

General Notes

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.

3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.

5. SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.

6. THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.

7. THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.

8. UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.

9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

Special Notes

INDEMNIFICATION CLAUSE:
THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

PERMITS AND RELATED FEES:
CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:
USE OF THESE CONSTRUCTION DRAWINGS IS LIMITED TO THE PROJECT SITE INTENDED. ALL COPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANDER PAVLIV, AIA AS ARCHITECT OF RECORD. REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Legend

	WALLS TO BE REMOVED
	EXISTING WALLS
	NEW WOOD STUDS WALLS
	EXISTING WINDOW LOCATION
	NEW WINDOW LOCATION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
	STRUCTURAL BEAM
	JOIST FRAMING
	ROOF OVERHANG OR SOFFIT LINE
	ELEC. WALL SWITCH
	ELEC. WALL DIMMER
	ELEC. 3 WAY SWITCH
	ELEC. WALL OUTLET
	ELEC. FLOOR OUTLET
	ELEC. HALF-HOT WALL OUTLET
	CEILING MOUNTED LIGHT
	BRACKET/WALL MOUNTED LIGHT
	RECESSED CEILING LIGHT
	RECESSED DIRECTIONAL LIGHT
	EXHAUST FAN/HEAT LAMP
	SMOKE DETECTOR
	TV/CABLE JACK
	TELEPHONE JACK
	DUAL FLOOD/MOTION LIGHT
	SECTION CUT

FLOOR AREA CALCULATIONS:

	EXISTING	PROPOSED	PERMITTED
First Floor:	799.2 sf	1,190.5 sf	
Second Floor:	649.2 sf	1,190.5 sf	
Habitable Attic:	249.0 sf	374.0 sf	
Total Area:	1,697.4 sf	2,755.0 sf	N/A

Covered Front Porch	354.0 sf	354.0 sf Same	N/A
Covered Rear Porch	26.7 sf	148.3 sf	N/A

TOTAL PROPOSED VOLUME of ADDITION:

First Floor:	4,468.7 cf
Second Floor:	3,970.4 cf
Habitable Attic:	1,336.0 cf
Total Volume:	9,775.1 cf

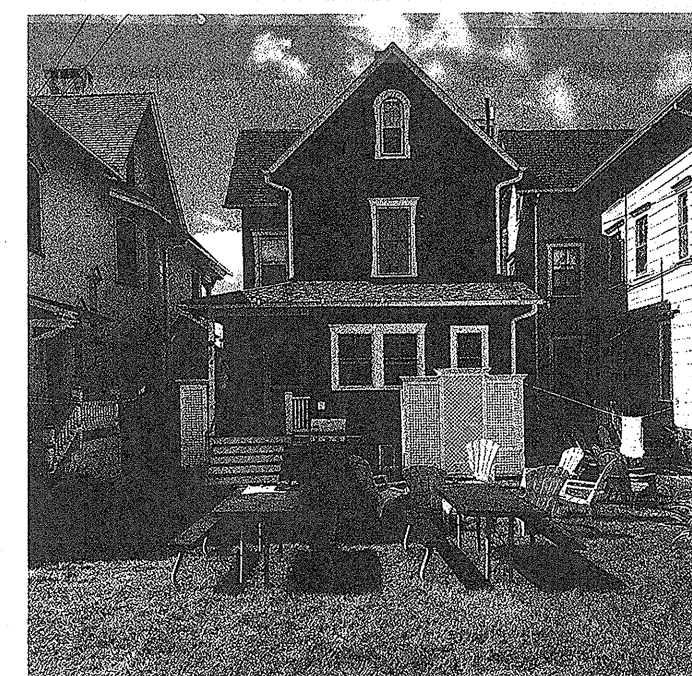


Photo Reference

Area Calculations

Applicant: Terrie O'Connor
7 Ocean Pathway
Ocean Grove, New Jersey 07756

Site Address: 7 Ocean Pathway, Ocean Grove, NJ 07756
Block #115, Lot #6; ZONE: HD-O

Description: Proposed Rear Addition and Various Renovations to the existing 2 1/2 story wood frame single-family landmark dwelling located at 7 Ocean Pathway, Ocean Grove, New Jersey.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	30.15 ft	no change	30.0 ft
Lot Width	30.10 ft	no change	30.0 ft
Depth	84.04 ft	no change	60.0 ft
<i>(along West Property Line from Flare)</i>			
Depth	80.60 ft	no change	60.0 ft
<i>(along East Property Line from Flare)</i>			
Area	2,481.95 sf	no change	1,800 sf
	4,190.85 sf*		
	(*Section 413.06.E)		

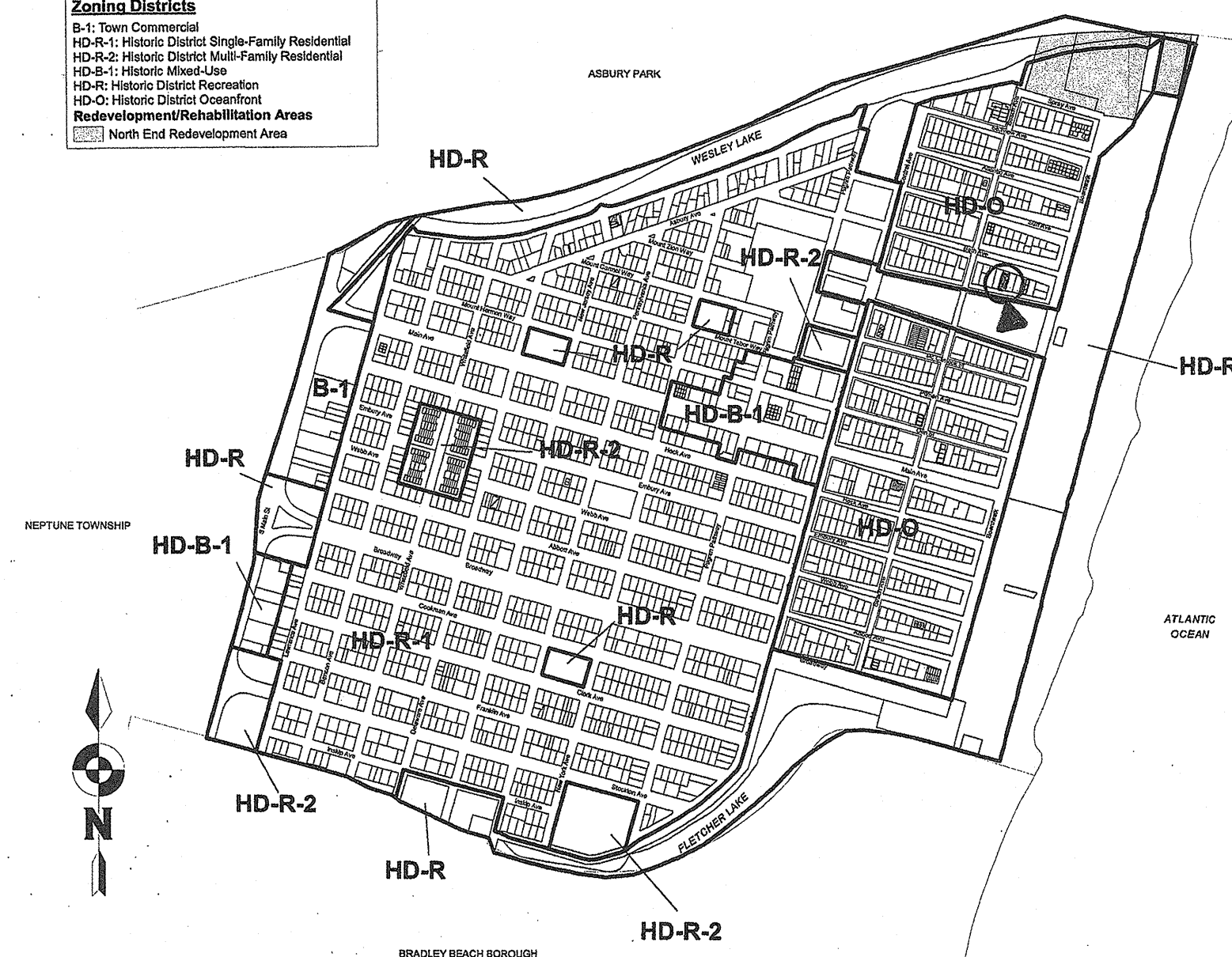
SETBACK	EXISTING	PROPOSED	ALLOWED
Front	9.61 ft	Same	Section 413.06.D
<i>(to edge of dwelling)</i>			
Front	0.43 ft	Same	Section 413.06.D
<i>(to edge of covered porch)</i>			
East Side	6.21 ft	Same	2.0 ft
<i>(to edge of dwelling)</i>			
East Side	4.21 ft	Same	2.0 ft
<i>(to edge of dwelling roof overhang)</i>			
East Side	0.82 ft	Same	2.0 ft
<i>(to edge of existing covered porch)</i>			
East Side	-0.45 ft (over)	Same	2.0 ft
<i>(to edge of existing covered porch roof overhang)</i>			
East Side	N/A	6.21 ft	2.0 ft
<i>(to edge of proposed rear dwelling addition)</i>			
East Side	N/A	5.21 ft	2.0 ft
<i>(to edge of proposed rear addition roof overhang fascia)</i>			
East Side	N/A	6.21 ft	2.0 ft
<i>(to edge of proposed covered porch)</i>			
East Side	N/A	4.21 ft	2.0 ft
<i>(to edge of proposed covered porch roof overhang fascia)</i>			
West Side	2.45 ft	Same	2.0 ft
<i>(to edge of existing dwelling)</i>			
West Side	0.95 ft	Same	2.0 ft
<i>(to edge of existing dwelling roof overhang)</i>			
West Side	2.45 ft	Same	2.0 ft
<i>(to edge of existing covered porch)</i>			
West Side	0.95 ft	Same	2.0 ft
<i>(to edge of existing covered porch roof overhang)</i>			
West Side	N/A	2.51 ft	2.0 ft
<i>(to edge of proposed rear dwelling addition)</i>			
West Side	N/A	2.01 ft	2.0 ft
<i>(to edge of proposed rear addition roof overhang fascia)</i>			
West Side	N/A	2.51 ft	2.0 ft
<i>(to edge of proposed covered porch)</i>			
West Side	N/A	2.01 ft	2.0 ft
<i>(to edge of proposed covered porch roof overhang fascia)</i>			
Rear	29.97 ft	10.90 ft	Section 413.06.D
<i>(to edge of proposed dwelling addition at Bath Avenue Flare)</i>			
Rear	28.47 ft	3.30 ft	Section 413.06.D
<i>(to edge of proposed rear porch steps at Bath Avenue Flare)</i>			
Floor Levels	2.5 stories	2.5 stories	2.5 stories
Height	32.5 ft	Same	35.0 ft

LOT COVERAGE:

	EXISTING	PROPOSED	PERMITTED
Building Cover:	1,179.7 sf	1,692.8 sf (68.23%)	< (85.0%)
<i>(includes covered porch areas)</i>			
Front/Side Steps:	19.0 sf	19.0 sf Same	N/A
Rear Steps:	20.0 sf	9.9 sf	N/A
Rear Porch:	35.0 sf	154.3 sf	N/A
Walkways:	183.0 sf	276.0 sf	N/A
AC Units:	N/A	12.0 sf	N/A
Outdoor Rinse:	24.0 sf	21.0 sf	N/A
Total Cover	1,480.7 sf	2,193.8 sf (52.36%)*	< (90.0%)
		* (Section 413.06.E)	

