

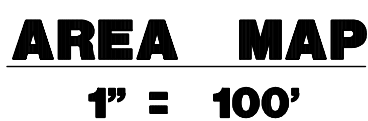
PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
826 NEWTOWN YARDLEY ROAD - SUITE 201
NEWTOWN, PA 18940
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	FORM A			FORM B					
	REQUIREMENT	EXISTING LOT 6	PROPOSED LOT 6	REQUIREMENT	EXISTING LOT 5	EXISTING LOT 7	PROPOSED LOT 5	PROPOSED LOT 7	PROPOSED LOT COMBINED
MAXIMUM IMPERVIOUS COVERAGE	80%	0%	79.1% (29,146 SF)	70%	0%	22.9% (5,327 SF)	85.2% (16,145 SF) (V)	81.5% (18,999 SF) (V)	81.3% (64,290 SF) (V) - FORM B
N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE									

1-BEDROOM = (18 UNITS)*(1.8 PARKING SPACES/UNIT) = 32 SPACES
2-BEDROOM = (60 UNITS)*(2.0 PARKING SPACES/UNIT) = 120 SPACES
= 152 SPACES

200' PROPERTY OWNERS LIST

LIU QUN QUN & ZHI LAN LI
 801 MAIN STREET
 BRADLEY BEACH, NJ 07720
 FIRST AID & AMBULANCE CORPS.
 MAIN ST
 BRADLEY BEACH, NJ 07720
 BOROUGHS OF BRADLEY BEACH
 MAIN ST
 BRADLEY BEACH, NJ 07720
 BORO OF BRADLEY BEACH
 MAIN ST
 BRADLEY BEACH, NJ 07720
 BORO OF BRADLEY BEACH
 701 MAIN ST
 BRADLEY BEACH, NJ 07720
 BRVILLAGE LLC
 1002 ST GEORGES AVE
 PARKWAY, NJ 07085
 BOROUGHS OF BRADLEY BEACH
 701 MAIN STREET
 BRADLEY BEACH, NJ 07720
 BOROUGHS OF BRADLEY BEACH
 MAIN ST
 BRADLEY BEACH, NJ 07720
 724 MAIN ST LLC
 720 MAIN ST
 BRADLEY BEACH, NJ 07720
 718 MAIN ST LLC
 708 MAIN ST
 BRADLEY BEACH, NJ 07720
 720 MAIN STREET LLC
 708 MAIN ST
 BRADLEY BEACH, NJ 07720
 BAYLORD PROPERTY C/O NJ TRANSIT
 1000 NEWARK AVENUE
 NEWARK, NJ 07101
 ALSO TO BE NOTIFIED:
 CABLEVISION
 ATTN: LAND USE MATTERS
 101 EIGHTH AVENUE
 NEWARK, NJ 07119
 JERSEY CENTRAL POWER & LIGHT
 ATTN: LAND USE MATTERS
 100 MADISON AVENUE
 MORRISTOWN, NJ 07960
 VERIZON - NJ
 ATTN: WIRELINE DEPARTMENT
 995 WEST MAIN ST, FLOOR 2
 FREDHOLD, NJ 07728-2525
 NJ NATURAL GAS CO.
 ATTN: NORTH HAVEN
 1450 WICKOFF ROAD
 FREDHOLD, NJ 07716
 NEW JERSEY AMERICAN WATER CO.
 ATTN: INQUIRY SHORT GAS SUPERVISOR
 1225 LAUREL OAK ROAD
 FLORENCE, NJ 08434
 MONMOUTH COUNTY PLANNING BOARD
 HALL OF RECORD ANEX
 1000 WASHINGTON AVE
 FREDHOLD, NJ 07728
 DEPARTMENT OF TRANSPORTATION
 C/O COMMISSIONER OF TRANSPORTATION
 NEWARK, NJ 08625



LIST OF VARIANCS*

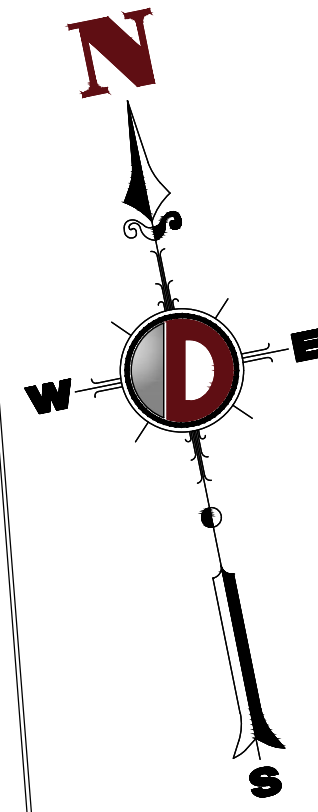
FORM B (§423.C):

- VARIANCE FROM A FRONT YARD SETBACK OF 6.6 FT WHERE A MINIMUM OF 10 FT IS REQUIRED ON MEMORIAL DRIVE.
- VARIANCE FROM A FRONT YARD SETBACK OF 22.9 FT WHERE A MAXIMUM OF 20 FT IS REQUIRED ON 8TH AVENUE.
- VARIANCE FROM A RESIDENTIAL DENSITY OF 43.1 UNITS/ACRE WHERE A MAXIMUM OF 15 UNITS/ACRE IS PERMITTED.
- VARIANCE FROM A MAXIMUM BUILDING HEIGHT OF 4 STORIES (48 FT) WHERE MAXIMUM OF 3 STORIES (36 FT) IS PERMITTED.
- VARIANCE FROM A TOTAL IMPERVIOUS COVERAGE OF 81.31% WHEN A MAXIMUM OF 70% COVERAGE IS PERMITTED.

- W/AVENUE FROM §605.8-4) - A PROPOSED DRIVEWAY WIDTH OF 25 FT WHERE A MAXIMUM DRIVEWAY WIDTH OF 22 FT IS REQUIRED;
- W/AVENUE FROM §616-1) - A PROPOSED RESIDENTIAL DEVELOPMENT WITH 18-19 UNITS (23%) AND 60 2-BR UNITS (77%) WHERE A MAXIMUM OF 75% OF EACH UNIT TYPE IS PERMITTED;
- W/AVENUE FROM §616-4) - A PROPOSED RESIDENTIAL BUILDING SETBACK FROM A PARKING LOT OF 0 FT WHERE A MINIMUM OF 15 FT IS REQUIRED;
- W/AVENUE FROM §616-6) - A PROPOSED RESIDENTIAL BUILDING SETBACK FROM A PROPOSED DRIVEWAY OF 0 FT WHERE A MINIMUM OF 25 FT IS REQUIRED;
- W/AVENUE FROM §622.1-3) - A STREET FRONTAGE (MEMORIAL DRIVE) WITH NO STREET TREES WHERE A MINIMUM PLANTING OF ONE (1) PER THIRTY-FIVE (35) FEET IS REQUIRED.

- * SEE SHEET 4 FOR SCHEDULE OF ZONING REQUIREMENTS.

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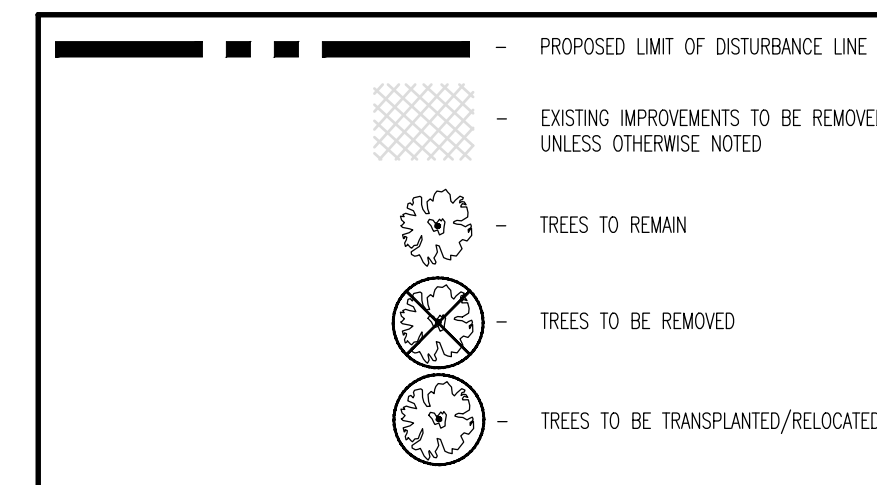
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ACCORDANCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOSTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHTOUT THE STRUCTURE AND REMOVE MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHROUDING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR CRAWL SPACE FLOOR PLANS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, BREAK SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS, SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGeways IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONTRACT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAY, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITION EXISTING PRIOR TO THE STATE OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE GOVERNMENTAL REGULATIONS. REMOVE AND SMOUL FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER FROZEN MATERIAL. STONE AND WASTE WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE AN NECESSARY ACTION TO ENSURE THAT GRADE AREAS TO BE FILLED ARE FREE FROM EXISTING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS, AND FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN THICKNESS. REMOVE AND SMOUL EACH LAYER AT PLACEMENT TO 8% OPTIMUM DRYING. GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE DATE, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OF THE FIRE DEPARTMENT AND OTHER APPLICABLE GOVERNMENTAL REGULATIONS.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED IDENTIFICATION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT THE PROCEDURES AND REQUIREMENTS OF THE STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.

NOTES


1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK-OUT IN ADVANCE OF ANY EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

DEMOLITION PLAN LEGEND



GRAPHIC SCALE

(IN FEET)
1 INCH = 20 FT.

[illegible]

THIS PLAN SET IS FOR PERMITTING PURPOSES
ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY:	CHECKED BY:	CHECKED BY:
AJW/PTB	SMM	SRC
		-

PROJECT: **SURFSIDE CROSSING**
PROPOSED MULTI-FAMILY DWELLINGS
BLOCK 405, LOTS 5, 6, & 7
1102 9TH AVENUE, 105 8TH AVENUE, & MEMORIAL DRIVE
NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY



**DYNAMIC
ENGINEERING**

LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

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www.dynamicec.com

JUSTIN A. GEONNOTTI

PROFESSIONAL ENGINEER

STEVEN R. CATTANI

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 40014

TITLE: **DEMOLITION
PLAN**

SCALE: (H) 1"=20'
(V).
PROJECT NO:
2241-99-

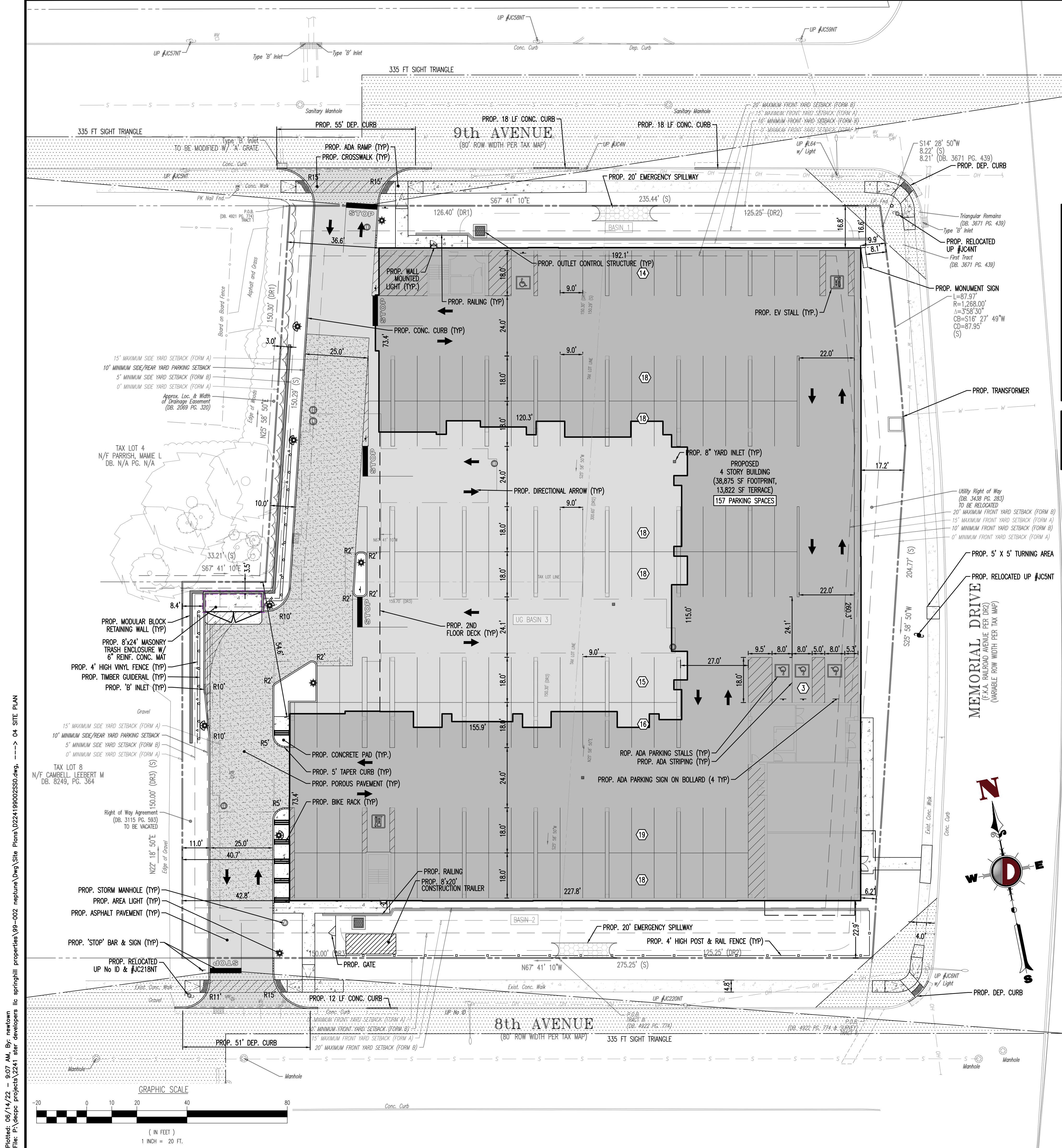
DATE: 06/13/22

SHEET No:

3

Rev. #

OF 26	0
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GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:

- BOUNDARY & TOPOGRAPHIC SURVEY
DYNAMIC SURVEY, LLC
1904 MAIN STREET,
LAKE COMO, NJ 07719
SURVEYOR FILE NO:
03/30/2022
- APPLICANT:
STER DEVELOPERS LLC
811 AMBOY AVE, SECOND FLOOR
EDISON, NJ 08837
- OWNER:
JPP CO AND JCR ENTERPRISE INC
621 SHREWSBURY AVE
SHREWSBURY, NJ
- PARCEL DATA:
BLOCK 405, LOTS 5, 6, & 7 (OLD BLOCK 162, LOTS 67, 70, & 74)
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NJ
- ZONE:
TRANSIT VILLAGE (TRV ZONE)
- EXISTING USE:
SINGLE-FAMILY RESIDENTIAL/OPEN SPACE (EXISTING NON-CONFORMANCE) (§423.B & §423.C)
- PROPOSED USE:
MULTI-FAMILY DWELLINGS (PERMITTED USE) (§423.B & §423.C)
- SCHEDULE OF ZONING REQUIREMENTS (§423.B & §423.C)

ZONE REQUIREMENT	REQUIREMENT	FORM A	EXISTING LOT 6	PROPOSED LOT COMBINED	REQUIREMENT	FORM B	EXISTING LOT 5 & 7	PROPOSED LOT COMBINED
MINIMUM LOT AREA	5,000 SF (0.12 AC)	36,855 SF (0.85 AC)	79,034 SF (1.81 AC)	5,000 SF (0.12 AC)	42,197 SF (0.97 AC)	79,034 SF (1.81 AC)		
MINIMUM LOT WIDTH	50 FT	125.2 FT	251.7 FT	50 FT	126.4 FT	251.7 FT		
MINIMUM LOT FRONTAGE	50 FT	125.2 FT	251.7 FT	50 FT	126.4 FT	251.7 FT		
FRONT YARD SETBACK (MEMORIAL DRIVE)								
-BUILDING	0 FT MIN/ 15 FT MAX	N/A	6.6 FT	10 FT MIN/ 20 FT MAX	N/A	6.6 FT (M)		
-ACCESSORY STRUCTURE	24 FT MIN	N/A	258.2 FT	24 FT MIN	N/A	258.2 FT		
FRONT YARD SETBACK (9TH AVE)								
-BUILDING	0 FT MIN/ 15 FT MAX	N/A	22.9 FT (M)	10 FT MIN/ 20 FT MAX	13.5 FT	22.9 FT (M)		
-ACCESSORY STRUCTURE	24 FT MIN	N/A	138.1 FT	20 FT MIN	N/A	138.1 FT		
FRONT YARD SETBACK (9TH AVE)								
-BUILDING	0 FT MIN/ 15 FT MAX	N/A	16.8 FT (M)	10 FT MIN/ 20 FT MAX	N/A	16.8 FT (M)		
-ACCESSORY STRUCTURE	24 FT MIN	N/A	154.5 FT	6 FT MIN	N/A	154.5 FT		
SIDE YARD SETBACK								
-BUILDING	0 FT MIN/ 15 FT MAX	N/A	36.6 FT (M)	36.6 FT	14.2 FT	36.6 FT (M)		
-ACCESSORY STRUCTURE	0 FT MIN	N/A	8.4 FT	N/A	N/A	8.4 FT		
REAR YARD SETBACK								
-BUILDING	0 FT MIN	N/A	54.6 FT	5 FT MIN	9.9 FT	54.6 FT		
-ACCESSORY STRUCTURE	3 FT MIN	N/A	3.5 FT	6 FT MIN	N/A	3.5 FT		
MAXIMUM RESIDENTIAL DENSITY	20 UNITS/ AC	N/A	43.1 (M)	15 UNITS/ AC	2.06 UNITS/ ACRE	43.1 (M)		
MINIMUM BUILDING HEIGHT	4 STORIES/ 48 FT	N/A	4 STORIES/ 48 FT	3 STORIES/ 36 FT	15 FT	4 STORIES/ 48 FT (M)		
MINIMUM BUILDING HEIGHT	2 STORIES	N/A	4 STORIES	2 STORIES	2 STORIES	4 STORIES		

