

**GENERAL NOTES**

- WHERE LOCAL BUILDING DEPT. REQUIREMENT CONFLICTS WITH EXISTING STRUCTURAL, MECHANICAL OR CODE LIMITATIONS, THE CONTRACTOR, BUILDER, OR THOSE IN RELEVANT OR CONTINGENT TRADES SHALL INFORM THE OWNER AND ARCHITECT OF SUCH, PRIOR TO PROCEEDING WITH SUCH WORK.
- NO WORK OF ANY TRADE IS TO BE CARRIED OUT IN THE EVENT OF CONFLICT OF INFORMATION. CLARIFICATIONS OF THIS NATURE ARE TO BE MADE BY THE ARCHITECT OR OWNER.
- ALL WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH APPLICABLE LOCAL CODE REQUIREMENTS AND ANY AGENCIES HAVING JURISDICTION, AS WELL AS ALL MANAGEMENT REGULATIONS.
- ALL WORK SHALL BE DONE IN A FIRST CLASS WORK-MANLIKE MANNER AND FABRICATED WITH FIRST CLASS MATERIALS. CONTRACTOR SHALL SUBMIT THE PROPOSED WORK SCHEDULE WITH HIS LUMP SUM BID THAT WILL NOT BE CHANGED EXCEPT WITH THE APPROVAL OF THE OWNER AND ARCHITECT.
- EXISTING PROPERTY AND NEW WORK IS TO BE PROPERLY PROTECTED AGAINST DAMAGES UNTIL THE COMPLETION OF THE JOB, AT WHICH TIME IT SHALL BE LEFT BROOM CLEAN.
- THE SUBCONTRACTORS' WORK UNDER THE BUILDER (GENERAL CONTRACTOR) SHALL BE FULLY COORDINATED SO AS TO AVOID UNNECESSARY DEMOLITION OR CONFLICT OF WORK SEQUENCE OF VARIOUS TRADES AND WORKMEN.
- THE CONTRACTOR SHALL FILE CERTIFICATES OF WORK-MENS' COMPENSATION, COMPREHENSIVE AUTO LIABILITY, COMPREHENSIVE GENERAL LIABILITY, AND EMPLOYER'S LIABILITY INSURANCES WITH THE OWNER AND ARCHITECT. THE CONTRACTOR IS ALSO TO OBTAIN PERMITS AND PAY ALL FEES REQUIRED BY LOCAL DEPARTMENT OF BUILDINGS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC, WORKMEN, VEHICLES, EXISTING STRUCTURES AND OCCUPANTS OF THE BUILDING.
- CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, AND THE ARCHITECT AGAINST ALL EXPENSES AND ATTORNEY'S FEES AND ANY LAWSUITS OR ACTIONS ARISING IN WHOLE OR IN PART FROM ANY ACT OR OMISSION BY THE CONTRACTOR, OF THE SUBCONTRACTOR OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY THE OWNER.
- THE SUBMISSION OF THE CONTRACTOR'S BID IMPLIES THAT ALL DRAWINGS, SPECIFICATIONS, AND NOTES HAVE BEEN READ, UNDERSTOOD AND INCORPORATED AS PART OF THE BID AMOUNT WITH ALL ITS PREREQUISITES AND TERMS. ALL STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE STRUCTURAL ENGINEER AND NEW JERSEY STATE BUILDING CODE REQUIREMENTS.
- IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO GIVE ONE WEEK ADVANCE NOTICE TO THE BUILDING DEPARTMENT AND SUPERVISING ARCHITECT FOR INSPECTION AT STAGES INDICATED AND REQUIRED BY DEPARTMENT OF BUILDINGS.
- THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES IN EXISTING SITE CONDITIONS, DIMENSIONS, OR ELEVATIONS TO THOSE SHOWN IN THE ARCHITECTURAL CONTRACT DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, AND ERECTION OF SAFE AND ADEQUATE BRACING, SHORING, TEMPORARY SUPPORTS, ETC. REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION.

**REFERENCED CODES**

NJUCC, SUBCHAPTER 6 REHABILITATION SUBCODE (NJAC 5:23-6)
2018 INTERNATIONAL BUILDING CODE NEW JERSEY EDITION
NATIONAL STANDARD PLUMBING CODE/ 2018
NATIONAL ELECTRIC CODE (NFPA 70)/ 2017
INTERNATIONAL ENERGY CONSERVATION CODE/2018

NJ 2018 RESIDENTIAL BUILDING CODE TABLE R301.2(1) CLIMATIC GEOGRAPHIC DESIGN CRITERIA				
SUBJECT TO DAMAGE FROM				
GROUND SNOW LOAD	WIND SPEED (MPH)	WEATHERING	FROST LINE DEPTH	TERMITE
20	120	SEVERE	3'-0"	MODERATE TO HEAVY

**CONCRETE, FOUNDATIONS, & SLABS**

- REMOVE TOP SOIL, RUBBISH & OTHER DELETERIOUS MATERIAL FROM INSIDE OF BUILDING AREA BEFORE BEGINNING WORK.
- EXCAVATION FOR ALL FOOTINGS SHALL BE MADE TO THE DEPTH OF A MINIMUM 3'-0" BELOW FINISHED GRADES, OR DEEPER IF LOCAL CONDITIONS REQUIRE.
- ALL CONCRETE USED SHALL BE NO LESS THAN 3000 PSI AT 28 DAYS STRENGTH, STONE AGGREGATE READY MIX.

