General Notes

- 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 2. THE CONTRACTOR SHALL AT NO COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.
- 3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE AT THE CONCLUSION OF WORK.
- SHOULD THERE BE ANY CONFLICT SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.
- CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.
- THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BYALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.
- ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.
- 9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

Special Notes

INDEMNIFICATION CLAUSE:

THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

PERMITS AND RELATED FEES: CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:

USE OF THESE CONSTRUCTION DRAWINGS RE LIMITED TO THE PROJECT SITE ALL OPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANER PAVLIV, AIA OF RECORD. ARCHITECT REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE

ARCHITECT ISSTRICTLY PROHIBITED.

Legend

WALLS TO BE REMOVED EXISTING WALLS **NEW WOOD STUDS WALLS** EXISTING WINDOW LOCATION NEW WINDOW LOCATION EXISTING DOOR TO REMAIN EXISTING DOOR TO BE REMOVED

NEW DOOR

ROOF OVERHANG OR SOFFIT LINE WALL SWITCH ELEC. WALL DIMMER ELEC. 3 WAY SWITCH ELEC. WALL OUTLET ELEC. FLOOR OUTLET ELEC. HALF-HOT WALL OUTLET CEILING MOUNTED LIGHT BRACKET/WALL MOUNTED LIGHT RECESSED CEILING LIGHT RECESSED DIRECTIONAL LIGHT EXHAUST FAN/HEAT LAMP SMOKE DETECTOR TV/CABLE JACK

TELEPHONE JACK

DUAL FLOOD/MOTION LIGHT

FLOOR AREA CALCULATIONS:

PROPOSED **EXISTING** PERMITTED 799.2 sf 1,190.5 sf First Floor: 649.2 sf 1,190.5 sf Second Floor: Habitable Attic: 249.0 sf 374.0 sf 2,755.0 sf **Total Area:** 1,697.4 sf N/A 354.0 sf N/A 354.0 sf Same Covered Front Porch N/A 26.7 sf 148.3 sf Covered Rear Porch

TOTAL PROPOSED VOLUME of ADDITION:

First Floor: Second Floor: Habitable Attic: **Total Volume:**

(4,468.7 cf 3,970.4 cf 1,336.0 cf 9.775.1 cf

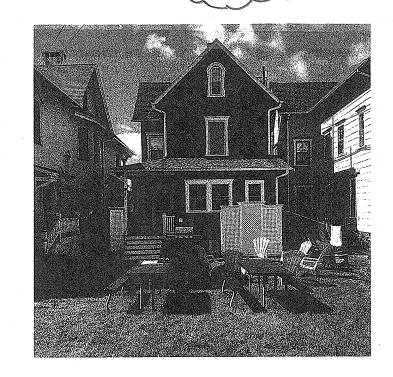


Photo Reference

Area Calculations

Applicant: Terrie O'Connor 7 Ocean Pathway

Ocean Grove, New Jersey 07756

Site Address: 7 Ocean Pathway, Ocean Grove, NJ 07756 Block #115, Lot #6; ZONE: HD-O

Description: Proposed Rear Addition and Various Renovations to the existing 2 ½ story wood frame single-family landmark dwelling located at 7 Ocean Pathway, Ocean Grove, New Jersey.

LOT SIZE EXISTING **PROPOSED** REQUIRED 30.15 ft Frontage no change 30.0 ft Lot Width 30.10 ft 30.0 ft no change 84.04 ft Depth no change 60.0 ft (along West Property Line from Flare) 80.60 ft Depth 60.0 ft no change (along East Property Line from Flare) 2,481.95 sf 1,800 sf no change

4.190.85 sf* (*Section 413.06.E)

SETBACK EXISTING PROPOSED ALLOWED Front 9.61 ft Same **Section 413.06.D** (to edge of dwelling) Front 0.43 ft Same **Section 413.06.D** (to edge of covered porch) East Side 6.21 ft Same 2.0 ft (to edge of dwelling) East Side 4.21 ft Same 2.0 ft (to edge of dwelling roof overhang) East Side 0.82 ft Same 2.0 ft (to edge of existing covered porch) - 0.45 ft (over) East Side Same 2.0 ft (to edge of existing covered porch roof overhang) **East Side** 6.21 ft 2.0 ft

(to edge of proposed rear dwelling addition) East Side 5.21 ft 2.0 ft (to edge of proposed rear addition roof overhang fascia) **East Side** 2.0 ft 6.21 ft (to edge of proposed covered porch) East Side 4.21 ft 2.0 ft (to edge of proposed covered porch roof overhang fascia) West Side 2.45 ft Same 2.0 ft (to edge of existing dwelling) West Side 0.95 ft Same 2.0 ft (to edge of existing dwelling roof overhang) West Side 2.45 ft Same 2.0 ft

(to edge of existing covered porch) 0.95 ft West Side 2.0 ft (to edge of existing covered porch roof overhang) West Side N/A 2.51 ft 2.0 ft (to edge of proposed rear dwelling addition) West Side N/A 2.01 ft 2.0 ft (to edge of proposed rear addition roof overhang fascia) West Side N/A 2.51 ft 2.0 ft (to edge of proposed covered porch) West Side N/A

2.01 ft 2.0 ft (to edge of proposed covered porch roof overhang fascia) 29.97 ft (10.90 ft Section 413.06.D (to edge of proposed dwelling addition at Bath Avenue Flare) 28.47 ft Section 413.06.D (to edge of proposed rear porch steps at Bath Avenue Flare) 2.5 stories

Floor Levels 2.5 stories 2.5 stories Height 32.5 ft 35.0 ft Same

LOT COVERAGE:

Rear Steps:

Rear Porch:

Walkways:

AC Units:

Total Cover

Outdoor Rinse:

1,480.7 sf

PROPOSED **EXISTING** PERMITTED 1,692.8 sf (68.23%) **Building Cover: 1,179.7 sf** < (85.0%) (includes covered porch areas)

Front/Side Steps: 19.0 sf 19.0 sf Same 9.9 sf 154.3 sf 20.0 sf 35.0 sf 183.0 sf 276.0 sf 12.0 sf N/A 21.0 sf 24.0 sf

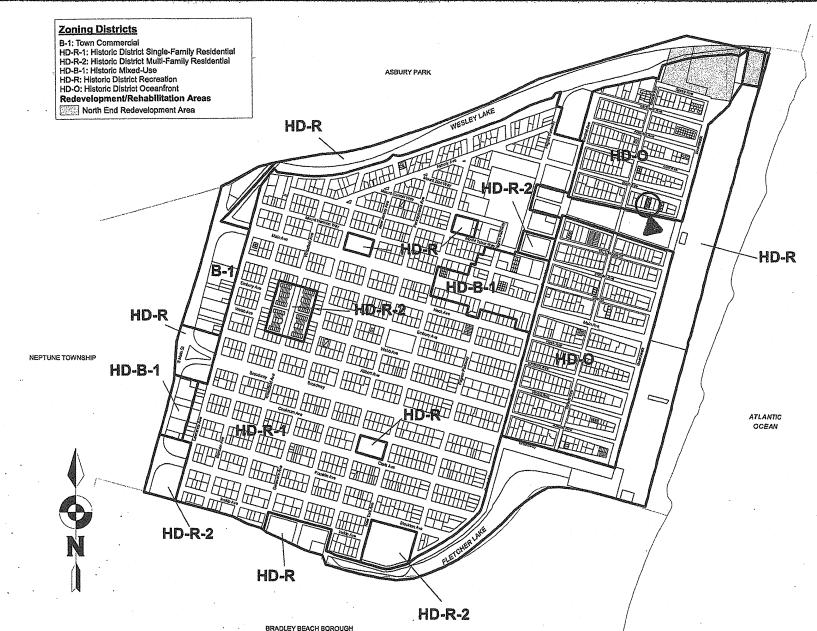
N/A N/A (2,193.8 sf (52.36%)*) < (90.0%)*(Section 413.06.E)

N/A

N.A

N/A

Survey, dated April 20, 2017, has been prepared by Michael Williams, PLS, 56 Main Street, Ocean Grove, New Jersey, a licensed New Jersey Land Surveyor.



Scale: Graphic Scale

Ш

Monument Found

List of Drawings A-1 General Notes, Zoning A-2 Elevations A-3 Foundation & Site Plan A-4 First & Second A-5 Attic, Roof, Plumb Riser A-6 Typical Construction A-8 Specifications A-9 REScheck Location Map

Iron Stake Set ---

FRAME

SARAGE

(LOT 467)

LOT 5

2 1/2 STORY

FRAME

DWELLING

NO. 9

COVERED PORCH

120.62

Site Survey Reference Plan

fron Pipe Fd. 0:31' South, 0.12' West

Iron Stake Set -

Iron Pipe Fd. --

(LOT 466)

FRAME SHED

BATH

Concrete

S 60° 51' 25" E

(LOT 469)

ONE STORY

2 1/2 STORY

FRAME

DWELLING

COVERED PORCH

N 67° 24' 35" W

BLOCK 115

Sidewalk

30.155

A-7 Interior Door, Window & Finish Schedules ISSUES Description Date **Energy Compliance** 20NING COMMENTS E-1 First & Second Floor 2 HPC COMMENTS 12/23 Electrical Floor Plans 3 CONCEPT PENEW E-2 Attic Level Electrical Plans & Specifications

REVISIONS

3 CONCEPT REVIEW 8/28/2

ZONING COMMENTS 3/21/22

HPC COMNENTS C/12/22

Date

Description

& Area Calculations

Floor Plans

AVENUE

- Iron Stake Set

PORCH

(LOT 470)