REQUIREMENT	EXISTING LOT 6	PROPOSED LOT 6	REQUIREMENT	EXISTING LOT 5	EXISTING LOT 7	PROPOSED LOT 5	PROPOSED LOT 7	PROPOSED LOT COMBINED
MAXIMUM IMPERVIOUS COVERAGE	80%	0%	79.1% (29,146 SF)	70%	0%	85.2% (16,145 SF) (M)	81.5% (18,999 SF) (M)	81.5% (64,290 SF) (M)
N/S: NO STANDARD	N/A: NOT APPLICABLE	(E): EXISTING NON-CONFORMANCE	(V): VARIANCE					

9. PARKING REQUIREMENTS

- RESIDENTIAL PARKING STALLS SHALL MEASURE 9 FT BY 18 FT (§514.8.8.(ii)) (COMPLIES)
- RETAIL PARKING STALLS SHALL MEASURE 9 FT BY 18 FT (§514.8.8.(ii)) (COMPLIES)
- PARKING LOT ASLE WIDTH SHALL BE 24 FT FOR PERPENDICULAR PARKING STALLS (§514.9) (COMPLIES)
- PARKING CALCULATION:

MULTI-FAMILY DWELLING:

- 1-BEDROOM = (18 UNITS)*(1.8 PARKING SPACES/UNIT) = 32 SPACES
- 2-BEDROOM = (60 UNITS)*(2.0 PARKING SPACES/UNIT) = 120 SPACES
- RETAIL: (936 SF)*(1 PARKING SPACE/250 GFA) = 4 SPACES

- 156 SPACES REQUIRED
- 157 SPACES PROVIDED (COMPLIES)

10. LOADING REQUIREMENTS

- DRIVEWAY REQUIREMENTS
- DRIVEWAY FOR USES OTHER THAN SINGLE-FAMILY DWELLING UNITS SHALL BE SETBACK AT LEAST TEN (10) FEET FROM ALL PROPERTY LINES, EXCEPTING DRIVEWAY INTERSECTIONS WITH PUBLIC OR PRIVATE ROADWAYS. (§505.8.2.(ii)) (COMPLIES)
- APARTMENT USES SHALL HAVE A DRIVEWAY WIDTH OF AT LEAST 18 FT AND AT MOST 22 FT (§505.8.4) (VARIANCE)
- BUFFER/ LANDSCAPING REQUIREMENTS
- A. THE PERIMETER OF ALL PARKING LOTS SHALL BE SETBACK FROM ALL REAR AND SIDE LOT LINES BY A MINIMUM OF TEN (10) FEET (§509.1.1) (COMPLIES)
- B. SIDE AND REAR YARDS SHALL BE LANDSCAPED WITH A COMBINATION OF EVERGREEN SHRUBS AND DECIDUOUS TREES TO FORM A SCREEN A MINIMUM OF SIX (6) FEET TALL AT THE TIME OF PLANTING. BUFFER THREE SPACING FOR FOLIAGE SIMILAR TO THE WHITE PINE SHALL BE FIVE FEET (5') ON CENTER AND SIMILAR TO THE ARBORVITAE SHALL BE THREE FEET (3') ON CENTER. (§509.1.1.(ii)) (COMPLIES)
- C. FRONT YARDS SHALL BE LANDSCAPED WITH A COMBINATION OF AN ALTERNATING EVERGREEN AND DECIDUOUS HEDGE A MINIMUM OF THREE (3) FEET TALL AT THE TIME OF PLANTING, WITH DECIDUOUS SHADE TREES LOCATED A SPACING OF THIRTY (30) FEET ON-CENTER, AND SPACING TO SUPPLEMENT AND ALTERNATE WITH REQUIRED STREET TREES. (§509.1.1.(iii)) (COMPLIES)
- D. STREET TREES SHALL BE PLANTED AT A MINIMUM INTERVAL OF THIRTY-FIVE (35) FEET ALONG ALL STREETS. (§509.1.1.(iv)) (COMPLIES)
- LIGHTING REQUIREMENTS
- A. LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN FOURTEEN (14) FEET OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS, MEASURED FROM THE GROUND LEVEL TO THE CENTERLINE OF THE LIGHT SOURCE. (§412.11) (COMPLIES)
- B. MAXIMUM LIGHTING CONTROLS: THE RATIO OF AVERAGE ILLUMINATION, MEASURED IN FOOT-CANDELS, TO MINIMUM ILLUMINATION, AS REQUIRED IN TABLE 5.3 (MINIMUM ILLUMINATION FOR SURFACE PARKING) SHALL NOT EXCEED 4 TO 1. THE MAXIMUM ILLUMINATION PROVIDED ON ANY SITE SHALL NOT EXCEED THE MINIMUM ILLUMINATION BY MORE THAN A RATIO OF 10 TO 1. (§511.6.2) (COMPLIES)
- RESIDENTIAL DEVELOPMENT REQUIREMENTS
- A. IN DEVELOPMENTS OF TWENTY-FIVE (25) OR MORE DWELLING UNITS, THE MIX OF DWELLING UNITS SHALL BE SUCH THAT NOT MORE THAN SEVENTY-FIVE (75) PERCENT OF THE TOTAL NUMBER OF DWELLING UNITS SHALL HAVE THE SAME NUMBER OF BEDROOMS. (§514.8.3.(ii)) (COMPLIES)
- B. BUILDINGS IN A MULTIFAMILY DEVELOPMENT SHALL BE SET BACK AT LEAST FIFTEEN (15) FEET FROM ALL PARKING AREAS. BUILDINGS SHALL BE SETBACK AT LEAST TWENTY-FIVE (25) FEET FROM DRIVEWAYS, AND PRIVATE OR PUBLIC STREETS. NO BUILDING SHALL BE LOCATED WITHIN THE PRINCIPAL SETBACK AREA FOR THE APPLICABLE ZONE DISTRICT. (§516.6.6) (VARIANCE)
- FENCE REQUIREMENTS
- A. THE FRONT AND SIDE YARDS OF A DWELLING UNIT OR BUILDING FRONTING ON A STREET, DRIVEWAY OR PARKING LOT SHALL BE DEFINED WITH A THREE (3) FOOT HIGH WOODEN PICKET TYPE FENCE, WROUGHT IRON FENCE, BRICK
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION MATTERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN, TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION MATTERS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH IN THE RECOMMENDATIONS AREA IS PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. TO PROVIDE CONTRACTORS LIABILITY COVERAGE SUFFICIENT TO INSURE THE PROJECT. CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C. NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MAINTAINED INSURED UNDER THE GENERAL CONTRACTORS POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK OR OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND SUBCONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND SUBCONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THESE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CORRELATED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH NAC 523-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

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DATE	06/13/22
PROJECT NO.	2241-99-002
SHEET NO.	4
REV.	#1
COMMENTS	

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

OWNER: JPP CO AND JCR ENTERPRISE INC
DESIGNED BY: JPP CO AND JCR ENTERPRISE INC
CHECKED BY: JPP CO AND JCR ENTERPRISE INC
REVIEWED BY: JPP CO AND JCR ENTERPRISE INC
DATE: 06/13/22

PROJECT: SURFSIDE CROSSING
PROPOSED MULTI-FAMILY DWELLINGS
BLOCK 405, LOTS 5, 6, & 7
NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

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JUSTIN A. GEONNOTTI
PROFESSIONAL ENGINEER

STEVEN R. CATTANI
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 40014

TITLE: SITE PLAN

SCALE: (H) 1" = 20'
(V) 1" = 20'

DATE: 06/13/22

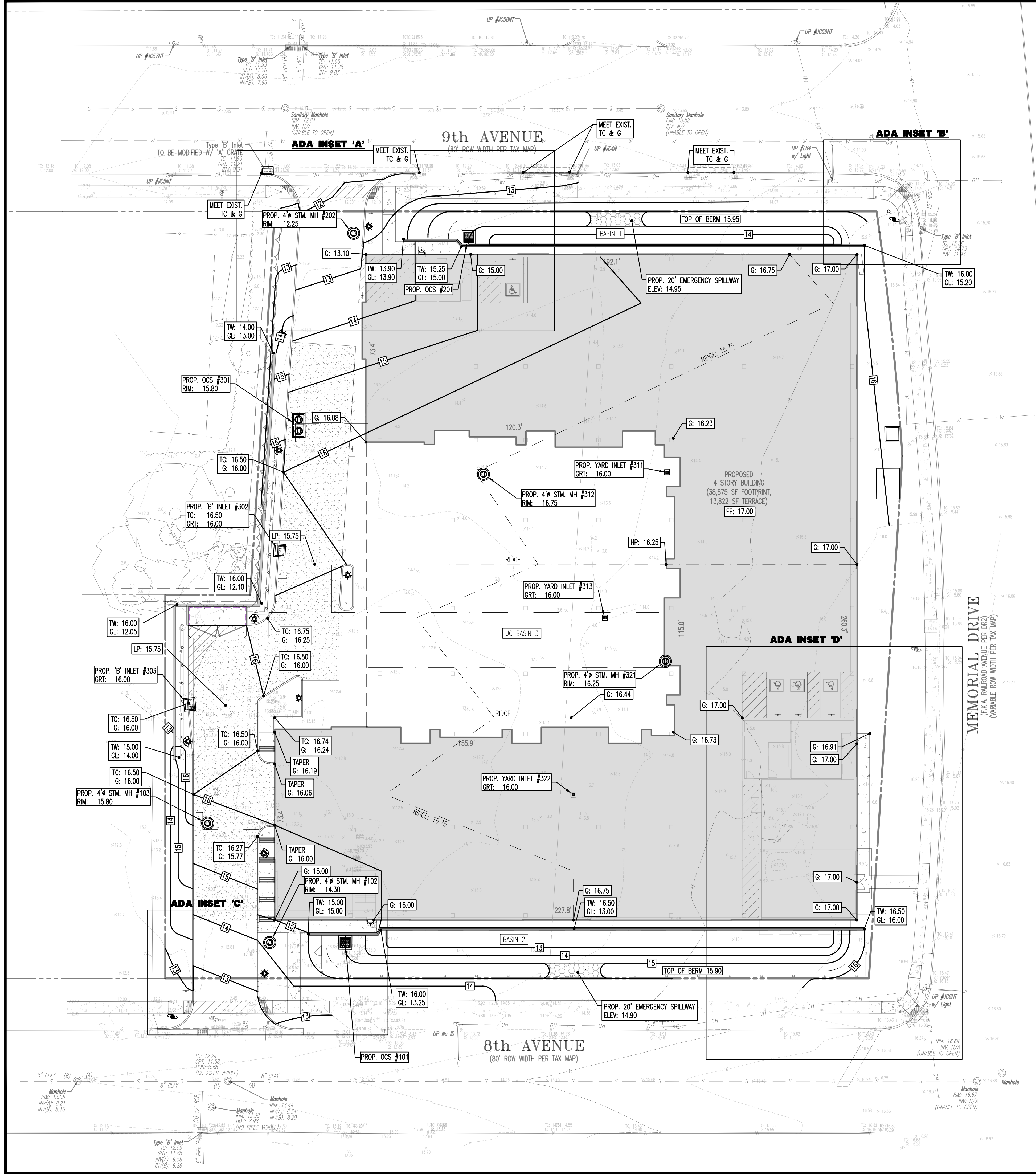
PROJECT NO.: 2241-99-002

SHEET NO.: 4

REV. #1

OF 26

Plotted: 06/14/22 -- 9:07 AM. By: newtown
File: P:\deep projects\2241 ater developers llc springhill properties\99-002 nepluna\Org Site Plans\024199002SS0.dwg, ---> 05 GRADING PLAN

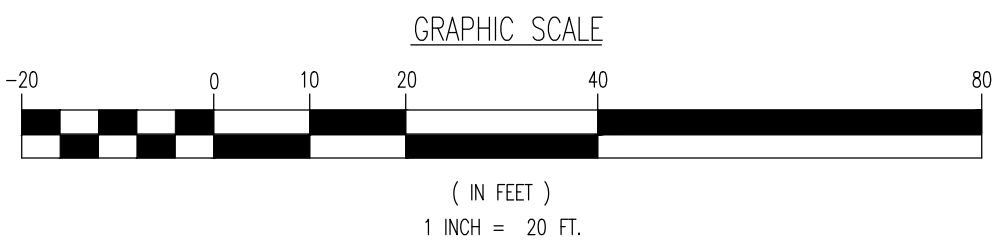


GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND CURBS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% OUTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING OUT SHEETS PRIOR TO INSTALLATION.
4. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS ASILES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE, OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

GRADING/UTILITY GRAPHIC LEGEND

PROPERTY LINE (PARCEL IN QUESTION)		OFF-SITE PROPERTY LINES	
---	C	---	C
---	E	---	E
---	FO	---	FO
---	G	---	G
---	OH	---	OH
---	T	---	T
---	USET	---	USET
---	W	---	W
---	S	---	S
---	OR	---	OR
---	XX	---	XX
EXIST. CABLE LINE		PROP. CABLE LINE	
EXIST. ELECTRIC LINE		PROP. ELECTRIC LINE	
EXIST. FIBER OPTIC LINE		PROP. FIBER OPTIC LINE	
EXIST. GAS LINE		PROP. GAS LINE	
EXIST. OVERHEAD WIRES		PROP. OVERHEAD WIRES	
EXIST. TELEPHONE LINE		PROP. TELEPHONE LINE	
EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	
EXIST. WATER LINE		PROP. WATER LINE	
EXIST. SANITARY SEWER LINE		PROP. SANITARY SEWER LINE	
EXIST. STORM DRAIN LINE		PROP. STORM DRAIN LINE	
EXIST. MINOR CONTOUR & ELEVATION		PROP. FINISH GRADE CONTOUR & ELEVATION	
EXIST. MAJOR CONTOUR & ELEVATION			
EXIST. MONITORING WELL			
APPROX. TEST PIT LOCATION			
EXIST. SPOT ELEVATIONS		PROP. GRADE SPOT ELEV.	
EXIST. GUTTER ELEV.		PROP. TOP OF CURBS & FINISHED GRADE ELEV.	
EXIST. TOP OF CURB ELEV.		PROP. FINISHED FLOOR ELEV.	
EXIST. FINISH FLOOR ELEV.		PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)	
EXIST. GARAGE FLOOR ELEV.		PROP. TOP OF EXTENDED CURB (QH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (GL) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB	
EXIST. FIRE HYDRANT			
EXIST. WATER VALVE		PROP. DIRECTION OF DRAINAGE FLOW ARROW	
EXIST. GAS VALVE		PROP. WATER VALVE	
EXIST. ELECTRIC METER		PROP. GAS VALVE	
EXIST. ELECTRIC BOX		PROP. STORM CLEANOUT	
EXIST. WELL		PROP. SANITARY CLEANOUT	
EXIST. WATER SHUT OFF VALVE		PROP. AREA LIGHT	
EXIST. TELEPHONE BOX		PROP. OUTLET CONTROL STRUCTURE	
EXIST. CABLE TV BOX		PROP. DRAINAGE MANHOLE	
EXIST. UTILITY POLE		PROP. SANITARY SEWER MANHOLE	
EXIST. GUY WIRE		PROP. "A" INLET	
EXIST. LIGHT POLE		PROP. "B" INLET	
EXIST. BUILDING LIGHT		PROP. "C" INLET	
EXIST. SHOE BOX LIGHT		PROP. YARD INLET	
EXIST. COBRA LIGHT POLE		PROP. FLARED END SECTION	
EXIST. TRAFFIC SIGNAL POLE		PROP. HEADWALL	
EXIST. MANHOLE			
EXIST. "A" INLET			
EXIST. "B" INLET			
EXIST. "C" INLET			
EXIST. YARD INLET			
EXIST. FLARED END SECTION			
EXIST. HEADWALL			





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PROJECT: **SURFSIDE CROSSING**
PROPOSED MULTI-FAMILY DWELLINGS
BLOCK 405, LOTS 5, 6, & 7
1102 9TH AVENUE, 105 8TH AVENUE, & MEMORIAL DRIVE
NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

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JUSTIN A. GEONNOTTI
PROFESSIONAL ENGINEER

STEVEN R. CATTANI
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 40014

TITLE: GRADING PLAN	DATE: 06/13/22
SCALE: (H) 1"=20' (V) 1"=10'	PROJECT NO: 2241-99-002
SHEET NO: 5	Rev. #:



ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND NJ BARRIER FREE SUBCODE (NJAC 5:23-7) FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:

SIDEWALKS/ ACCESSIBLE ROUTES

- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
- CROSS SLOPE: 1:48 (2.08%) MAX., 1.0% MIN. (1.5% MAX. FOR NEW CONSTRUCTION)
- INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- CHANGE IN LEVELS: $\frac{1}{4}$ " MAX. HEIGHT OR $\frac{1}{2}$ " MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
- GAPS: $\frac{1}{2}$ " MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL

CURB RAMP

- SLOPE: 1:12 (8.3%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
- SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE PEDS CROSS RAMP)
- BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
- TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURB RAMP; 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)

ACCESSIBILITY PARKING STALLS
60405 AND 1005

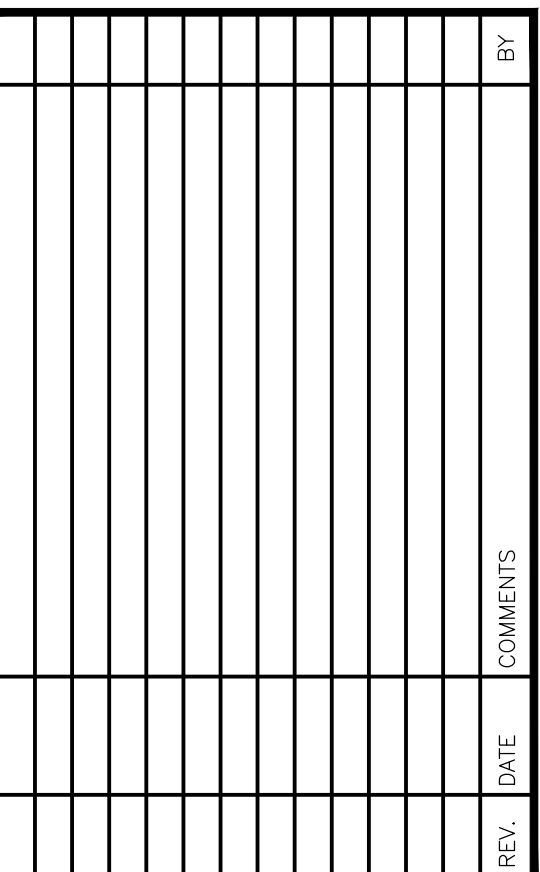
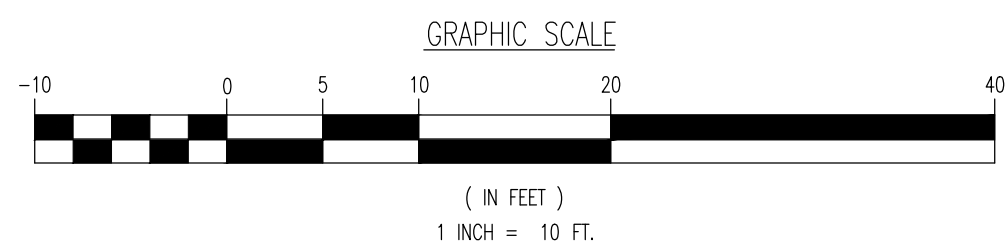
- SPACE AND ACCESS AISLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)

