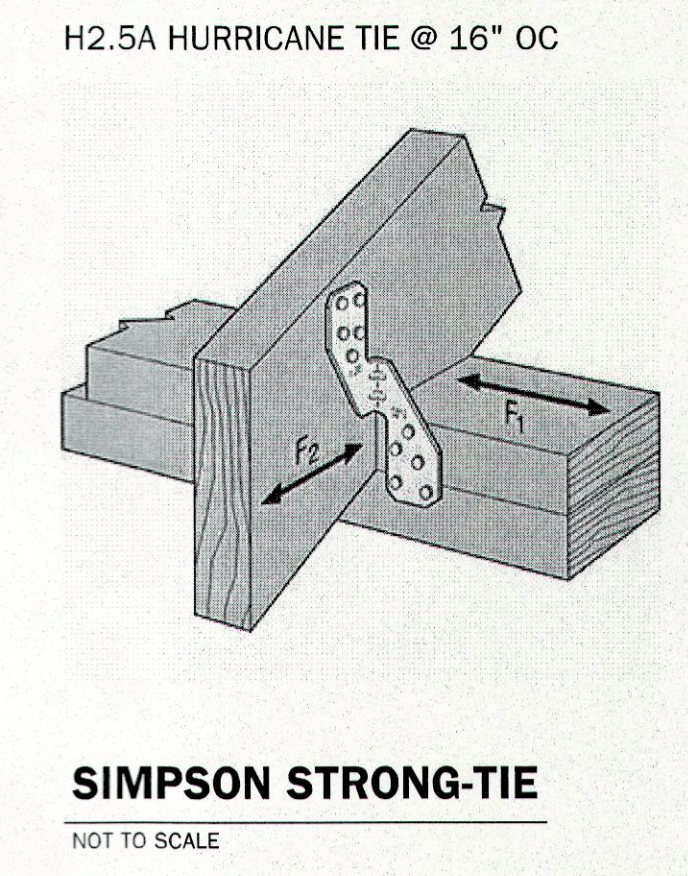
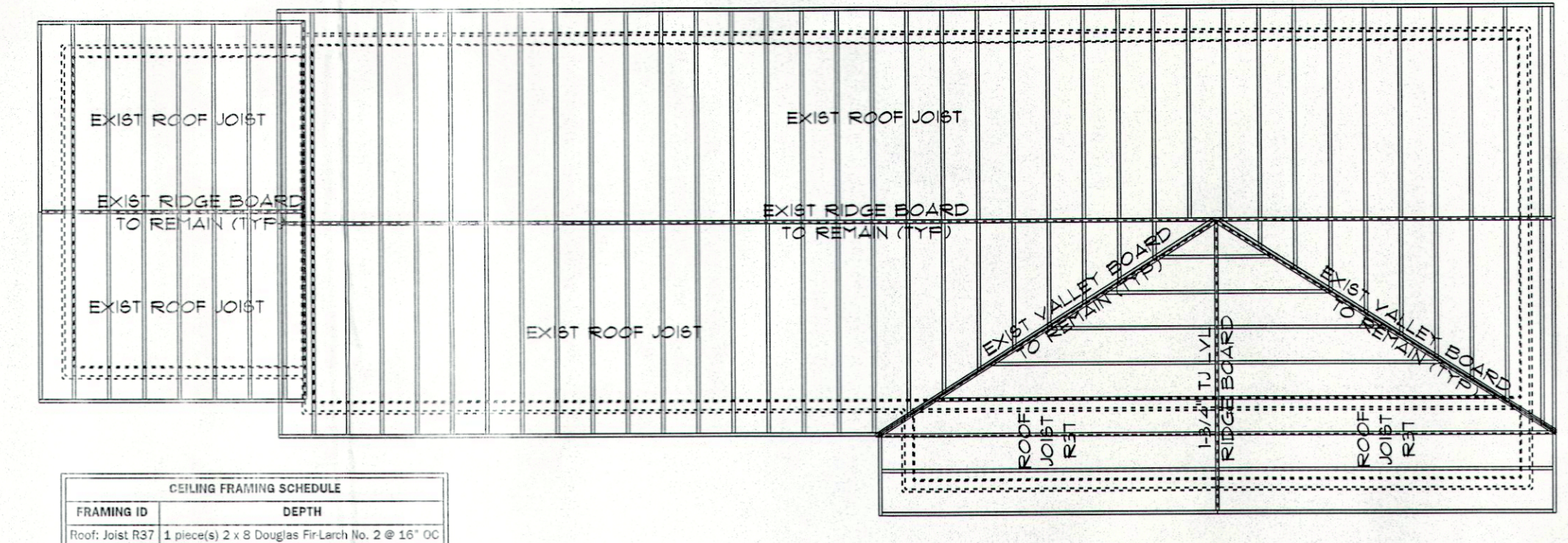