LOT 7

21/2 STORY

DWELLING

NO. 5

COVERED PORCH

PATHWAY

Porch Deck 0.16: Over

FRAME

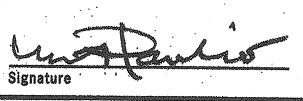
Section & Details

& Site Survey Reference

Mark Alexander Pavliv, AlA

77 Main Avenue, Suite 101 Ocean Grove, NJ 07756

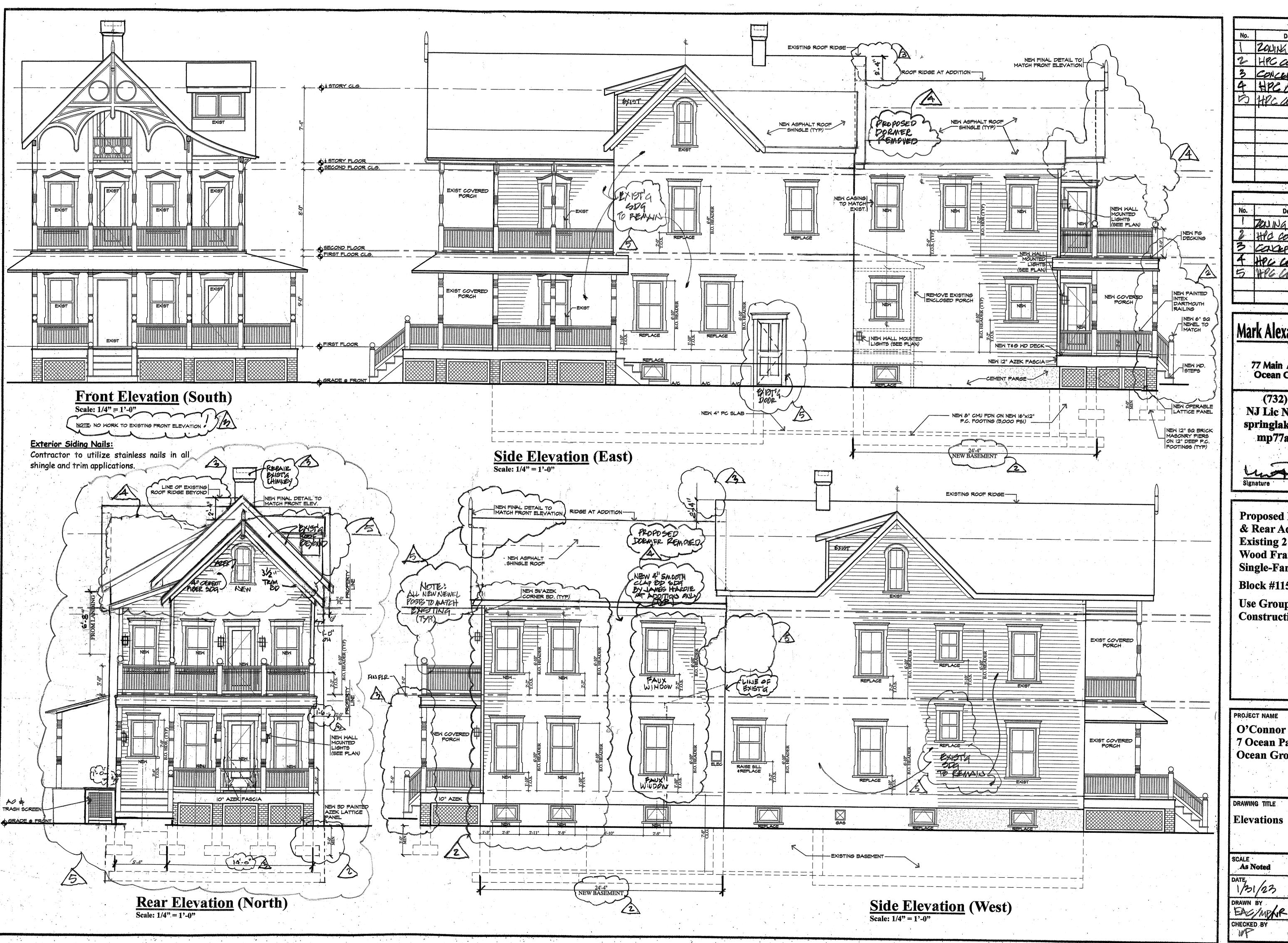
(732)776 - 8777NJ Lic No. AI00820300 springlakearchitect.com mp77aia@aol.com



Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling

	Block #115, Lot #6 Use Group: R5 Construction Type: 5B
	PROJECT NAME
	O'Connor Residence
	7 Ocean Pathway
	Ocean Grove, NJ
	DRAWING TITLE
,	General Notes,
	Area Calculations
	Survey Reference
	SCALE JOB No. As Noted 2022990072
	DATE DRAWING No.
	DRAWN BY A1

SCALE As Noted	JOB No. 2022990078
DATE //31/23	DRAWING No.
DRAWN BY MW/EP/MP	A1
CHECKED BY	



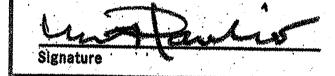
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No.	Description	Date
1	ZOWING COMMENTS	3/2/23
2	HPC COMMENTS	6/12/22
3	CONCEPT REVEW	20/2/2
 4	HPC COMMENTS	1/9/22
n	HPC COMMENTS	12/2/20
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	ZOUING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23
3	CONCEPT PEULEW	8/20/22
4	HPL COMMENTS	1/9/22
5	HPG COMMENTS	18hehi
		111

Mark Alexander Pavliv, AIA

77 Main Avenue, Suite 101 Ocean Grove, NJ 07756

(732) 776 – 8777 NJ Lic No. AI00820300 springlakearchitect.com mp77aia@aol.com



Proposed Renovations & Rear Addition to the Existing 2 1/2 Story **Wood Frame** Single-Family Dwelling Block #115, Lot #6 Use Group: R5 **Construction Type: 5B**

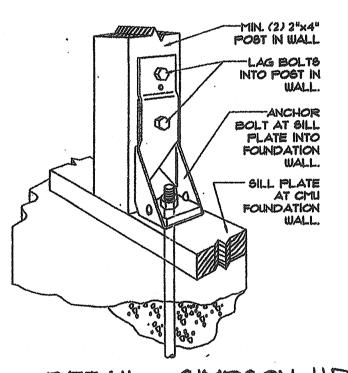
O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ

DRAWING TITLE

Elevations

SCALE
As Noted JOB No. 2022990078 1/31/23

A2

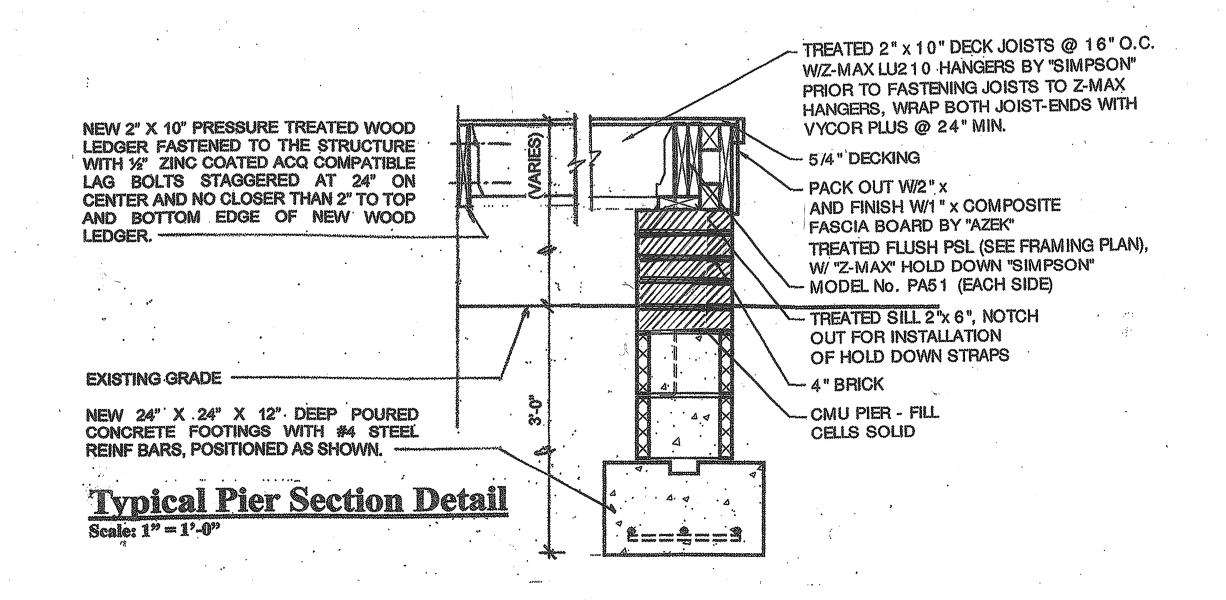


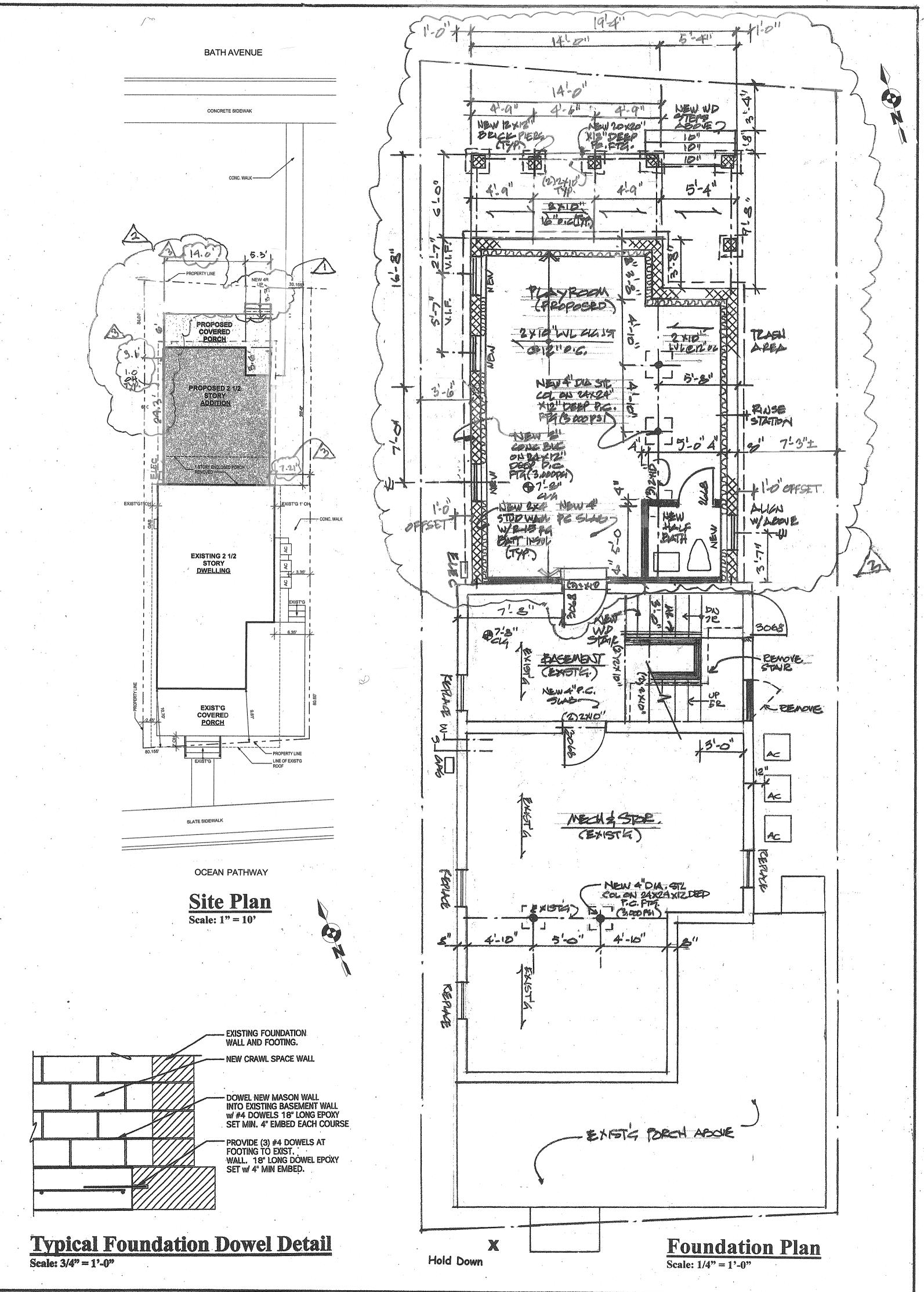
DETAIL - SIMPSON HD5A HOLD DOWN CONNECTION

Hold Down Details

Schematics/not to Scale

PROVIDE SIMPSON HD5A HOLD DOWN ANCHORS AS PER PLAN





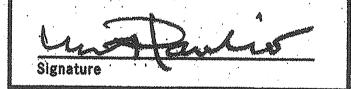
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1	ZENING COMENTE	3/2/23			
2	HPC COMMENTS,	6/12/23			
9	CONCRPT PELIEW	8/28/22			
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Mark Alexander Pavliv, AIA

77 Main Avenue, Suite 101 Ocean Grove, NJ 07756

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Proposed Renovations & Rear Addition to the Existing 2 1/2 Story **Wood Frame** Single-Family Dwelling Block #115, Lot #6 Use Group: R5

Construction Type: 5B

PROJECT NAME

O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ

DRAWING TITLE

Foundation &Site Plan

JOB No. 2022990078 As Noted DRAWING No. 1/31/23 DRAWN BY, ENG/LMC/M

CHECKED BY

Special Notes:

All proposed work to comply with the 2021 International Residential Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and specified on Typical Section Detail.

Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

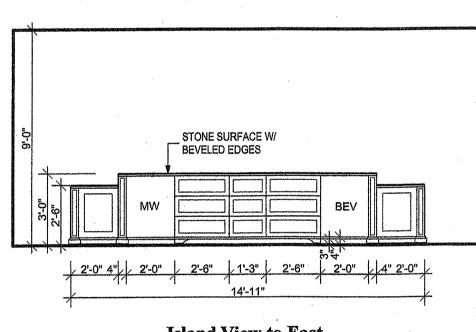
Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

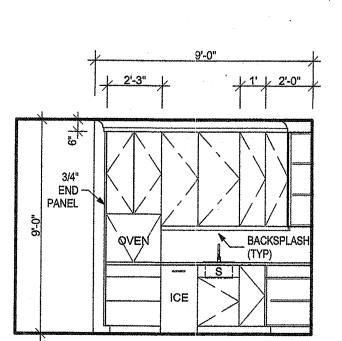
Carbon Monoxide Alarms are required within the immediate vicinity of all bedrooms or identified sleeping areas.

Contractor to verify acceptability of all egress window sizes in accordance with

Smoke and Carbon Monoxide Detection:

Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry

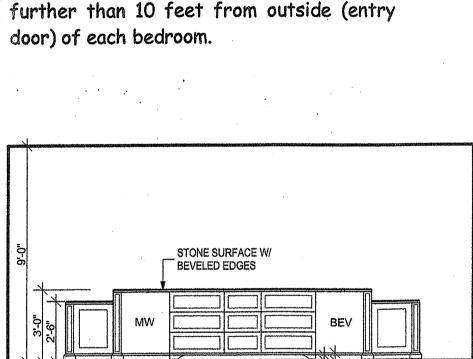




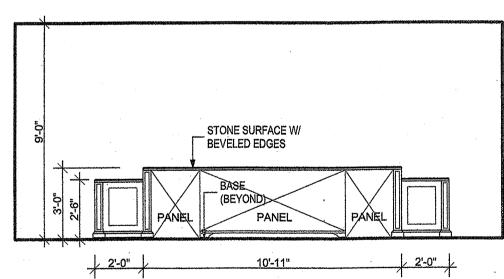
2'-3" 1'-6" 1'-9" 3'-0"

View to South

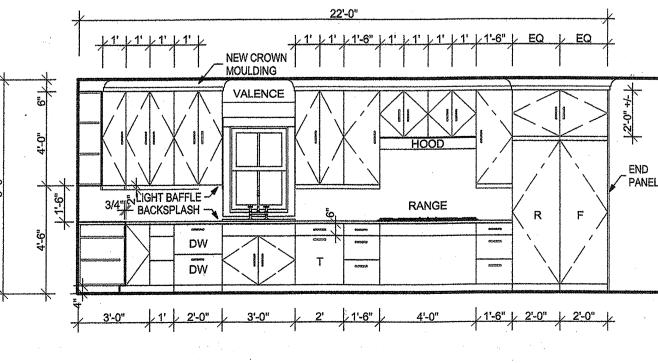
Kitchen Elevations Scale: 1/4" = 1'-0"



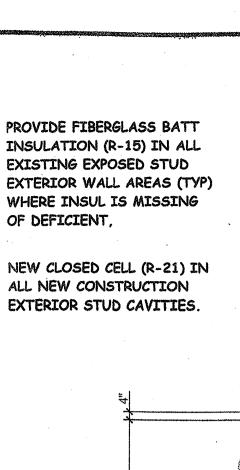
Island View to East

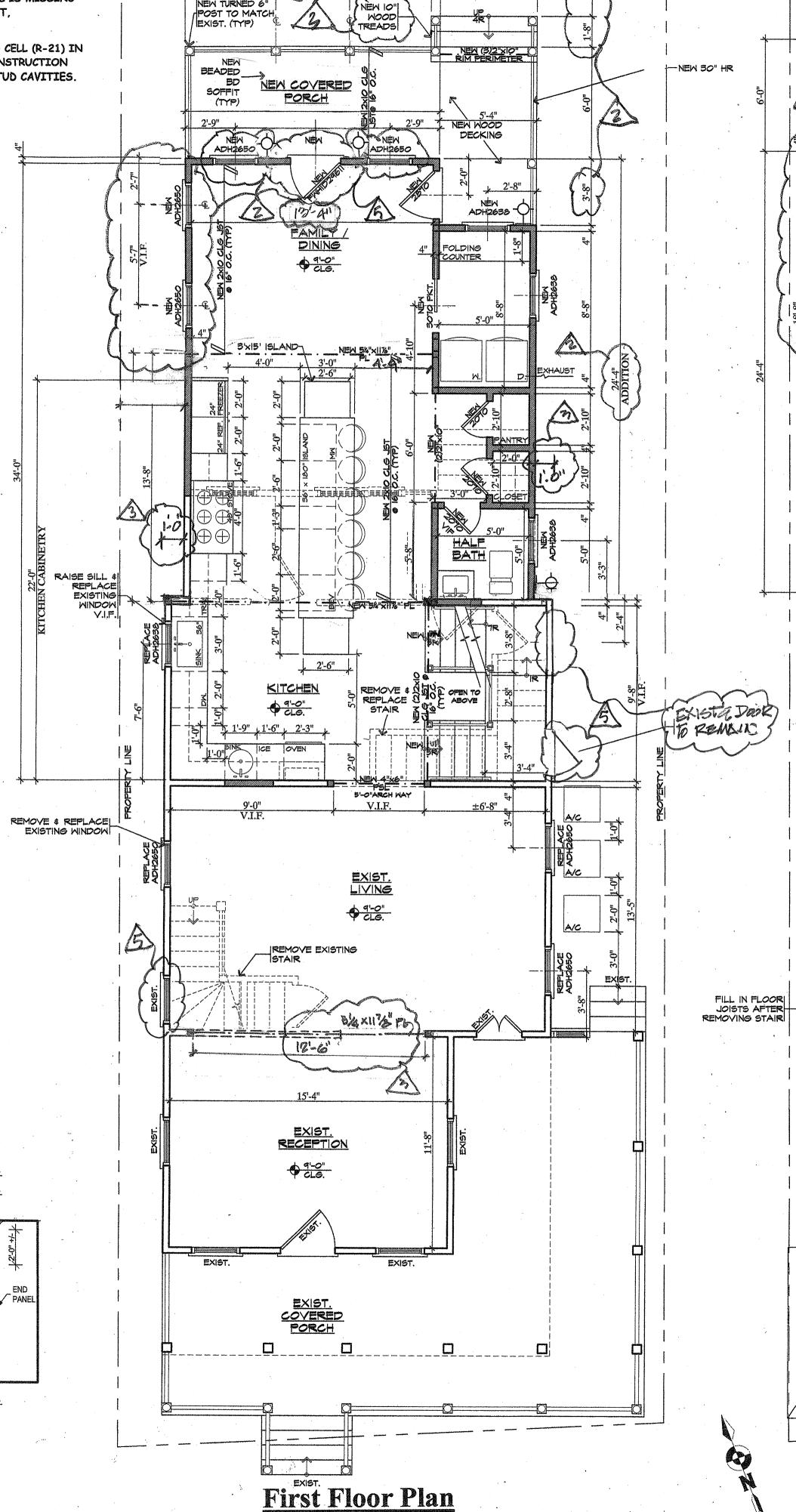


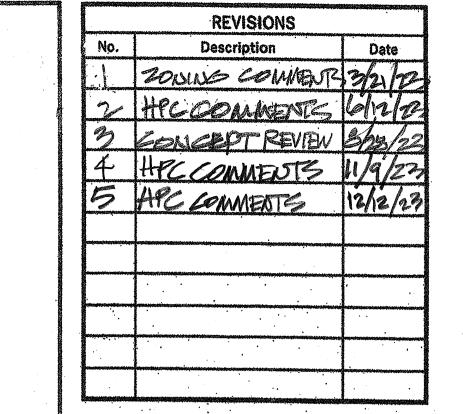
Island View to West



View to West Alley







19-4"

BR #4 0 8'-0" cle.

EXIST. BR #2 \$'-0" cle.

STORAGE 8'-0" CLG.

EXIST. BATH

EXIST.

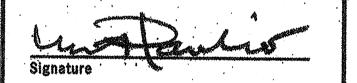
Second Floor Plan

Δla	ISSUES Description	
MO.	vescription	Date
1	ZONIK COMMENTS	3/2/2
2	HE GALMONTE,	3/12/2
7	CONCEPTREVIEW	8/28/2
4	HPC COMMENSES	1/9/2
5	HPC COMMENTS	12/2/2
		mengeneaugheens

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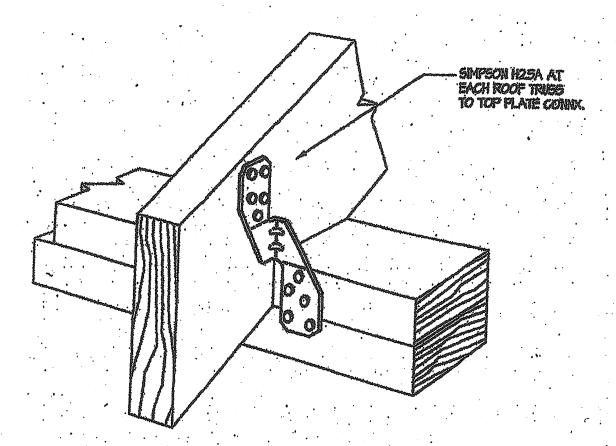
Proposed Renovations & Rear Addition to the Existing 2 1/2 Story **Wood Frame** Single-Family Dwelling Block #115, Lot #6 Use Group: R5 **Construction Type: 5B**