CROSSWALKS

- RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
- CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
- CHANGE IN LEVELS: $\frac{1}{8}"$ MAX. HEIGHT OR $\frac{1}{8}"$ MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
- GAPS: $1/2"$ MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL

RAMPS

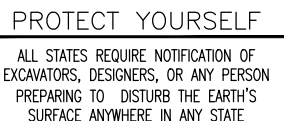
- SLOPE: 1:12 (8.3%) MAX. (7.5% MAX. FOR NEW CONSTRUCTION)
- EXISTING RAMPS; SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
- MAX. RISE: 30"
- MIN. CLEAR WIDTH: 36"
- MIN. LANDING CLEAR LENGTH: 60"
- MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)



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DESIGNED BY:	DESIGNED BY:	CHECKED BY:
RBT	SMM	SRC
		-

PROJECT: **SURFSIDE CROSSING**
PROPOSED MULTI-FAMILY DWELLINGS
BLOCK 405, LOTS 5, 6, & 7
1102 9TH AVENUE; 105 8TH AVENUE, & MEMORIAL DRIVE
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JUSTIN A. GEONNOTTI

PROFESSIONAL ENGINEER

STEVEN R. GATTANI

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE No. 40014

ADA GRADING PLAN

LE: $(H) 1^{\circ} = 10^{\circ}$

$$\langle V \rangle.$$

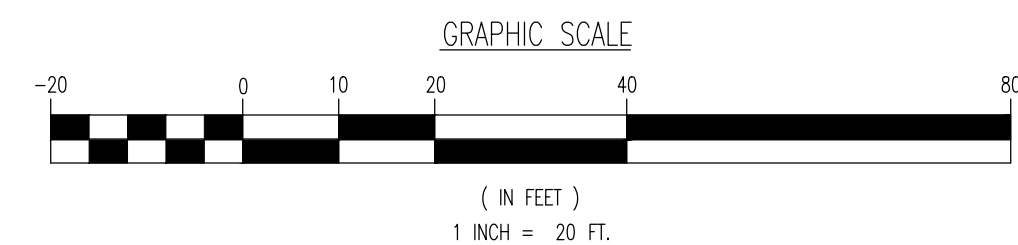
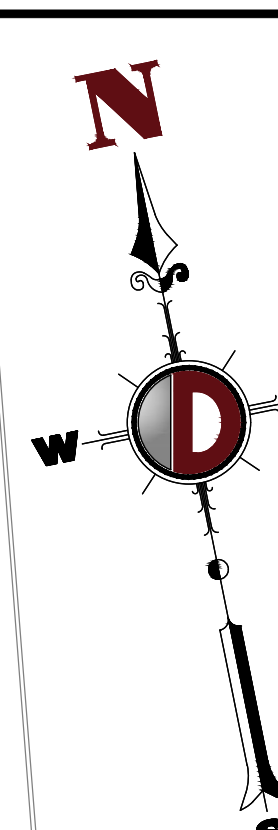
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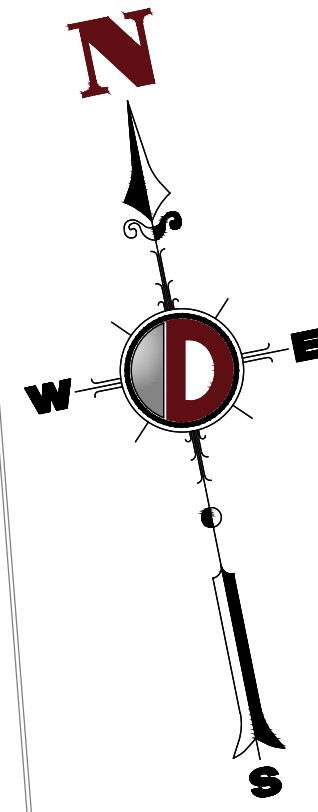
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rev. 4:

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LE: (H) $\theta = 20^\circ$ (V)	DATE: 06/13/22
OBJECT No: 2241-99-002	
SHEET No: 7	Rev. #: 0



THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY




SEE SHEET 9 OF 26 FOR LIGHTING PLAN DETAILS

GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYWIRE POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY AFFECT ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

LIGHTING REQUIREMENTS

- A. LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN FOURTEEN (14) FEET OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS, MEASURED FROM THE GROUND LEVEL TO THE CENTERLINE OF THE LIGHT SOURCE. (§8412.1)
- B. MAXIMUM LIGHTING CONTROLS: THE RATIO OF AVERAGE ILLUMINATION, MEASURED IN FOOT-CANDELES, TO MINIMUM ILLUMINATION, AS REQUIRED IN TABLE 5.3, (MINIMUM ILLUMINATION FOR SURFACE PARKING) SHALL NOT EXCEED 4 TO 1. THE MAXIMUM ILLUMINATION PROVIDED ON ANY SITE SHALL NOT EXCEED THE MINIMUM ILLUMINATION BY MORE THAN A RATIO OF 10 TO 1. (§8111.6.2)

LIGHTING LUMINAIRE SCHEDULE								
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION
	2	OW1303	38	7.33	SINGLE	1.000	AVATAR	OW1301-1356KLH
	4	AB50-SS-12	289	12	SINGLE	1.000	STERNBERG LIGHTING	OLD TOWN SERIES DECORATIVE LIGHT, TYPE 5, SYMMETRIC DISTRIBUTION
	5	SH850-3A-12	212.4	12	SINGLE	1.000	STERNBERG LIGHTING	OLD TOWN SERIES SHIELDED DECORATIVE LIGHT, TYPE 3, ASYMMETRIC DISTRIBUTION

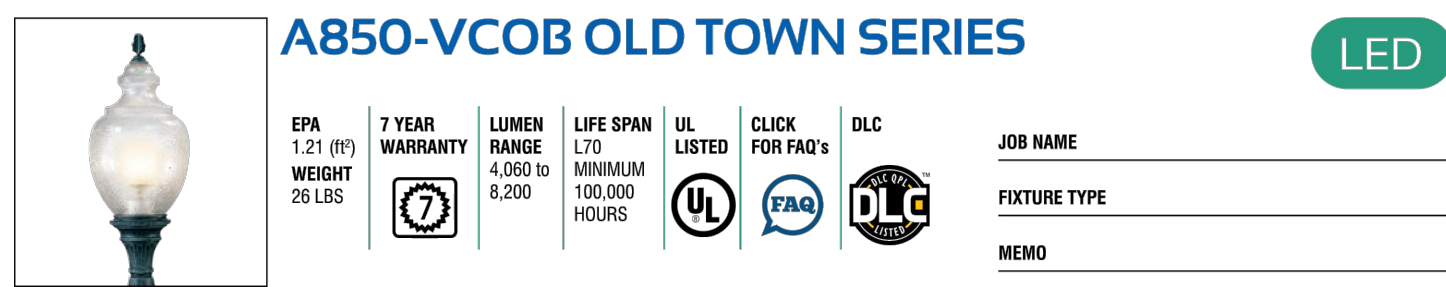
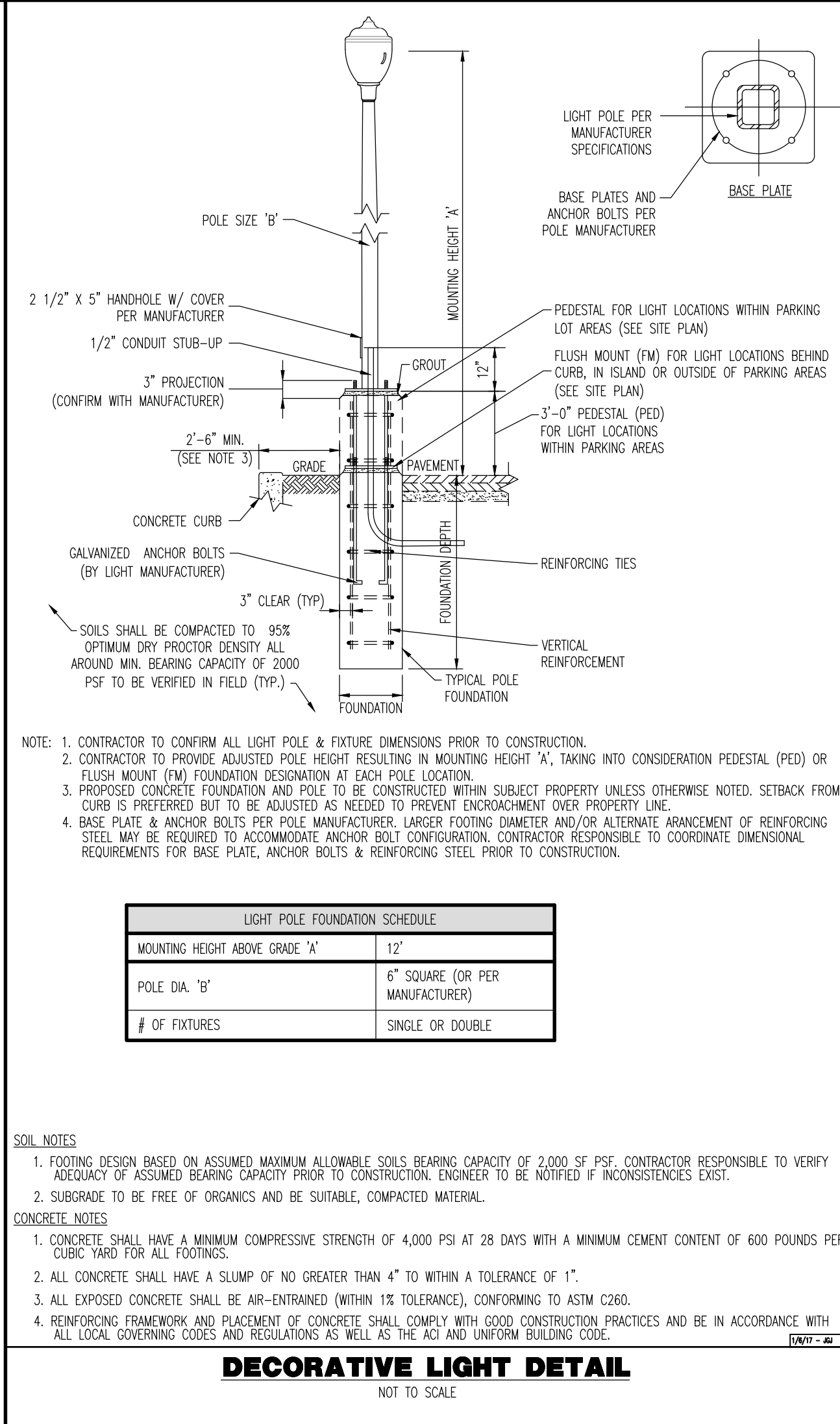
ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.

(FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY					
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.
DRIVE ASLE	2.09	4.0	1.0	2.09	4.00

[illegible]



Mounting Configuration

(Click here to link to mounting configuration specification page)

• IW • 2A • 3A90 • 1AM
• PT • 2A90 • 3APT • 2AM
• 1A • 2APT • 4A • 450PB
• 1APT • 3A • 4APT

W = Wall Mount PT = Post Top A = Arm Mount AM = Arm Mid-Mount PB = Pole Base

Fixture

• A850 • A850SR

Filter

• SP • 991 • 995 • OL3
• 73 • 992 • B04 • OL4
• 74 • 993 • B05 • S88
• 990 • 994 • B07 • C20972

1 Add "T" for edge designation for optional "Twist-Lock" filter.
2 Consult factory for use on concrete poles.

LED

VCOB-4L

CCT - Color Temperature (K)

• 27(00) • 30(00) • 35(00) • 40(00) • 50(00)

Type

• TS (Symmetric) • TA (Asymmetric)

Driver

• MDL02 (120V-277V, 250mA)
• MDL03 (120V-277V, 350mA)
• MDL05 (120V-277V, 500mA)
• MDH02 (347V-480V, 250mA)
• MDH03 (347V-480V, 350mA)
• MDH05 (347V-480V, 500mA)

Lens

• A (Textured Acrylic)
• P (Textured Poly)
• WA (White Textured Acrylic)
• WP (White Textured Poly)

Options (Click here to view accessories sheet)

• R3 3-Pin control receptacle only
• R5 5-Pin control receptacle only
• R7 7-Pin control receptacle only

Specifications

(Click here to link to mounting configuration specification page)

PE1* Twist-Lock Photocontrol (120V-277V)
PE2* Twist-Lock Photocontrol (240V)
PE4* Twist-Lock Photocontrol (480V)
SC1 Shunting Cap
PEC Electronic Button Photocontrol (120V-277V)
PEC4 Electronic Button Photocontrol (480V)
FHD2 Double Fuse and Holder
CDR Cast Decorative Ring
CDCR1* Cast Decorative Ring with Custom Logo
PBD01* Perforated Brass Decorative Ring
GFI1 15A Duplex GFI for Utility Filter
TB1 Terminal Block
HSP1 120" House Side Shield

1 For 900 series utility filter only.
2 Requires control receptacle.
3 Shunt loose for installation in base.
4 Consult factory for specification details.
5 Standard is polished, for painted ring specify PBD01-P.
6 For use with "TA" distribution type only.

Arm (Click here to link to arm specification page)

See Arms & Wall Brackets specification sheets.
• 50 • 70 • 480 • 6236 • TA • BA
• 478 • 80 • 55 • 579 • TASCRC

Pole (Click here to link to pole specification page)

See Pole specification sheets.

Finish (Click here to view paint finish sheet)

Standard Finishes*
• BKT Black Textured
• WHT White Textured
• PGT Park Green Textured
• ABZT Architectural Medium Bronze Textured
• DBT Dark Bronze Textured
*Smooth finishes are available upon request
Custom Finishes*
• OI Old Iron
• IT Rust
• WBR Weathered Brown
• CD Cedar
• WBR Weathered Black
• TT Two Tone
*Custom colors require upcharge.

Sternberg Select Finishes

• VC Verde Green
• SI Swedish Iron
• OWGT Old World Gray Textured

Fixture

The fixture shall be 16" in diameter and 39-1/2" tall. It will be made of vandal resistant clear textured polycarbonate or dent resistant (DR) clear textured acrylic. White textured is also available. The fixture shall have a solid roof (A850SR) for added discrimination. The solid roof was made of spun aluminum and securely attached to the top of acorn globe. The optional perforated brass decorative ring (PBD01) is available in polished brass or painted finish. The 2 3/4" wide brass decorative ring allows light transfer through decorative openings. The optional CDCR1 is a heavy cast aluminum ring with circular medallions forming a ring of light. Also available are custom medallions that can be specified with a name, initial or logo. The luminaire shall be UL, listed in US and Canada.

Filter - Standard

The filter shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an 8-1/2" inside diameter opening to attach to the 8" neck of the acorn globe. When ordered with a Sternberg luminaire pole, the filter shall be welded to the pole top or tenon for safety and to ensure the fixture will be plumb, secure and level over the life of the installation. The filter shall have a one-piece ring gasket to resist 900 Series Utility Filter Option

900 Series Utility Filter Option

The filter shall be heavy wall cast aluminum, 356 die cast alloy for high tensile strength. It shall have a 9-1/4" inside diameter opening to attach to the 8" neck of the acorn globe. It shall have a hinged, tool-less entry door that provides open access to all of the components. The 900 series shall have an optional terminal block for ease of wiring, an optional Twist-Lock Photocontrol receptacle, an optional single GFI outlet for auxiliary power needs. The top mounted driver mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 finger latches. The filter shall have a one-piece ring gasket to resist

See next page

Rev. 2022/05/23

AVATAR™ OUTDOOR – SINGLE ACCENT BAR
OW1301/OW1303/OW1305/OW1307

VisaLighting.com/products/Avatar

Type: Project: Location:

OW1301

OW1303

OW1305

OW1307

OW1301

OW1303

OW1305

OW1307

DIMENSIONS¹

Depth is measured from wall to front of fixture
L = Length D = Depth W = Width

	OW1301	OW1303	OW1305	OW1307
L	19-3/4" (502 mm)	25-1/8" (638 mm)	36-1/8" (918 mm)	47-1/4" (1200 mm)
D	4" (102 mm)			
W	7-1/4" (184 mm)			

W

L

D

Frame

Accent Bar and End Cap

W

L

D

Frame

Accent Bar and End Cap

W

L

D

Frame

Accent Bar and End Cap

W

L

D

Frame

Accent Bar and End Cap

RELATIVE SCALE DRAWING

Door Height = 7'

Ceiling Height = 9'

Silhouette Height = 6'

FEATURES

- Modular design for replacement of LED source and integral driver
- Vertical mounting standard (horizontal mounting optional)
- Mounts to standard electrical junction box (by others) and wall with provided hardware
- Removable cam-action hinged frame for ease of maintenance
- Extruded aluminum backplate and center accent, die-cast end caps. Solid metal or die-cast accent
- Sealed and gasketed construction
- High impact white acrylic diffuser
- FI rated, UV stable
- UL-94 HB Flame Class rated
- No VOC powder coat paint or stainless steel finish
- ETL listed for wet location mounting 4' above grade

PHOTOMETRICS

0°

10°

20°

30°

40°

50°

60°

70°

80°

90°

100°

110°

120°

130°

140°

150°

160°

170°

180°

0°

10°

20°

30°

40°

50°

60°

70°

80°

90°

100°

110°

120°

130°

140°

150°

160°

170°

180°

ADA Compliant

XPS

ETL Listed

5 Year Warranty

800-788-VISA

VisaLighting.com

Page 1

Rev. 2022/05/23

AVATAR OUTDOOR – SINGLE ACCENT BAR (cont.)
OW1301/OW1303/OW1305/OW1307

VisaLighting.com/products/Avatar

Fill in shaded boxes using information listed below

MODEL¹
OW1301
OW1303
OW1305
OW1307
See page 1

SOURCE¹
• L30K(H)
• L30K(L)
• L35K(H)
• L35K(L)
• L40K(H)
• L40K(L)