**WOOD**

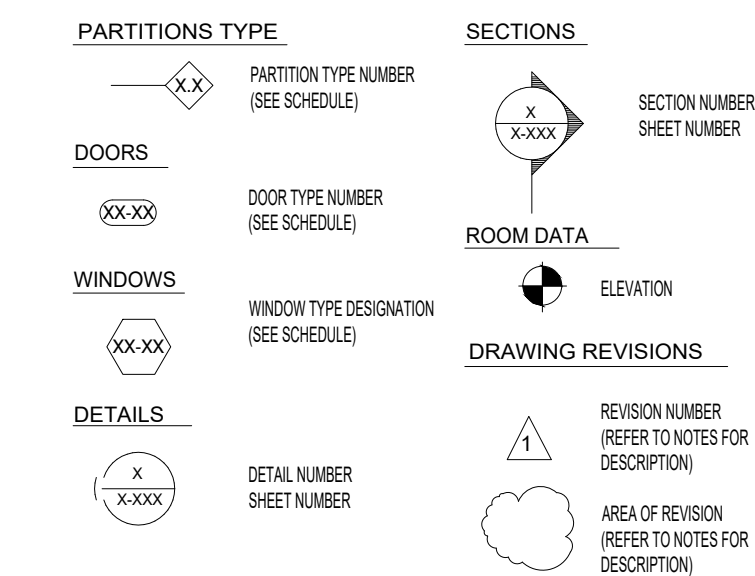
- ALL WOOD FRAMING INCLUDING TRUSSES SHALL CONFORM TO THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC CODE.
- ALL LUMBER & ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS RECOMMENDED BY THE N.L.M.A. & CODE STANDARDS.
- STRUCTURAL TIMBER SHALL BE #2 DOUGLAS FIR, OR APPROVED EQUAL BY THE ARCHITECT, WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF PERMANENT INCORPORATION TO THE STRUCTURE, UNLESS OTHERWISE NOTED IN THE DRAWINGS. THE TIMBER SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
  - BENDING STRESS..... 1,200 PSI
  - SHEAR STRESS..... 90 PSI
  - COMPRESSION STRESS PARALLEL TO GRAIN..... 1,600 PSI
  - MODULUS OF ELASTICITY..... 1,600,000 PSI

**STRUCTURAL LOADS**

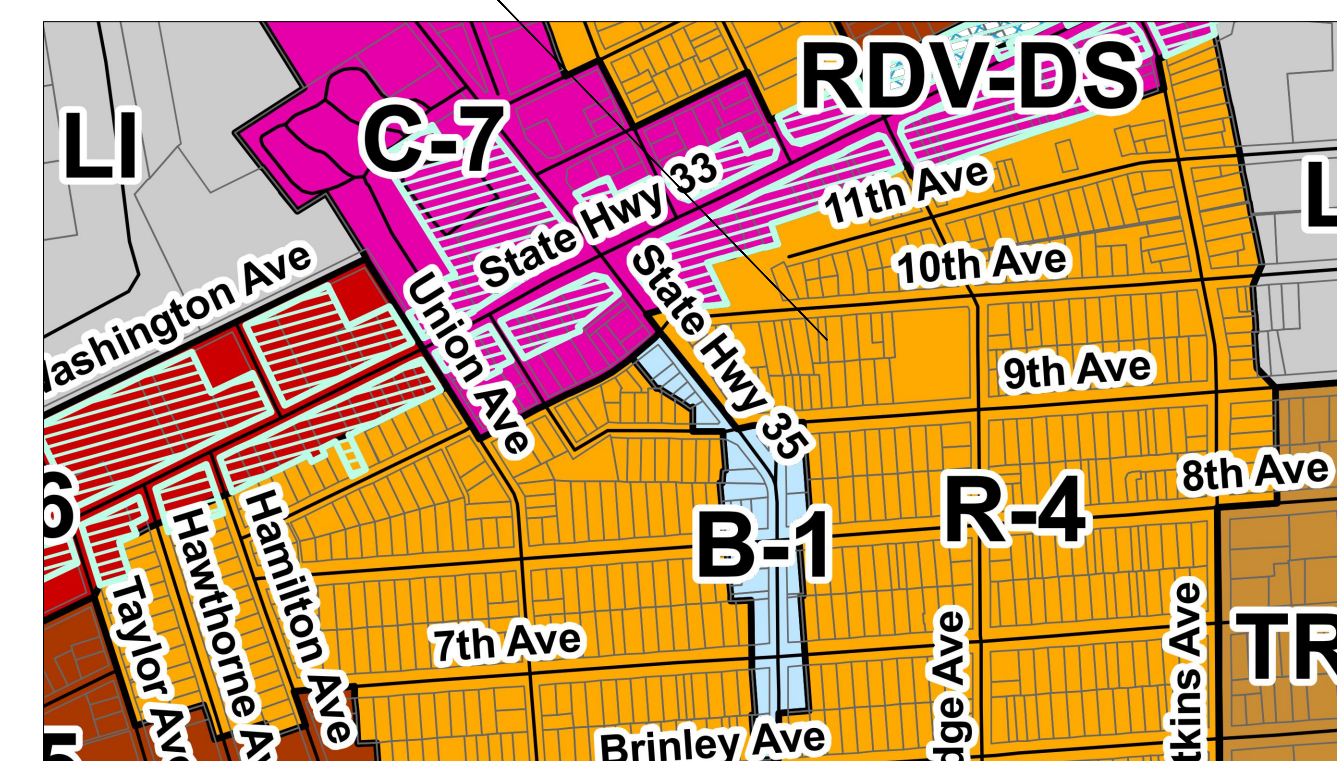
- AS PER MOST CURRENT NJ VERSION OF RESIDENTIAL CODE SECTION R301.2.1.1 THE FOLLOWING STRUCTURAL LOAD FACTORS HAVE BEEN DESIGNED FOR OR WITHIN LIMITATIONS OF THE CODE:
  - 1.1 WIND LOADS WITHIN 90 MPH ZONE
  - 1.2 20 PSF SNOW LOAD
- SUPERIMPOSED DESIGN LOADS
  - 2.1 DEAD LOADS:
    - DEAD LOADS SHALL BE TAKEN AS THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTIONS OR OTHERWISE SATISFACTORY VALUES DESCRIBED IN THE BUILDING CODE.
  - FLOOR JOISTS, SUBFLOOR & FINISHES..... 10 PSF
  - ROOF JOISTS, ROOFING & INT. FINISHES..... 10 PSF