**PROJECT FOR:**  
**SML 2211, LLC**  
 Project Number: CN#020-06-005  
 2201 West Bangs Avenue  
 Neptune  
 New Jersey  
 Block: 816  
 Lot: 8

DATE	BY	BB
7/21/2020		

**Grasso Design Group**  
 design@grassodg.com  
 http://www.grassodg.com  
 231 Highway 71  
 Manasquan  
 New Jersey  
 Phone: 732-528-5850  
 Fax: 732-528-9067

**A-2**  
 SHEET  
 TOTAL  
**2**

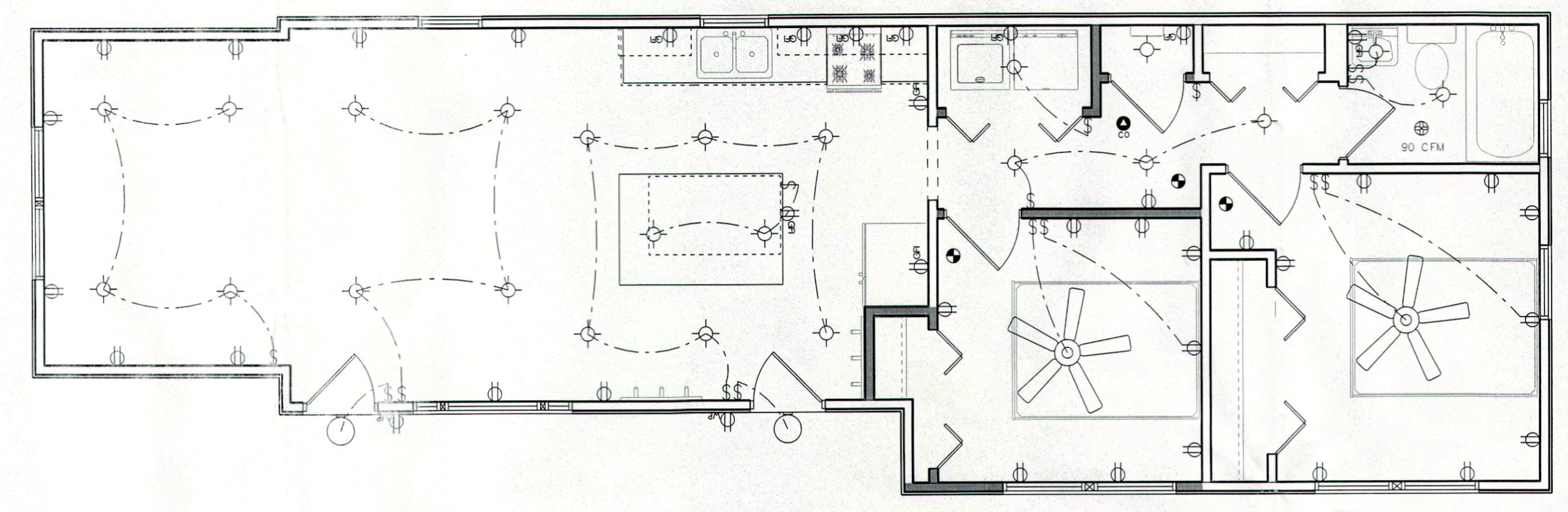


**FASTENER SCHEDULE**

DESCRIPTION OF BUILDING ELEMENTS	NO. 4 TYPE	SPACING
JOISTS TO SILL OR GIRDER, TOE NAIL	3-8d	
1 X 6 SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	
1" SUBFLOOR TO JOIST OR GIRDER BLIND AND FACE NAIL	2-8d	
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d	16" o.c.
TOP OR SOLE PLATE TO STUD, END NAIL	2-8d	
STUD TO SOLE PLATE, FACE NAIL	3-8d	
DOUBLE STUDS, FACE NAIL	10d	24" o.c.
DOUBLE TOP PLATES, FACE NAIL	10d	24" o.c.
SOLE PLATE TO JOIST OR BLOCKING AT BRACING WALL PANELS	3-8d	16" o.c.
DOUBLE TOP PLATES, MIN 24" OFFSET OF END JOISTS, FACE NAIL IN LAPPED AREA	8-8d	
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d	
RIP JOISTS TO TOP PLATE, TOE NAIL	8d	
TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2x10d	
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d	16" o.c.
CONTINUED HEADER, TWO PIECES	16d	16" o.c.
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-10d	
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-10d	
RAFTER TO PLATE, TOE NAIL	2-8d	24" o.c.
BUILT-UP GIRDER AND BEAMS, 3-INCH LUMBER LAYOUT	10d	
BUILT-UP CORNER STUDS	10d	
ROOF RAFTER TO RIDGE, VALLEY OR HIP RAFTERS, TOE NAIL	4-8d	
FACE NAIL	3-8d	
RAFTER TIE TO RAFTERS, FACE	3-8d	