MVOLT
MVOLT

FRAME FINISH
See last page for finish order codes

ACCENT BAR AND END CAP FINISH
See last page for finish order codes

OPTIONS¹
HM
XPS
See page 1

SOURCE¹ (Select one)
Dimmable 0-10V to 1%, Minimum 80CRI, within 3-step MacAdam

Source	CCT	OW1301		OW1303		OW1305		OW1307	
		Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts	Delivered Lumens	Power/Watts
• L30K(H)	3000K	1200	15	1600	19	2400	29	3300	38
• L30K(L)	3000K	800	9	1100	13	1600	19	2200	25
• L35K(H)	3500K	1200	15	1600	19	2400	29	3300	38
• L35K(L)	3500K	800	9	1100	13	1600	19	2200	25
• L40K(H)	4000K	1200	15	1700	19	2500	29	3400	38
• L40K(L)	4000K	800	9	1100	13	1700	19	2200	25

VOLTAGE

MVOLT 120-277V, 50/60 Hz

OPTIONS¹

▲ Option availability may be interdependent with Other Options

HM Horizontal mount (vertical is standard)

XPS Express 10 day shipping. Items marked with a bullet (•) are not available with XPS

800-788-VISA

VisaLighting.com

Page 2

Rev. 2022/05/23

AVATAR OUTDOOR – SINGLE ACCENT BAR (cont.)
OW1301/OW1303/OW1305/OW1307

VisaLighting.com/products/Avatar

AVATAR PRODUCT FAMILY

	Single Bar	• OW1301, OW1303, OW1305, OW1307
Outdoor	Dual Bars	• OW1331, OW1333, OW1335, OW1337
	Perforated	• OW1331, OW1333, OW1335, OW1337
Indoor	Single Bar	• CV2009, CV2011, CV2013, CV2015
	Dual Bars	• CV2025, CV2027, CV2029, CV2031

SUGGESTED VARIATIONS

- Increase length
- Add/remove bar stock

FINISHES

Specify color code when ordering. For accurate color matching, individual paint and finish samples are available upon request.
For more information about our finishes visit [visalighting.com/finishes](#)

Powder Coat Paint Finishes (Standard)

AGGY	Agate Grey	ALGN	Alpine Green	BJBG	Baja Beige	BMAT	Bronze Matte	BRNZ	Bronze	BSIL	Blade Silver	CVBL	Cove Blue
DEOR	Deoro Gold	GLWT	Glacier White	GSIL	Graphite Silver	HRGR	Harbor Grey	JTBK	Jet Black	OCBL	Ocean Blue	SHGR	Shoreline Grey
SBGN	Sagebrush Green	SLGR	Slate Grey	SSTP	Sierra Taupe	TRCN	Terracotta Canyon	TRWT	Traffic White	VBLK	Velvet Black	VNRD	Vineyard Red

Metal Finishes (Premium) – Premium metals for Accent Bar and End Caps only

BSS	Brushed Stainless Steel	PSS	Polished Stainless Steel
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800-788-VISA

VisaLighting.com

Page 3

WALL LIGHT DETAIL

NOT TO SCALE

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGN BY: RET

DESIGNED BY: SMM

CHECKED BY: SRC

PROJECT: SURFSIDE CROSSING
PROPOSED MULTI-FAMILY DWELLINGS
BLOCK 405, LOTS 5, 6, & 7
1102 9TH AVENUE, 105 8TH AVENUE, & MEMORIAL DRIVE
NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

811
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JUSTIN A. GEONNOTTI

PROFESSIONAL ENGINEER

STEVEN R. CATTANI

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE No. 40014

TITLE: LIGHTING DETAILS

SCALE: (H) 1" = 20'
(V)

DATE: 06/13/22

PROJECT No: 2241-99-002

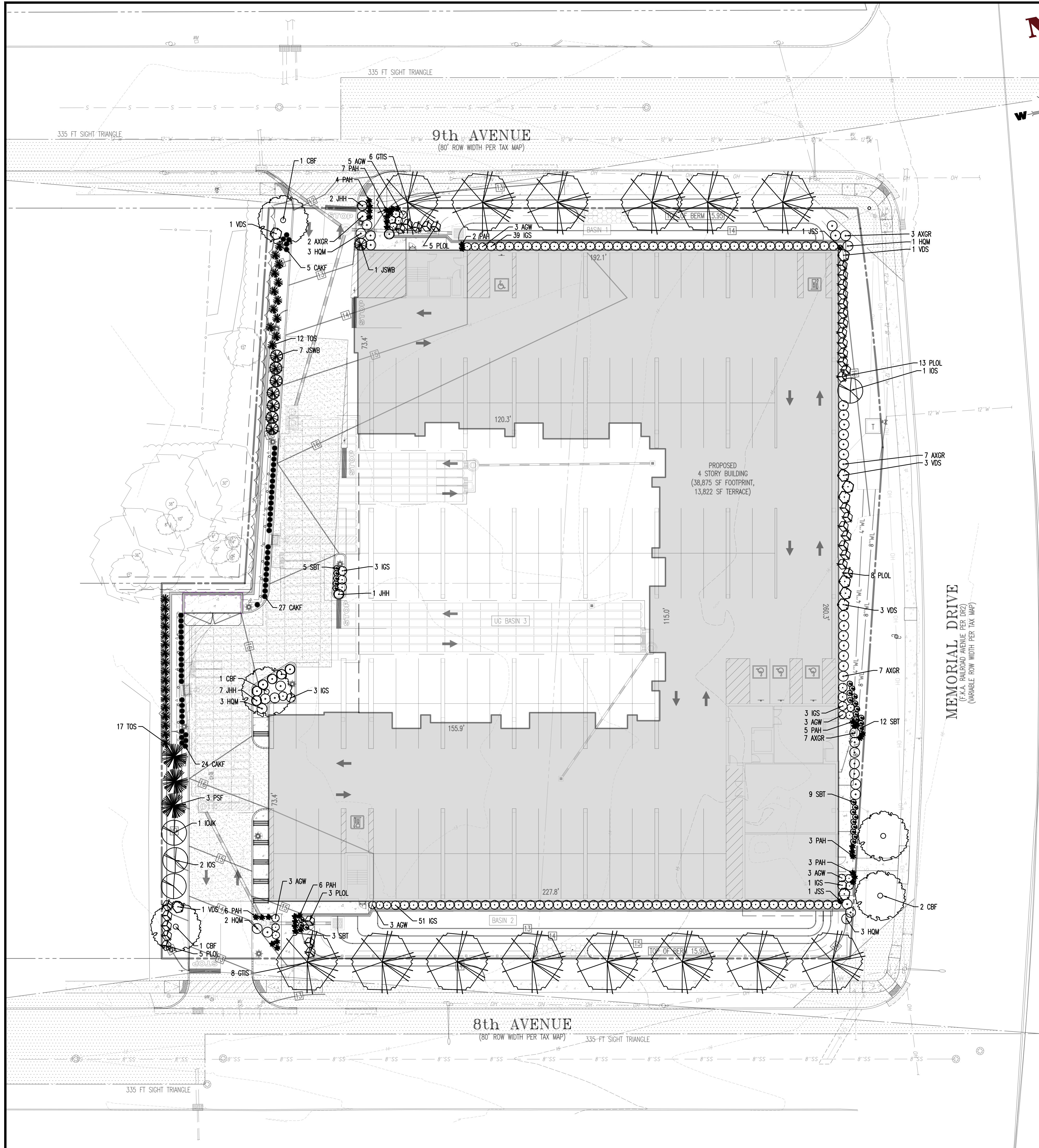
SHEET No: 11

Rev. #:

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OF 26

Plotted: 06/14/22 - 9:08 AM. By: newtown
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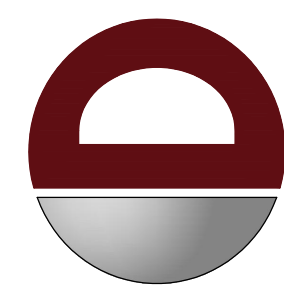
THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

SEE SHEET 12 OF 26 FOR LANDSCAPE PLAN NOTES

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
CBF	6	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	3-3 1/2" CAL.	B+B
GTIS	14	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3-3 1/2" CAL.	B+B
EVERGREEN TREE(S)					
IOJK	1	ILEX OPACA 'JERSEY KNIGHT'	JERSEY KNIGHT AMERICAN HOLLY	6-8"	B+B
IOS	3	ILEX OPACA 'SATYR HILL'	SATYR HILL HOLLY	6-8"	B+B
PSF	3	PINUS STROBUS 'FASTIGIATA'	PYRAMIDAL WHITE PINE	6-8"	B+B
EVERGREEN SHRUB(S)					
AGW	20	AZALEA X 'GRARD'S' 'PLEASANT WHITE'	GRARD'S PLEASANT WHITE AZALEA	30-36"	#5 CAN
AXGR	27	'ABELIA X GRANDIFLORA' 'RADIANCE'	RADIANCE AZALEA	30-36"	#5 CAN
IOS	99	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKERRY HOLLY	30-36"	#5 CAN
JSS	2	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	6-8"	B+B
JSWB	9	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	ROCKY MOUNTAIN JUNIPER	6-8"	B+B
PLOL	34	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRYLAUREL	30-36"	#5 CAN
TOS	29	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6-8"	B+B
DECIDUOUS SHRUB(S)					
HOM	12	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN CAYLEAF HYDRANGEA	24-30"	#3 CAN
SBT	29	SPIREA BETULIFOLIA 'TOR'	TOR SPIREA	2-3'	#3 CAN
VDS	10	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	3-4'	B+B
GROUND COVER					
JHH	9	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	24-30" SPRD	#3 CAN
ORNAMENTAL GRASS(S)					
CAKF	57	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
PAH	36	PENNISETUM ALOPECUROIDES 'HAWEIN'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
93					

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.



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DESIGNED BY: MAR
CHECKED BY: SMM
SRC

PROJECT: **SURFSIDE CROSSING**
PROPOSED MULTI-FAMILY DWELLINGS
BLOCK 405, LOTS 5, 6, & 7
1102 9TH AVENUE, 105 8TH AVENUE, & MEMORIAL DRIVE
NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY

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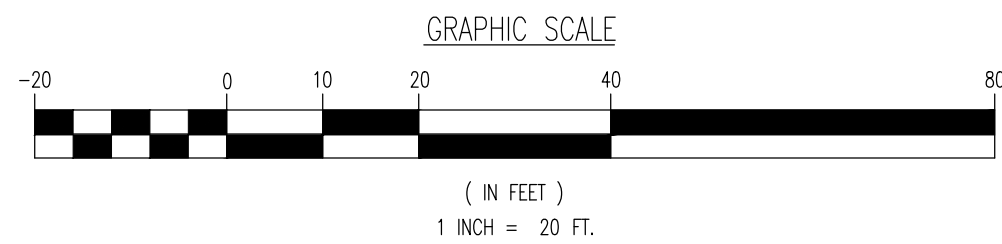
MARLA A. ROLLER
Marla A. Roller
LICENSED LANDSCAPE ARCHITECT
NEW JERSEY LICENSE No. 21AS00053700

STEVEN R. CATTANI
Steven R. Cattani
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 40014

TITLE: **LANDSCAPE PLAN**

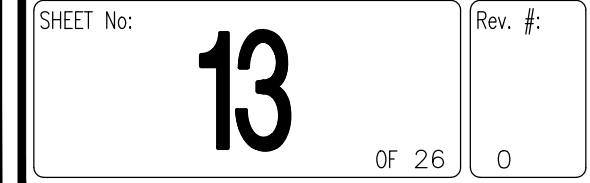
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(V) 1"=20'
PROJECT No: 2241-99-002
DATE: 06/13/22

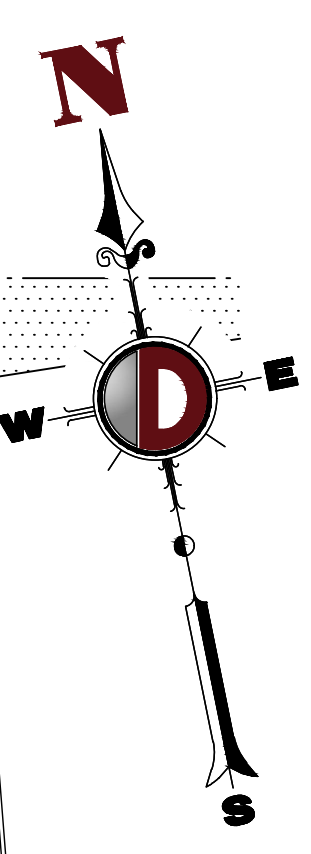
SHEET No: **12**
Rev. #:
OF 26 0





- THE PERIMETER OF ALL PARKING LOTS SHALL BE SETBACK FROM ALL REAR AND SIDE LOT LINES BY A MINIMUM OF TEN (10) FEET (\$809.11(g)).
- A. SIDE AND REAR YARDS SHALL BE LANDSCAPED WITH A COMBINATION OF EVERGREEN SHRUBS AND DECIDUOUS TREES TO FORM A SCREEN A MINIMUM OF SIX (6) FEET TALL AT THE TIME OF PLANTING. BUFFER TREE SPACING FOR FOLIAGE SIMILAR TO THE WHITE PINE SHALL BE FIVE FEET (5') ON CENTER AND SHALL BE PLANTED AT A MINIMUM INTERVAL OF THIRTY-THREE (33) FEET ON-CENTER.
- C. FRONT YARDS SHALL BE LANDSCAPED WITH A COMBINATION OF AN ALTERNATING EVERGREEN AND DECIDUOUS HEDGE A MINIMUM OF THREE (3) FEET TALL AT THE TIME OF PLANTING, WITH DECIDUOUS SHADE TREES LOCATED A SPACING OF THIRTY (30) FEET ON-CENTER, SAVING SPACE TO SUPPLEMENT AND COMPLEMENT REQUIRED STREET TREES.
- D. STREET TREES SHALL BE PLANTED AT A MINIMUM INTERVAL OF THIRTY-FIVE (35) FEET ALONG SIDEWAYS. (\$823.8) (WPCR)

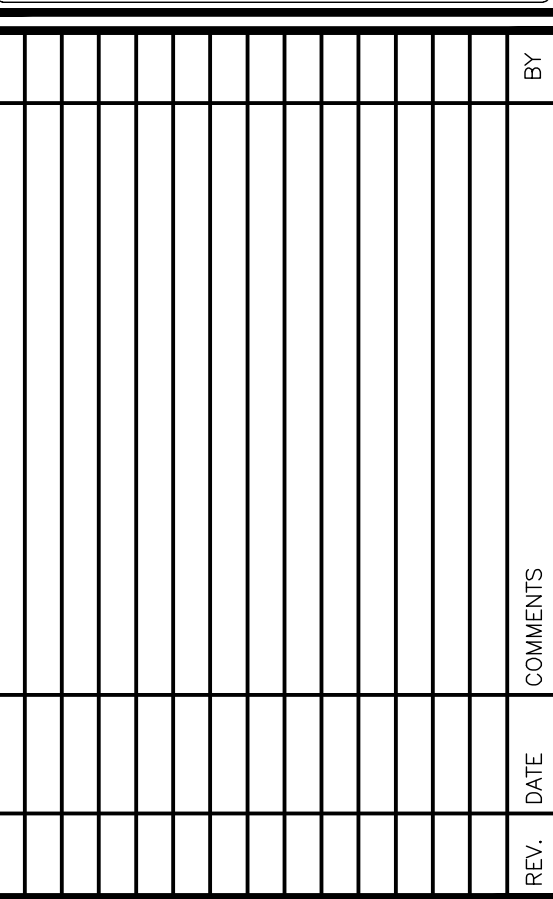
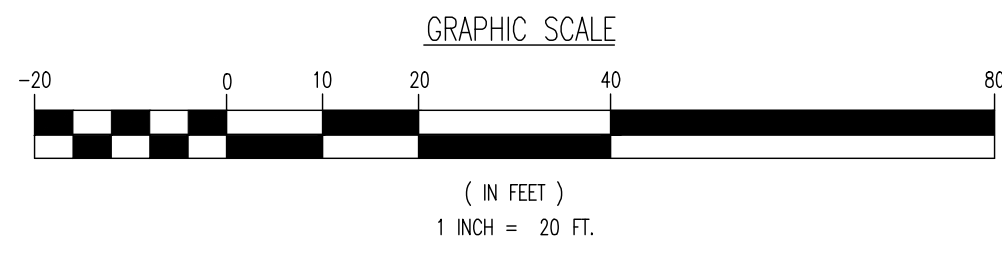




LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(5)					
CBF	6	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBANE	3-3 1/2' CAL.	B+B
GTIS	14	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3-3 1/2' CAL.	
	20				
EVERGREEN TREES(5)					
IOUK	1	ILEX OPACA 'JERSEY KNIGHT'	JERSEY KNIGHT AMERICAN HOLLY	6'-8"	B+B
IOS	3	ILEX OPACA 'SATYR HILL'	SATYR HILL HOLLY	6'-8"	B+B
PSF	3	PINUS STROBUS 'FASTIGIATA'	PYRAMIDAL WHITE PINE	6'-8"	B+B
	7				
EVERGREEN SHRUBS(5)					
AGR	24	AZALEA X 'GRAPARD'S PLEASANT WHITE'	GRAPARD'S PLEASANT WHITE AZALEA	30"-36"	#5 CAN
ANGR	27	ABELIA X GRANDIFOLIA 'RADANCE'	RADANCE ABELIA	30"-36"	#5 CAN
ISS	99	ILEX GLABRA 'SHAMROCK'	SHAMROCK KIMBERLY HOLLY	30"-36"	#5 CAN
JSS	2	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	6'-8"	B+B
JSMB	9	JUNIPERUS SCOPULORUM 'WICHTA BLUE'	ROCKY MOUNTAIN JUNIPER	6'-8"	B+B
PLIL	34	PRUNUS LAURO-CERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY/LAURO	30"-36"	#5 CAN
TOS	29	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-8"	B+B
	220				
DECIDUOUS SHRUBS(5)					
HGM	12	HYDRANGEA QUERIFOLIA 'MUNCHING'	MUNCHING OXHEAVY HYDRANGEA	24"-30"	#3 CAN
SBT	29	SPIREA BETULIFOLIA 'TOR'	TOR SPIREA	2'-3'1/2'	#3 CAN
VDS	10	VIURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE ARROWWOOD VIURNUM	3'-4'	B+B
	51				
GROUND COVER					
JHH	9	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	24"-30" SPRD	#3 CAN
ORNAMENTAL GRASSES(5)					
CANF	57	CALAMAGROSTIS ARUNDINACEA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL.	CONTAINER
PAH	36	PENNISETUM ALOPECUROIDES 'HAEMULI'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER
	93				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.