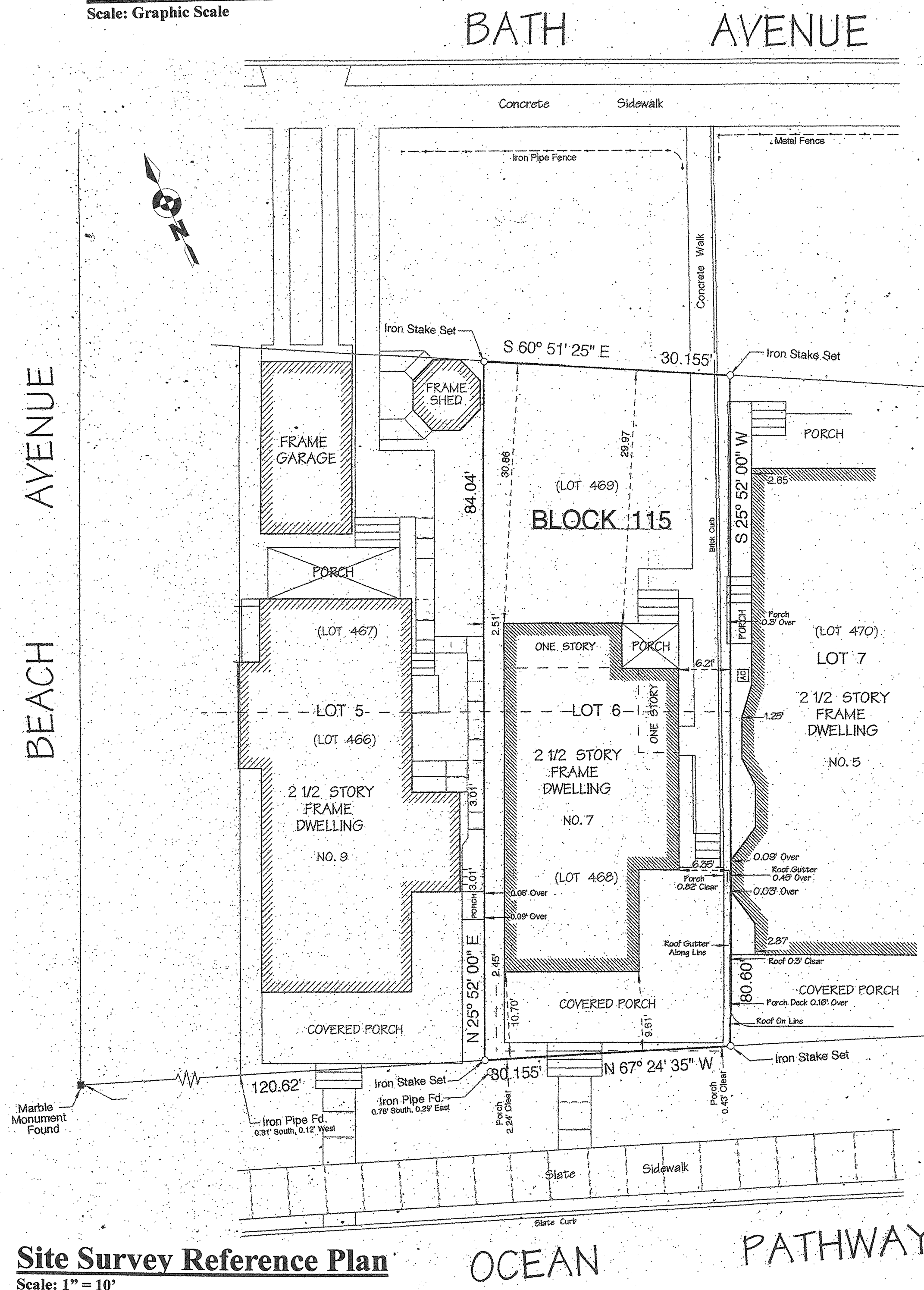
Note:
Survey, dated April 20, 2017, has been prepared by Michael Williams, PLS. 56 Main Street, Ocean Grove, New Jersey, a licensed New Jersey Land Surveyor.

Zoning Districts
B-1: Town Commercial
HD-R-1: Historic District Single-Family Residential
HD-R-2: Historic District Multi-Family Residential
HD-R-3: Historic District Mixed-Use
HD-R-4: Historic District Recreation
HD-C: Historic District Commercial
Redevelopment/Rehabilitation Areas
North End Redevelopment Area



Location Map

Scale: Graphic Scale



List of Drawings

No.	Description	Date
A-1	General Notes, Zoning & Area Calculations & Site Survey Reference	3/21/23
A-2	Elevations	
A-3	Foundation & Site Plan	
A-4	First & Second Floor Plans	
A-5	Attic, Roof, Plumb Riser	
A-6	Typical Construction Section & Details	
A-7	Interior Door, Window & Finish Schedules	
A-8	Specifications	
A-9	REScheck Energy Compliance	
E-1	First & Second Floor Electrical Floor Plans	
E-2	Attic Level Electrical Plans & Specifications	

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23
3	CONCEPT REVIEW	8/23/23

ISSUES		
No.	Description	Date
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Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling
Block #115, Lot #6
Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
General Notes,
Area Calculations
Survey Reference

SCALE As Noted	JOB No. 2022A9007B
DATE 1/31/23	DRAWING No. A1
DRAWN BY MNP/MP	CHECKED BY MP

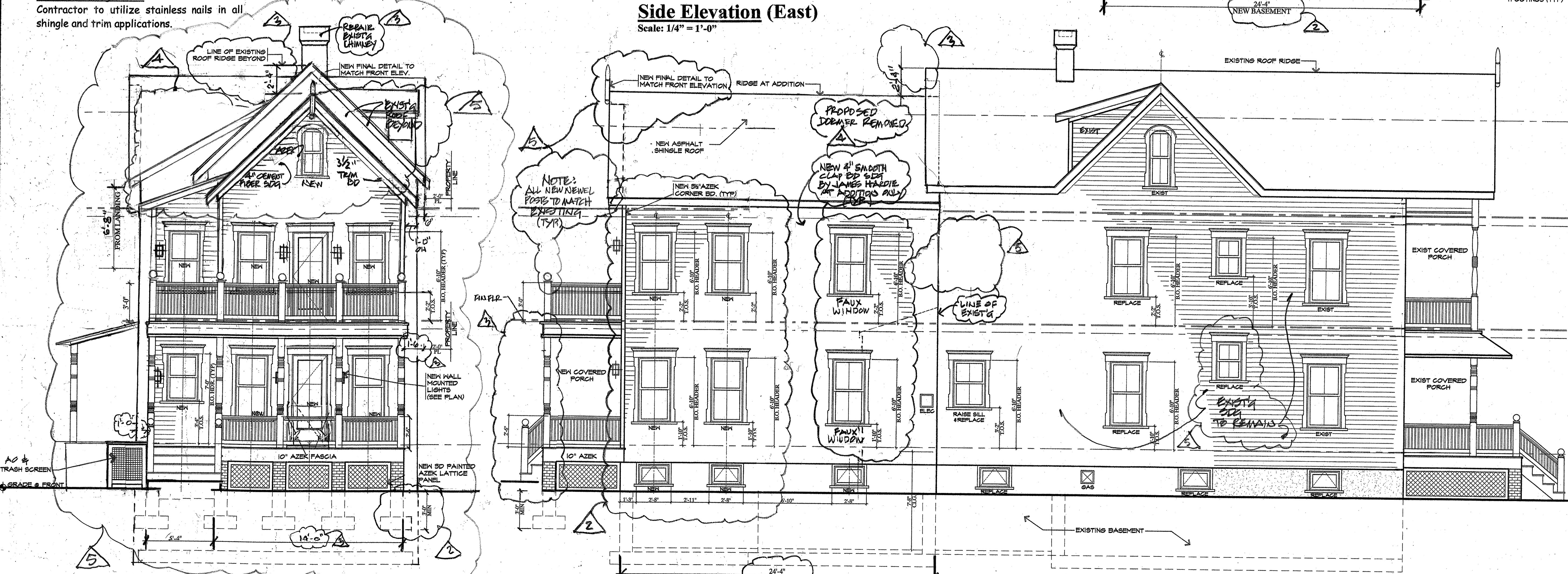


Front Elevation (South)
Scale: 1/4" = 1'-0"

NOTE: NO WORK TO EXISTING FRONT ELEVATION

Exterior Siding Nails:
Contractor to utilize stainless nails in all shingle and trim applications.

Side Elevation (East)
Scale: 1/4" = 1'-0"



Rear Elevation (North)
Scale: 1/4" = 1'-0"

Side Elevation (West)
Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
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3	CONCEPT REVIEW	5/22/23
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5	HPC COMMENTS	12/12/22

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Use Group: R5
Construction Type: 5B

PROJECT NAME	
O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ	
DRAWING TITLE	
Elevations	
SCALE	JOB No.
As Noted	202291007B
DATE	DRAWING No.
1/21/23	
DRAWN BY	A2
EAC/MPK	
CHECKED BY	
MP	

REVISIONS		
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Block #115, Lot #6

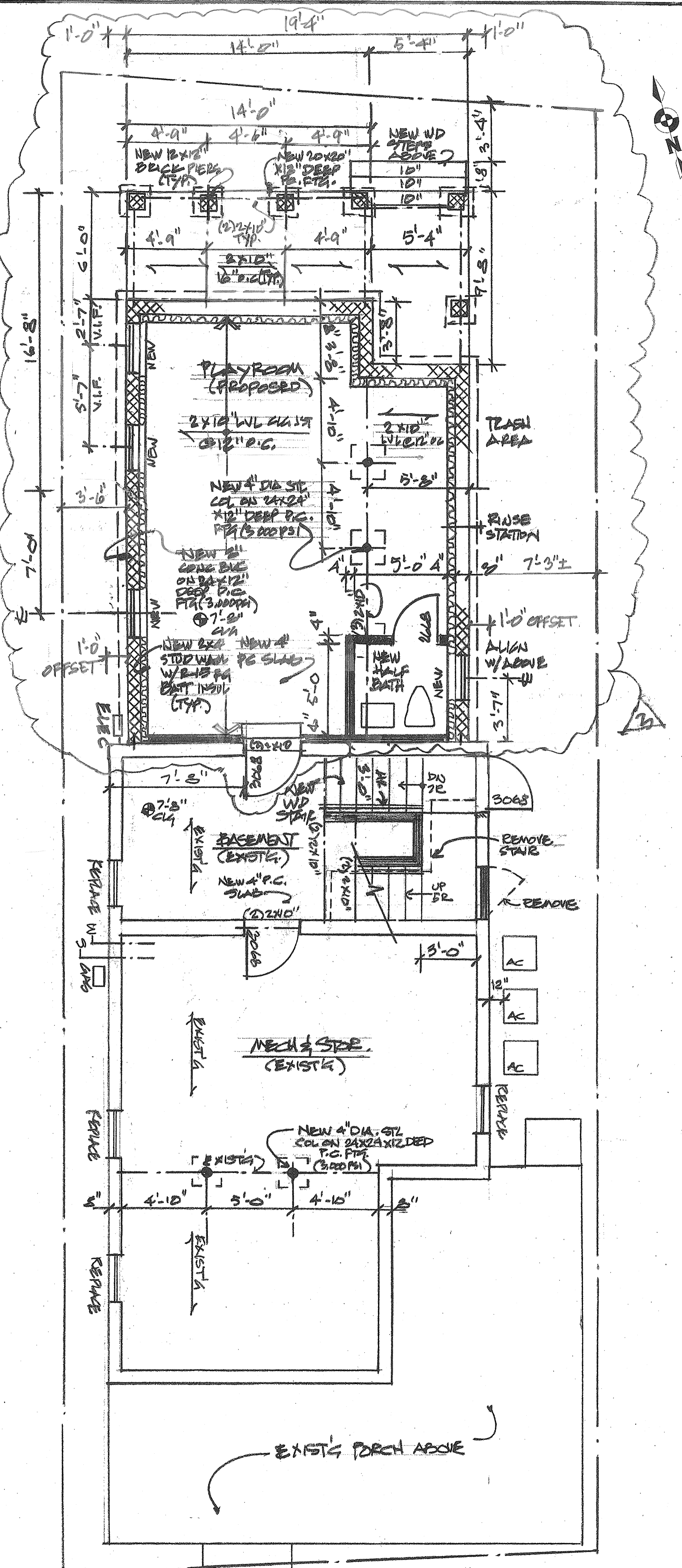
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Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