\* NAIL EACH LAYER AS FOLLOWS: 30" O.C. AT TOP AND BOTTOM AND STAGGERED; TWO NAILS AT ENDS AND AT EACH BRIDGE.

**PROPOSED ROOF FRAMING - CEILING**  
 SCALE: 3/16" = 1'-0"



**PROPOSED FIRST FLOOR - ELECTRICAL**  
 SCALE: 1/4" = 1'-0"

**ELECTRICAL LEGEND**

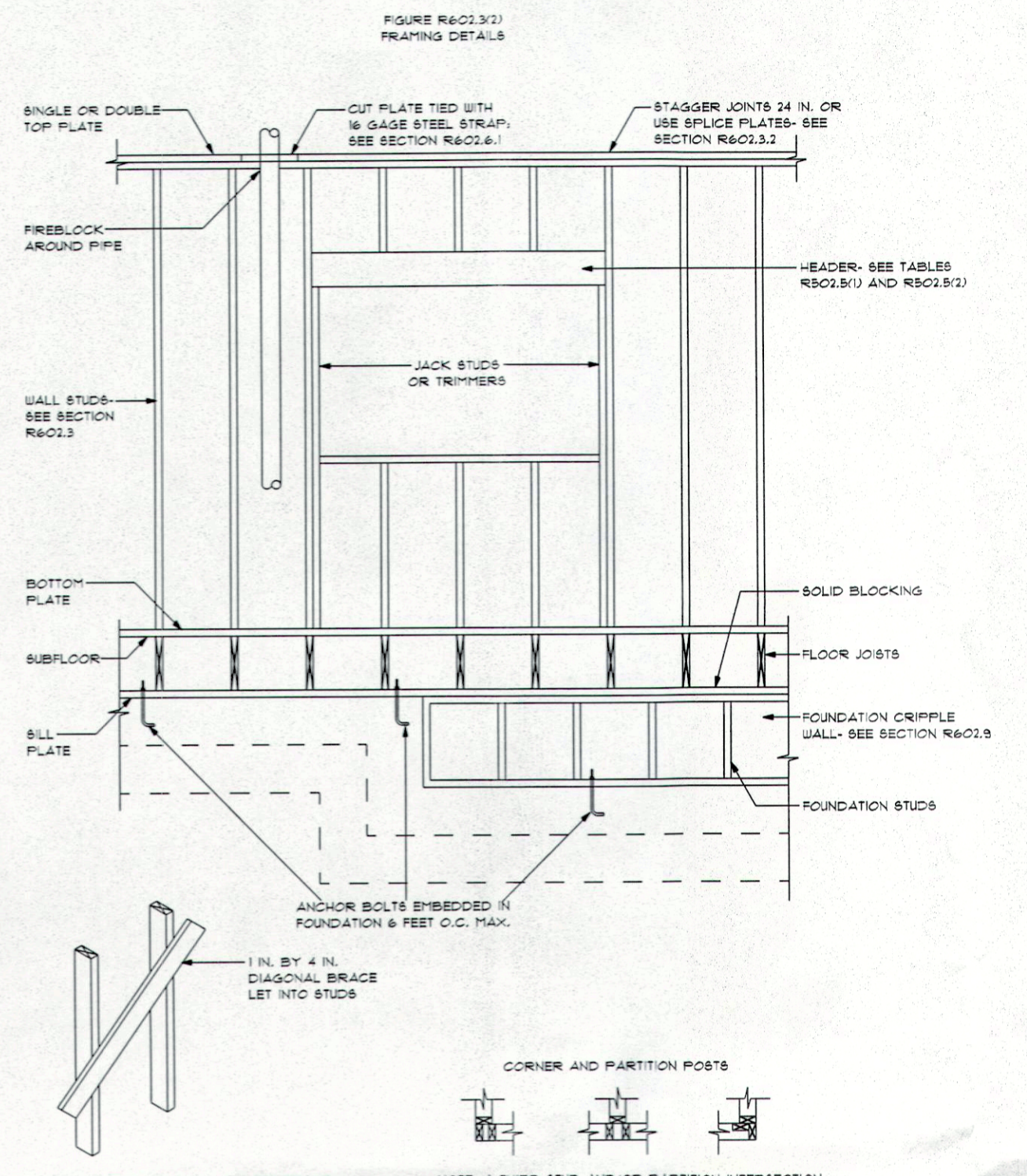
ELECTRICAL	COUNT	SYMBOL
ceiling fan 5 bladed 01	2	[Symbol]
exterior light 01	2	[Symbol]
co detector	1	[Symbol]
fan 90 CFM	1	[Symbol]
light	23	[Symbol]
outlet	28	[Symbol]
outlet gfi	10	[Symbol]
outlet wp	2	[Symbol]
smoke detector	3	[Symbol]
switch	15	[Symbol]