PROJECT NAME O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ

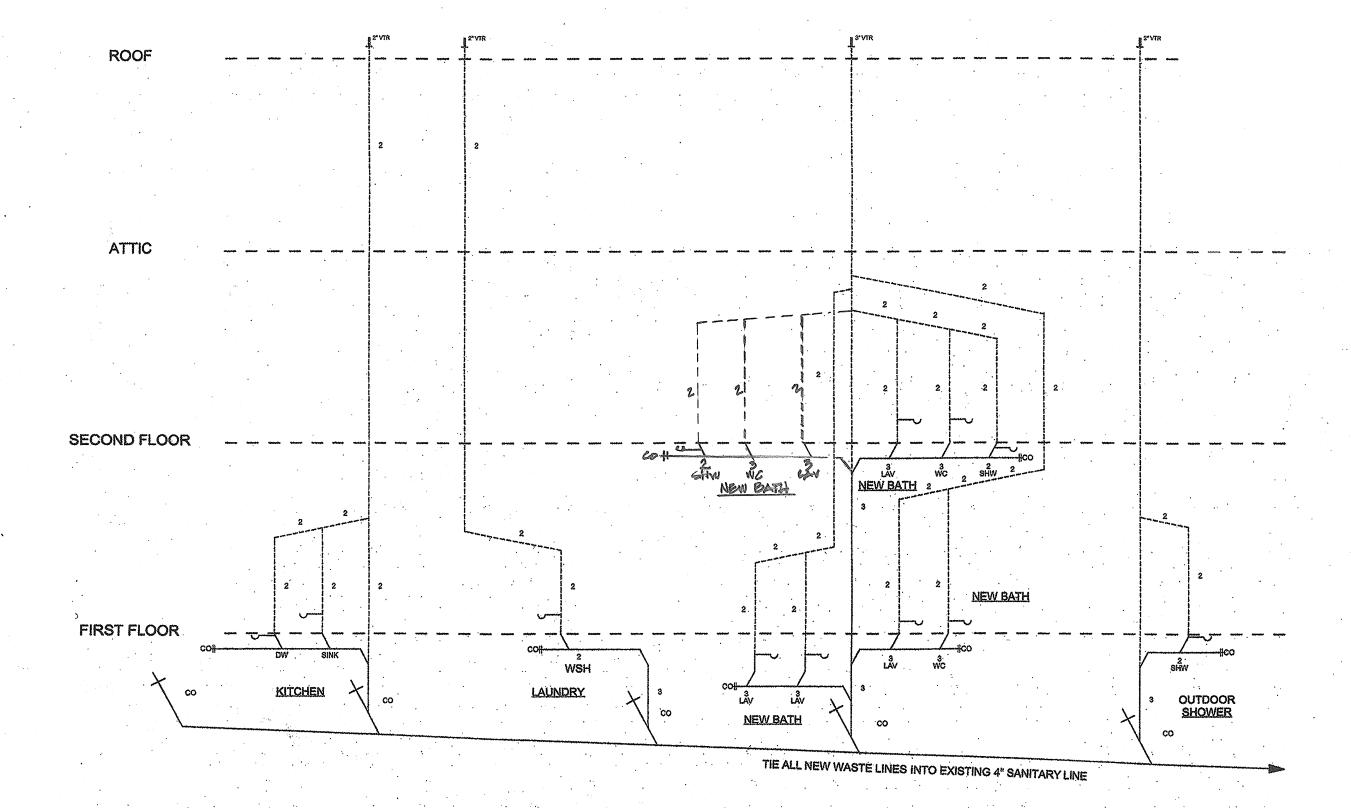
DRAWING TITLE

First & Second Floor Plans

SCALE As Noted	JOB No. 202299000
DATE 1/21/23	DRAWING No.
DRAWN BY	A4
CHECKED BY	***



Typical New Rafter Hold Down Scale: NTS

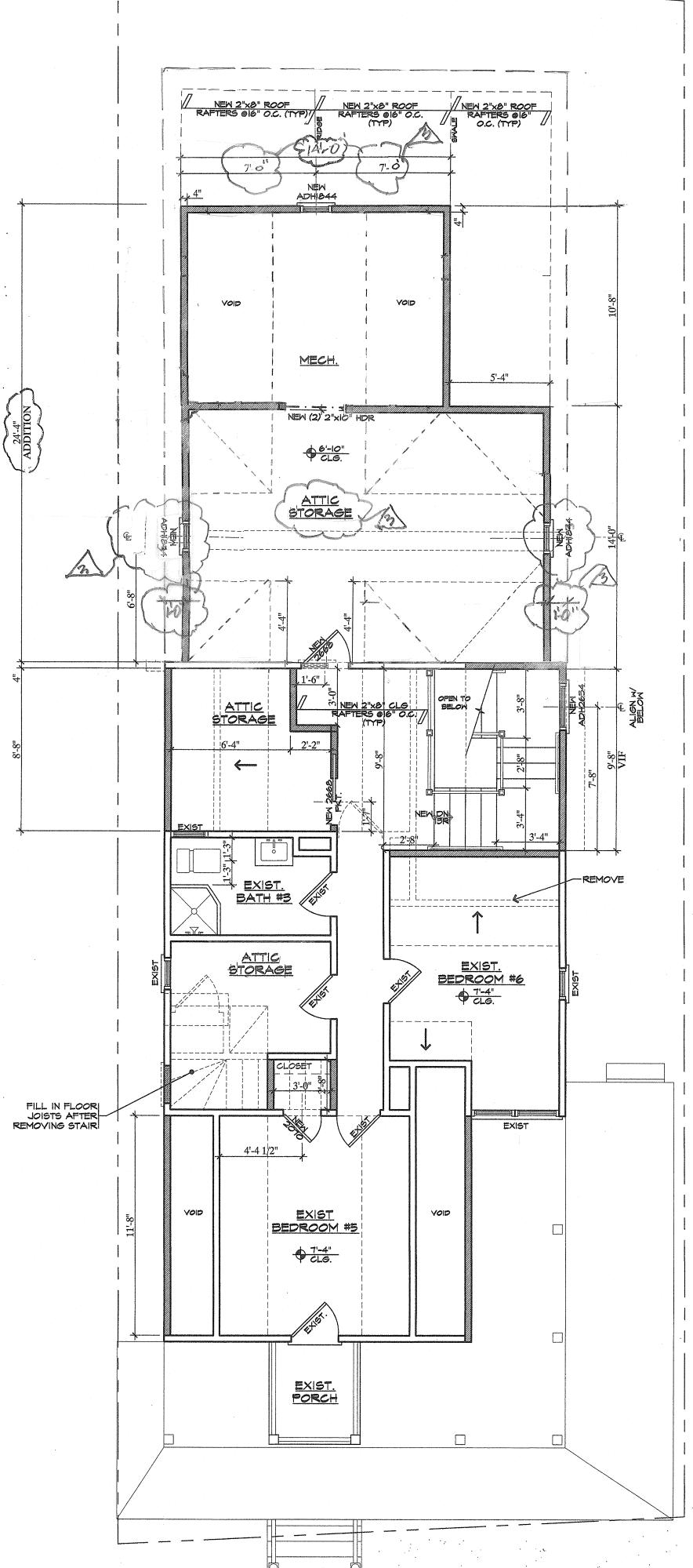


Design loads in accordance with the 2021 IRC/NJ Edition to be:

Snow and Roof Load: 20 pounds per sq. ft. Attic Live Load: 20 pounds per sq. ft. First Floor Live Load: 40 pounds per sq. ft. Second Floor Live Load: 30 pounds per sq. ft. Design Wind Load: 120 miles per hour All work to be in accordance with the 2021 IRC/NJ Edition

Smoke and Carbon Monoxide Detection:

Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



PROJECT NAME O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ Attic Plumbing Riser

SCALE .As Noted JOB No. 2022990078 1/31/23 **A5**

DRAWN BY
ELC/NAPAR

Window Sill Height Note:

Attic Level Plan

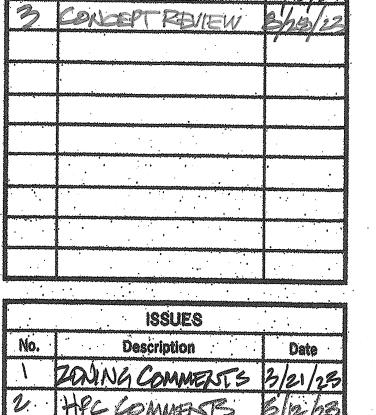
Scale: 1/4" = 1'-0"

Contractor to verify all second and attic level window sill heights to be at or above 24 inches of finish floor in accordance with

Plumbing Riser Diagram

Special Note:

Plumbing Riser diagram provided as a guide for filing of Plumbing Sub-code Permit Application, to be filed by Plumbing Contractor.



ZONING COMMENTS

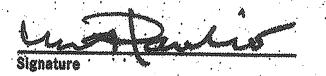
HP 6 COMMENTS

-		
No.	Description	Date
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Mark Alexander Pavliv, AIA

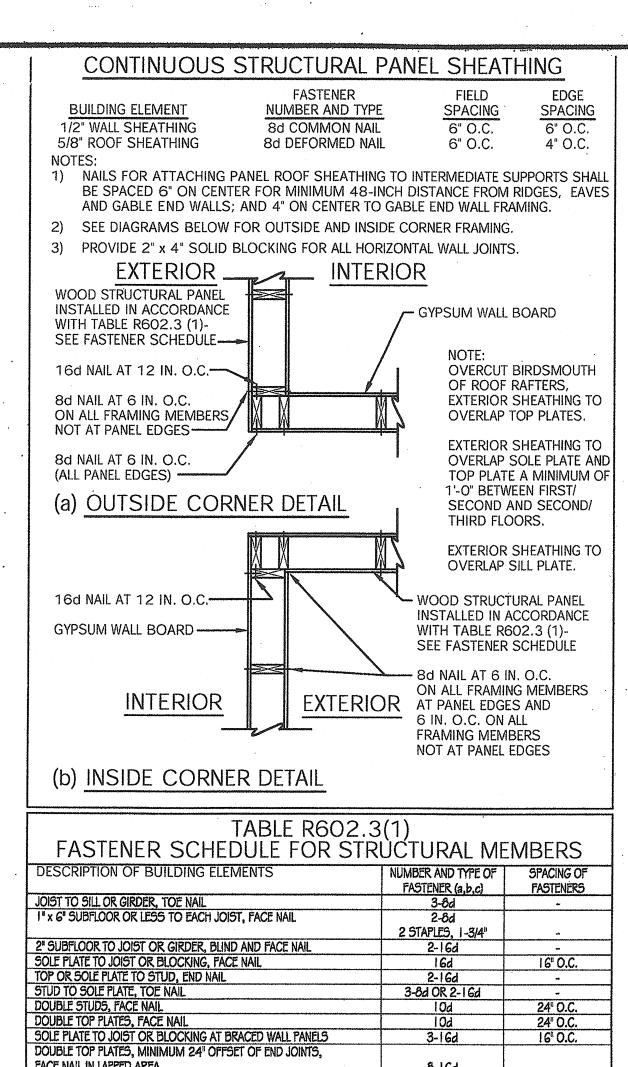
77 Main Avenue, Suite 101 Ocean Grove, NJ 07756

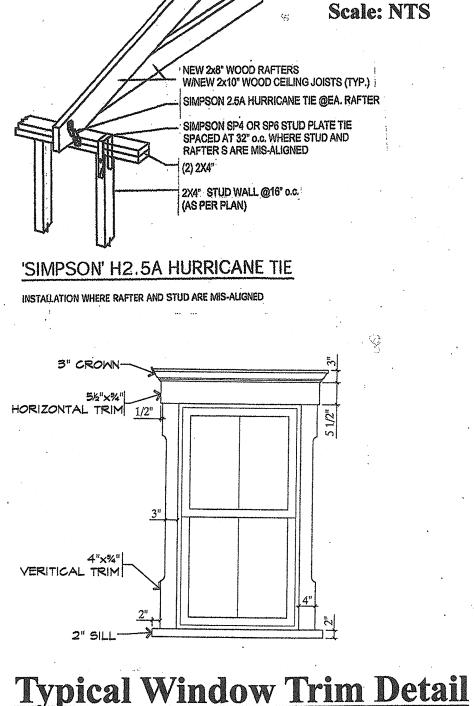
(732) 776 – 8777 NJ Lic No. AI00820300 springlakearchitect.com mp77aia@aol.com



Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling Block #115, Lot #6

Use Group: R5 Construction Type: 5B





Scale: 1/2" = 1'-0"

16" O.C. ALONG

EACH EDGE

24" O.C. NAIL EACH LAYER

as follows:

32" O.C. AT TOP

AND BOTTOM AND

STAGGERED. TWO

AND EACH SPLICE.
AT EACH BEARING

6 (g)

NAILS AT ENDS

SPACING OF FASTENERS

EDGES (INCHES) | INTERIVIEDINE (IN.)