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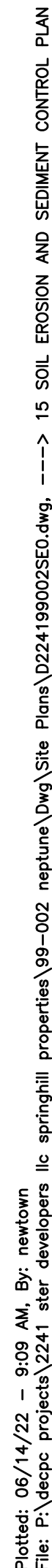
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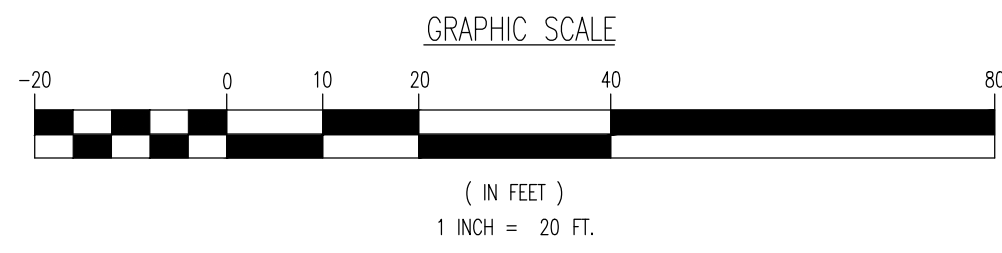
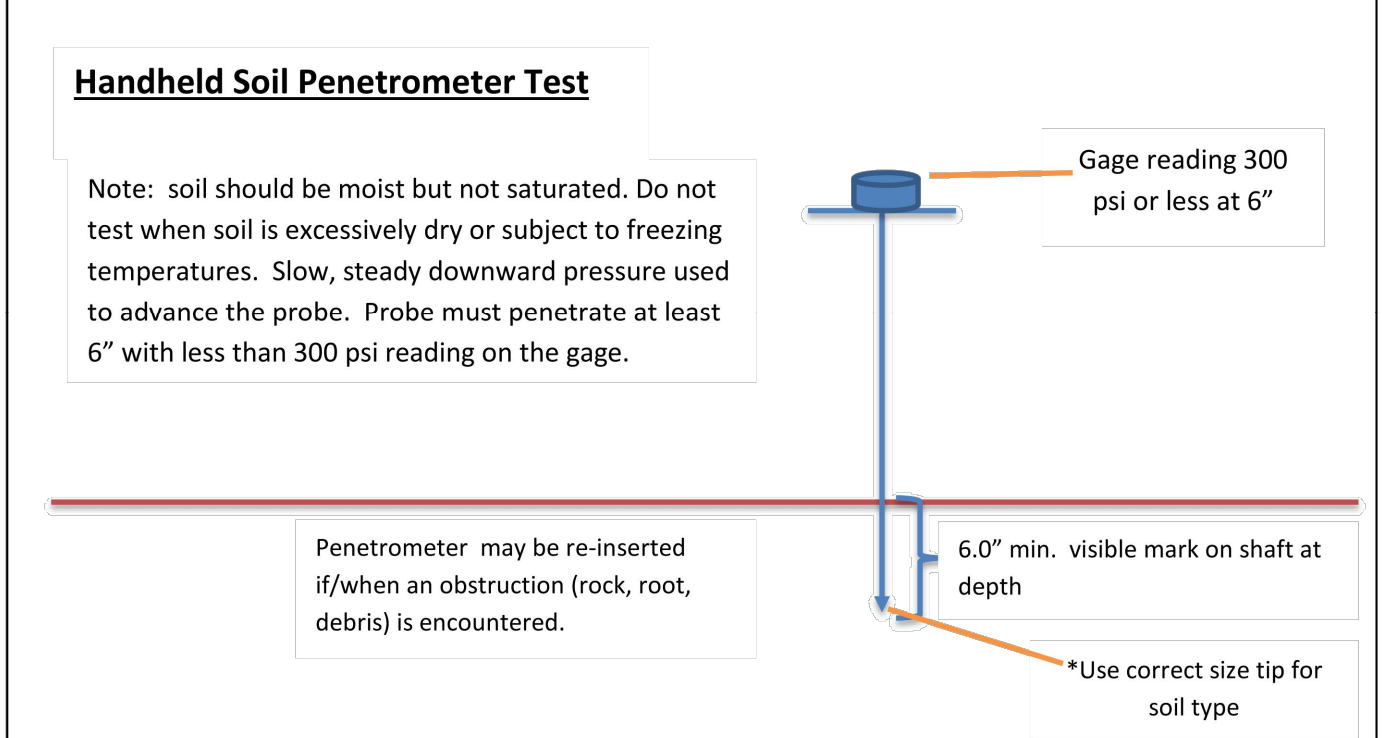
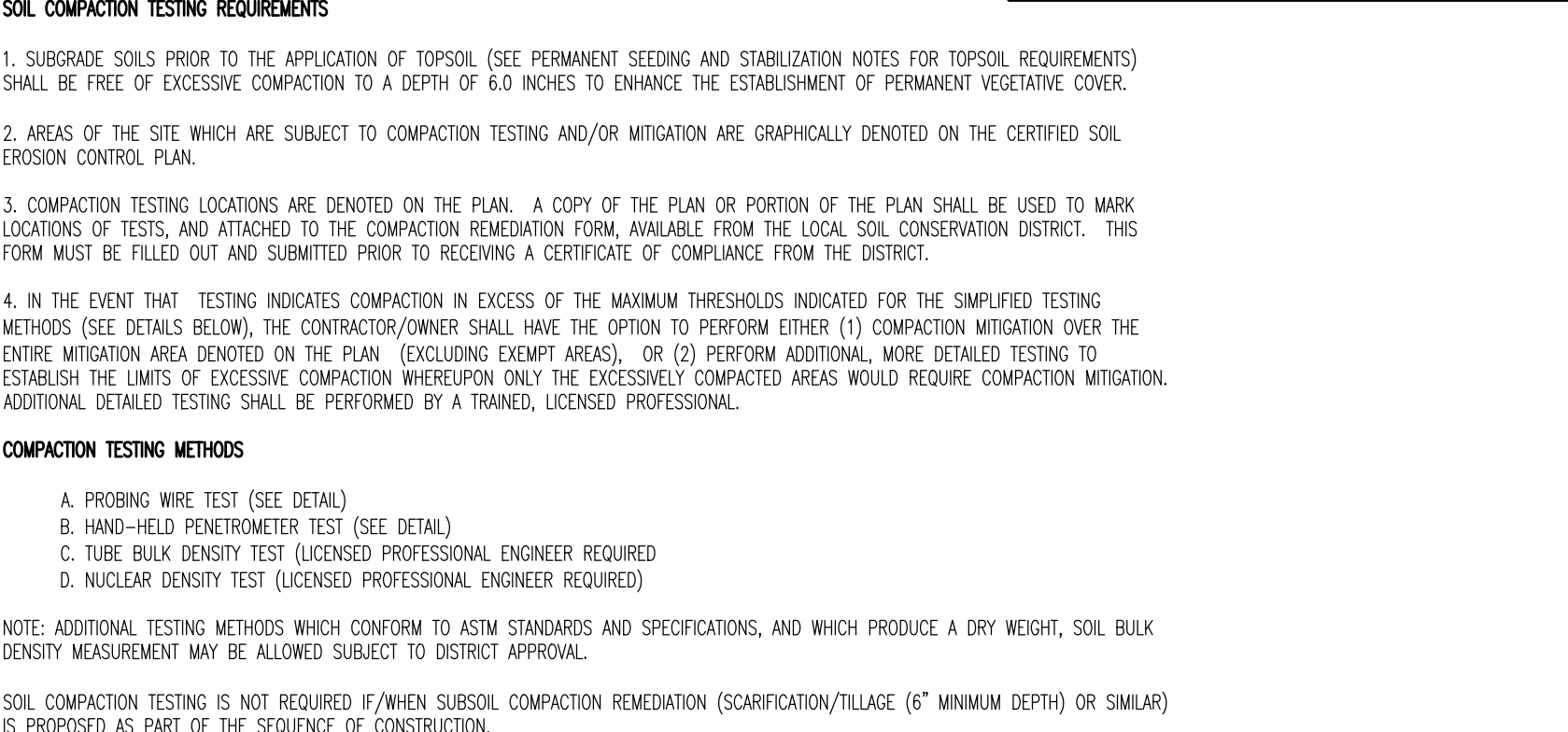
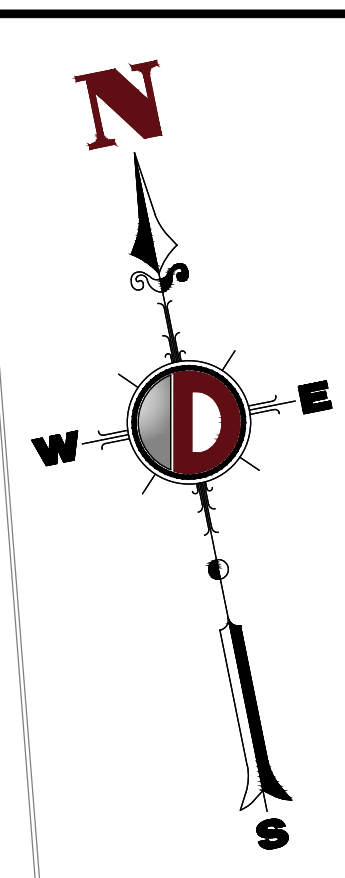
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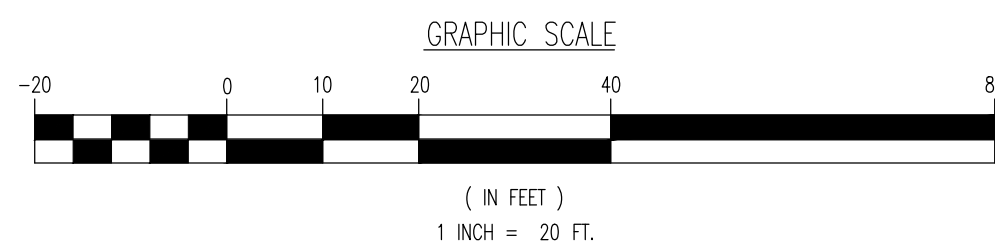
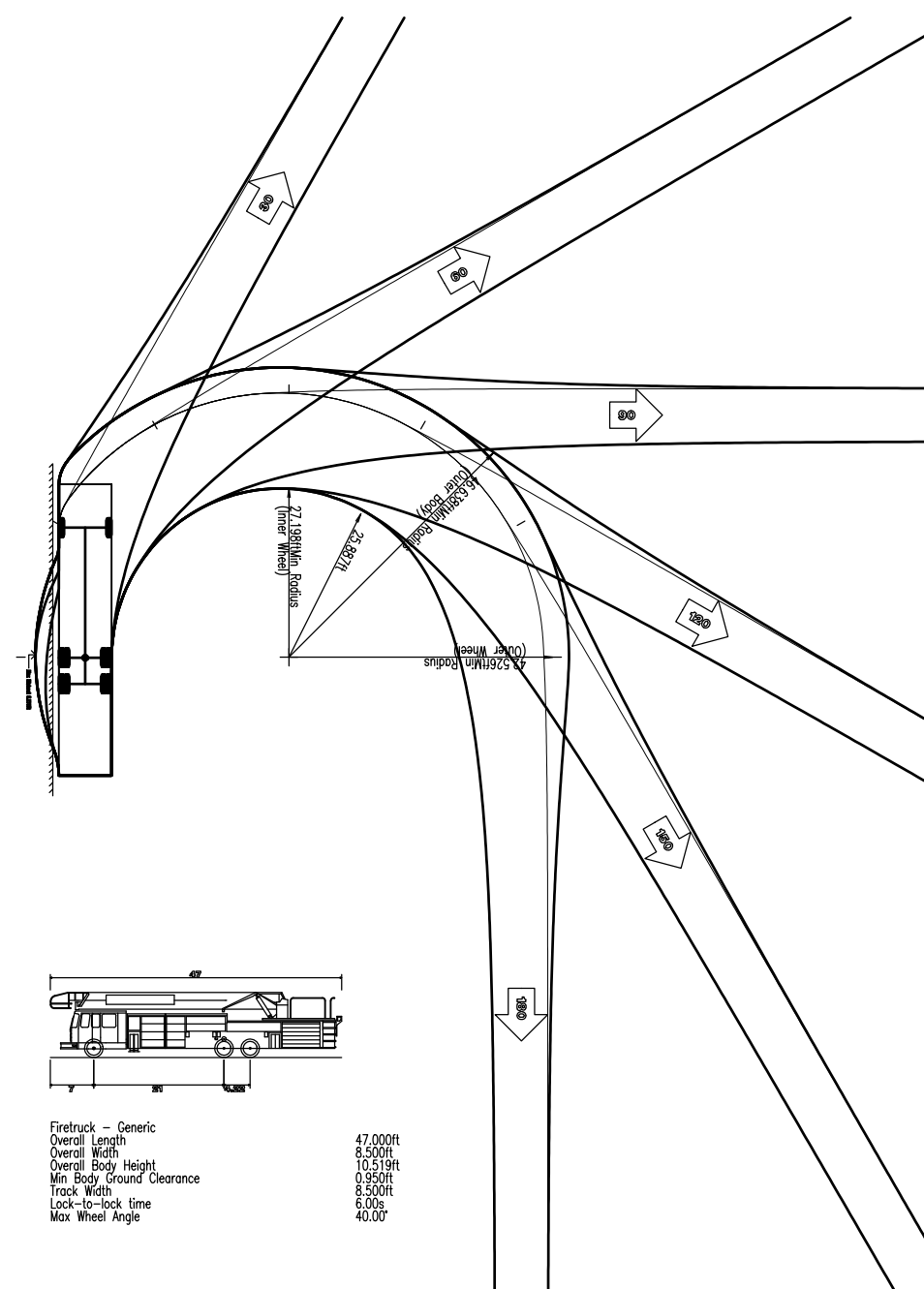
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NEW JERSEY LICENSE No. 40014

SCALE: (H) 1"=20' (V)	DATE: 06/13/22
PROJECT No: 2241-99-002	

14 OF 26 0



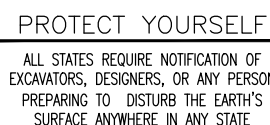
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NEW JERSEY LICENSE No. 40014

TITLE: VEHICLE
CIRCULATION
PLAN (FIRE)

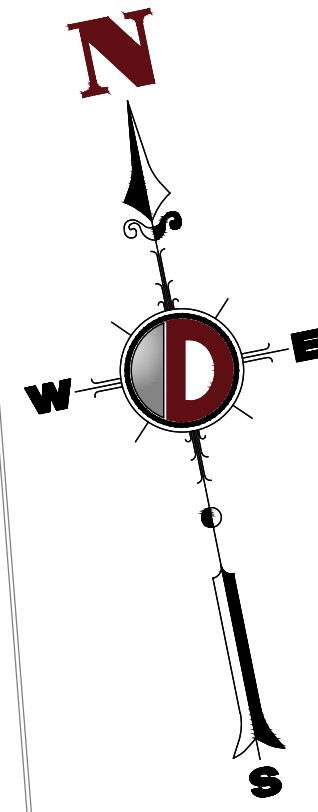
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2241-99-

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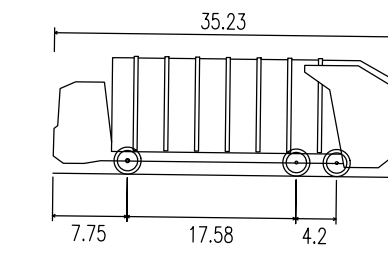
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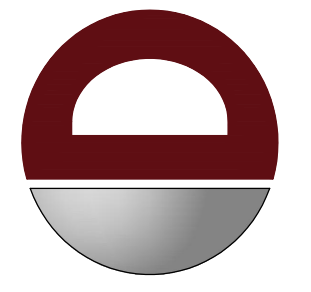
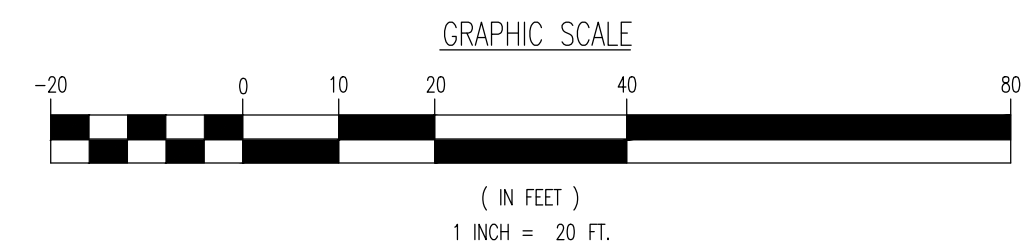
OF 26



THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



Hercules Garbage Truck	
Overall Length	35.230ft
Overall Width	8.000ft
Overall Body Height	12.272ft
Min. Body Ground Clearance	0.961ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Max. Wheel Angle	33.90°



