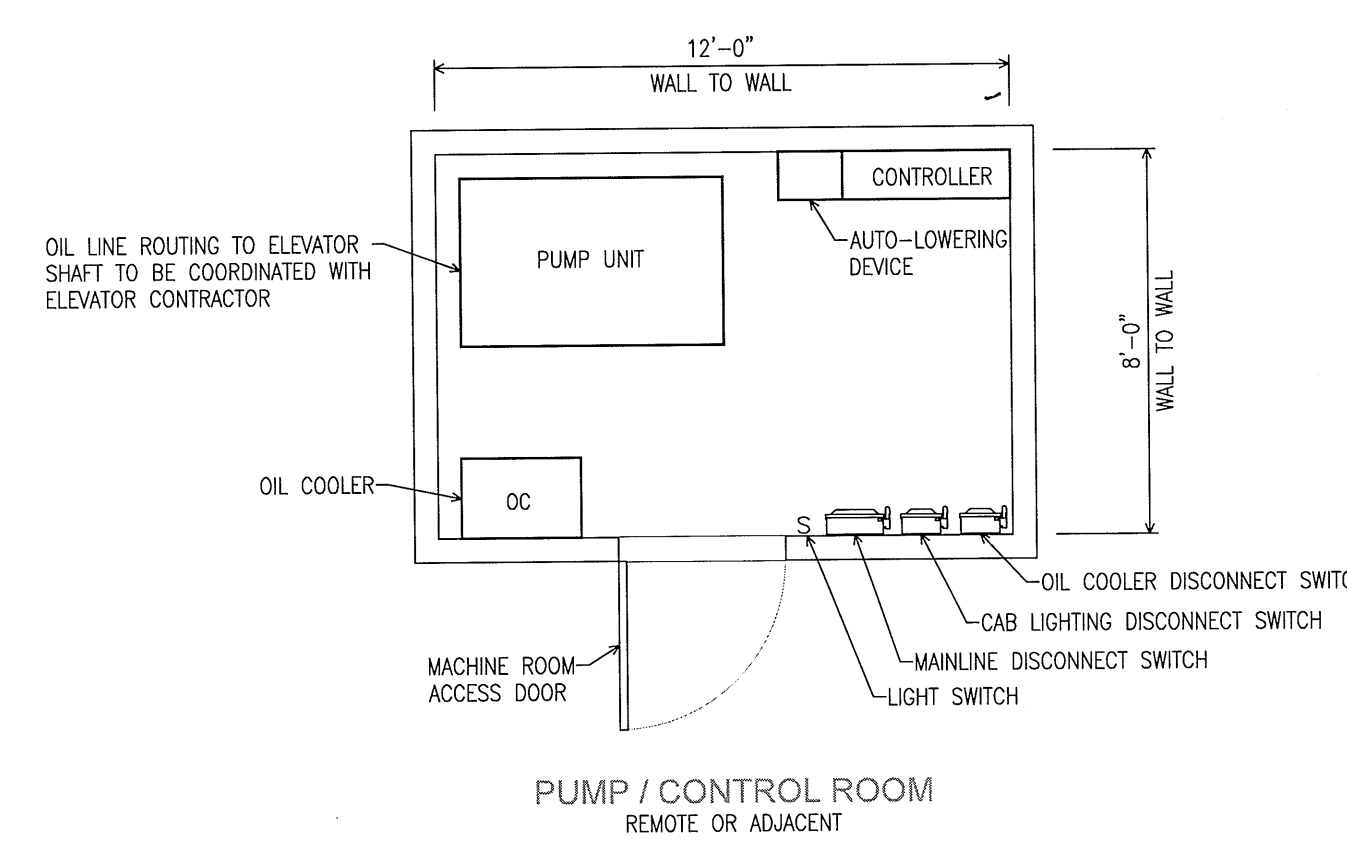