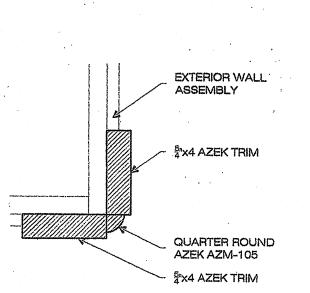
2 STAPLES, 1-3/4

2 STAPLES, 1-3/4" 2-8d

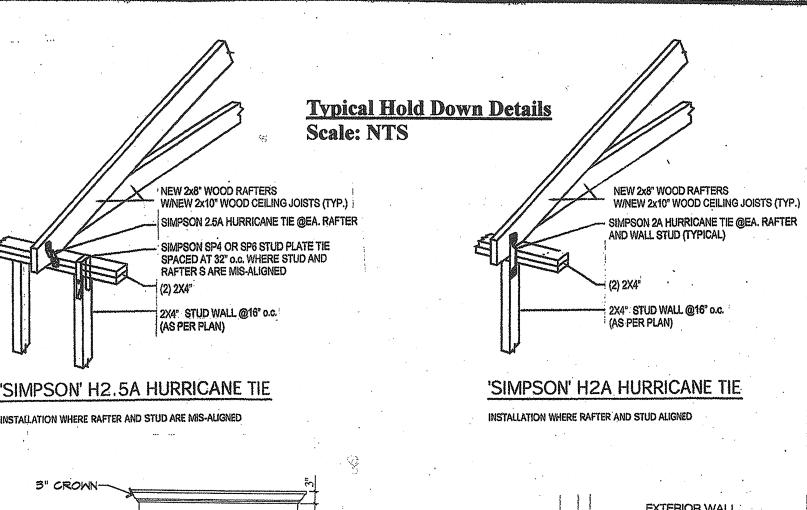
3 STAPLES, 1-3/4" 3-8d

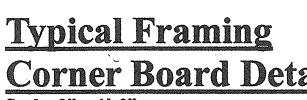
4 STAPLES, 1-3/4"

4-16d



Typical Framing Corner Board Detail





Shear Wall Schedule Mark Sheathing Type Fastener 8d common nails at 3" at sheet edges SW-6 One Side - 7/16" OSB 490 PLF 6" o.c. in field - edges blocked 8d common nails at 3" at sheet edges SW-6A Both Sides - 7/16" OSB 6" o.c. in field - edges blocked 980 PLF

Table 2.2A

Ratter/Bruss-to-Word Top Plate Connections									
m.m. 6	Tress Ross	UF/SP			SPF				
ftafter/ Truse Sparing		109-116 (mph)	111-120 (mph)	121 -130 (mph)	181 -140 (mpb)	100-110 (dam)	111-120 (mph)	121 -130 (mph)	
16°	20' 24'	•	H2.5A	HŽ5A	NB	· · · · · · · · · · · · · · · · · · ·		H2.5A	
	32'	H2.5A		N2.0A	H8	NO	H2.5A	H2.5A	H8
	38' 40'					H8	MTS12		
24"	20' 24'	H2.6A		• нв	MTS12	112.5A	118	Zarran.	
	32°	·	- H8	MTS12	HTS16	148	2650-10	MISI2	
	36' 46'	. H8	inois	HTS16	HT820	MTS12	1/11S12	HIIS16	

131-140 (mpb)

Double Top Pigte-to-Every Ciber Stud (One Story & Top of Two Stury)

100-110 (dgm)

Table 2.2A	5" HALF-RG
***************************************	3 HALF-H
121 -130 (mph)	
H2.5A	
H8 .	AZEK 1" x 8 TYPICAL A
MTS12	Fascia Gutter D
•	
- MIS12	Scale: 1 1/2" = 1'-0"

-	5" HALF-ROUND GUTTEF
-	
*	
-	
4	AZEK 1" x 8" FASCIA BOA TYPICAL AT ALL SOFFITS
-	Fascia Gutter Detail
	Scale: 1 1/2" = 1'-0"

•	AL AT ALL SOFFITS	1	12 15		
scia Gutter	Detail		14	17	
1 1/2" = 1'-0"		The second secon			
	W. A. Carlotte and		Waganaxonhahaman Care	ACCUPATION AND ACCUPA	
Hi Stud					
H6 Stud to Top Plate installation					
20					



Typical New Rafter Hold Down

Special Section Detail Notes:

EXISTS.

COLOR.

REQUIRED

Scale: NTS

1. PROVIDE NEW SHEATHING IN ALL

AREAS OF RE-SIDING WHERE NO SHEATHING

2. ALL GUTTERS AND LEADERS TO BE NEW

FACTORY WHITE FINISHED HALF ROUND

ALUMINUM WITH EXPOSED STRAP HANGERS

AND ROUND LEADERS IN A MATCHING WHITE

3. ALL EXPOSED WALL CONDITIONS WILL

REQUIRE THAT INSULATION IS TO BE

PROVIDED IN ACCORDANCE WITH ENERGY

4. ALL EXPOSED ELECTRICAL WIRING AND

SERVICE DEVICES WITHIN ALL EXPOSED

INTERIOR WALL PARTITIONS AND CEILINGS

ARE TO BE UPGRADED TO MEET CODE AS

Typical Kitchen Exhaust

10

13

W

5

10½ 9. 5¾

13 ½ 12 6 ¾

17½ 16 9¾

RS35350

Rail sections are available

Horizontal Rails, Structural

in 6', 8', 10' & 12'.

Rail Kits include:

15½ 14

3 1/4

8

6 31/4

B

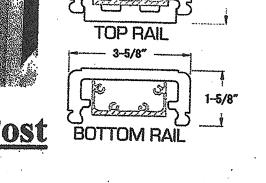
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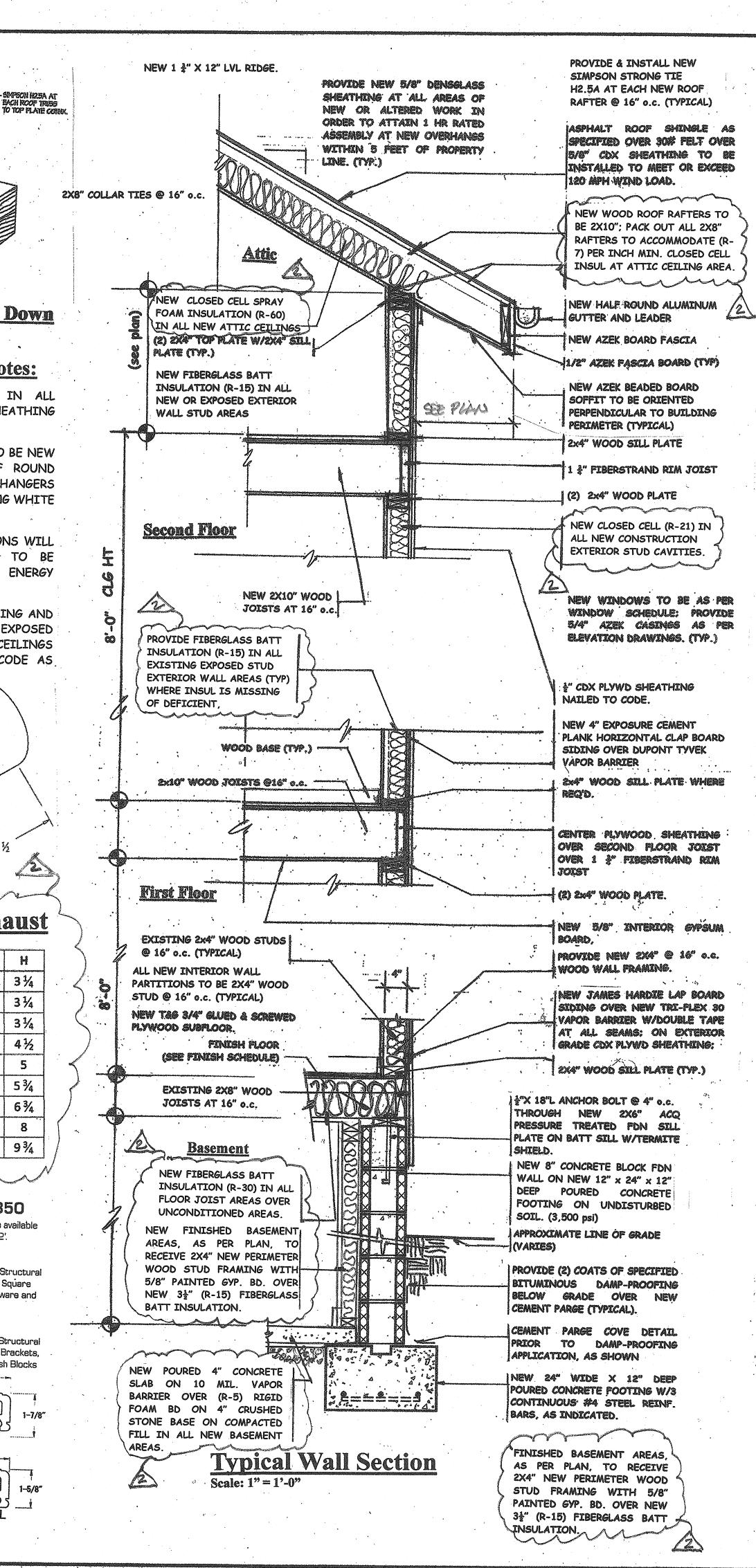
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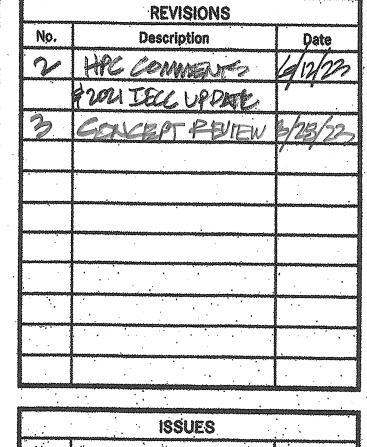
SIZE

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COMPLIANCE AND SPECIFICATIONS.





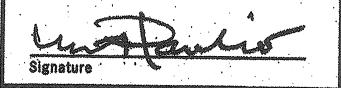


	ISSUES	
No.	Description	Date
V	HIC COMMENTS	6/12/23
	& 2001 IECC UPDATE	
75	CENCEPT REVIEW	3/24/23
		/_/

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Proposed Renovations & Rear Addition to the Existing 2 1/2 Story **Wood Frame** Single-Family Dwelling Block #115, Lot #6 Use Group: R5 Construction Type: 5B

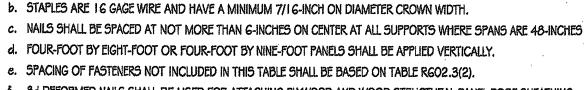
PROJECT NAME O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ

DRAWING TITLE

Typical Construction Section & Details

2022990072 As Noted DRAWING No. DRAWN BY A6 UNC/MP

CHECKED BY MO



NOTES FOR TABLE R602.3(1) FASTENER SCHEDULE:

FACE NAIL IN LAPPED AREA

BLOCKING BETWEEN JOISTS/ RAPTERS TO TOP PLATE, TOE NAIL
RIM JOIST TO TOP PLATE, TOE NAIL
TOP PLATES, LAPS AT CORNERS/ INTERSECTIONS, FACE NAIL
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER

CONTINUED HEADER, TWO PIECES

CEILING JOISTS TO PLATE, TOE NAIL

CONTINUOUS HEADER TO STUD, TOE NAIL
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL

RAFTER TO PLATE, TOE NAIL

1" BRACE TO EACH STUD AND PLATE, FACE NAIL

I" x 6" SHEATHING TO EACH BEARING, FACE NAIL

I" x 8" SHEATHING TO EACH BEARING, FACE NAIL

BUILT-UP CORNER STUDS
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS

2" PLANKS ROOF RAFTERS TO RIDGE, VALLEY OR HIP RATERS:

MATERIAL

OTHER WALL SHEATHING

1/2" GYPSUM SHEATHING (d)

5/8" GYPSUM SHEATHING (d)

5/16" - 1/2"

19/32" - 1"

3/4" AND LESS

FACE NAIL
RAFTER TIES TO RAFTERS, FACE NAIL
COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4"x20" GAGE RIDGE STRAP

WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING

DESCRIPTION OF

FASTENER (b,c,e)

Gd COMMON (SUBFLOOR, WALL)

8d COMMON (ROOF) (f)
Gd COMMON (GUBFLOOR, WALL)

8d DEFORMED (ROOF)

I-1/2" GALVANIZED ROOFING NAIL;

64 COMMON

I-I/2" LONG GALVANIZED STAPLE

1-1/4" SCREWS, TYPE W OR S 1-3/4" GALVANIZED ROOFING NAIL;

8d COMMON

1-5/8" LONG GALVANIZED STAPLE

1-5/8" SCREWS, TYPE W OR S

8d COMMON 8d COMMON

ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.