- LIVE LOADS (RESIDENTIAL):
  - LIVING ROOMS..... 40 PSF
  - SLEEPING ROOMS..... 30 PSF

**GENERAL LEGEND**



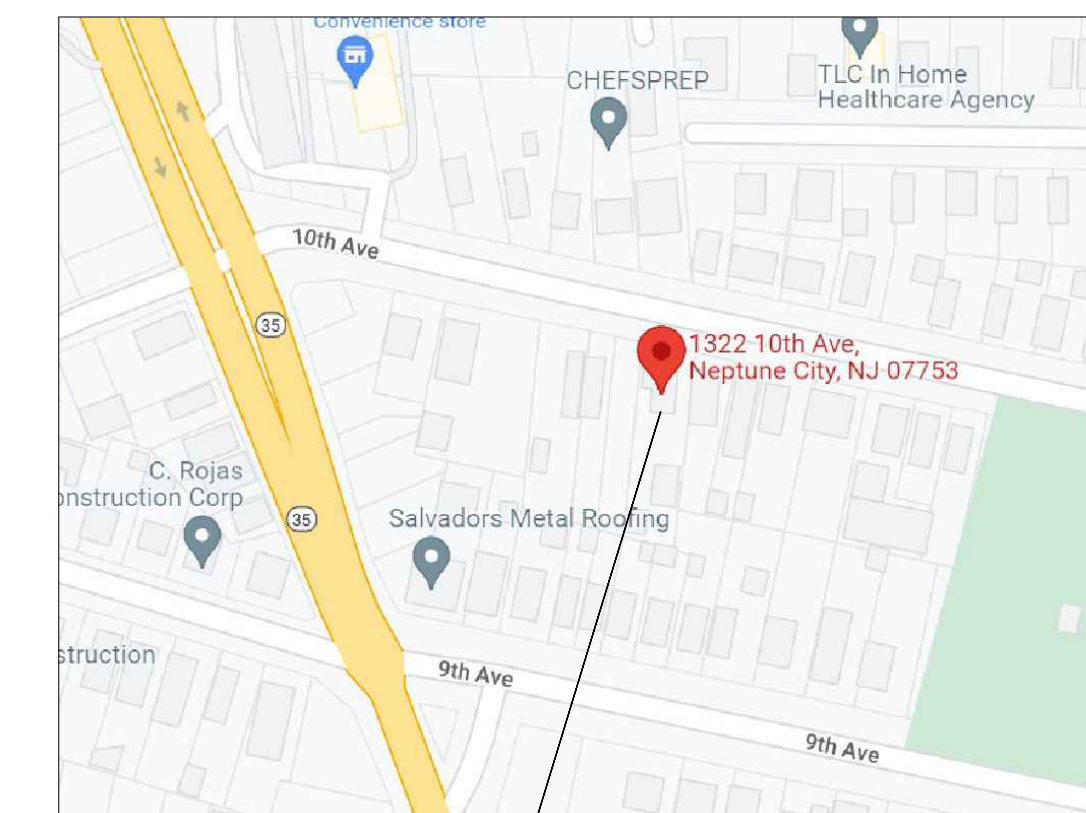
**SITE**



2 ZONING MAP LOCATION PLAN  
T-000 SCALE: N.T.S.

**PROPOSED CONSTRUCTION  
1322 10TH AVE, NEPTUNE,  
NJ 07753**

DRAWING INDEX		ISSUE DATE	
SHEET	TITLE	12/09/22	
T-000.00	TITLE SHEET, NOTES, AND PLOT PLAN	X	
A-000.00	ZONING ANALYSIS	X	
A-200.00	PROPOSED FLOOR PLANS	X	
A-600.00	PROPOSED ELEVATIONS	X	
A-601.00	PROPOSED RENDERS	X	



1 LOCATION PLAN  
T-000 N.T.S.

PROPERTY DEPICTED ON THE MONMOUTH COUNTY, NEPTUNE, NJ, OFFICIAL TAX MAP - REV. #, SHEET # BLOCK: 402, LOT: 7+8

FEMA FLOOD INSURANCE RATE MAP - AVON-BY-THE-SEA, NEW JERSEY, SOMERSET COUNTY, PANEL NO. 34035C0131E. LAST REVISED 9/28/2007 - SUBJECT PROPERTY DEPICTED NOT WITHIN FLOOD ZONE X.

BUILDING CHARACTERISTICS		
	EXISTING	PROPOSED
USE GROUP	R-5	R-5
CONSTRUCTION CLASS	VB	VB
NO. OF STORIES	2	2