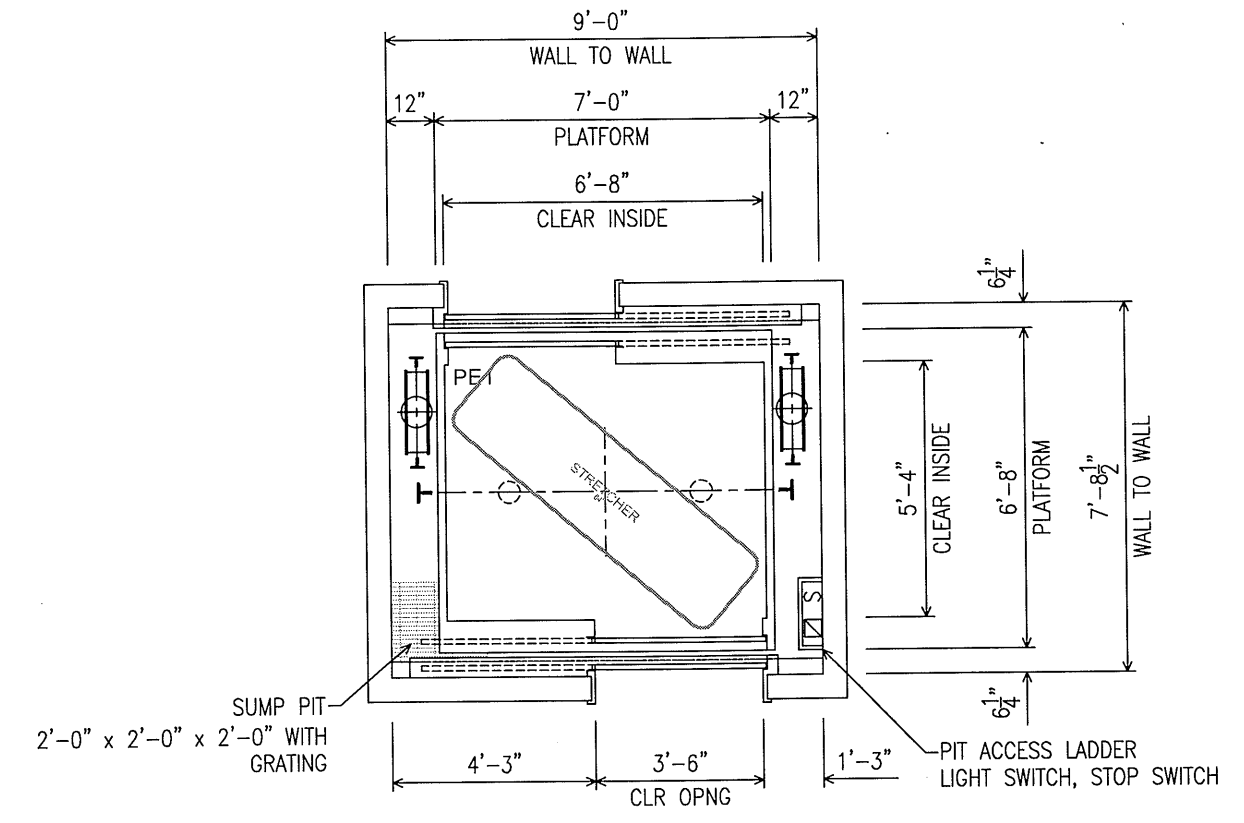