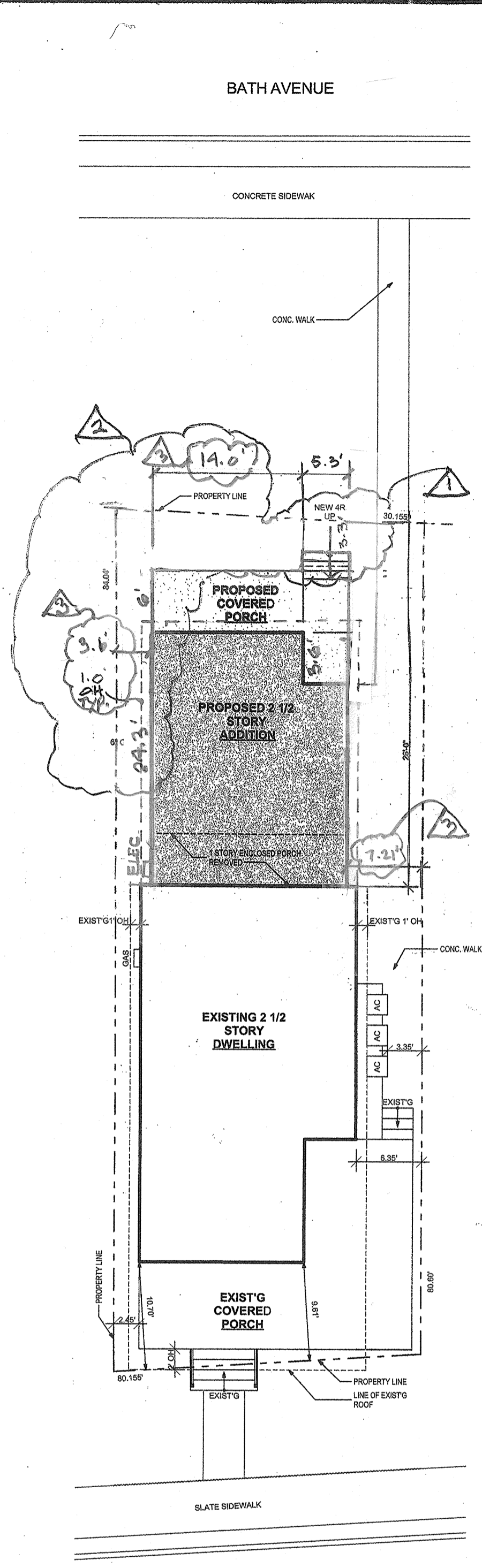
DRAWING TITLE
Foundation & Site Plan

SCALE: As Noted
DATE: 1/31/23
DRAWN BY: ENCLING/MP
CHECKED BY: MP

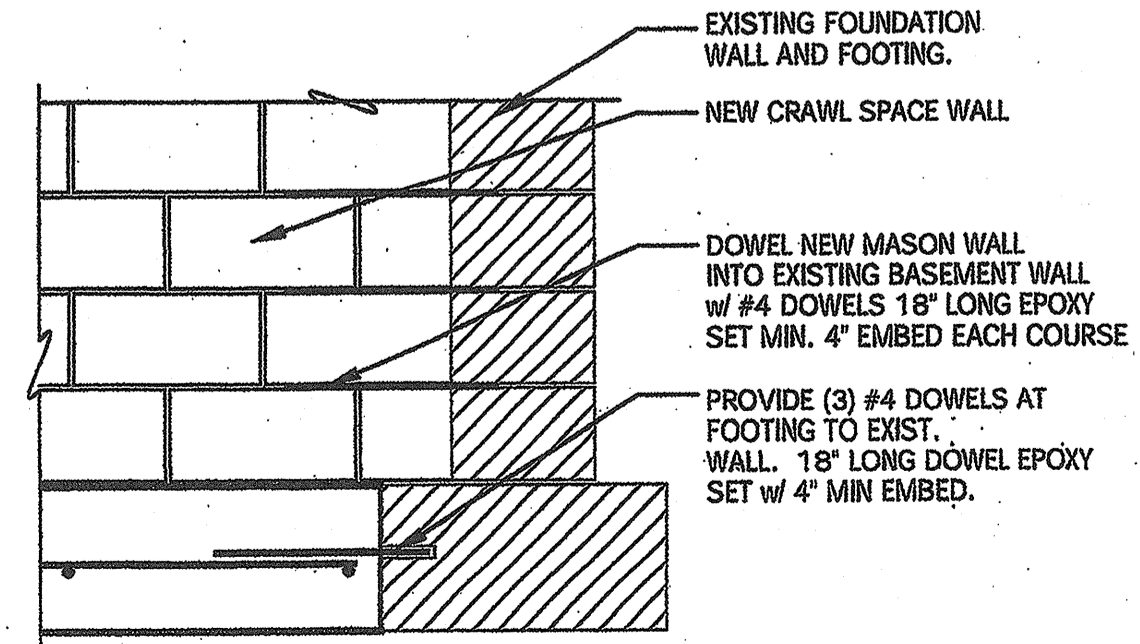
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DRAWING No. **A3**



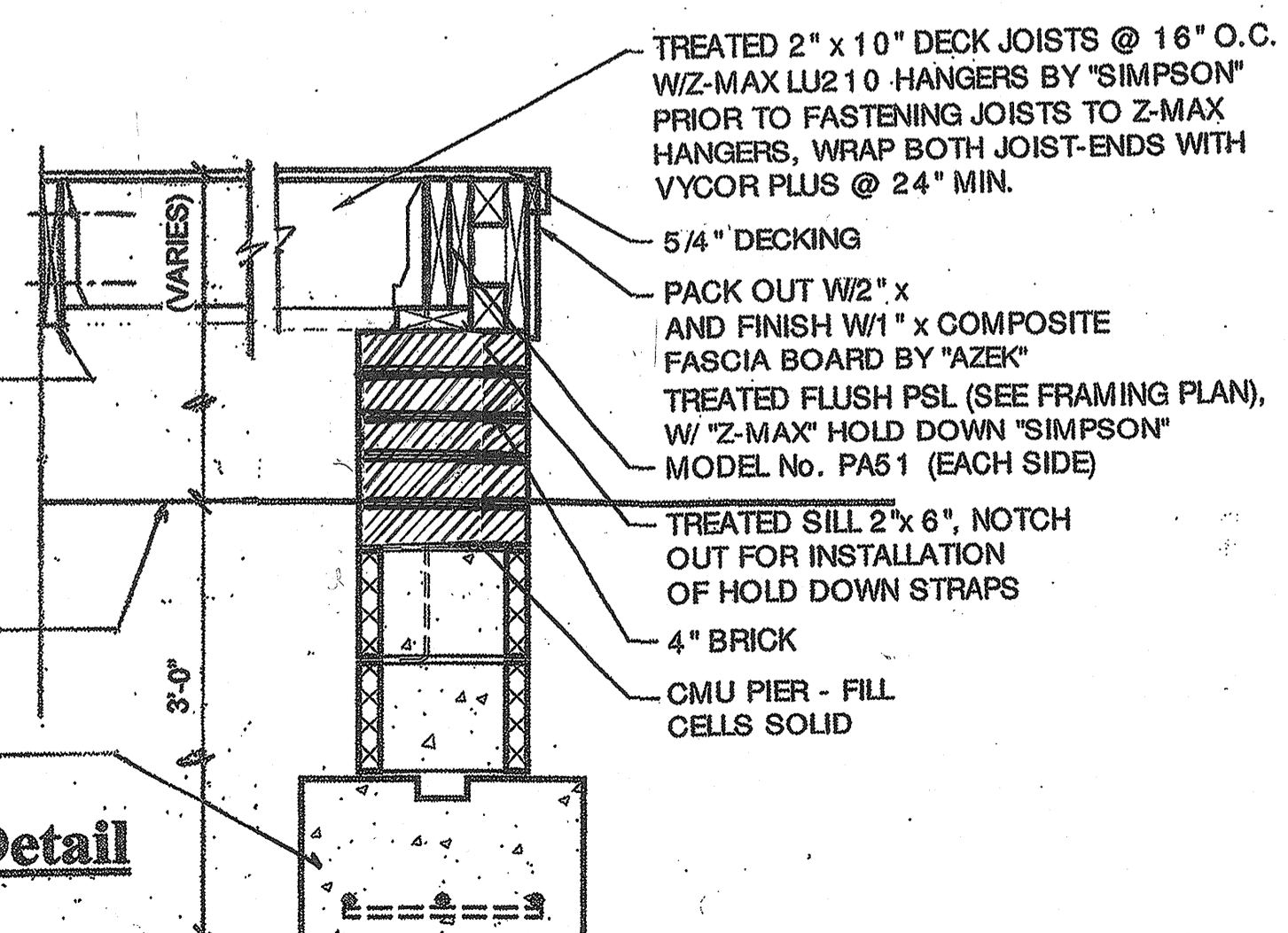
Foundation Plan
Scale: 1/4" = 1'-0"



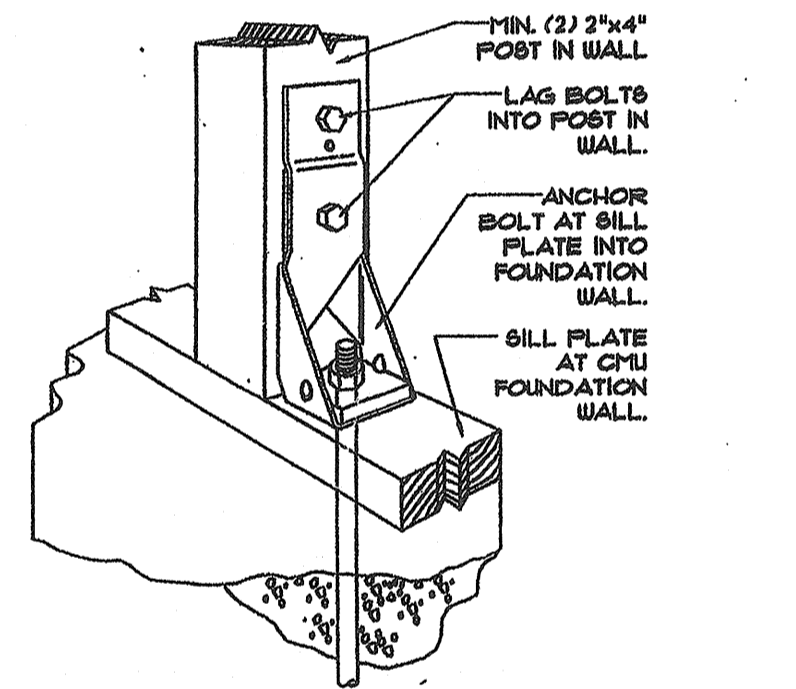
Site Plan
Scale: 1" = 10'



Typical Foundation Dowel Detail
Scale: 3/4" = 1'-0"



Typical Pier Section Detail
Scale: 1" = 1'-0"



DETAIL - SIMPSON HD5A HOLD DOWN CONNECTION

Hold Down Details
Schematics/not to Scale

PROVIDE SIMPSON HD5A HOLD DOWN ANCHORS AS PER PLAN

NEW 2" X 10" PRESSURE TREATED WOOD LEDGER FASTENED TO THE STRUCTURE WITH 1/2" ZINC COATED A/C COMPATIBLE LAG BOLTS STAGGERED AT 24" ON CENTER AND NO CLOSER THAN 2" TO TOP AND BOTTOM EDGE OF NEW WOOD LEDGER.