HEIGHT OF STRUCTURE (FT.)	31.0 FT.	31.0 FT.
AREA - LARGEST FLOOR (SQ.FT.)	1110 SQ. FT.	1812 SQ. FT.
NEW BUILDING AREA / ALL FLOORS (SQ. FT.)	2220 SQ. FT.	3396 SQ. FT.
VOLUME OF NEW STRUCTURE (CU. FT.)	68,820 CU. FT.	105,276 CU. FT.
MAX LIVE LOAD	APPLICATION	UNIFORM LOAD
DECK	LIVING	40 PSF
MAX OCCUPANCY LOAD	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR
FUNCTION OF SPACE	RESIDENTIAL	200 GROSS
OCCUPANTS	RESIDENTIAL	22

BUILDING INFORMATION				
	AREA (GROSS SQ.FT.)		VOLUME (NET CU. FT.)	
	EXISTING	PROPOSED	EXISTING	PROPOSED
FIRST FLOOR	N/A	N/A	N/A	N/A
SECOND FLOOR	N/A	N/A	N/A	N/A
TOTAL				

**ARCHITECT:**  
CHRIS TEETER, RA  
LICENSED ARCHITECT IN:  
CT, FL, MI, NJ, NY, PA  
236 WEST 27TH STREET  
SUITE 1303  
NEW YORK, NY 10001

**BELL WORKS**  
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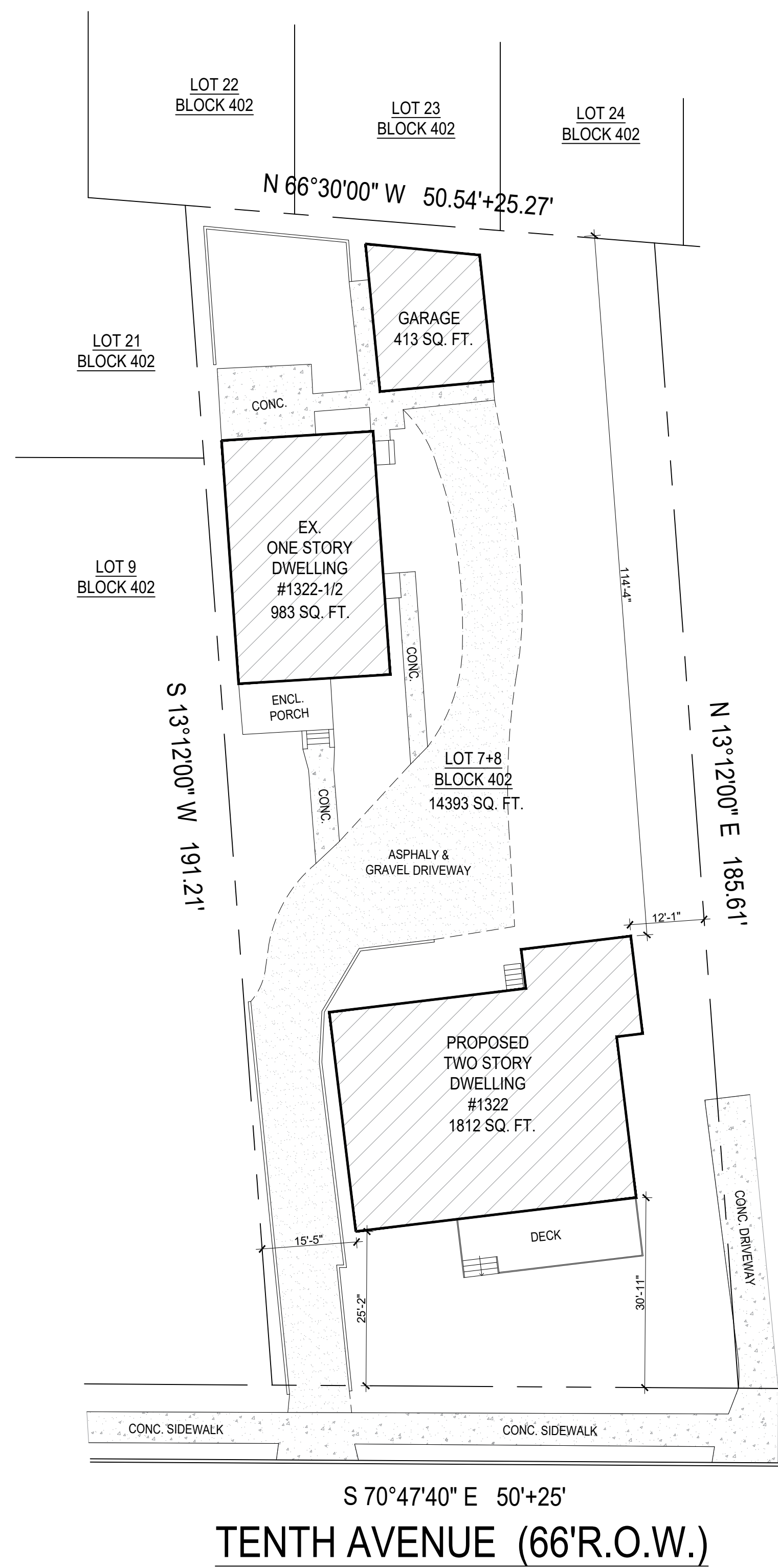
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TITLE