Delivering Vertical Transportation Solutions...Worldwide

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Refer to full Elevator Specification as provided in the attached Section 14 24 00 HYDRAULIC Elevator Document pages 1 through 55 as prepared by VDA Elevator Consultant and issued March 27, 2023.

PASSENGER ELEVATOR
PE1
CLASS "C3" LOADING
3500# @ 150 FPM



POWER AND VENTILATION / UNIT

POWER BASED ON: 208V 3-PHASE-60 HERTZ

MOTOR HP	FULL LOAD RUNNING AMPS	FULL LOAD ACCEL AMPS	HEAT RELEASE BTU/HR/UNIT	LOADS SHOWN ARE ESTIMATED. COORDINATE FINAL LOADS WITH ELEVATOR MANUFACTURER
60	252	531	38500	

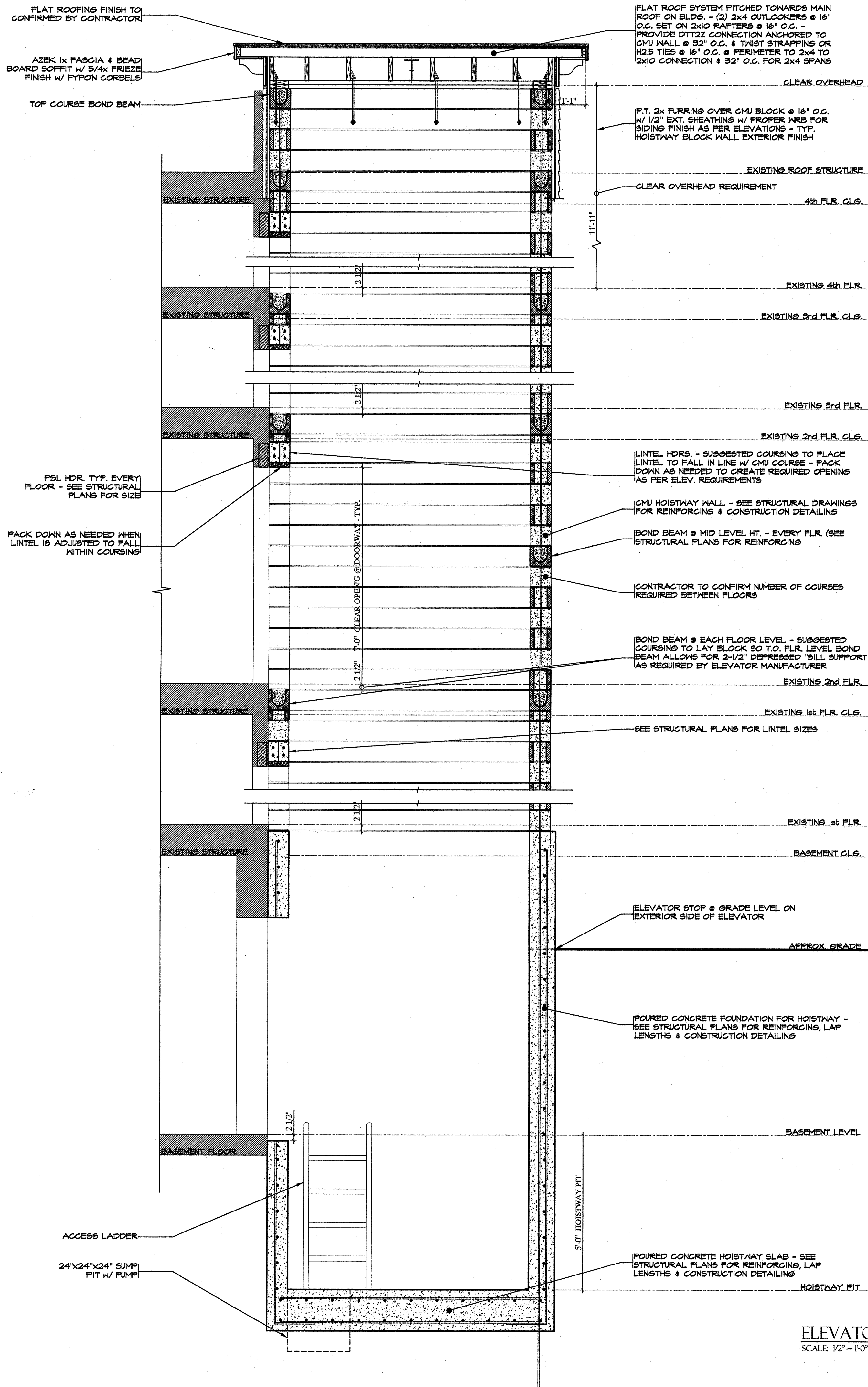
- HYDRAULIC MACHINE ROOM NOTES:
- AIR CONDITIONING EQUIPMENT SHALL NOT BE LOCATED DIRECTLY ABOVE ELEVATOR EQUIPMENT. COORDINATE FINAL LOCATION OF AC EQUIPMENT WITH THE ELEVATOR SHOP DRAWINGS.
 - PROVIDE SELF CLOSING, SELF LOCKING, FIRE RATED MACHINE ROOM DOOR PER CODE.
 - MINIMUM 200 LUX MEASURED AT MACHINE ROOM FLOOR REQUIRED.
 - MAINTAIN 7'-0" CLEAR HEIGHT THROUGHOUT ENTIRE MACHINE ROOM AFTER INSTALLATION OF EQUIPMENT.
 - MACHINE ROOM TO BE VENTILATED DIRECTLY TO OUTSIDE AIR, NATURALLY OR MECHANICALLY IN ACCORDANCE WITH NYC CODE REGULATIONS.
 - EQUIPMENT IN THE MACHINE ROOM SHALL BE USED FOR THE FUNCTION OF THE ELEVATOR ONLY.
 - ACCESS TO ANOTHER PORTION OF THE BUILDING, INCLUDING THE ROOF, THROUGH THE MACHINE ROOM IS PROHIBITED PER CODE.
 - MACHINE ROOM TEMPERATURE MUST BE MAINTAINED BETWEEN 55-95 DEG. F.
 - LOCATE MACHINE ROOM WITHIN 40'-0" OF HOISTWAY (OR IN ACCORDANCE WITH LOCAL CODE REGULATIONS) AND SHALL NOT CROSS AN EXPANSION JOINT.