EXISTING GRADE
NEW 24" X 24" X 12" DEEP POURED CONCRETE FOOTINGS WITH #4 STEEL REINF BARS, POSITIONED AS SHOWN.

TREATED 2" X 10" DECK JOISTS @ 16" O.C. W/IZ-MAX LU210 HANGERS BY "SIMPSON" PRIOR TO FASTENING JOISTS TO Z-MAX HANGERS, WRAP BOTH JOIST-ENDS WITH VYCOR PLUS @ 24" MIN.

5/4" DECKING
PACK OUT W/2" X AND FINISH W/1" X COMPOSITE FASCIA BOARD BY "AZEK"
TREATED FLUSH PSL (SEE FRAMING PLAN), W/ "Z-MAX" HOLD DOWN "SIMPSON" MODEL No. PA51 (EACH SIDE)

TREATED SILL 2" X 6", NOTCH OUT FOR INSTALLATION OF HOLD DOWN STRAPS
4" BRICK
CMU PIER - FILL CELLS SOLID

EXISTING FOUNDATION WALL AND FOOTING
NEW CRAWL SPACE WALL
DOWEL NEW MASON WALL INTO EXISTING BASEMENT WALL W/ #4 DOWELS 18" LONG EPOXY SET MIN. 4" EMBED EACH COURSE
PROVIDE (3) #4 DOWELS AT FOOTING TO EXIST. WALL. 18" LONG DOWEL EPOXY SET W/ 4" MIN EMBED.

Special Notes:

All proposed work to comply with the 2021 International Residential Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and specified on Typical Section Detail.

Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

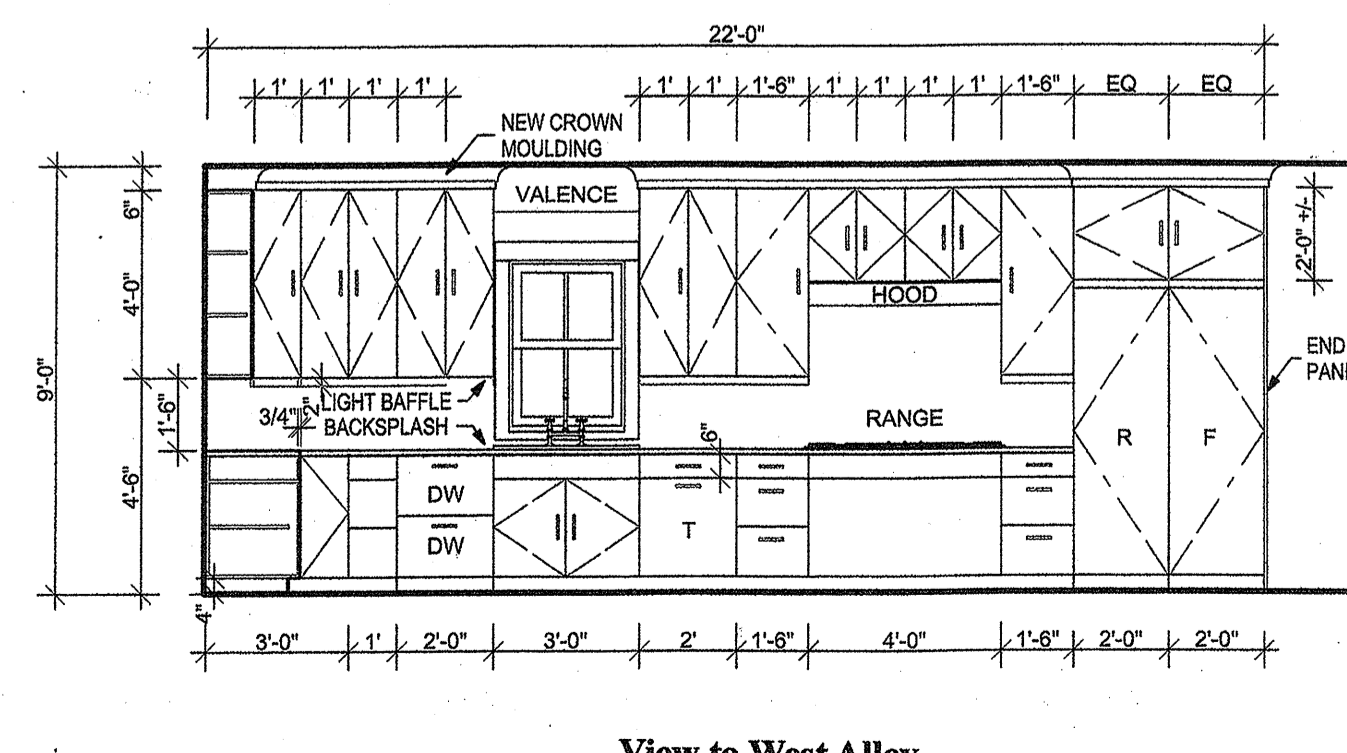
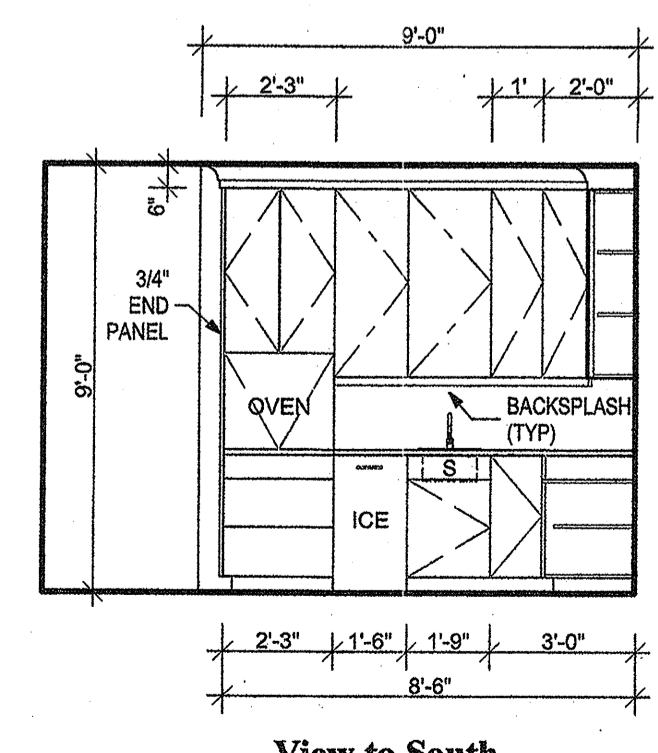
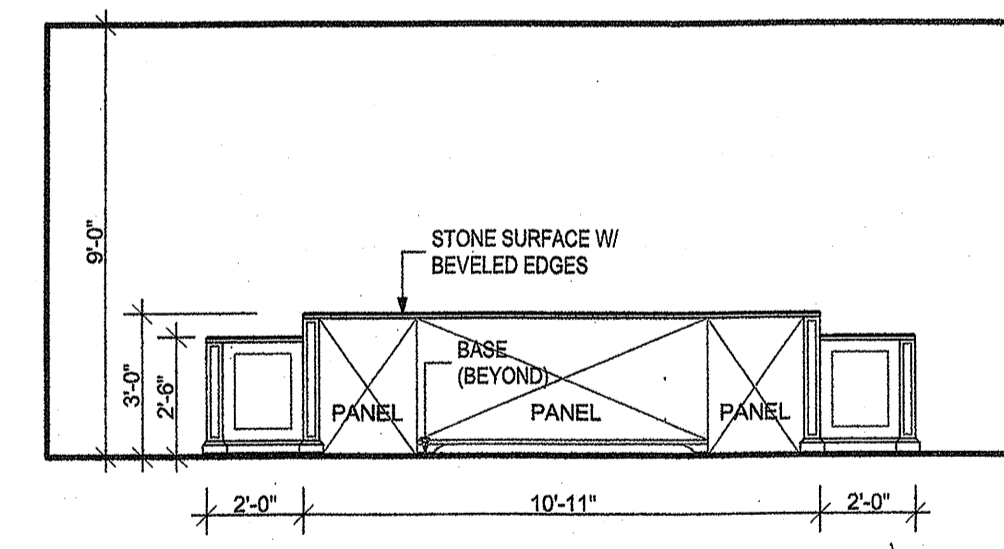
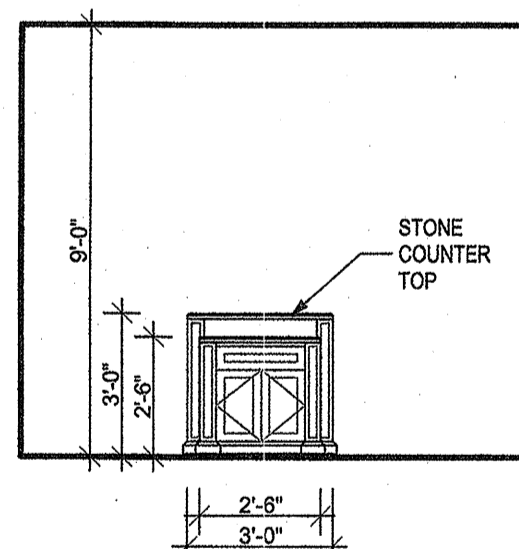
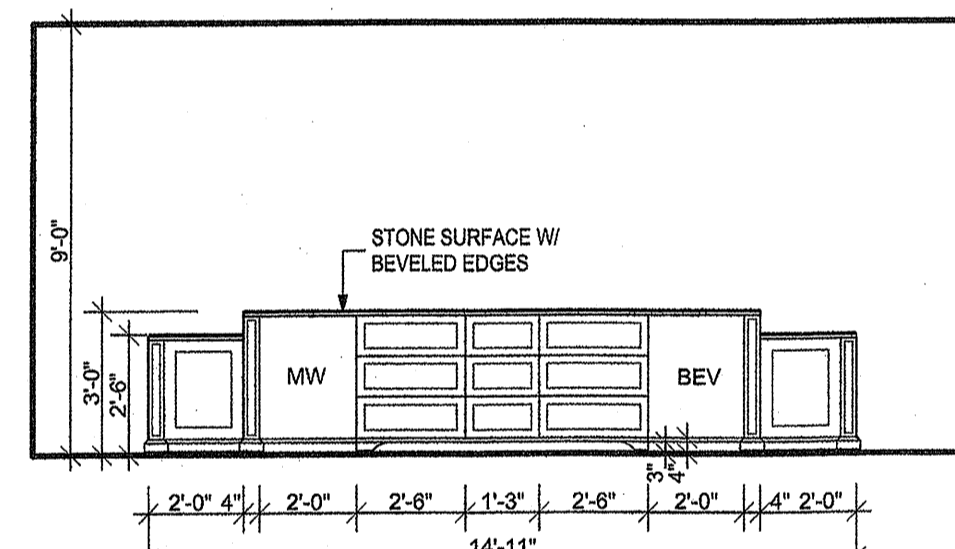
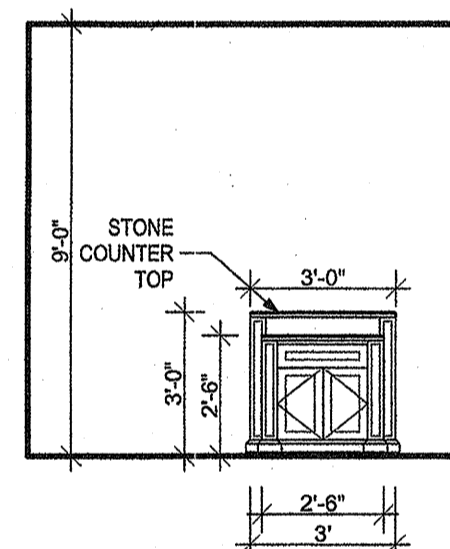
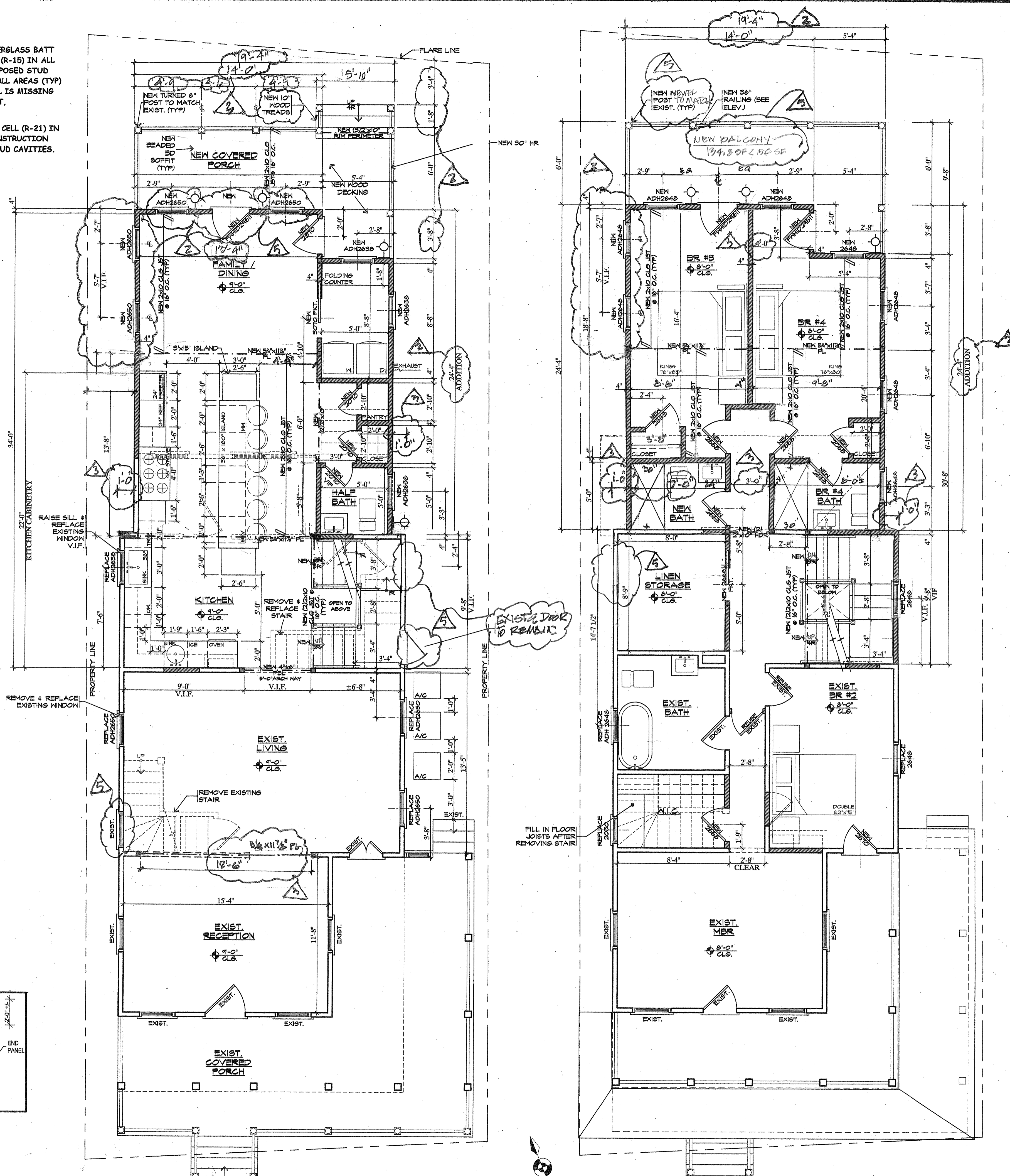
Carbon Monoxide Alarms are required within the immediate vicinity of all bedrooms or identified sleeping areas.