**T-000.00**

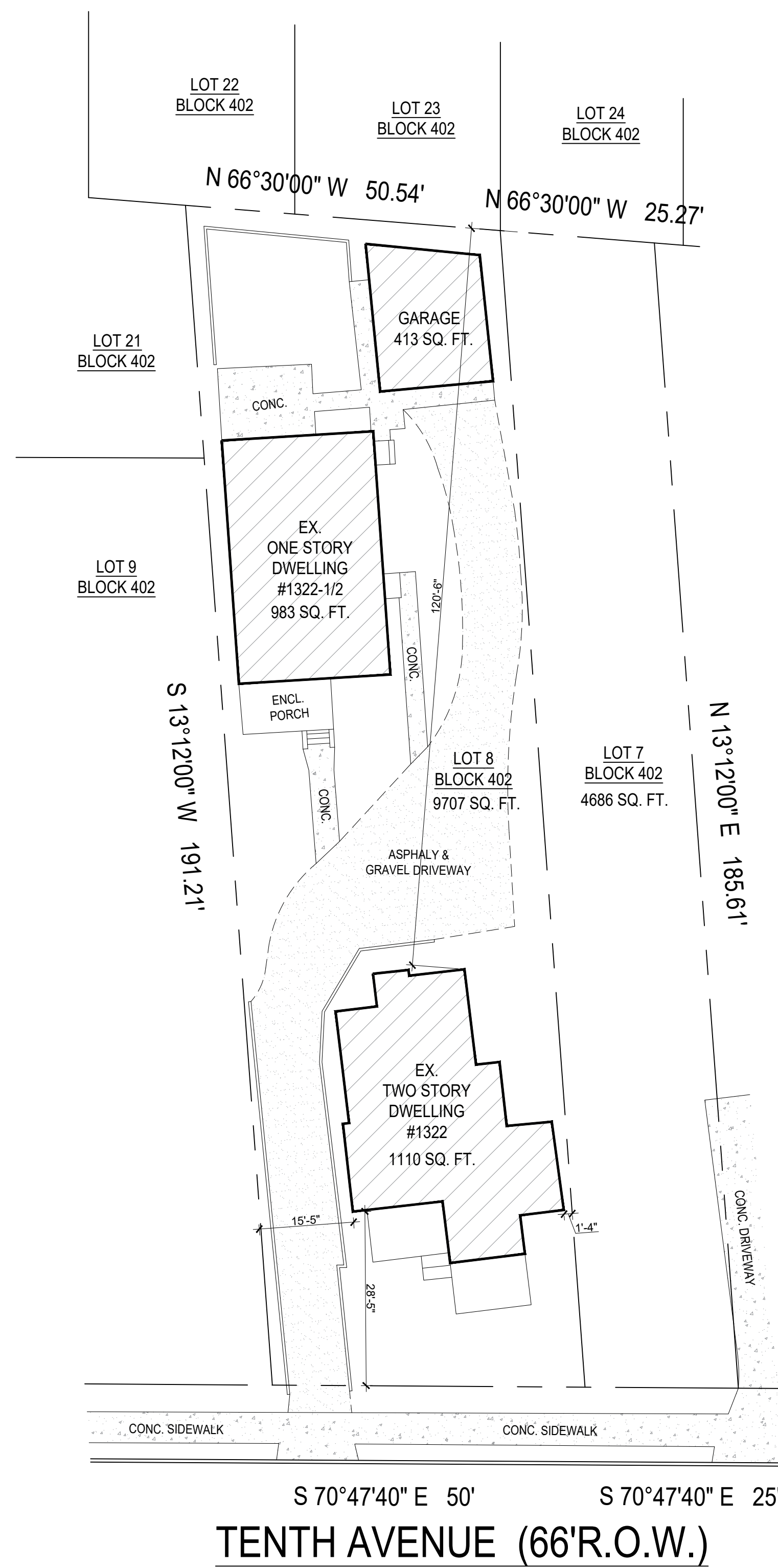
SHEET

SCALE AS SHOWN	
DRAWN BY TC, CT, BK	REVIEWED BY CT
	PAGE 1 OF 5



S 70°47'40" E 50'+25'  
**TENTH AVENUE (66'R.O.W.)**

2 PROPOSED SITE PLAN  
 A-000 SCALE: 1/4" = 1'-0"



S 70°47'40" E 50' S 70°47'40" E 25'  
**TENTH AVENUE (66'R.O.W.)**

1 EX. SITE PLAN  
 A-000 SCALE: 1/4" = 1'-0"

NOTE:  
 LOT 7&8 IS PURCHASED BY THE SAME  
 OWNER AND COMBINED INTO (1) LOT.  
 ZONING ANALYSIS IS DONE BASED ON  
 COMBINED LOT.

ZONING SUMMARY CHART - R-4				
DESCRIPTION	REGULATION	EXISTING	PROPOSED	NOTES
LOT AREA	MIN. 5,000 SQ.FT.	9707.00 SQ.FT.	14393.00 SQ.FT.	COMPLIES
FRONT YARD SET BACK	MIN. 20.00 Ft	28'-5"	25'-2"	COMPLIES
SIDE YARD SET BACK	MIN. 5FT/15FT	15'-5"/1'-4"	15'-5"/12'-1"	COMPLIES
REAR YARD SET BACK	MIN. 30'	120'-6"	114'-4"	COMPLIES
BUILDING HEIGHT	MAX. 35'	±31 FT.	±31 FT.	COMPLIES
BUILDING FOOTPRINT AREA	MAX. 50%	(25.8%) 2506.00 SQ.FT.	(22.2%) 3208.00 SQ.FT.	COMPLIES