PIT AND RAIL LOADS PE1

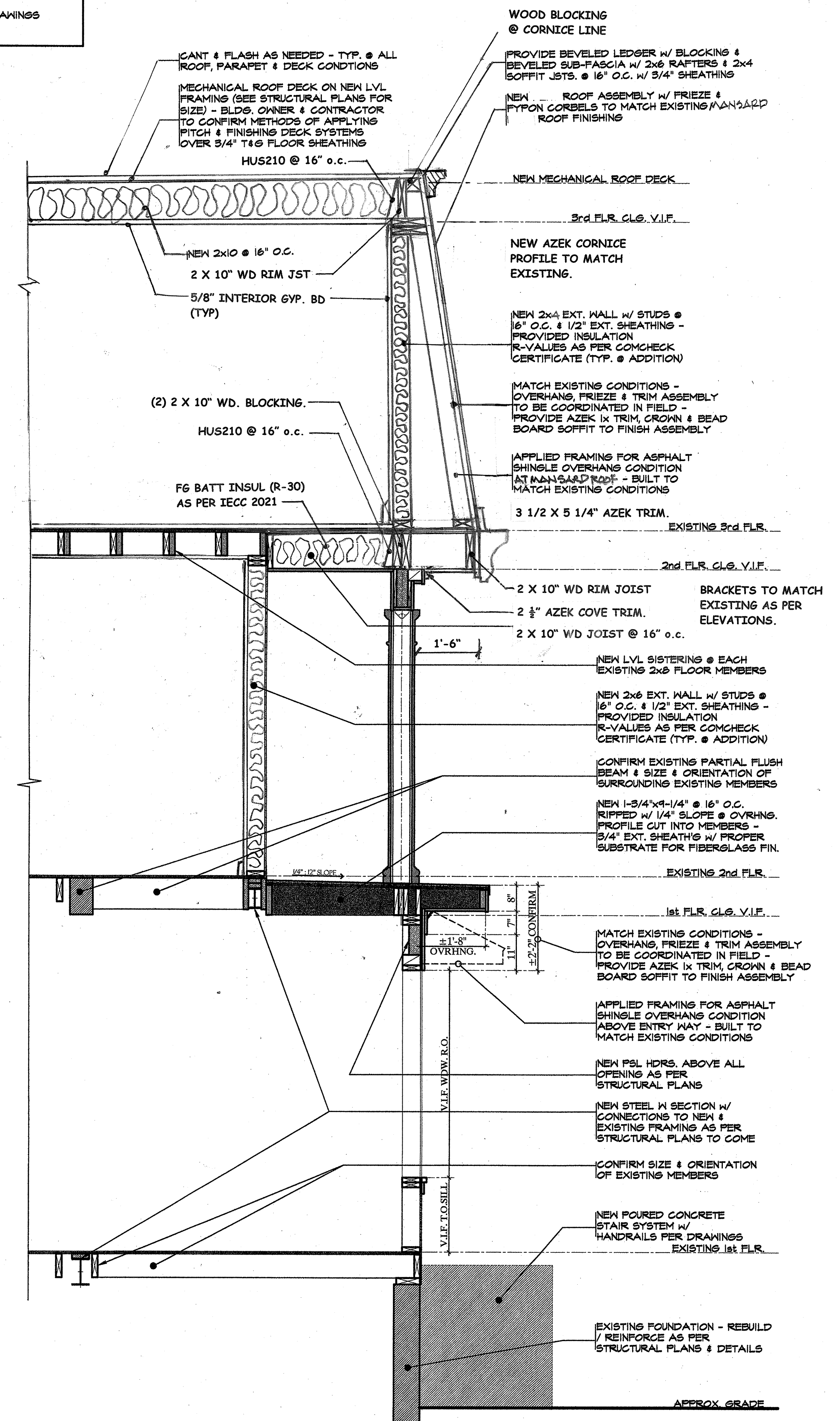
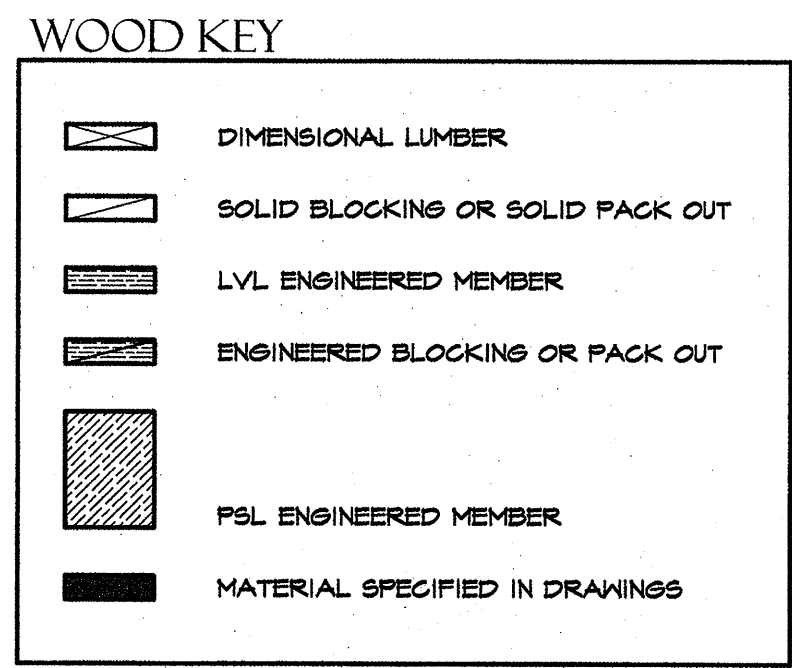
SEISMIC	S2
CLASS LOAD RATING	C3
RAIL WEIGHT/SIZE	15
HYDRAULIC CYLINDER	A * 13.0 K
CAR BUFFER REACTION ***	B * 13.3 K
WEIGHT ONE STACK CAR RAIL	700 #
	F _{car} * 19.1 K
RAIL LOADS PER RAIL	NORMAL R1 800 #
	FORCES R2 800 #
	SEISMIC R1 ** 1200 #
	FORCES R2 ** 600 #
MAX VERT SPAN GUIDE RAIL SUPPORT	8'

RAIL support points shall have a max deflection of 1/8" when acted upon by forces R1 and R2
1/4" when acted upon by seismic forces R1 and R2

LOADS SHOWN ARE ESTIMATED. COORDINATE FINAL LOADS WITH ELEVATOR MANUFACTURER



ELEVATOR HOISTWAY SECTION
SCALE: 1/2" = 1'-0"



WALL SECTION @ REAR ADDITION
SCALE: 1/2" = 1'-0"

THE ARCHITECT'S STUDIO

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34 OCEAN PATHWAY
OCEAN GROVE, NEW JERSEY 07756
BLOCK #29, LOT #6
USE GROUP: R-2/A1
CONSTRUCTION TYPE: 5B

REVISIONS		
NO.	DESCRIPTION:	DATE:
1	HPO CONCEPT	7/15/22

SHEET TITLE:
ELEVATOR HOISTWAY SECTION & WALL SECTION AT REAR ADDITION

DRAWN BY: LMC	REVIEWED BY:
SCALE: AS NOTED	ADDENDUM 7
DATE: 4/28/23	A21
JOB: 2213	OF