Contractor to verify acceptability of all egress window sizes in accordance with Code.

Smoke and Carbon Monoxide Detection: Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.

PROVIDE FIBERGLASS BATT INSULATION (R-15) IN ALL EXISTING EXPOSED STUD EXTERIOR WALL AREAS (TYP) WHERE INSUL IS MISSING OR DEFICIENT.

NEW CLOSED CELL (R-21) IN ALL NEW CONSTRUCTION EXTERIOR STUD CAVITIES.



Kitchen Elevations
Scale: 1/4" = 1'-0"

First Floor Plan
Scale: 1/4" = 1'-0"

Second Floor Plan
Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/2/22
2	HPC COMMENTS	6/12/22
3	CONCEPT REVIEW	8/22/22
4	HPC COMMENTS	11/9/22
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ISSUES		
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Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling

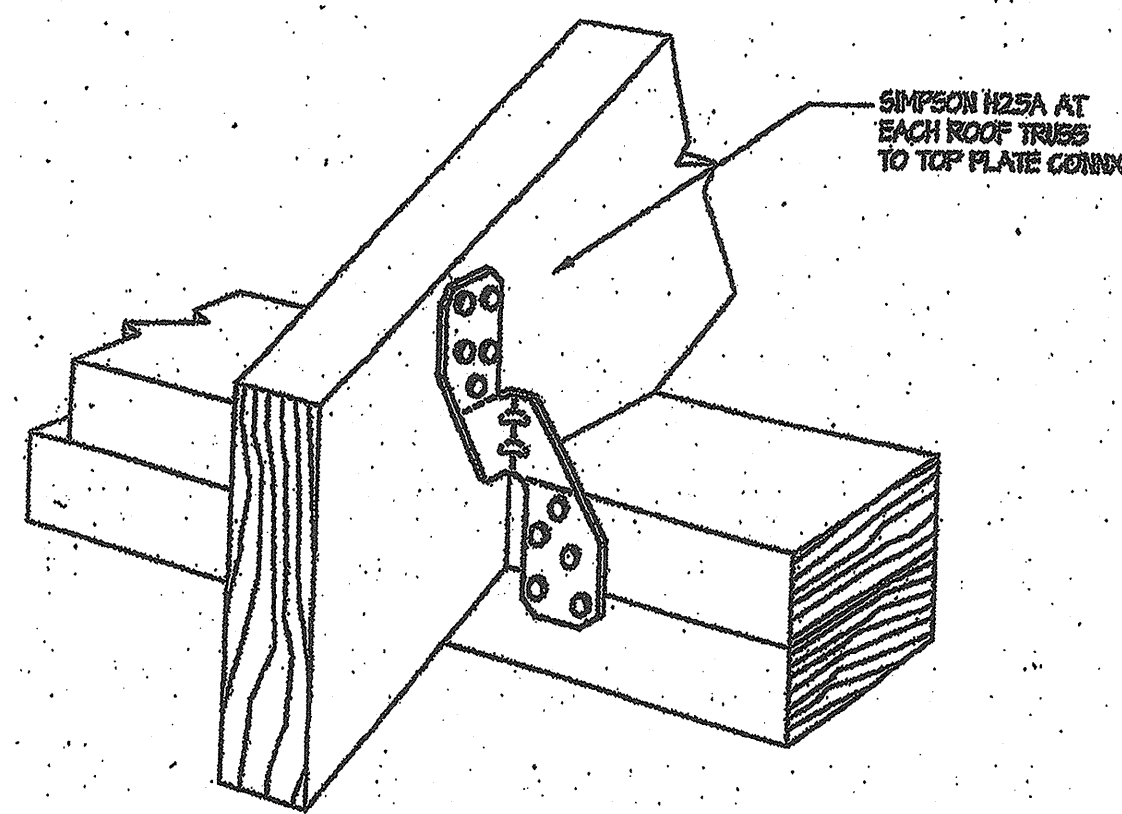
Block #115, Lot #6

Use Group: R5
Construction Type: 5B

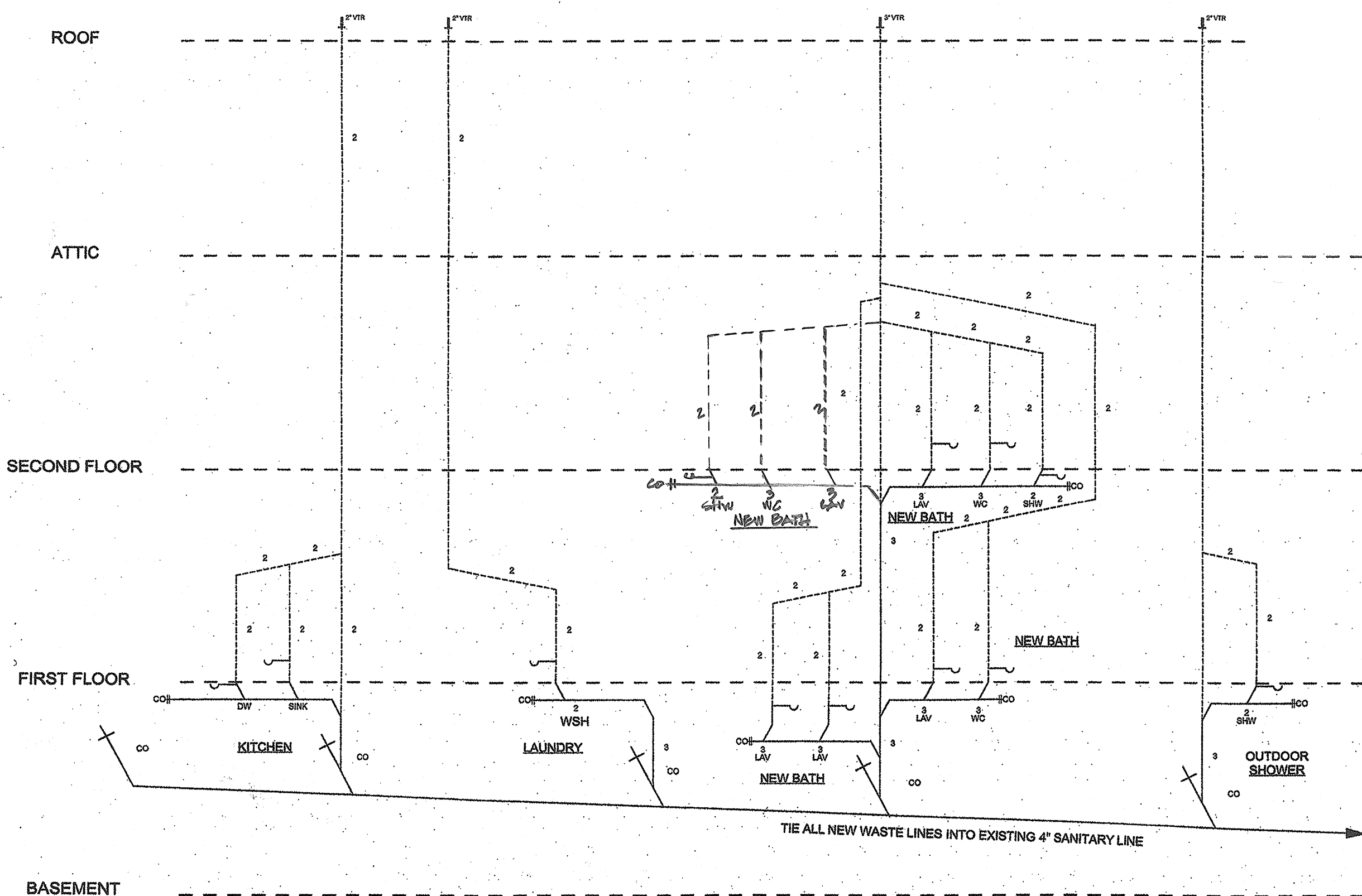
PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
First & Second Floor Plans