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PROJECT: SURFSIDE CROSSING
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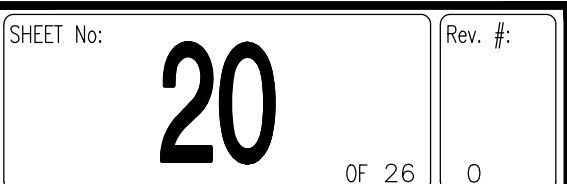
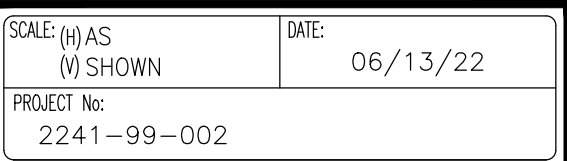
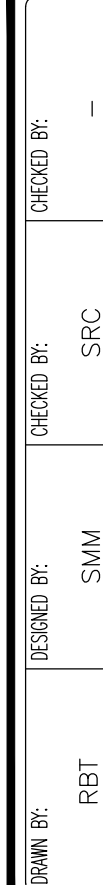
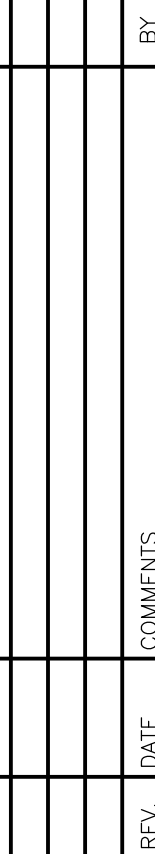
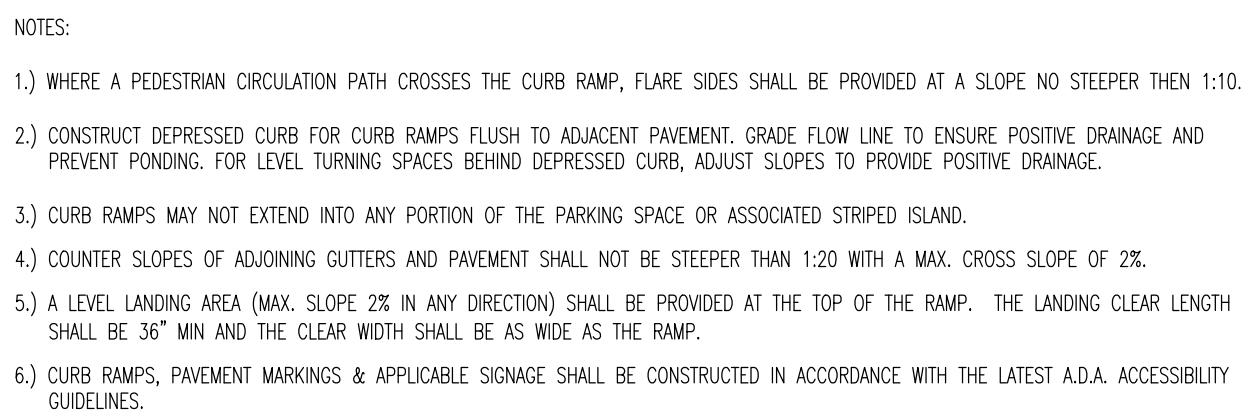
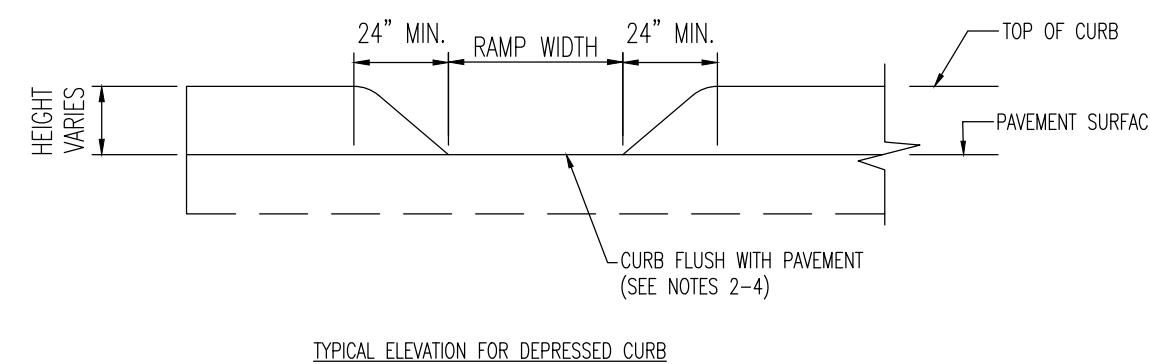
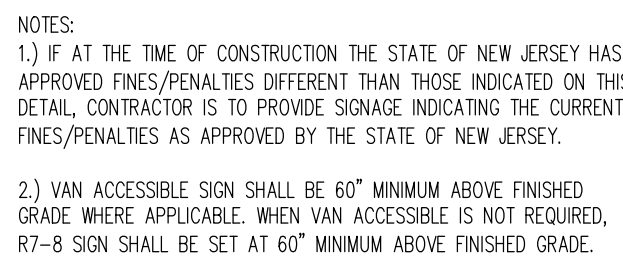
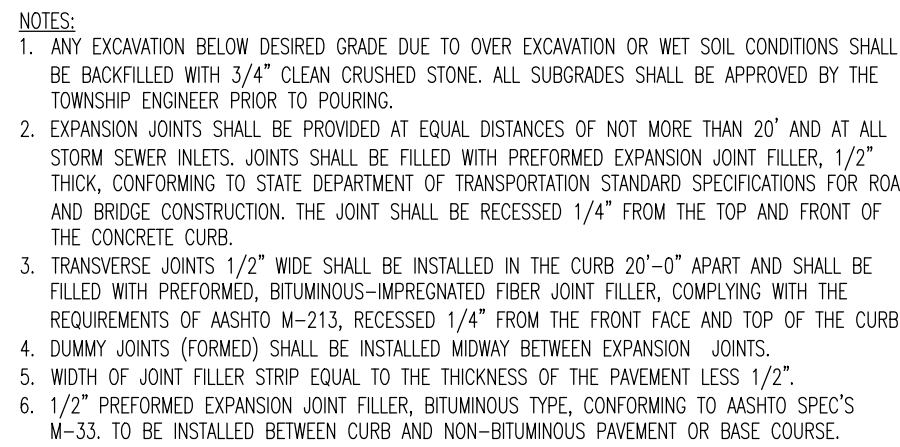
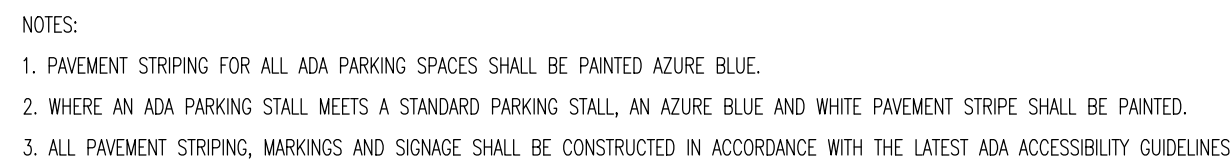
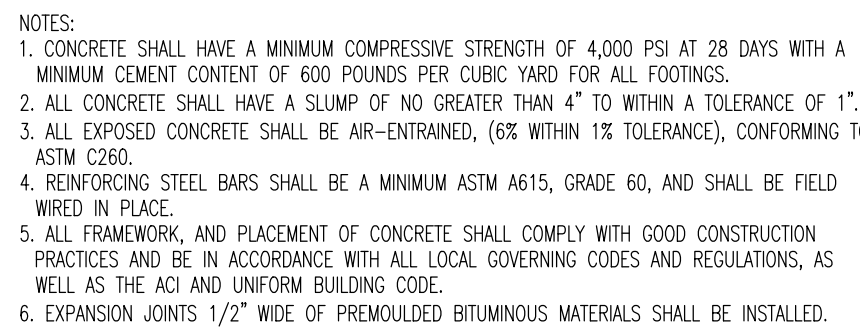
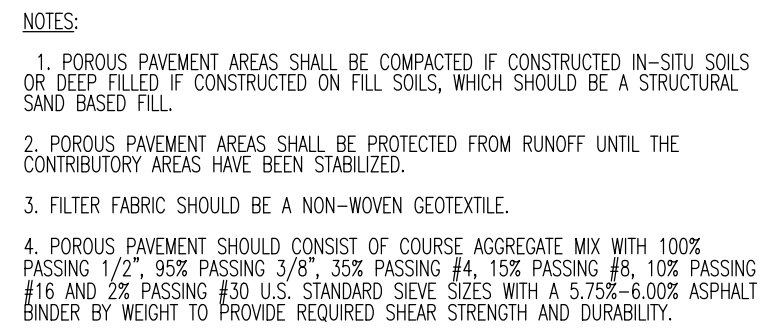
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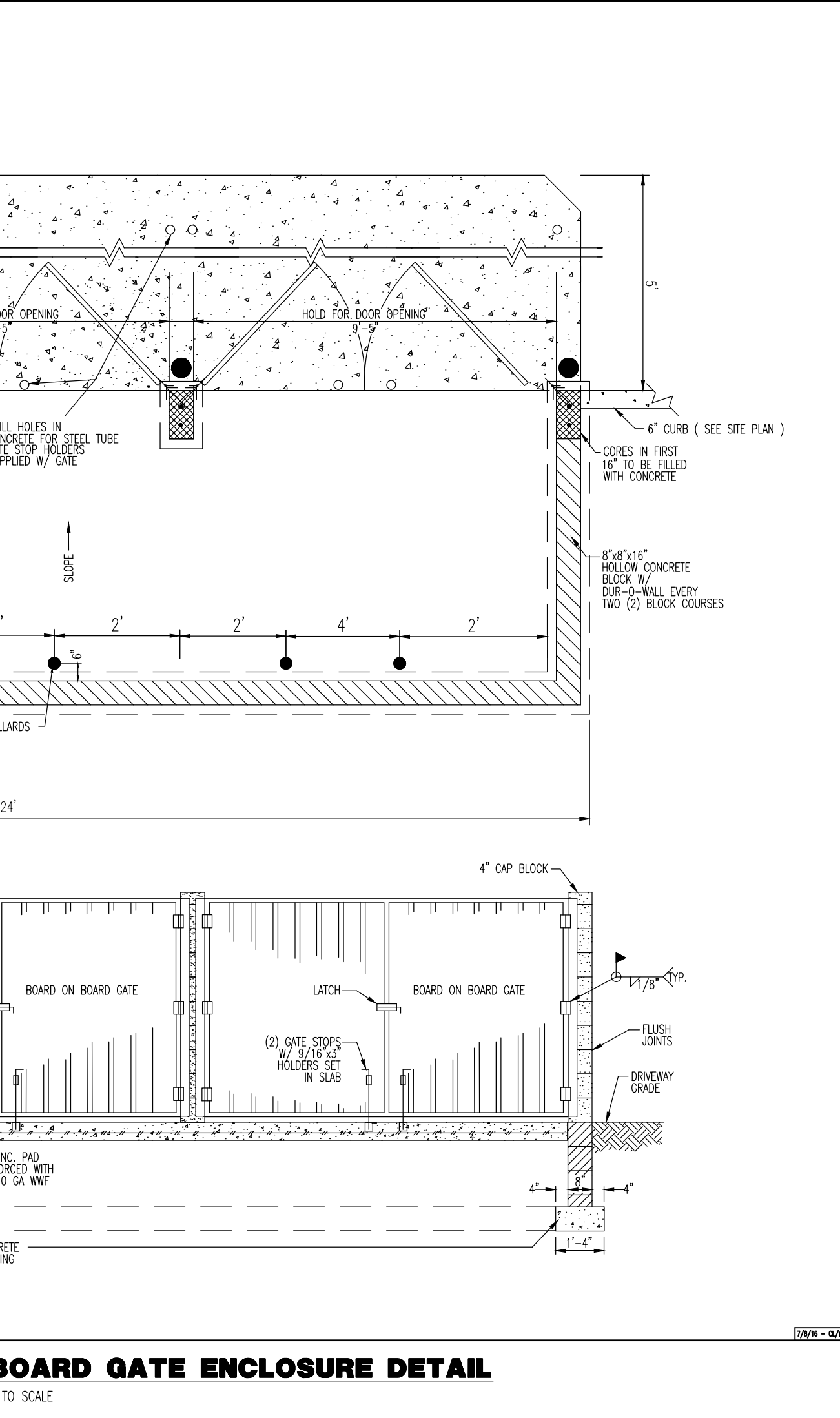
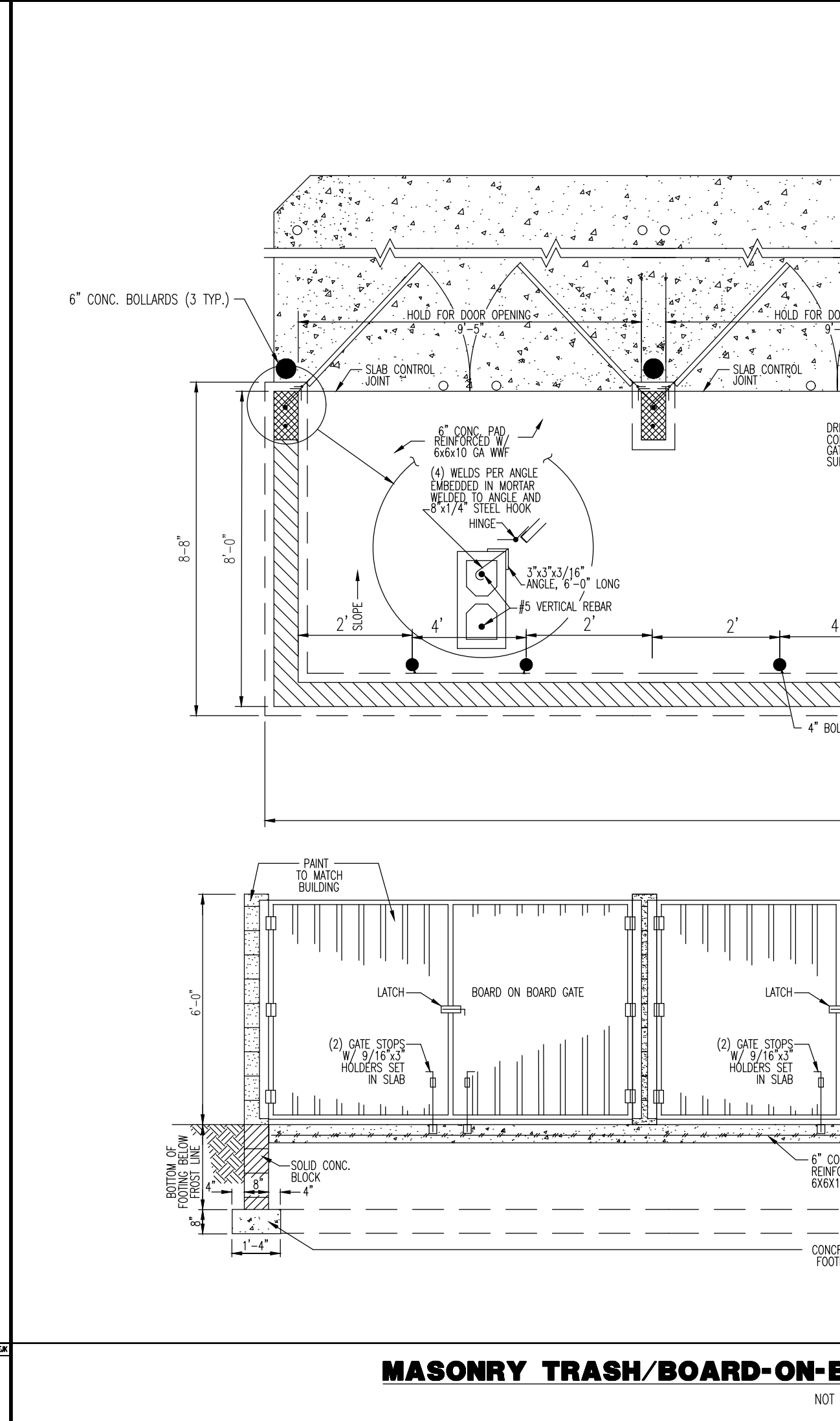
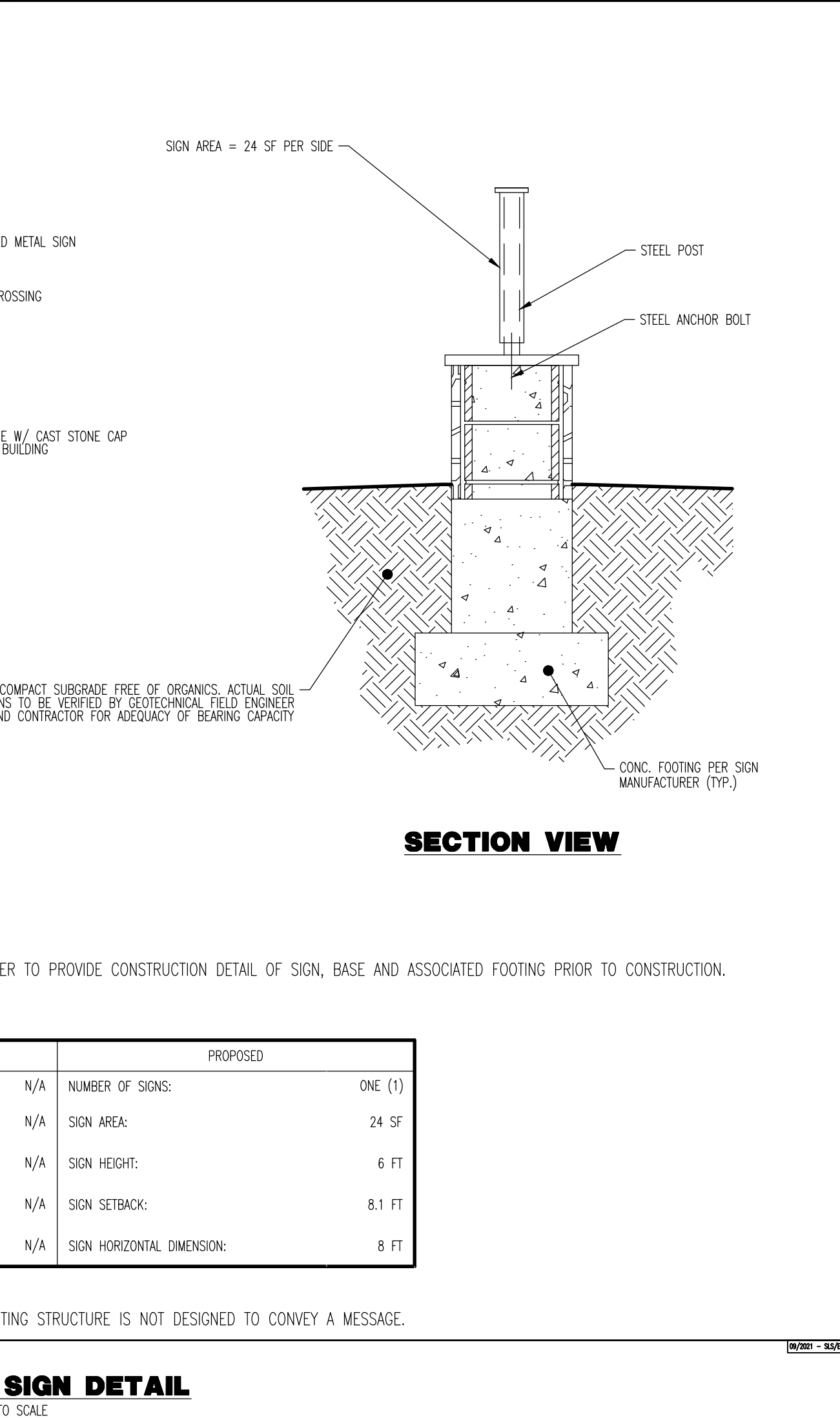
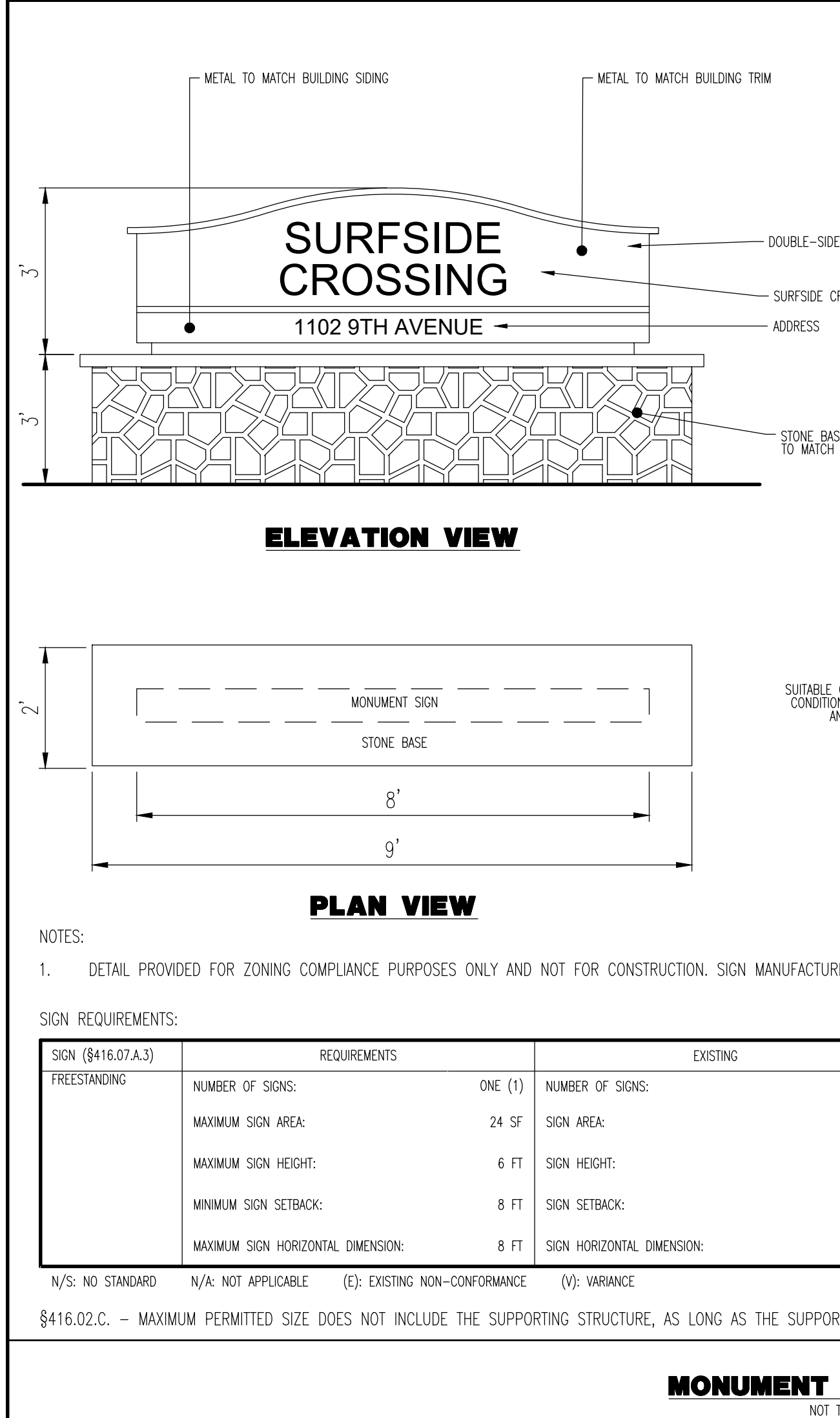
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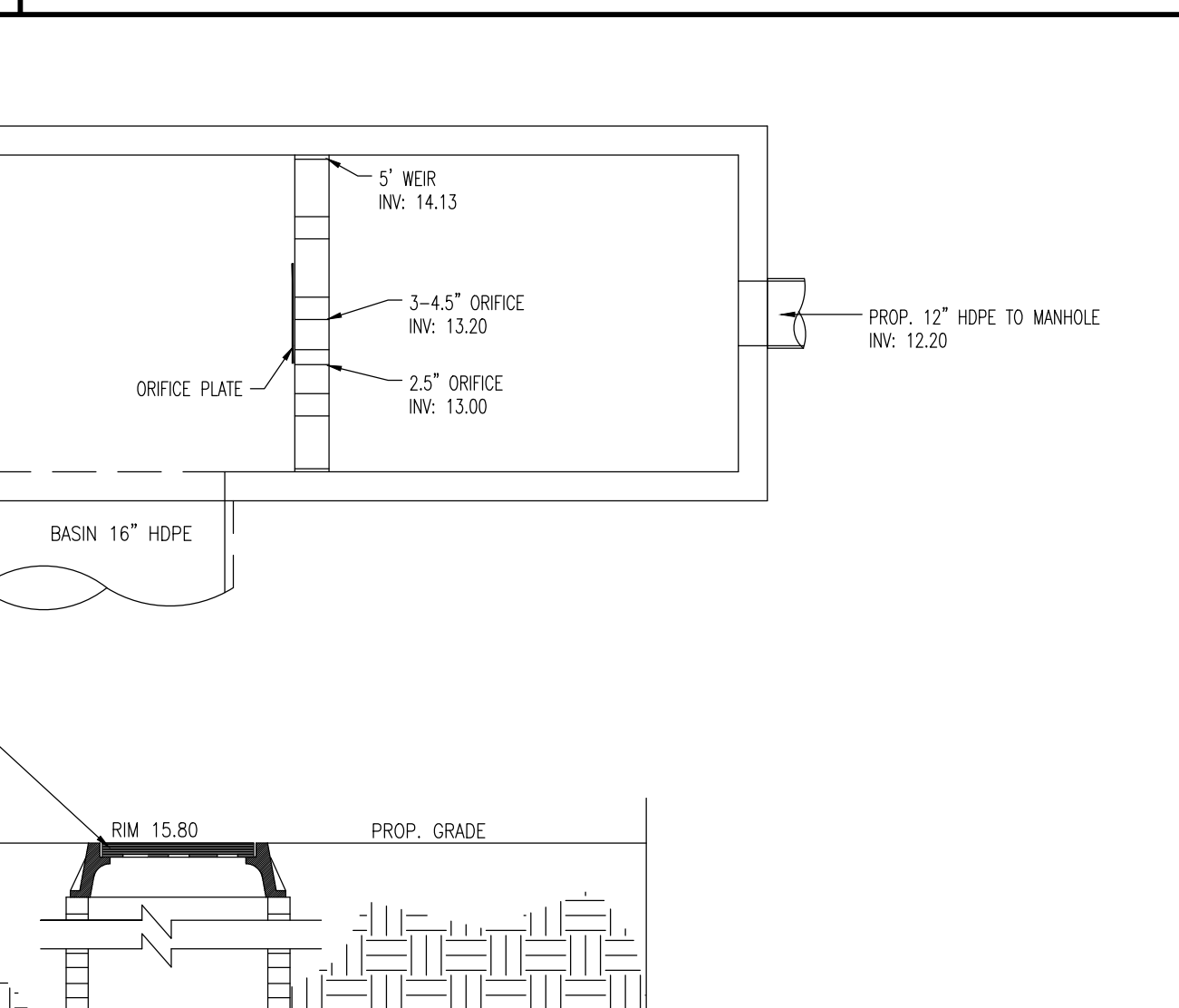
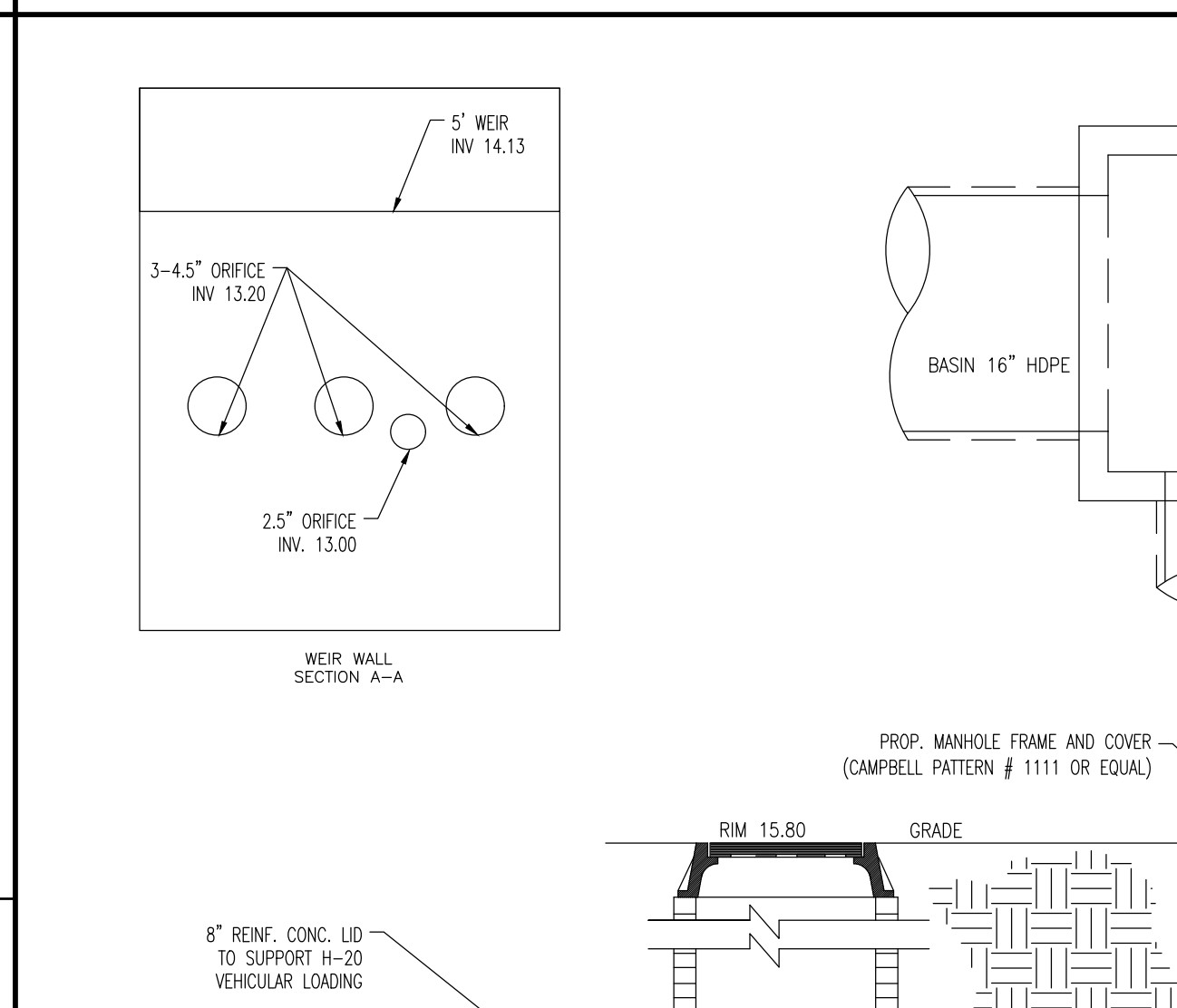
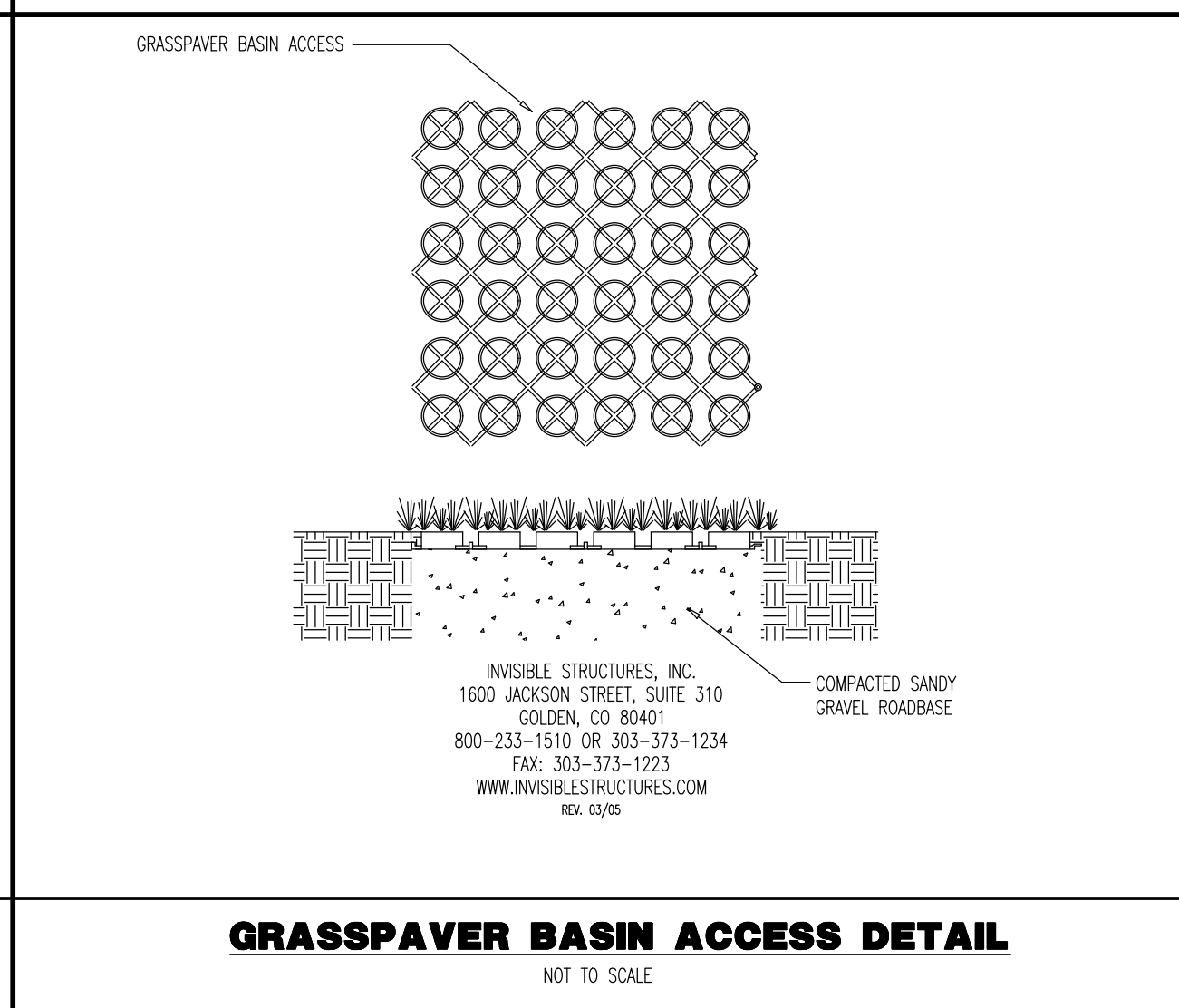
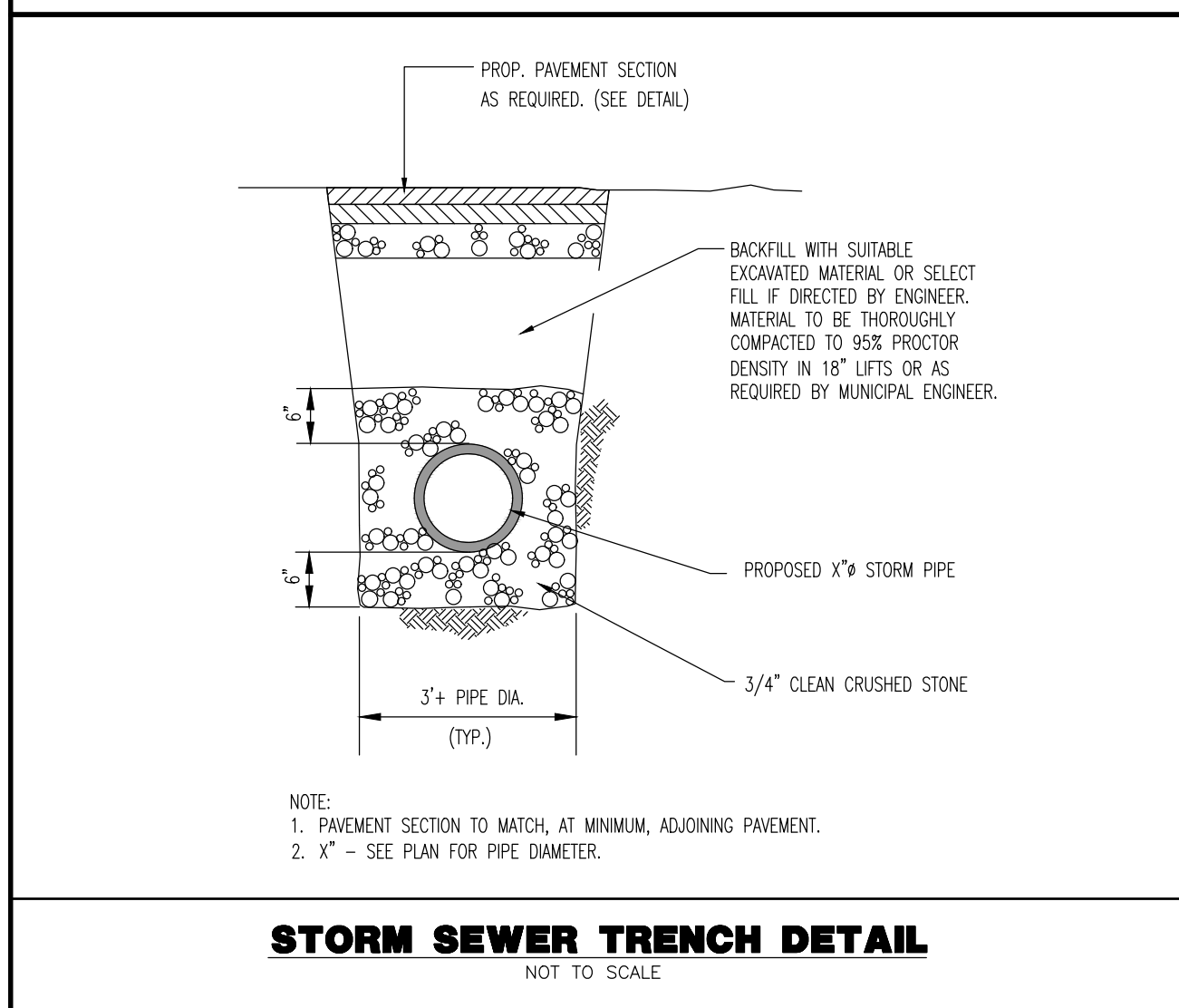
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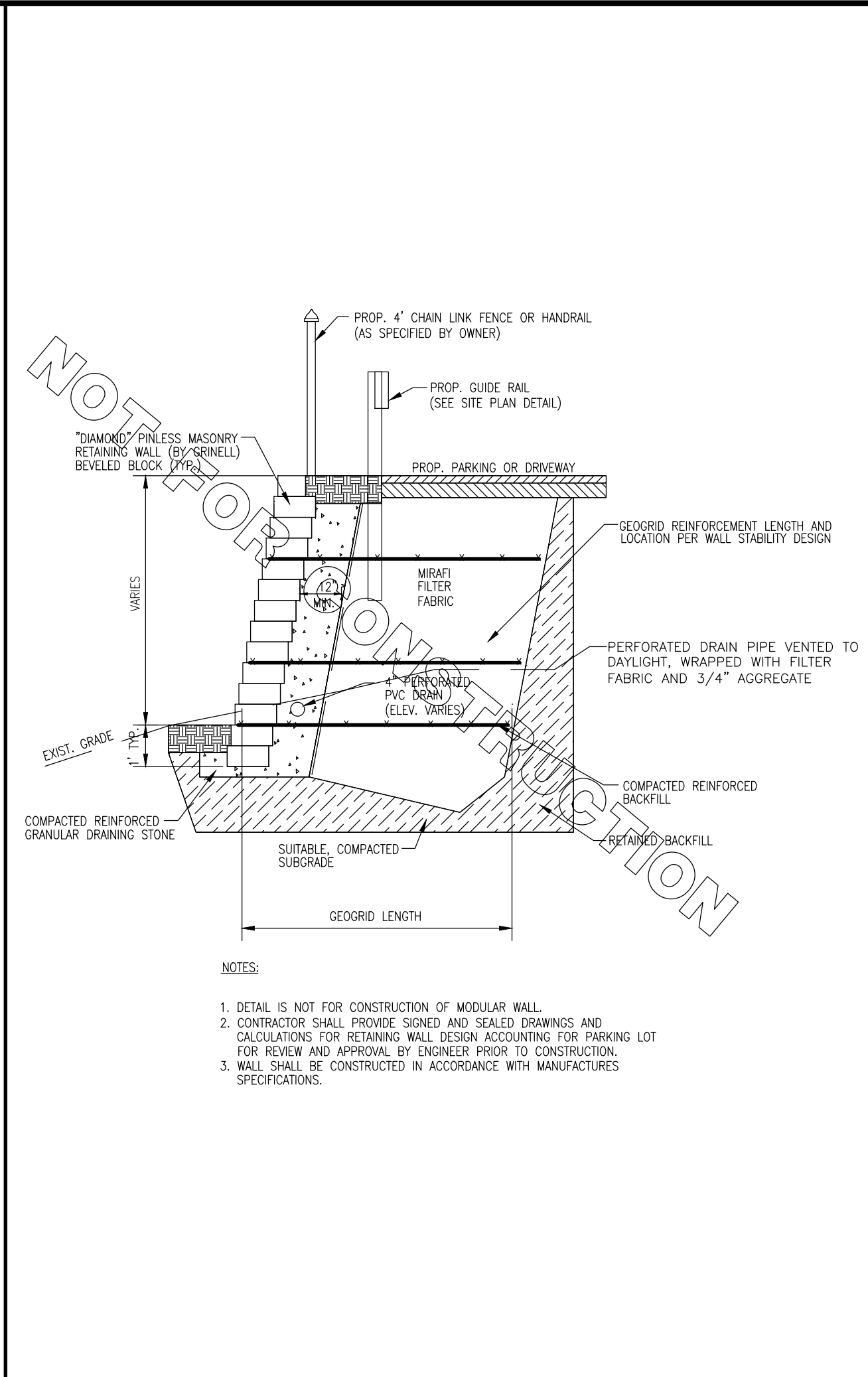
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PROJECT No: 2241-99-002	