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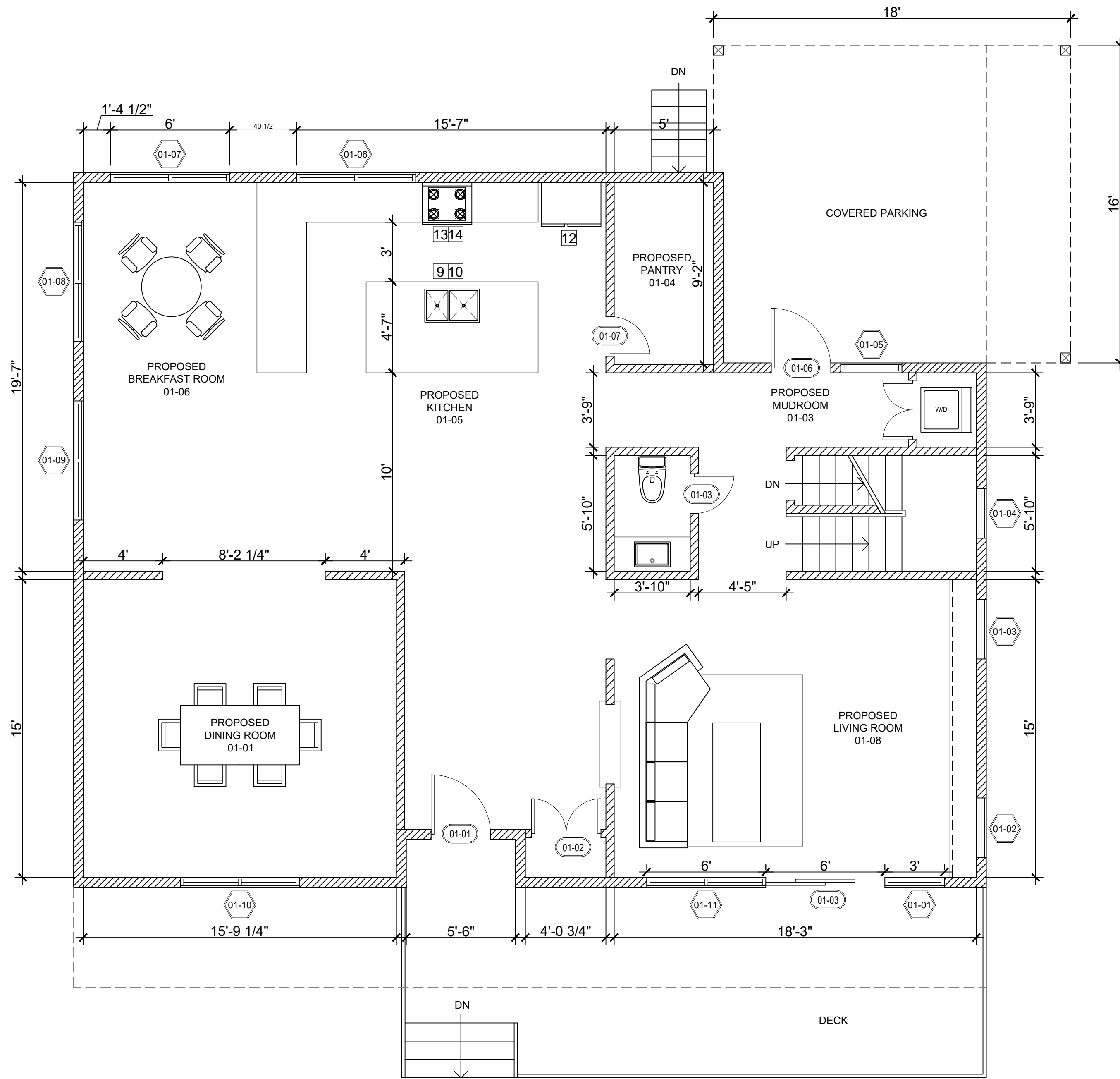
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