SCALE As Noted	JOB No. 202299007B
DATE 1/21/23	DRAWING No.
DRAWN BY EAC/mpr	A4
CHECKED BY MP	



Typical New Rafter Hold Down
Scale: NTS



Plumbing Riser Diagram
Scale: NTS

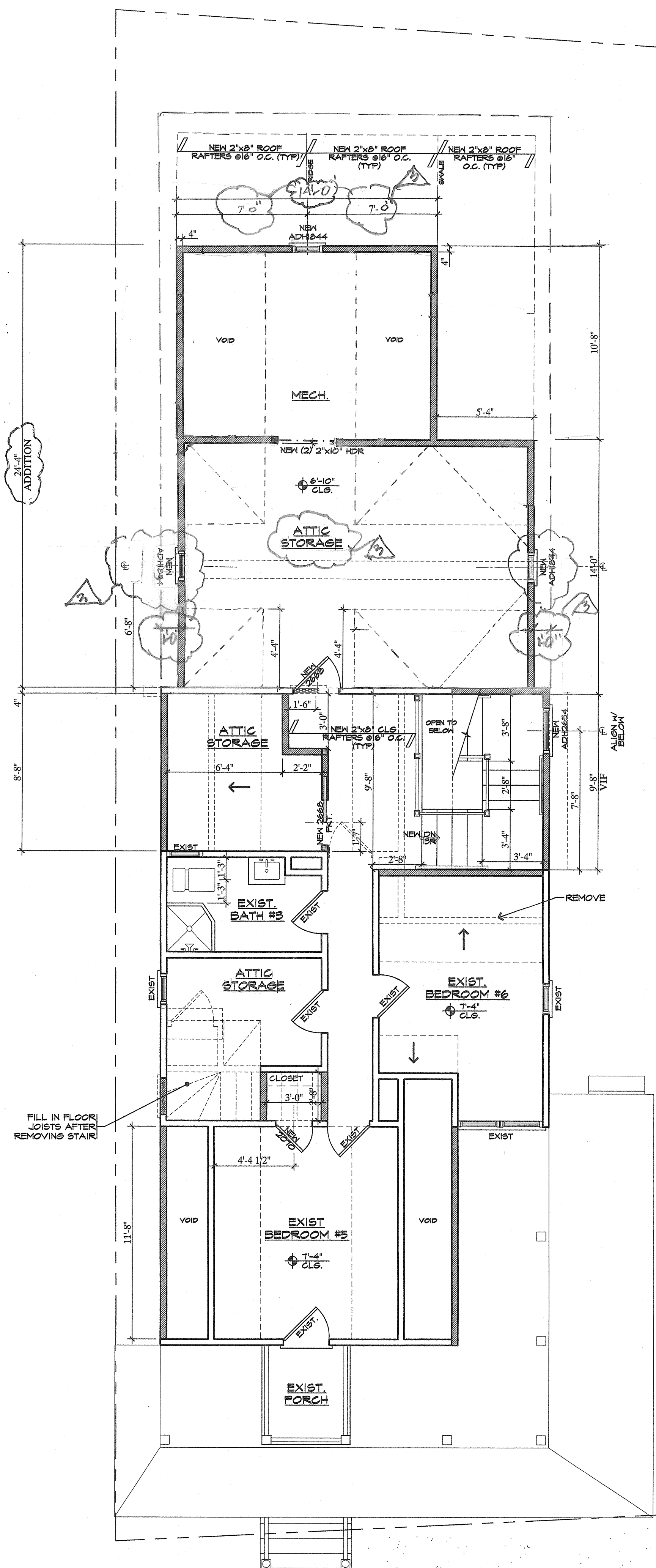
Special Note:
Plumbing Riser diagram provided as a guide for filing of Plumbing Sub-code Permit Application, to be filed by Plumbing Contractor.

Design loads in accordance with the 2021 IRC/NJ Edition to be:

- Snow and Roof Load: 20 pounds per sq. ft.
- Attic Live Load: 20 pounds per sq. ft.
- First Floor Live Load: 40 pounds per sq. ft.
- Second Floor Live Load: 30 pounds per sq. ft.
- Design Wind Load: 120 miles per hour

All work to be in accordance with the 2021 IRC/NJ Edition

Smoke and Carbon Monoxide Detection:
Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



Attic Level Plan
Scale: 1/4" = 1'-0"

Window Sill Height Note:
Contractor to verify all second and attic level window sill heights to be at or above 24 inches of finish floor in accordance with Code.

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/12/25
2	HPC COMMENTS	6/12/25
3	CONCEPT REVIEW	8/28/22

ISSUES		
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3	CONCEPT REVIEW	8/28/22

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Block #115, Lot #6
Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence
7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
Attic Plumbing Riser

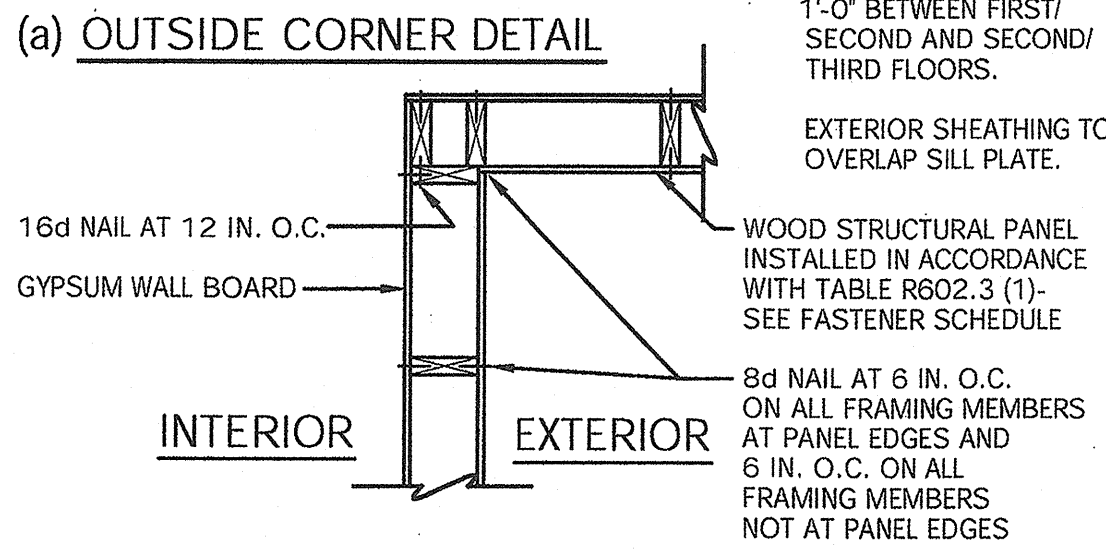
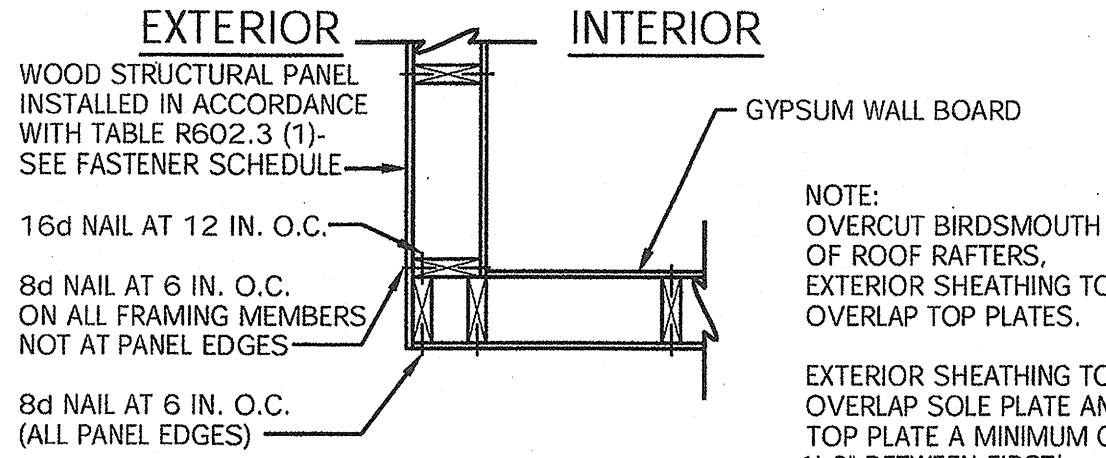
SCALE As Noted	JOB No. 20220910075
DATE 1/31/25	DRAWING No. A5
DRAWN BY EAC/MPA	CHECKED BY MP



CONTINUOUS STRUCTURAL PANEL SHEATHING

BUILDING ELEMENT	FASTENER NUMBER AND TYPE	FIELD SPACING	EDGE SPACING
1/2" WALL SHEATHING	8d COMMON NAIL	6" O.C.	6" O.C.
5/8" ROOF SHEATHING	8d DEFORMED NAIL	6" O.C.	4" O.C.

NOTES:
 1) NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 8" ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4" ON CENTER TO GABLE END WALL FRAMING.
 2) SEE DIAGRAMS BELOW FOR OUTSIDE AND INSIDE CORNER FRAMING.
 3) PROVIDE 2" x 4" SOLID BLOCKING FOR ALL HORIZONTAL WALL JOINTS.