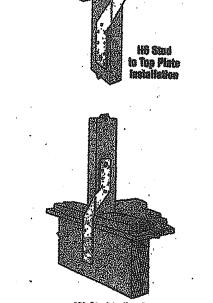
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING

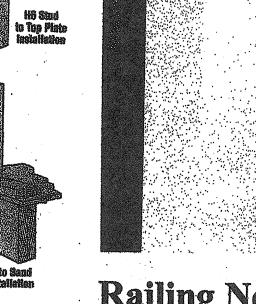
WIDER THAN I" x 8" SHEATHING TO EACH BEARING, FACE NAIL

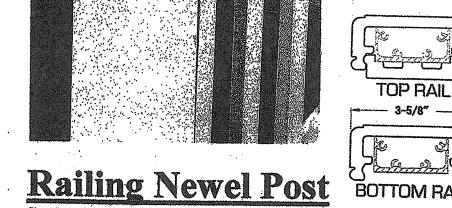
SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE RG02.3(2). 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MIN. 48-INCH DISTANCE FROM GABLE END WALLS.

NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MIN 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING. . GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253.

Hurricane Hold-Downs & Details







Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
FIRST FLOOR					
Reception Entry	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Living/TV Room	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Kitchen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Quartzite Countertops w/Custom Finish Cabinet
Family Dining Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Laundry	New Stone Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Half Bath	New Stone Tile	Painted Wood	Painted Gyp. Bd. 36" High Beaded Board Wainscot	Painted Gyp. Bd.	Vanity w/Stone Top
Stairwell to Second Floor	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stained Wood Hand Rail with painted newel post of painted square spindles;
SECOND FLOOR	The second secon				
New Stair/Hall Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Hall Linen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
MBR	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as required;
New MBR WIC	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Reframe floor joists;
MBR/Hall Bath	Existing	Existing	Existing	Existing	
BR #2	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as required;
New Hall Bath	New Stone Tile	Painted Wood	Full Stone Walls; in Shower Stall on WR Cement. Bd; 36" High Beaded Board Wainscot	WR Cement Bd. Stone Ceiling in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
New BR #3	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New BR #4	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Stairwell to Attic Level	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stained Wood Hand Rail with painted newel post a painted square spindles;
ATTIC LEVEL					
New Stair/Hall Are	a New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Attic Hall Storage	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
BR #5	Existing	Existing	Existing	Existing	Patch as required;
BR #6	Existing	Existing	Existing	Existing	Patch as required
New Mech Closet	Unfinished Plywd	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Reframe floor joists;
Hall Bath	Existing	Existing	Existing	Existing	
ATTIC STOR MEET	Unfinished Plynd}	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
BASEMENT					
Stairwell to	New Painted Wood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bike Storage	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Playroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	•
New Half Bath	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Mech & Storage	Epoxy Paint	N/A	Drylok Paint	N/A	

NOTES:	

⁻All interior trim, casings and baseboard profiles to be Painted Pine as detailed in profile approved by Owner.
-Provide Crown Moldings as per Finish Schedule. Crown moldings may be painted MDF in lieu of Painted Wood. -All references to "Hardwood" indicates new hardwood floors in finish to be selected and approved by Owner. -All references to "Stone" or "Tile" indicate all new stone or tile with final selection to be by Owner.

Interior Door Schedule Ouantity Dimensions(w x h) Thickness Door Type Material Room or Area Pattern/Style/Special Notes FIRST FLOOR Half Bath 24" x 84" (2070) 1 3/4" Hinged Wood 4-Panel **Pantry Closets** 24" x 84" (2070) 4-Panel Wood Mud Rm/Laundry 36" x 84" (3070) 1 3/4" Wood 4-Panel SECOND FLOOR MBR 28" (w/transom) 4-Panel Wood MBR WIC Wood 4-Panel 30" x 80" (2668) MBath 1 Existing 28" (w/transom) 1 3/8" Wood 4-Panel Hinged Hall Linen Closet 24" x 80" (2068) 1 3/8" Wood 4-Panel Hall Linen Room 1 30" x 80" (2668) 1 3/8" Wood Pocket 4-Panel BR #2 28" (w/transom) 1 3/8" Wood 4-Panel BR #3 30" x 80" (2668) Wood 4-Panel BR #3 Closet 30" x 80" (2668) 1 3/8" Wood 4-Panel HallBath 30" x 80" (2668) Hinged Wood 4-Panel 30" x 80" (2668) 1 3/8" Hinged 4-Panel Wood BR #4 Bath 30" x 80" (2668) 1 3/8" 4-Panel Hinged 24" x 80" (2068) BR #4 Closet 1 3/8" 4-Panel ATTIC LEVEL BR #5 1 Existing 28" x 80" (2468) 1 3/8" Hinged Wood 4-Panel **BR #5 Closet** 24" x 80" (2068) VIF 1 3/8" Wood 4-Panel BR #6 1 Existing 28" x 80" (2468) 1 3/8" 4-Panel Wood Hall Bath 4-Panel 1 Existing 28" x 80" (2468) 1 3/8" Hinged Wood Attic Mech Room 1 Existing 28" x 80" (2468) 1 3/8" Wood 4-Panel Undercut Hinged Attic Storage Room 1 32" x 80" (2068) 1 3/8" 4-Panel Pocket Wood Hall Linen Closet 24" x 80" (2068) 1 3/8" Wood 4-Panel ATTIC STORAGE? 30" x 80" (2668) 1 3/8" Wood 4-Panel Mech Access Panels 2 30" x 60" VIF 1 3/8" Insulated Wood 1-Panel w/Gasket BASEMENT LEVEL Storage/Mech Area 1 36" x 80" (3068) Louvered 4-Panel 30" x 80" (2668) 1 3/8" 36" x 80" (3068) Game/Play Room 4-Panel

Special Notes: Contractor to verify all interior door dimensions in field prior to placement of order and installation.

Closet under Stair 1

30" x 80" (2668) 1 3/8"

All interior doors to be 4 panel type or as other noted. Any upgrades and/or deviations from the above are to be submitted to Owner for review approval. All final hardware selections subject to Owner approval. Refer to provided Specifications for hardware and finishes.

Room or Area	Quantity	Manufacturer #	Glazing	Egress	SDL Detail	Type/Comments
FIRST FLOOR						
Reception Hall Are	ea 1	Existing	Existing	N/A	(see elevation)	Front Inswing Doo
	2	Existing	Existing	N/A	(see elevation)	Double Hung South
	2	Existing	Existing	N/A	(see elevation)	Double Hung E/W
Living Area	2	ADH2650 ADH2650	Low E4 Low E4	N/A	2 over 2 lite	Double Hung East
				N/A	2 over 2 lite	Double Hung West
Kitchen	1	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung West
Half Bath	1	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung East
Mud Rm/Laundry	2	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung
Side to Basement	1	Therma-Tru	Low E	N/A	4 lite	Outswing Door;
		36"x80" Benchmark	Tempered Glass		(see elevation)	Smooth/"Real Red
Family Dining Area	1 2	ADH2650	Low E4	N/A	2 over 2 lite	Double Hung North
•	(D) (ADH2650	Low E4	N/A	2 over 2 lite	Double Hung West
		FWID40611	Low E4 Tempered Glass	N/A	1 lite (see elevation)	Patio Doors North
	1	Simpson Wood Door	· Low E	N/A	2 over 3 lite	In-swing Door East
	*	2870	Tempered Glass		Upper Glass Panel	in-swing boot bast
SECOND FLOOR						
MBR	2	Existing	Existing	N/A	2 over 2 lite	Double Hung South
	1	Existing	Existing	N/A	2 over 2 lite	Double Hung West
	1 1	Existing Existing Door	Existing Existing	N/A YES	2 over 2 lite (see elevation)	Double Hung East In-swing Door Soutl
MBR WIC	1			9.000		
		ADH2030	Low E4	N/A	2 over 2 lite	Double Hung West
MBR Bath	1	ADH2648 VIF	Low E4	N/A	2 over 2 lite	Double Hung West
Stair Landing to Second Floor	1	ADH2648	Low E4 Tempered Glass	N/A	2 over 2 lite	Double Hung East
Linen Storage	1	ACW2638 Fire Rated	A STATE OF THE PARTY OF THE PAR	YES	faux 2 over 2 lite	Casement West
D.J	1	A DITOCAS	T. T. A.	NIA	A STATE OF THE PARTY OF THE PAR	The second secon
Bedroom #2	1 1	ADH2648 Simpson Wood Door	Low E4	N/A YES	2 over 2 lite 2 over 3 lite	Double Hung East In-swing Door South
	1	2670 VIF	Tempered	ILS	2 over 5 lite	m-swing Door South
Bedroom #3	3	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung
bear oom #5	T	FWHID29611	Low E4	YES	2 over 2 lite 2 over 3 lite	In-swing Door North
			Tempered	120	2 0 voi 3 iite	in swing boot from
Bedroom #4	2	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung North
(2 2	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung East
•	1	FWHID29611	Low E4 Tempered	YES	2 over 3 lite	In-swing Door East
Bedroom #4 Bath	(1	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung East
	And the second s	And the Control of th	and the same of th	A STATE OF THE PARTY OF THE PAR		and the second second
ATTIC LEVEL						
Bedroom #5	1	Simpson Wood Door	Low E4	YES	2 over 3 lite	In-swing Door South
· · · ·		2668 VIF	Tempered		_ 5.01 0 4400	Door South
Bedroom #6	1	Existing	Existing	N/A	2 over 2 lite	Double Hung East
	1	Existing	Existing	N/A	(see elevation)	Awning South
Mech Area	1	ADH2030	Low E4	N/A	2 over 2 lite	Double Hung West
ATTIC STOPAGE		ADH1834	Low E4	N/A	2 over 2 lite	Double Hung East
	Passand passand	ADH1834 ADH1834	Low E4	N/A N/A	2 over 2 lite 2 over 2 lite	Double Hung North Double Hung West
BASEMENT LEVEL						<u> </u>
	A1	A ANIOO10 XVIII	Ι Γ	N T/ A	1 114-	D
	4 replace	AAN3218 VIF	Low E	N/A	1 lite	Basement Utility
Mech/Storage Area						
Basement Bath	1	AAN3218 VIF	Low E4	N/A	1 lite	Basement Utility

Special Notes:

Window sizes as per Schedule to be verified in field by Contractor. Screens are to be provided throughout. Window Designations are referencing Andersen Windows and Doors - A-Series unless otherwise noted or approved by the Architect. All windows and doors to be factory clad exterior with factory finished interior. Exterior window frame and sash colors to be as approved by HPC.

Andersen windows and doors to be fibrex clad solid core wood with full divided lites with spacer bars and be manufactured with High-Performance Insulated Low-E4 Glazing, rated for maximum fade resistance, and have a factory painted white interior finish as manufactured by Andersen Windows and Doors. Provide window sash configuration as per elevations and provided Window Schedule as approved by HPC and Architect. Exterior Door and Window Sash color to be A-series "Red Rock" and Therma-tru "Real Red" subject to final approvals.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. Exterior door hardware and locksets to be black, or as otherwise selected and approved by Owner and with black interior finish. All exterior hardware finishes are to be acceptable for exposure to salt air with warrantee against pitting. All new door hardware to be provided and installed by the Contractor.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval. Manufacturer's shop drawing and order list is to be submitted to Architect for review prior to placement of final order. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Therma-tru exterior doors are to be provided where noted on Schedule and subject to Shop Drawing approval by HPC and Architect. Simpson exterior doors are to be provided where noted on Schedule and subject to Shop Drawing approval by HPC and Architect.