SHEET No: 19	Rev. #: 0
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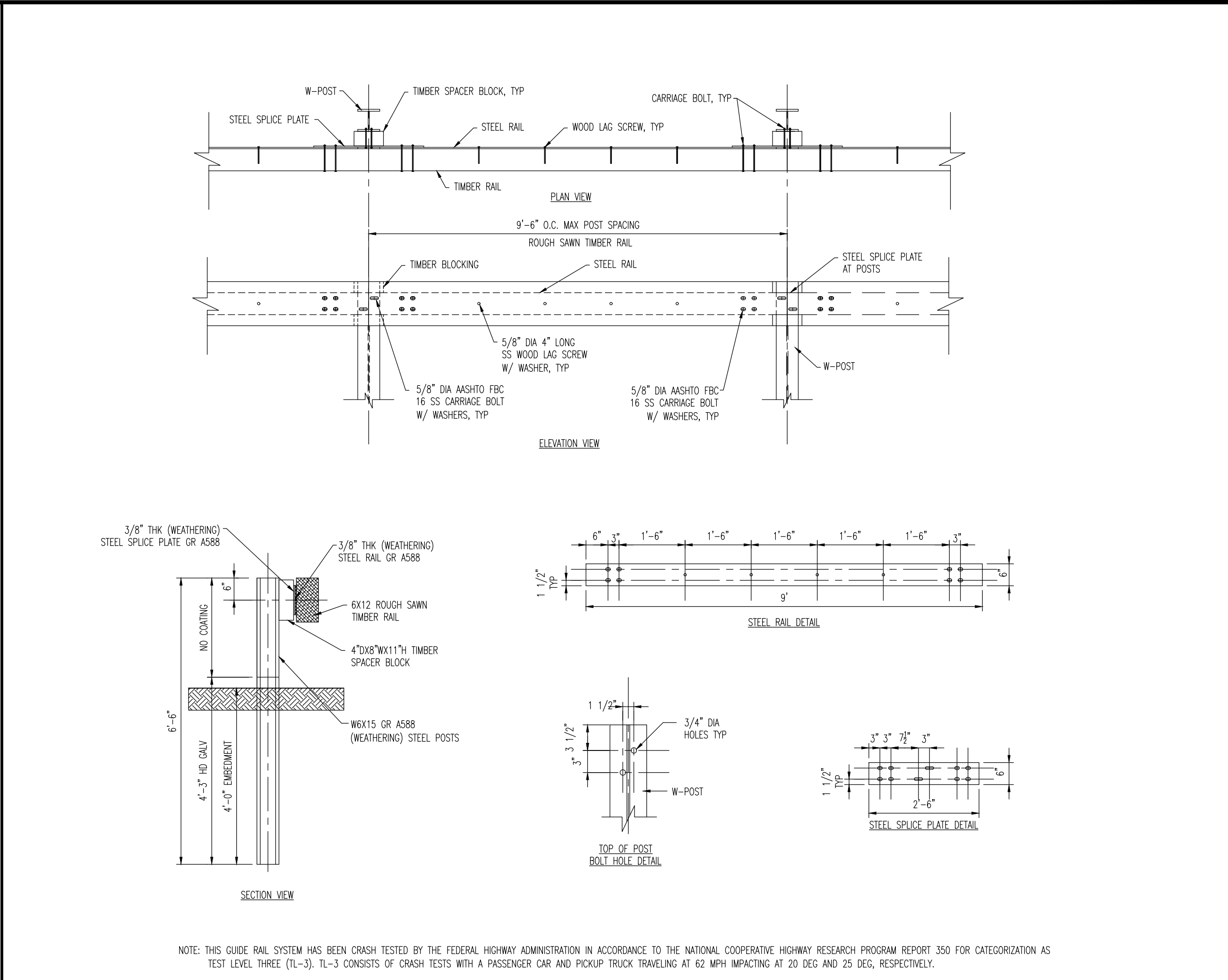