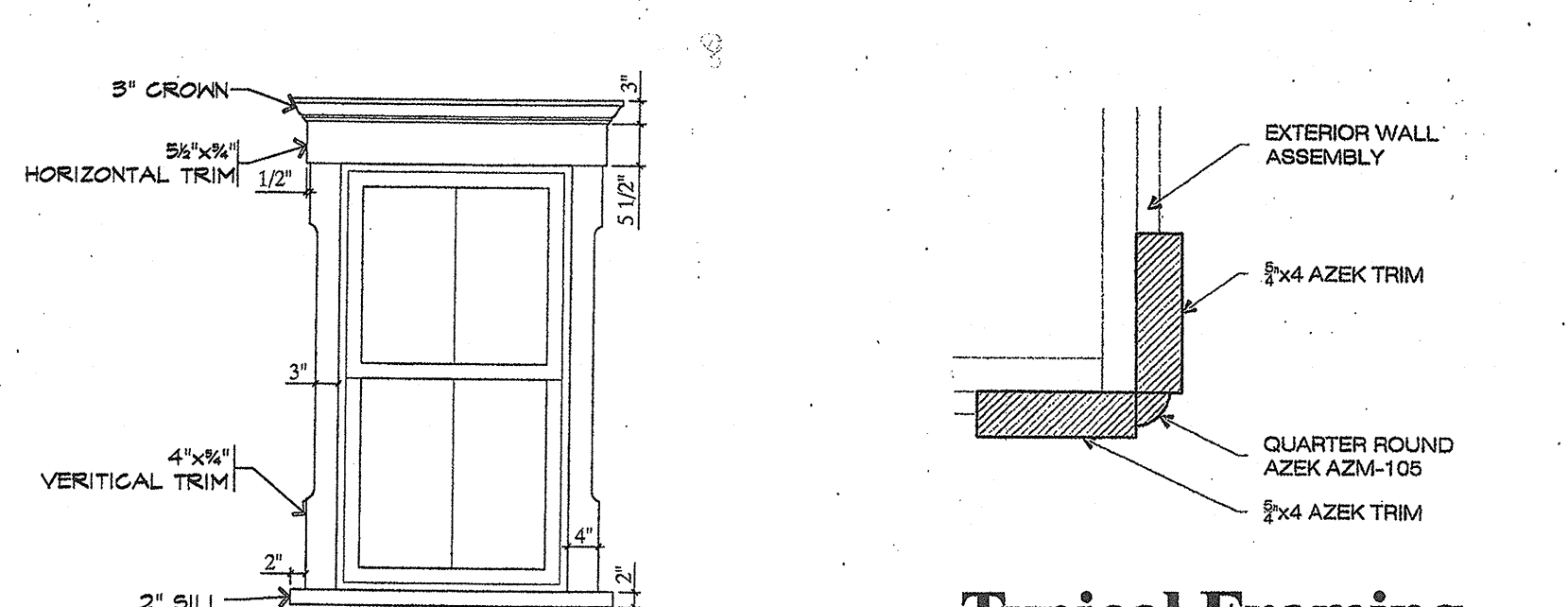
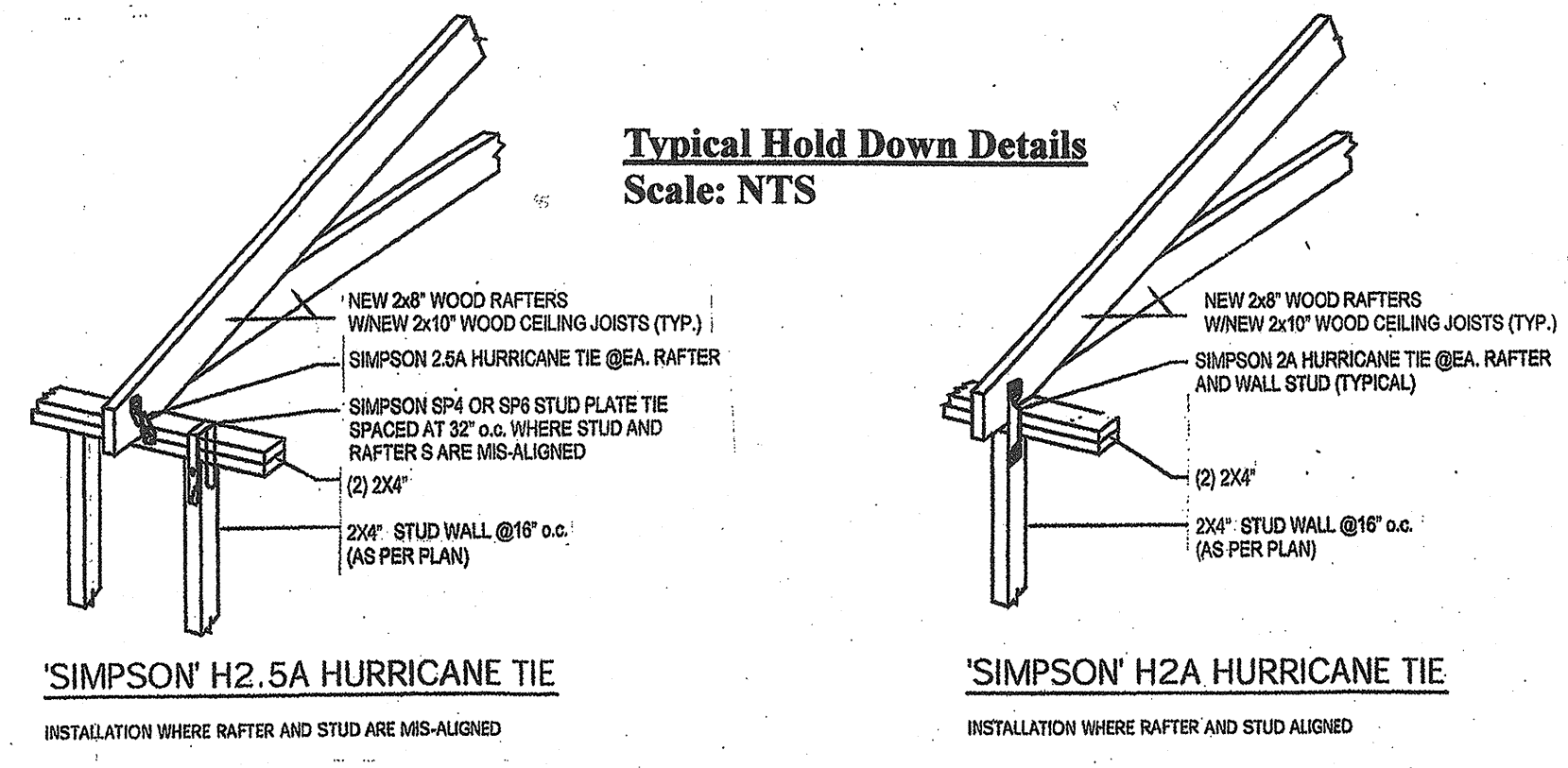


(a) OUTSIDE CORNER DETAIL
(b) INSIDE CORNER DETAIL

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS (a,b,c)	SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	-
1" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	-
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d	-
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	1-6d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-6d	-
STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
DOUBLE STUDS, FACE NAIL	1-8d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	1-8d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 24" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8-16d	-
BLOCKING BETWEEN JOISTS/RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAPS AT CORNERS/INTERSECTIONS, FACE NAIL	2-10d	-
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	1-6d	16" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES	1-6d	16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
CEILING JOIST LAPS OVER PARTITIONS, FACE NAIL	3-10d	-
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	-
RAFTER TO PLATE, TOE NAIL	2-16d	-
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d	-
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
WIDER THAN 1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	3-8d	-
BUILT-UP CORNER STUDS	1-8d	24" O.C.
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	1-8d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AND EACH SPICE.
2" PLANKS	2-16d	AT EACH BEARING
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS; TOE NAIL	4-16d	-
FACE NAIL	3-16d	-
RAFTER TIES TO RAFTERS, FACE NAIL	3-8d	-
COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4"x20" GAGE RIDGE STRAP	3-10d	-
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING		
MATERIAL	DESCRIPTION OF FASTENER (b,c,e)	SPACING OF FASTENERS EDGES (INCHES) INTERMEDIATE SUPPORTS (IN.)
5/16" - 1/2"	6d COMMON (SUBFLOOR, WALL) 8d COMMON (ROOF) 8d COMMON (SUBFLOOR, WALL) 8d DEFORMED (ROOF)	6 6 (d)
19/32" - 1"	6d COMMON (SUBFLOOR, WALL) 8d DEFORMED (ROOF)	6 6 (d)
OTHER WALL SHEATHING		
1-1/2" GALVANIZED ROOFING NAIL; 6d COMMON	1-1/2" LONG GALVANIZED STAPLE 1-1/4" SCREWS, TYPE W OR S	4 6
5/8" GALVANIZED ROOFING NAIL; 6d COMMON	1-3/4" LONG GALVANIZED STAPLE 1-5/8" SCREWS, TYPE W OR S	4 6
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING		
3/4" AND LESS	6d DEFORMED 8d COMMON 8d DEFORMED	6 12
7/8" - 1"	6d DEFORMED 8d COMMON 8d DEFORMED	6 12

NOTES FOR TABLE R602.3(1) FASTENER SCHEDULE:
 a. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
 b. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH.
 c. NAILS SHALL BE SPACED AT NOT MORE THAN 6-INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48-INCHES.
 d. FOUR-FOOT BY EIGHT-FOOT OR FOUR-FOOT BY NINE-FOOT PANELS SHALL BE APPLIED VERTICALLY.
 e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
 f. 6d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MIN. 48-INCH DISTANCE FROM GABLE END WALLS.
 g. NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MIN. 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
 h. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253.



Typical Window Trim Detail
Scale: 1/2" = 1'-0"



Shear Wall Schedule

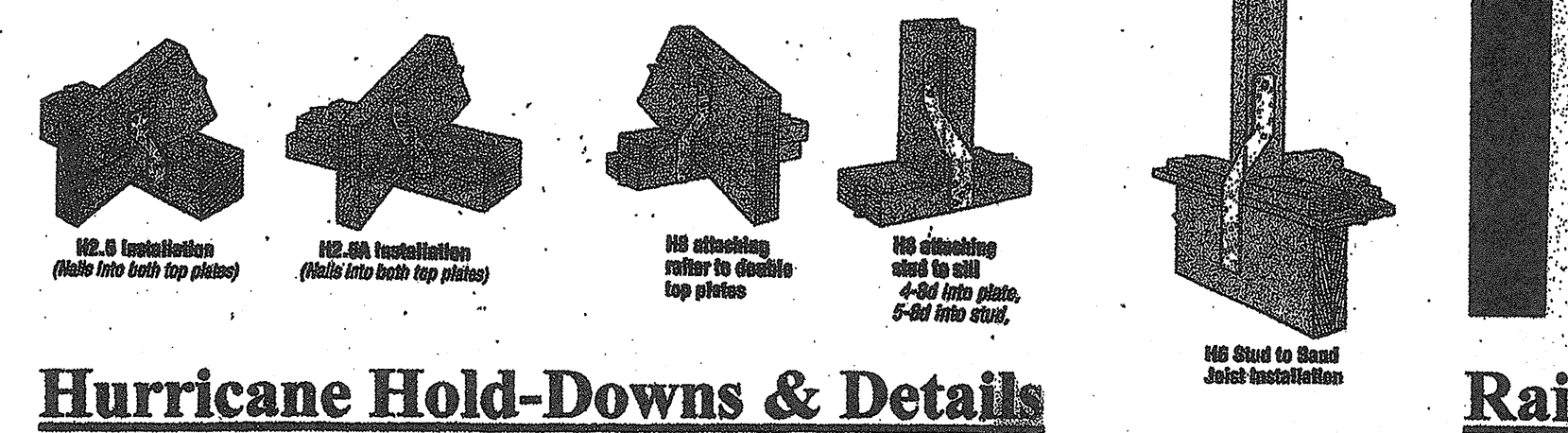
Mark	Sheathing Type	Fastener	Value
SW-6	One Side - 7/16" OSB	8d common nails at 3" at sheet edges 6" o.c. in field - edges blocked	490 PLF
SW-6A	Both Sides - 7/16" OSB	8d common nails at 3" at sheet edges 6" o.c. in field - edges blocked	980 PLF

Rafter/Truss-to-Wood Top Plate Connections

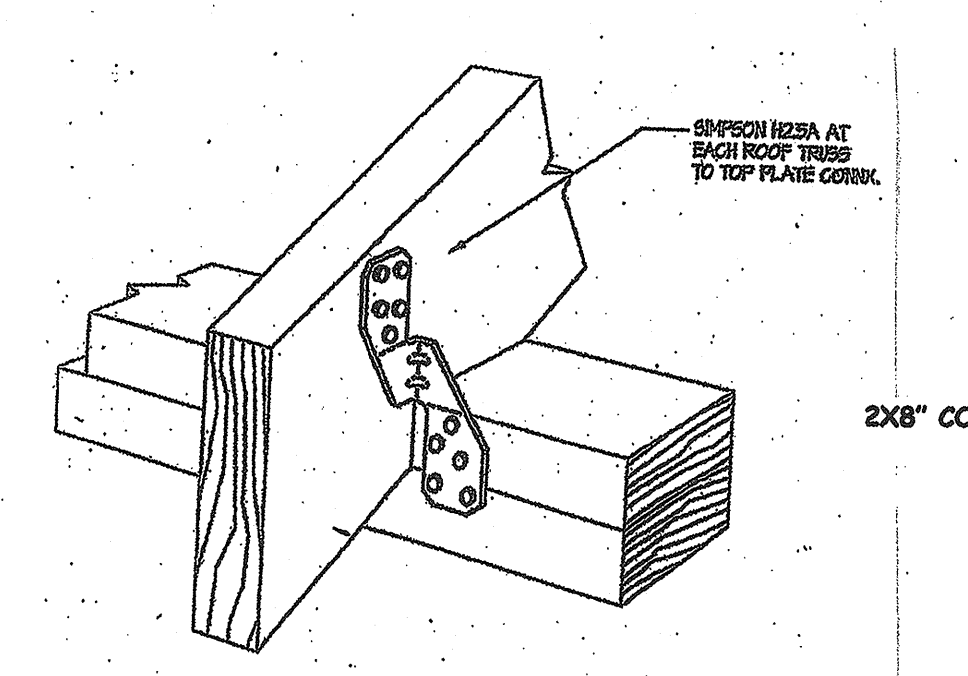
Rafter/Truss Spacing	Max. Roof Snow (psf)	DTPSP				SPF	
		100-110 (mph)	111-120 (mph)	121-130 (mph)	131-140 (mph)	141-150 (mph)	151-160 (mph)
16'	20'	H2.5A	H2.5A	H2	H2.5A	H2	H2.5A
	24'	H2.5A	H2	H2	H2.5A	H2	H2.5A
	32'	H2.5A	H2	H2	H2.5A	H2	H2.5A
	40'	H2.5A	H2	H2	H2.5A	H2	H2.5A
24'	20'	H2.5A	H2	H2	H2.5A	H2	H2.5A
	24'	H2.5A	H2	H2	H2.5A	H2	H2.5A
	32'	H2.5A	H2	H2	H2.5A	H2	H2.5A
	40'	H2.5A	H2	H2	H2.5A	H2	H2.5A