5" CROWN	
HORIZONTAL TRIM 1/2"	
3"	
VERITICAL TRIM	
2" SILL 2"	

Exterior Casing Detail Scale: 1/2" = 1'-0"

4-Panel

PROJECT NAME

O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ

REVISIONS

3 GONGET PEVEN BABAS

ISSUES

Description

HPC COMMENTS

CONST REVIEW

| Mark Alexander Pavliv, Al/

77 Main Avenue, Suite 101

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Proposed Renovations

& Rear Addition to the

Single-Family Dwelling

Construction Type: 5B

Existing 2 1/2 Story

Block #115, Lot #6

Wood Frame

Use Group: R5

Date

Date

6/12/23

Description

2 HPC COMMENTS

DRAWING TITLE Interior Door, Window & Finish Schedules

SCALE As Noted 2022990075 DATE 1/23 DRAWING No.

LINC/EP/MP CHECKED BY

Owner Submittal Requirements:

Contractor to provide sample and associated catalog information to Owner for final selection of any and all items not specified or discontinued by manufacturer at time of construction, including Soffit Brackets, Exterior Light Fixtures, all Moldings and Decorative Trim Hardware prior to the order of material.

Special Conditions:

Owner to Purchase and Supply the following:

- Kitchen cabinetry;
- Stone counter tops: - Bathroom fixtures, accessories and faucet/shower fittings;
- Bathroom sink vanities:
- Medicine cabinets:
- Kitchen appliances. - Interior stone flooring and wall tile;
- All surface mounted fans and lighting fixtures:

Owner's cabinetry fabricator to be responsible for installation of cabinets and counter tops. Contractor to also be responsible for installation of all other items purchased and supplied by the Owner as listed above, unless otherwise determined by Owner.

Contractor to be responsible for the storage and protection of all above items upon and after delivery to the project site until issuance of the final Certificate of Occupancy.

All exposed balloon stud framing to be fire blocked. Any partition stud framing found to be less than 3 1/2" in depth shall be paired with new 2x4" wood stud framing.

Specifications:

Division 1 - General Conditions All work to comply with the 2021 International Residential Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, the General Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

All construction permits are to be procured by General Contractor and paid by Owner.

The Contractor is responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist the Contractor in the implementation of the project.

Lead Paint, Asbestos or other Hazardous Material:

Contractor responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

Demolition and Removals:

All existing partitions, fixtures and finishes within the proposed area of work graphically indicated on plans or otherwise required to be removed to complete the proposed renovations, are to be removed.

Contractor is responsible for the provision and associated costs of all required demolition, dumpsters, removals and disposal of debris in accordance with local regulations.

Division 2 - Site Work

Site Work: Contractor to restore any and all disturbed grade conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Site work by Contractor to include setting of new AC Unit pads and installation of new walks as indicated on site plan.

Controlled roof drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site in accordance with R801.3.

Division 3 - Concrete

Footings: New footings, where indicated on Foundation Plan. are to be poured concrete suitable for soil bearing capacity of 2,500 lbs/sf min. Contractor to verify at site. All footings to sound bearing to 3'- 0" below grade. New footings are to be 12" deep with continuous #4 steel reinforcement bars, as indicated in details, and with a minimum of 16" overall width or as otherwise shown on plans and be of an ultimate strength of not less than 3,000 psi in 28 days.

Concrete Block (CMU):

All new concrete block to be new 8" as indicated on Basement Foundation Plan. Solid core full with poured concrete at all point load bearing locations.

Concrete Slabs:

Fill compaction at concrete slabs to be 90% maximum density with modified proctor test ASTM D-698 or 95% maximum density with standard proctor test ASTM D-698. Provide 4" new poured concrete slab in all basement floor areas with new poured concrete slab on 6 mil vapor barrier over 5" compacted and levelled base.

Division 4 - Masonry

Defective or deficient existing masonry foundation conditions are to be repointed and repaired. Additional found defective and deficient foundation conditions are to be brought to the attention of the Architect.

Existing Flue/Chimney:.

Existing to be removed and replaced with new direct vents through basement foundation walls.

Division 5 - Metals

Contractor to provide hurricane/wind rafter tie downs at new framing in accordance with R802.11 or as otherwise noted in Typical Section Detail.

Fasteners & Hangers:

All metal hangers and other ties and connectors to be as manufactured by "Simpson" or equal or as otherwise approved by the Architect.

All metal hangers and other ties in contact with pressure treated ACO lumber shall be zinc coated and compliant with ASTM A-153 so as to be compatible with ACQ as required.

Division 6 - Woods & Plastics

All new framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. All new porch deck framing to be erected with new Pressure Treated 40 year tagged material.

Nail applications to Code. All replacement sill plates in areas where foundation walls are to be reconstructed, and are to be in contact with concrete foundation, shall be ACO Pressure Treated.

New window and door headers to be a minimum of two (2) 2"x10" or 3 ½" x 9 ½" LSL or as otherwise approved by the Architect due to field conditions.

Use of long span manufactured lumber and laminated beams as an alternate or in deviation from that specified on the drawings is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect prior to such substitution or change.

Contractor to utilize wall bracing panel construction method R602.10.3 which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition and comply with 120 mph three (3) second wind gust

New exterior wall sheathing to be 5/8" CDX plywood nailed to Code. Sheathing on any exterior walls within 5'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Such wall assemblies shall be 1-hour fire rated for exposure on both sides.

Exterior new wall sheathing to be nailed to Code at 6 inch o.c. Alternative Sheathing to be OSB Windstorm oriented vertically to minimize horizontal blocking requirements,

Any new sub-floor to be 3/4" T&G applied and fastened with screws and glued. Use of OSB Gold Edge Bond is an acceptable alternate. All screws to be spaced at 6" to Code.

Exterior Architectural Trim:

All new ornamental architectural trim, brackets, window, drip and door caps and articulated door and window surrounds, as shown on the Elevations and Details to be synthetic polymer as manufactured by Azek, or approved equal and painted as specified. Approved equal subject to review by Architect. All window and door surrounds to be 5/4" thickness in order to attain proper dimensional relief and to conform to casing details provided in plans. All staple holes and fastening dibits to be filled and sanded in preparation of application of paint.

Porch Floor and Entry Stair Planking:

New exterior rear first floor covered porch area deck surface and stair treads and to be tongue and groove 3 ¼ x 5/4" mahogany in stain finish. New porch decking surfaces to pitch to drain at 1/8" per foot minimum. New stairs to be box type constructed utilizing matching T&G treads and painted synthetic polymer risers and stringers.

Division 7 - Thermal & Moisture Protection Energy Code compliance to be in accordance with RESCheck as provided in the construction documents for the 2021 IECC Zone 4. Compliance shall conform with all ratings and description.

Insulation:

Provide insulation at all new areas of framing and at all exposed exterior perimeter walls in existing areas of dwelling with new 3 ½" fiberglass batt type with a R-15 rating in 4" exterior wall cavities when existing insulation found to be missing or otherwise compromised.

Provide R-30 insulation in all basement, ceilings and at floor areas over unconditioned spaces where work is to be performed. Apply R-60 ceiling and R-21 wall spray foam closed cell insulation in all areas of proposed rear addition.

A MARINE THE PROPERTY OF THE PARTY OF THE PA Application of caulk at any new or modified window and door perimeters as well as other through wall penetrations and joints are subject to approval by the Architect on-site. Charles are subject to approve of the race of the Exterior Siding and Other Facings:

Exterior siding shall be installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone. New siding to be cement shingle to replicate existing pained asbestos shingles in areas of new work and proposed addition. Where approved by HPC, new clap board siding to be smooth faced 4" exposure fiber

cement manufactured by James Hardie Corporation.

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings. All siding and trim to match existing. Any deviation is subject to approval by Architect and HPC.

New GAF self sealing Timberline Ultra asphalt shingle roofing to match existing dwelling.

All new roofing shingles shall match existing and conform to ASTM 3462 with a minimum of 6 fasteners per shingle.

Existing Roofing:

Contractor to remove any existing roofing where noted on plan and properly dispose once removed.

Vapor Barrier Paper and Wraps: Contractor to install Henry Company Blue Skin at all roofing sheathing prior to application of roof shingles. All exterior wall sheathing to receive Henry Company Blue Skin or as otherwise approved by Architect, with all seams and methods of installation in accordance with manufacturer specifications. Install ice and water shield over all roof conditions with a slope of less than 4 over 12.

Shower Stall Fiberglass Application and Pan:

New bathroom shower, bench and integral shampoo storage recess features to be fiberglass formed and water tested for inspection prior to tile application. All shower stalls to receive tile on full wall height, floors and ceilings.

Division 8 - Doors & Windows

New or replacement windows and doors shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

Where required or otherwise noted on plans, egress windows shall be provided with an operable window vent or sash having a sill height of not more than 44 inches, and have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Any new windows to be manufactured with raised 7/8" full divided lite solid core wood units, where indicated, and be Low-E4 insulated clear glass with spacer bars and be as manufactured by Andersen Windows and Doors, A-Series in red rock outer sash color as approved by HPC, with factory finished white interior. Sizes for windows to be verified in the field or as otherwise identified on plans.

Contractor is responsible to verify provided window designations, egress compliance and sizes in field and notify Architect of any conflicts. Screens at any new windows are to match exterior sash color to be provided by Contractor. Interior window hardware to also be factory finished white.

All new sash glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Contractor's window vendor to prepare detailed shop drawings of all new or replacement windows and doors for review and written approval by the Architect prior to placement of orders.

Solid Panel Interior Doors:

All new doors to be pre-hung four-panel solid core wood in natural finish, as approved by Owner. Door height and width dimensions, as noted on Interior Door Schedule.

All specified new or replacement doors to be as indicated on Exterior Door Schedule and elevations, as manufactured by Simpson and Therma-tru Doors.

Attic Access: Attic access to attic mechanical spaces to be provided with a minimum of 22" x 30" in clear opening. All access openings, panels and doors to have insulating gasket at door perimeter to assure tight fit and eliminate both air and mechanical noise transmission.

Division 9 - Finishes

Gypsum Board: All new interior Gypsum Board to be screwed and glued and be 5/8" minimum unless otherwise noted on plans or Typical Wall Section Detail or fire rating requirements for

exterior walls within 5 feet of side and rear property lines. New Interior Staircase: New Oak treads to be finished to match wood flooring. Risers to be painted Poplar wood. Railing to include a top

articulated profile handrail to be stained hardwood in Owner's stain color choice. Balustrade spindles to be painted wood spindles to be selected by the Owner.

Interior Trim, Moldings & Hardware:

All new window and door casing and base trim to be new painted clear grade primed poplar wood and finished to highest quality and match existing. Sample to be approved by Owner. Any and all field conflicts and special conditions are to be brought to the attention of Architect. Trim with wood knots will not be acceptable.

Hardware to be as manufactured by Baldwin or equal. Hinges to be five (5) knuckle type. All hardware to be matching "satin nickel finish" with glass knob detail when approved by Owner. All room locksets to be passage type, with privacy locksets in all bathrooms and all Bedrooms. Contractor to submit samples of all hardware to Owner.

New Wood Flooring:

Interior wood flooring to be 2 1/4" Red Oak of highest quality and finished as per Owner. Provide minimum of 3 coats of satin polyethelene finish, in areas as indicated in the Finish Schedule. Sample of finished wood floor product to be provided for approval by Owner.