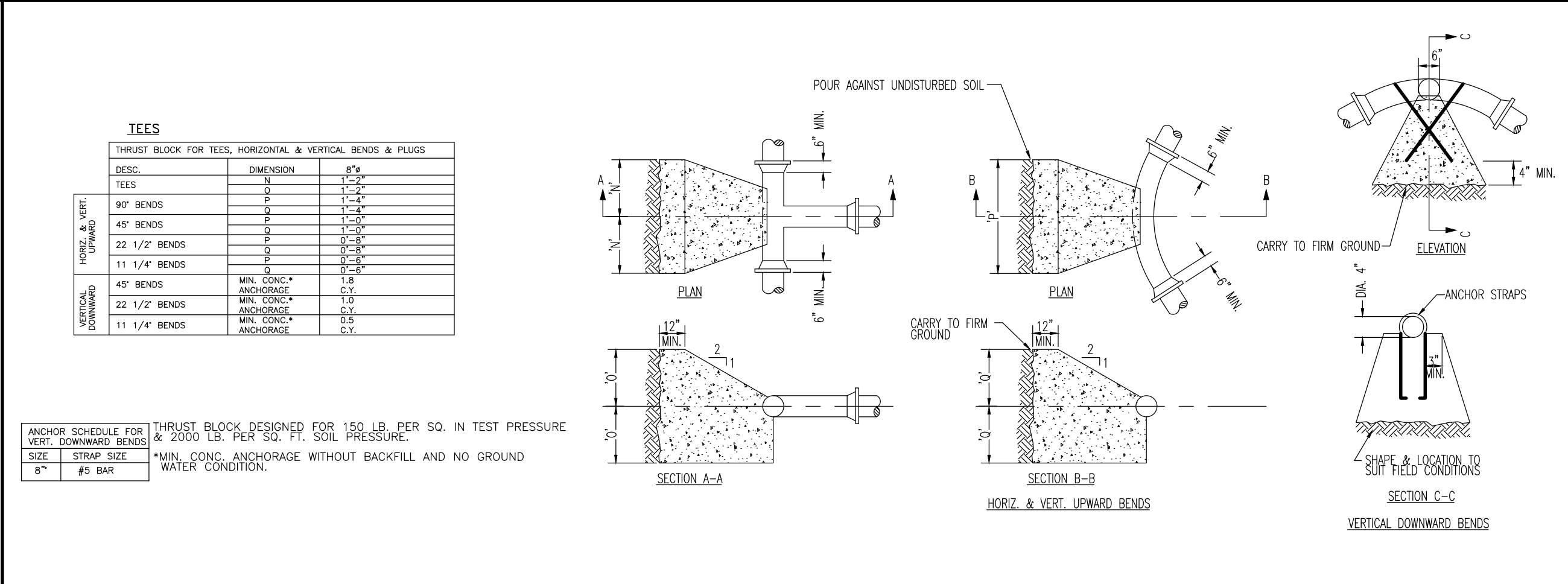
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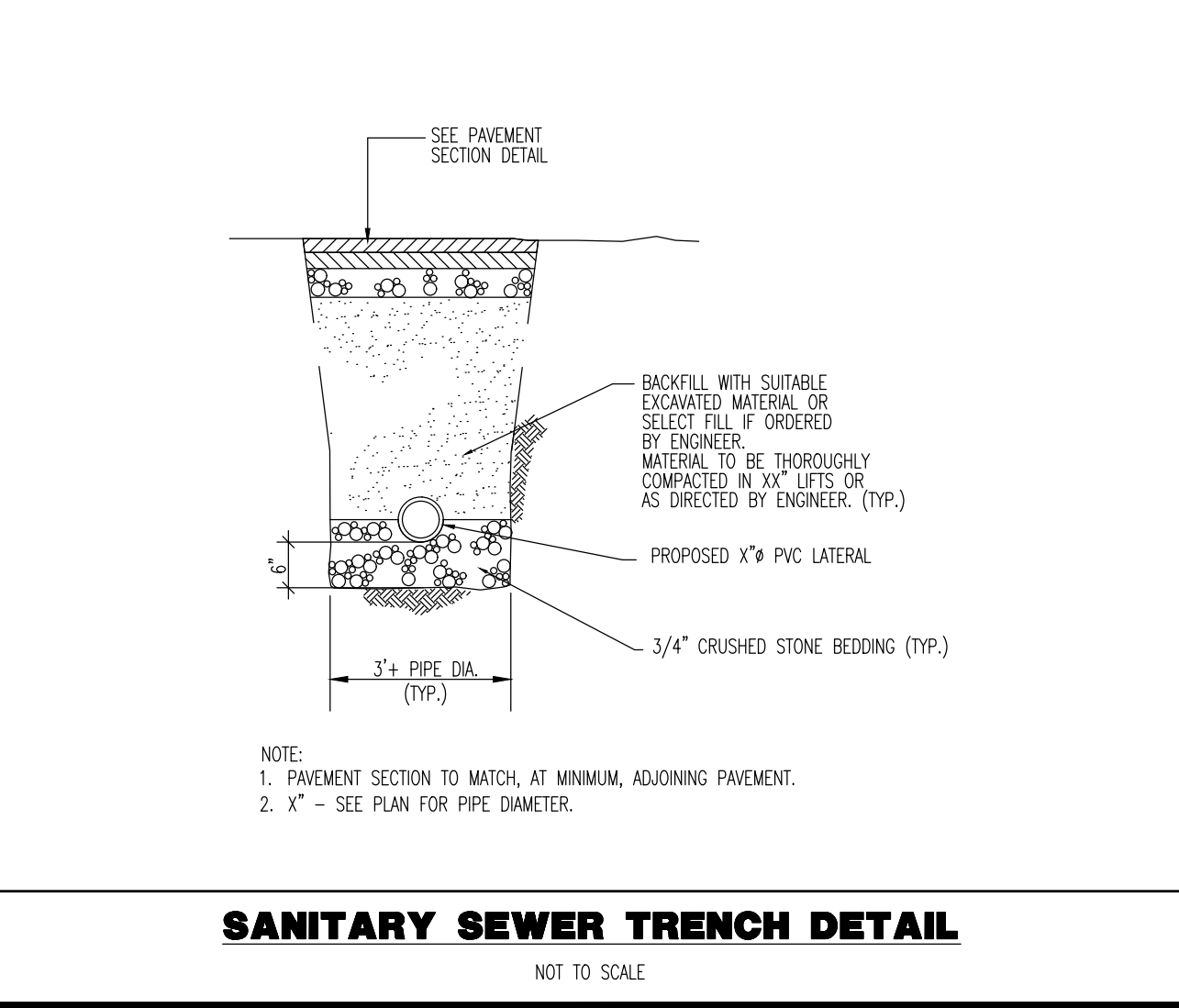
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NOT TO SCALE



AESTHETIC GUIDERAIL DETAIL
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THRUST BLOCK DETAILS
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SANITARY SEWER TRENCH DETAIL
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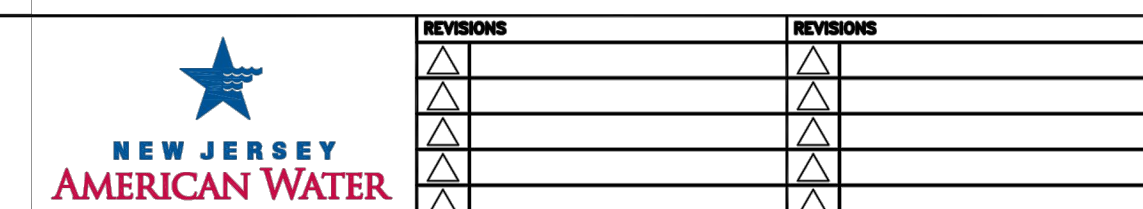
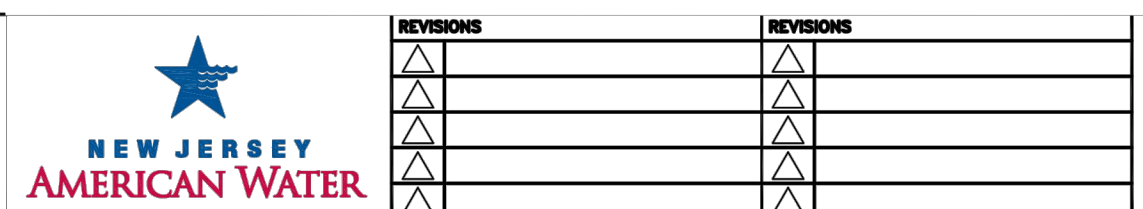
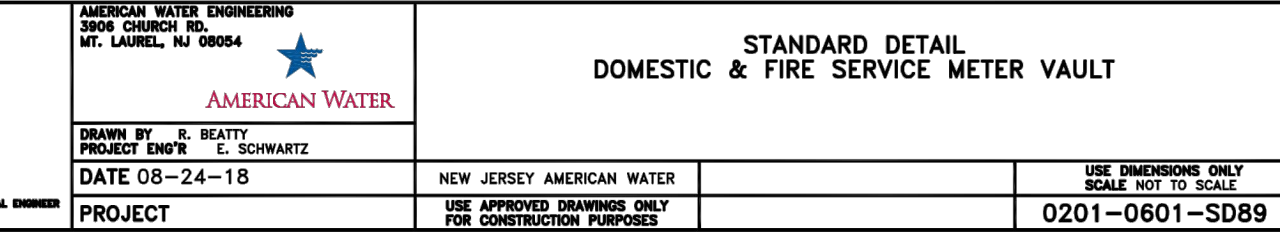
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PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 40014

TITLE: **CONSTRUCTION DETAILS**

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PROJECT No: 2241-99-002	

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SC-310 ISOLATOR ROW PLUS DETAIL
NTS

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE OPEN LID ON NYLON/PLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

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