BUILDING MATERIAL	DESCRIPTION OF FASTENER	FASTENERS EDGE	FASTENERS FIELD
5/8" x 1/2"	6d COMMON NAIL (SUBFLOOR, WALL)	6"	12"
1/2" x 1"	8d COMMON NAIL	6"	12"

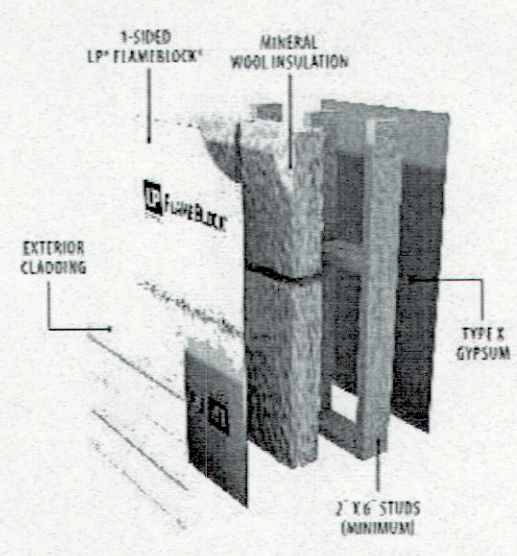
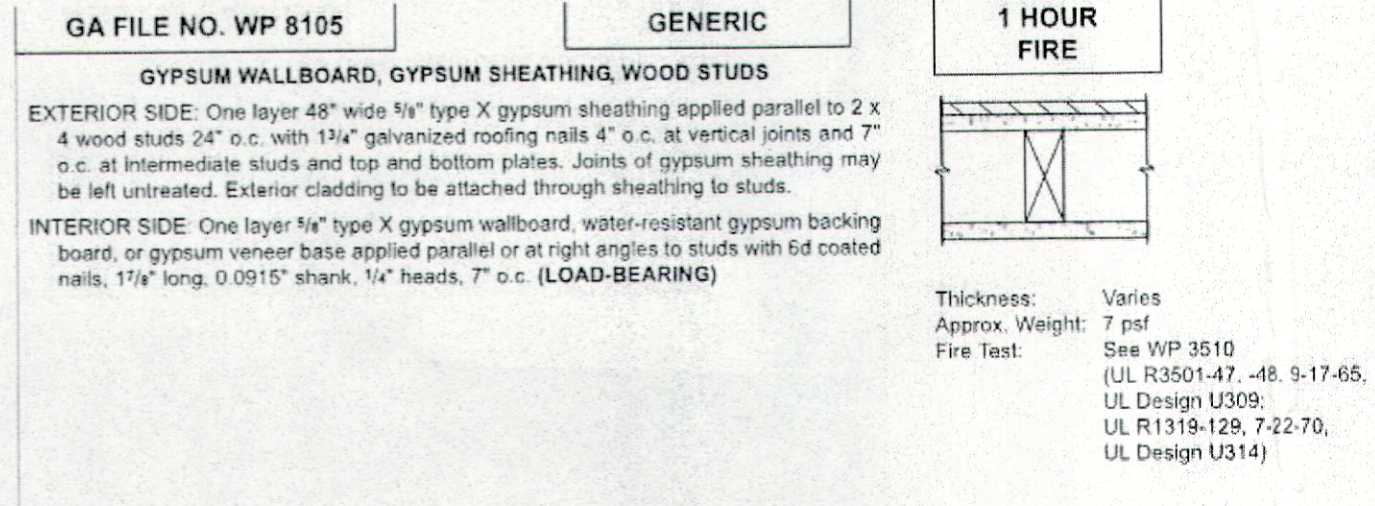
**GENERAL NOTES:**  
 1. ALL NAILS ARE SMOOTH - COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.  
 2. 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL, ROOF SHEATHING TO FRAMING WITH MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS.  
 3. NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER TO MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS, AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.  
 4. ALL RAFTER TO PLATE CONNECTIONS TO BE REINFORCED WITH SIMPSON HURRICANE TIE NO. H2.5 OR EQUAL.