Double Top Plate-to-Every Other Stud (One Story & Top of Two Story)

Stud Spacing	Max. Roof Snow (psf)	DTPSP				SPF	
		100-110 (mph)	111-120 (mph)	121-130 (mph)	131-140 (mph)	141-150 (mph)	151-160 (mph)
24"	20'	H2	SP4/SF6	SP4/SF6	H2	SP4/SF6	SP4/SF6
	24'	H2	SP4/SF6	SP4/SF6	H2	SP4/SF6	SP4/SF6
	32'	H2	SP4/SF6	SP4/SF6	H2	SP4/SF6	SP4/SF6
	40'	H2	SP4/SF6	SP4/SF6	H2	SP4/SF6	SP4/SF6



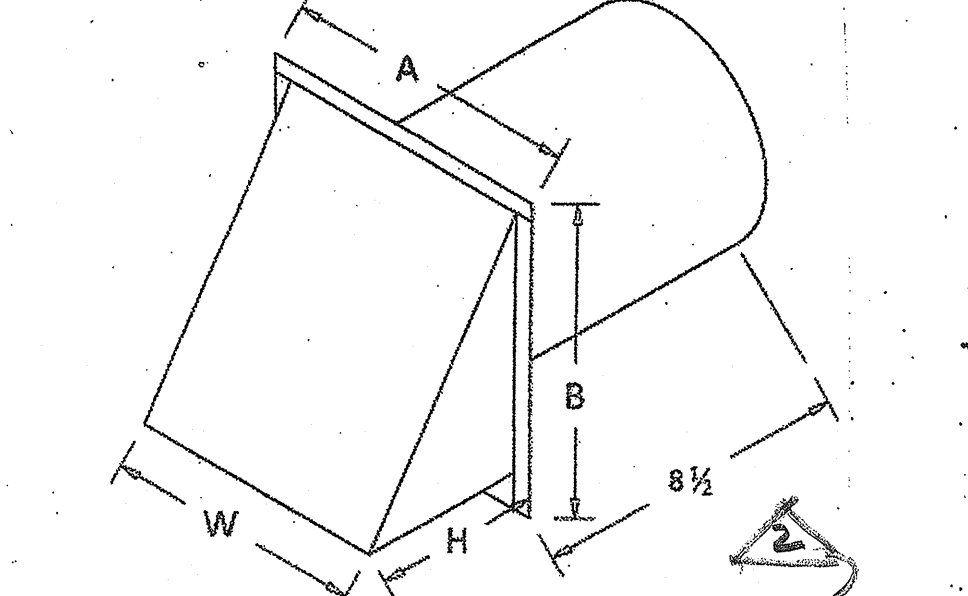
Hurricane Hold-Downs & Details
Not to Scale.



Typical New Rafter Hold Down
Scale: NTS

Special Section Detail Notes:

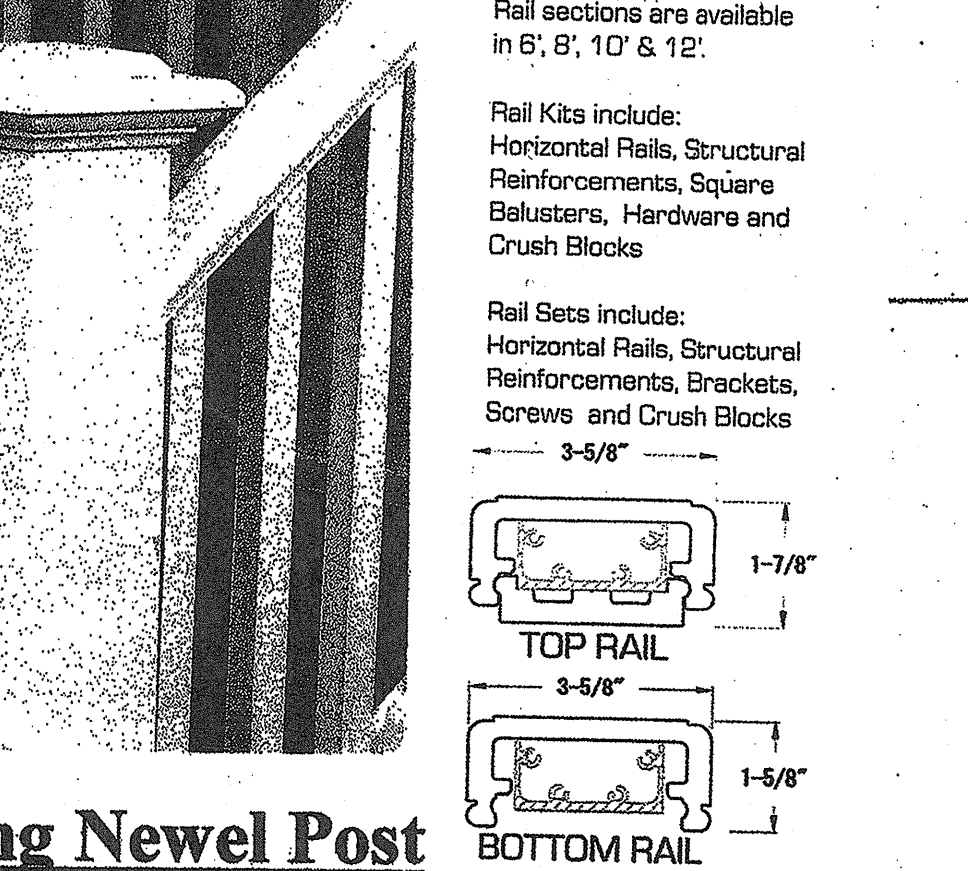
1. PROVIDE NEW SHEATHING IN ALL AREAS OF RE-SIDING WHERE NO SHEATHING EXISTS.
2. ALL GUTTERS AND LEADERS TO BE NEW FACTORY WHITE FINISHED HALF ROUND ALUMINUM WITH EXPOSED STRAP HANGERS AND ROUND LEADERS IN A MATCHING WHITE COLOR.
3. ALL EXPOSED WALL CONDITIONS WILL REQUIRE THAT INSULATION IS TO BE PROVIDED IN ACCORDANCE WITH ENERGY COMPLIANCE AND SPECIFICATIONS.
4. ALL EXPOSED ELECTRICAL WIRING AND SERVICE DEVICES WITHIN ALL EXPOSED INTERIOR WALL PARTITIONS AND CEILING ARE TO BE UPGRADED TO MEET CODE AS REQUIRED.



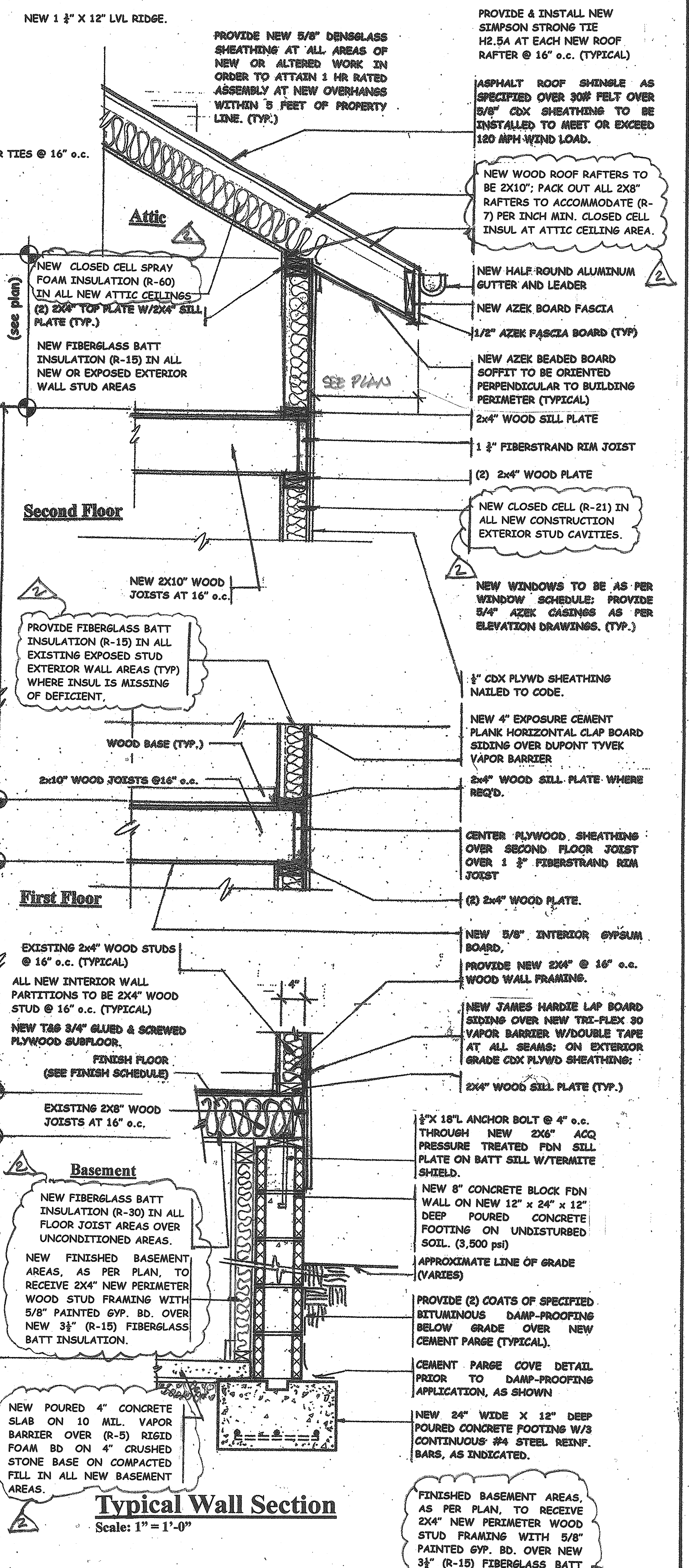
Typical Kitchen Exhaust
Scale: NTS

SIZE	A	B	W	H
3	6	6 1/2	5	3 1/4
4	6	6 1/2	5	3 1/4
5	7	7 1/2	6	3 1/4
6	8	8 1/2	7	4 1/2
7	9	9 1/2	8	5
8	10	10 1/2	9	5 1/2
10	13	13 1/2	12	6 3/4
12	15	15 1/2	14	8
14	17	17 1/2	16	9 3/4

Fascia Gutter Detail
Scale: 1 1/2" = 1'-0"



Railing Newel Post
Scale: Schematic/NTS



Typical Wall Section
Scale: 1" = 1'-0"

REVISIONS

No.	Description	Date
2	HRC COMMENTS	6/10/23
3	CONCEPT REVIEW	5/23/23

ISSUES

No.	Description	Date
2	HRC COMMENTS	6/10/23
3	CONCEPT REVIEW	5/23/23

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Signature

Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling

Block #115, Lot #6

Use Group: R5
Construction Type: 5B

PROJECT NAME
O'Connor Residence

7 Ocean Pathway
Ocean Grove, NJ

DRAWING TITLE
Typical Construction Section & Details

SCALE: As Noted
JOB No. 2022A9007B

DATE: 5/31/23
DRAWING No.

DRAWN BY: WAG/MP
CHECKED BY: MP

A6