Install all new floor and wall tile, as provided by Owner, in accordance with the Finish Schedule. Utilize mortar set application method. All tile to be cleaned and sealed.

New Glass Shower Door:

Provide and install new frameless shower door with clear tempered and coated 3/8" glass as per Finish Schedule.

Kitchen/Vanity Countertops:

Countertop slabs to be 3/4" Quartzite, or other stone material, with edge detail and color, as selected by Owner. Fabricator to assist Owner in selection of edge detail.

Interior Panel Wainscot:

Proposed interior wainscot panels to utilize poplar veneer and moldings to attain 36" wall height with chair rail as detailed and/or specified in Finish Schedule. Interior wainscot wall panels to be applied to gypsum board walls. Sample panel to be provided in field for review and final approval by Owner. Wainscot Panels to be painted as specified and coordinated with placement of all openings, doors, window, crown and base trim.

Closet Rods & Shelving:

All interior bedroom, broom, linen and storage closet shelving to be factory finished white melamie board with steel hanging rods. Use of particle board is not acceptable.

All interior walls to be primed and receive two coats of Benjamin Moore latex flat paint. Interior moldings, wainscot, window and door casings, and trim to receive two (2) coats of Benjamin Moore satin enamel paint.

Contractor to utilize eggshell finish in all bath areas. Ceiling to be primed in areas of new gypsum board application and receive two coats of Benjamin Moore ceiling white. All paint colors and finishes subject to approval by Owner.

The areas not to be covered with facing material are to be painted with two coats of Benjamin Moore Latex or equal.

Exterior Railing Systems: All new exterior railings, at proposed addition, to be painted Intex flat top "Dartmouth Style" with square spindles to match existing. Provided dual top horizontal rail at new 36" height, where noted on elevations at areas of new work.

Utilize stainless steel nails and staples in all related assembly. No exposed screws, plates nor others metal fasteners are to visible. Use of vinyl railing and vinyl railing couplings, end plates, or "rosettes" is not permitted. Use of any screws shall require screw head location to be counter-sunk and plugged with wood or synthetic polymer plugs.

Exterior Window Crowns, Casings & Surrounds: All new ornamental architectural trim, crowns, window,

drip and door caps, and articulated door and window surrounds, as shown on the elevations and details, are to be synthetic polymer as manufactured by Azek and be 5/4" in thickness in order to attain proper window and door casing dimensional relief, and be in color as approved by HPC Resolution. New crowns and sills to have one half inch extensions, as per Typical Window Trim Detail. All new porch and overhang soffits to be Azek beaded board.

Porch Lattice Panels:

New dimensional lattice panels to be 3-D composite type framed at all perimeter edges with painted Azek material.

Gutters and Leaders:

Contractor to provide new 6 inch aluminum half-round type gutters with outlet and connection to drain as per local requirements to replace all existing or failed gutter conditions. Color to match fascia and corner boards and be approved by Owner and Architect.

Porch Columns and Posts: New Columns to be turned 6" square load bearing type as manufactured by HB&G or Architect approved equal. Structural and cross framing within the rear gable assembly to be 6" ACQ material clad with Azek facings and wraps and be chamfered at all extended runs as required by HPC.

Bathroom Fixture Fittings and Trim:

All bathroom fixtures, trim kits and fittings to be selected and provided by Owner and installed by Contractor. All bathroom fixture fittings and accessories to be fabricated of solid brass and of same style and series and be of matching finish as selected by Owner.

All bathroom fixtures by Kohler, Memoir Designer Series or equal as selected by Owner. All trim and fittings to be satin nickel finish by Rohl, or equal. All fitting finishes to be selected by Owner. Provide scald proof diverters with thermostatic type valve controls at all shower heads.

Contractor to install double stud on the flat behind grab bar fastening points to attain a 200 pound static load where grab bars, towel bars and paper holders are to be provided.

Medicine Cabinets: All medicine cabinets to the recessed into walls where

indicated on plan, and be framed as provided by Owner but installed by Contractor. Any exterior recessed medicine cabinets to maintain insulation continuity.

All specialty systems are to be established and designed by

others but may be included into scope of work by Contractor upon the Owner's request.

Division 10 - Specialties

Provide all wiring for all TV/Cable locations as required in all locations noted on all floor plans. Refer to electrical floor plans for all locations. Provide flat panel wall boxes (PWB) in proposed wall mounted digital TV flat screen positions. All TV/Cable boxes, wiring, modems or devices for remote operation are installed by Cable TV provider as per Owner.

Provide one new (1) Cat6 Internet hook-up with wireless modem capabilities at to be determined by Owner.

Security system to be provided by others, and as determined and approved by Owner.

Second Floor Fiberglass Porch Deck:

Porch deck to receive two coats fiberglass on 3/4" CDX plywood screwed to structural joist floor framing with aluminum flashing and counter-flashing at building edge. Upper floor porch deck to pitch to drain at 1/8" per foot minimum. Color to complement exterior siding, as approved by HPC.

Acoustic Treatments: Provide open full batt insulation to serve as sound

attenuation at all interior bedroom walls and floors between all floor levels and the walls at baths where framing cavities are exposed or associated with the new construction.

Division 11 - Equipment Kitchen Cabinetry:

Kitchen cabinetry to be as per plan with door and hardware style as selected by the Owner. Cabinet fabricator to provide samples and shop drawings for approval prior to manufacture. Contractor to be responsible for coordination of all appliance dimensions with the cabinet fabricator. Contractor to be responsible for the storage and protection of all cabinetry delivered to and while stored on site.

Kitchen Appliances:

All appliances to be purchased and supplied by Owner and installed by Contractor. Cooktop Range to be Gas. Wall Oven, Microwave, Dishwasher, Beverage Center, Icemaker and Washer/Dryer to be Electric.

Division 12 - Furnishings Not included.

Division 13 - Special Construction Not included.

Division 14 - Conveying Systems Not included.

Division 15 - Mechanical/Plumbing **Existing HVAC Modification:**

General Contractor to coordinate all new HVAC systems as required to accommodate proposed renovations. Unless shown on these drawings, all mechanical work such as, but not limited to heating and air conditioning engineering, are to be established and designed by others.

approved by the Owner and Architect. Contractor to provide and install a new direct vent gas fired 3-zone system, and be 90% AFUE to be approved by Owner prior to purchase of equipment and installation.

Final location of ductwork, returns and equipment are to be

Contractor to provide Heat Pump System with high velocity ductwork configuration for both heating and cooling requirements.

HVAC Zones to be as follows: Zone 1: First Floor

Zone 3: Attic Level

Zone 2: Second Floor

Thermostat Controls: Each zone to receive an individual Smart Thermostat as manufactured by "Honeywell" or equal and verified to be compatible with system and capable of remote monitoring.

New air conditioning system to be certified with a minimum

SEER of 13, with low db noise emission rating and up-flow

Air Conditioning:

design with Neptune Township Zoning Approval. Deviation from specified condenser unit as shown on plans must be submitted for approval by local Zoning Officer. **Ductwork:** All supply vents to be either floor or ceiling mounted and

shall <u>not</u> be located in perimeter exterior walls unless fully insulated and encapsulated with insulation assembly equivalent to the R value of the Typical Exterior Wall Section as illustrated in the Construction Documents.

Supply ducts in unconditioned basement and attics are to be insulated with a minimum of R-8. All other ducts are to be insulated with a minimum of R-6 for compliance with the Energy Code.

Duct joints and connections to flanges of air distribution equipment are to be mechanically fastened and sealed. All other joints, seams, and connections are to be securely fastened with welds, gaskets, mastics or tapes. Tapes and mastics to be rated UL 181A or UL 181B.

review and approval by Architect and Owner. Contractor to coordinate all placement and connections to all HVAC systems as required and verify positioning of

ductwork so as to be compliant with current Energy Code.

demand gas-fired hot water heaters by A.O. Smith or equal,

Installation of all new forced air insulated ductwork system

and final alignment of supply and return diffusers subject to

Hot Water Heating: Contractor to provide and install two (3) new tankless on-

of capacity to adequately service all hot water requirements. General Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by

Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC

Water and Sewer Lines:

Contractor to verify adequacy of existing services and include any re-alignment, replacement, re-lining and trenching, when required due to replacement of service.

Water Pressure:

Contractor to verify adequacy of existing water pressure.

Piping & Plumbing:

All supply lines to be in compliance with Code. Contractor may utilize PVC with acoustical wrap and drop sound deadening interventions. Work to include all required copper piping, fittings and equipment. Use of Pex piping is an acceptable alternate. Scope of work to include supply and installation of all piping, pipe fittings and equipment.

Provide all connections to dishwasher, refrigerator, and other components requiring plumbing hook-up as per proposed scope of work indicated on plans. Contractor to abandon and remove any remaining galvanized water supply piping and replace with new piping.

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F to be insulated with R-3. Contractor to include all copper piping, materials and related fittings and equipment.

Owner to supply all bathroom fixtures, sinks and toilets, kitchen sink, laundry sink, washer, dryer and all related faucets, towel bars, paper holders, robe hooks, medicine cabinets and related items for installation by Contractor.

New Laundry Area Floor Pan and Drain: Install floor drain under washer in laundry area.

Division 16 – Electrical

Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

Electrical Service:

Contractor to verify existing electrical service prior to preparing an application for construction permit. Contractor confirm and provide a minimum 200 Amp Electrical Service. Panel schematics to be prepared and filed for permit by Electrical Subcontractor.

Electrical HVAC Connections: Contractor to provide all electrical hook-up as indicated on plans including HVAC equipment.

Electrical Wiring and Requirements: Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner, Electrical Contractor and Architect are to review all switch, receptacle, recessed and surface

mounted fixture locations for final approval. All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be

provided where required by Code and noted on plans. Provide and install dimmer switch controls where indicated on electrical schematic plans. All electrical wall switches to be rocker type, or as otherwise requested by Owner.

Lighting Fixtures: All surface mounted fixtures to be supplied by the Owner

and installed by the Contractor. All new recessed LED lighting to be maximum of 5" aperture with white trim kits and reflectors. Provide 4" aperture lighting housings over kitchen counter areas as

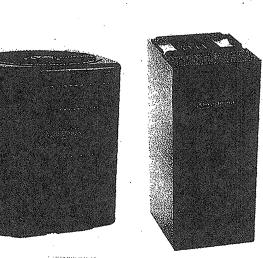
noted on electrical plans. All under cabinet or in cabinet lighting to be supplied by Contractor to match cabinet color and be approved by Owner prior to installation. Under cabinet lighting to include linear convenience receptacle strip. All recessed lighting to

Any new paddle ceiling fans to be supplied by Owner and installed by the Contractor.

be as manufactured by Halo or Architect approved equal,

Exterior Lighting Compliance Note: All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

Electrical Life-safety System Connections: Carbon Monoxide and Smoke Detection Alarms to be provided at each floor level in common hallways within the adjacency of all sleeping areas and within 10 feet of all bedroom entry doors, as required by Code and indicated on the floor plans.



Scale: NTS

SEER Heat Pump GSZ140241, Upflow. Downflow, Horizontal Air Handler ARUF25B14 Brand: Goodman

Goodman 2 Ton 14

Up-flow AC Condenser Unit

2 HPG COMMENSES \$2001 IECK UPDATE CONCLOT PENTEW 8/23/22

REVISIONS

Description

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No.	Description	Date
V	HPC COMMENTS	6/12/23
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Proposed Renovations & Rear Addition to the Existing 2 1/2 Story **Wood Frame** Single-Family Dwelling Block #115, Lot #6 Use Group: R5

Construction Type: 5B

PROJECT NAME

DRAWING TITLE

O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ

Specifications JOB No. As Noted

1/31/23 DRAWN, BY MYLOP

CHECKED BY

2022990078 DRAWING No.

A8