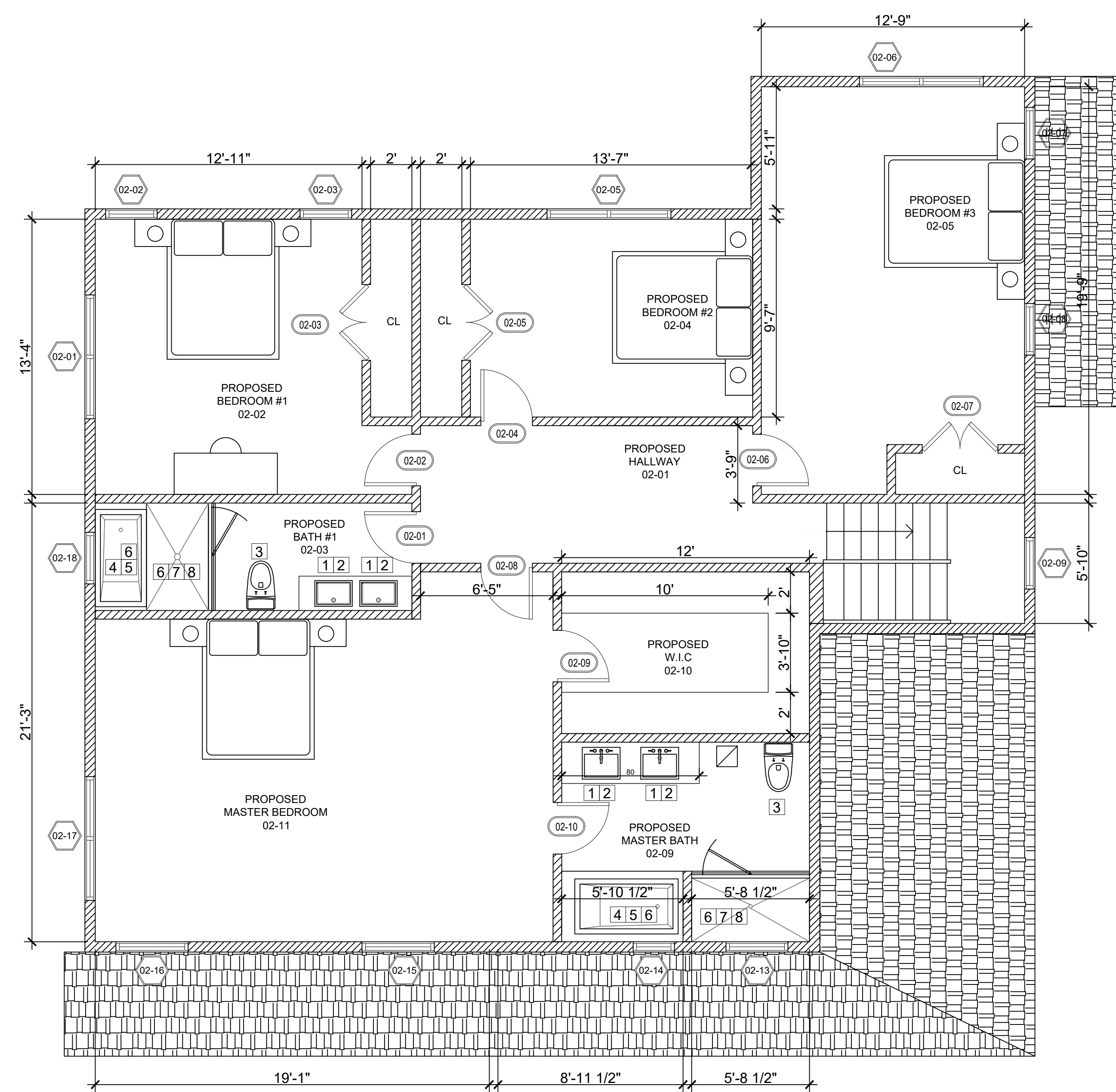
ZONING ANALYSIS  
 TITLE  
**A-200.00**  
 SHEET  
 SCALE AS SHOWN  
 DRAWN BY TC, CT, BK REVIEWED BY CT  
 PAGE 2 OF 5



1 PROPOSED 1ST FLOOR  
A-200 SCALE: 1/4" = 1'-0"

PROPOSED CONSTRUCTION NOTES	
A001	LEFT BLANK INTENTIONALLY

PROPOSED FINISHES NOTES	
F001	EXISTING FLOOR TO REMAIN, PATCH & REPAIR AS REQUIRED THROUGH OUT PROPOSED ADDITION WORK
F002	PROPOSED FLOORING TYPE TO MATCH EXISTING
F003	NO FLOOR FINISH WORKS REQUIRED IN BASEMENT



2 PROPOSED 2ND FLOOR  
A-200 SCALE: 1/4" = 1'-0"

APPLIANCE, EQUIPMENT & FIXTURE LEGEND	
1	PROPOSED LAVATORY, TBD
2	PROPOSED LAVATORY FAUCET, TBD
3	PROPOSED WC, TBD
4	PROPOSED DROP-IN TUB, TBD
5	PROPOSED TUB SPOUT, TBD
6	PROPOSED MIXER VALVE & THERMOSTATIC VALVE, TBD
7	PROPOSED SHOWER HEAD, TBD
8	PROPOSED SHOWER DRAINING, TBD
9	PROPOSED KITCHEN SINK, TBD
10	PROPOSED KITCHEN FAUCET, TBD
11	PROPOSED DISHWASHER, TBD
12	PROPOSED REFRIGERATOR, TBD
13	PROPOSED RANGE, TBD
14	PROPOSED RANGE HOOD, TBD
15	PROPOSED WASHER, TBD
16	PROPOSED DRYER, TBD
17	PROPOSED LAUNDRY SINK, TBD
18	PROPOSED LAUNDRY SINK FAUCET, TBD
19	PROPOSED MICROWAVE, TBD
20	PROPOSED SUMP PUMP, TBD

PROPOSED CONSTRUCTION LEGEND	
[Symbol]	EXISTING CORE WALLS TO REMAIN
[Symbol]	EXISTING INTERIOR WALL
[Symbol]	PROPOSED PARTITIONS, SEE PARTITION SCHEDULE ON SHEET A-800
[Symbol]	DOOR SYMBOL EX = EXISTING DOOR, FRAME & HARDWARE TO REMAIN, NO CHANGE ##-## = FLOOR NUMBER - DOOR COUNT
[Symbol]	PROPOSED CONSTRUCTION NOTE
[Symbol]	PROPOSED APPLIANCE, EQUIPMENT, OR FIXTURE, SEE LEGEND
[Symbol]	ACCESS PANELS TO SHUT-OFF VALVES FOR PLUMBING, SEE PLAN FOR LOCATION, COORDINATE WITH BUILDING SUPER
[Symbol]	PROPOSED TILE FLOORING OVER THINSET OVER SOUNDPROOFING COMPATIBLE WITH WIPING MEMBRANE BY TATICRETE® 9235, WPIPING UP WALLS 67/48" AT LAVS/FULL HEIGHT AT SHOWER AND TUBS
[Symbol]	EXISTING WOOD FLOOR & PROPOSED WOOD FLOOR TO MATCH.
[Symbol]	EXISTING CARPET
[Symbol]	PROPOSED CERAMIC TILE, TBD
[Symbol]	PROPOSED WALL PAINT, TBD
[Symbol]	PROPOSED BASEBOARDS, TBD
[Symbol]	PROPOSED CEILING PAINT, TBD
[Symbol]	PROPOSED CEILING PAINT, TBD
[Symbol]	PROPOSED MILLWORK, TBD
[Symbol]	PROPOSED COUNTERTOP AND BACKSPLASH, TBD

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PROPOSED FLOOR PLANS  
TITLE

A-200.00  
SHEET

SCALE AS SHOWN	REVIEWED BY
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PAGE	3 OF 5



1 PROPOSED FRONT ELEVATION  
A-600 SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION  
A-600 SCALE: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION  
A-600 SCALE: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION  
A-600 SCALE: 1/4" = 1'-0"

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PAGE	4 OF 5



FRONT VIEW



BIRDEYE VIEW 2



BIRDEYE VIEW 1



BIRDEYE VIEW 3

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