**ROOM FINISH SCHEDULE**

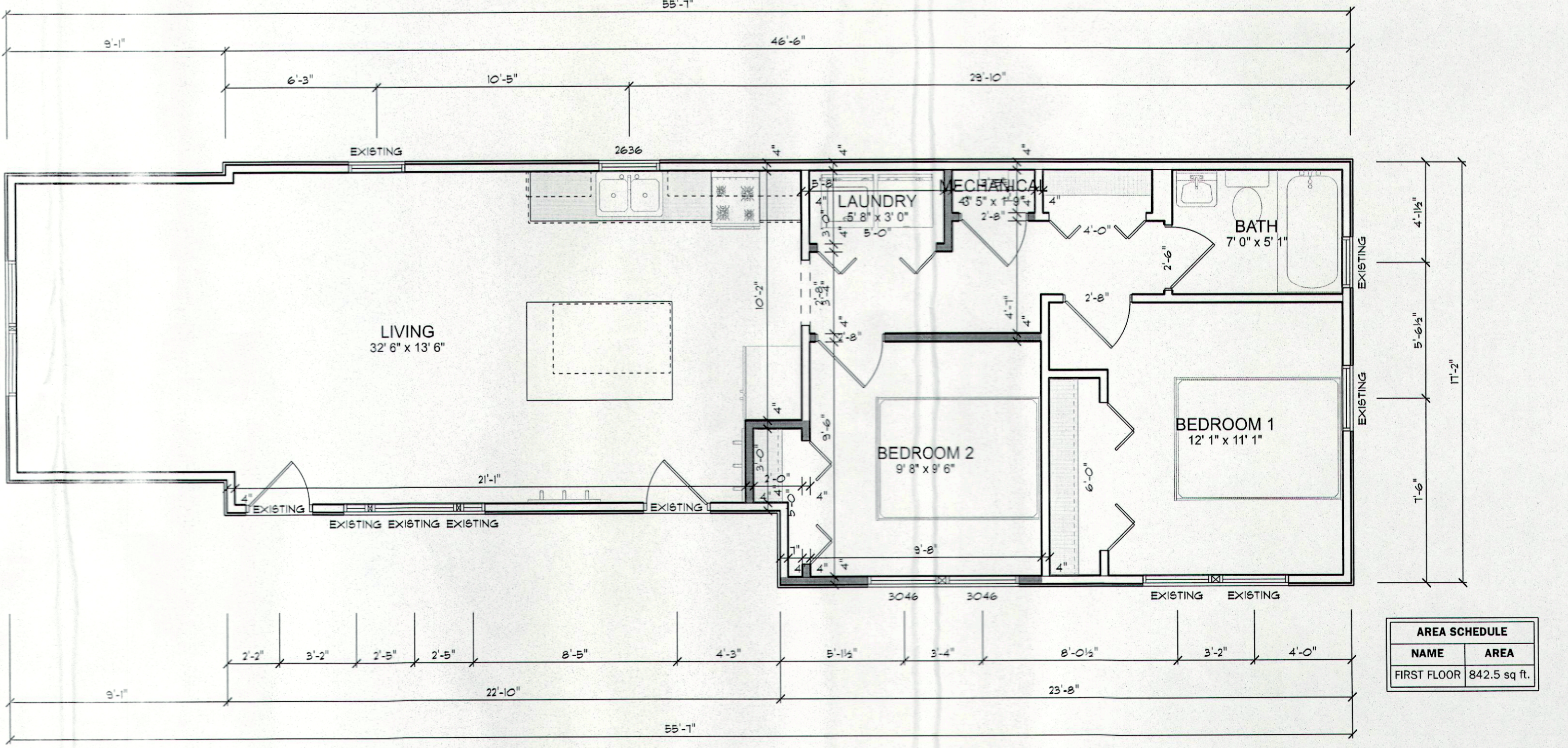
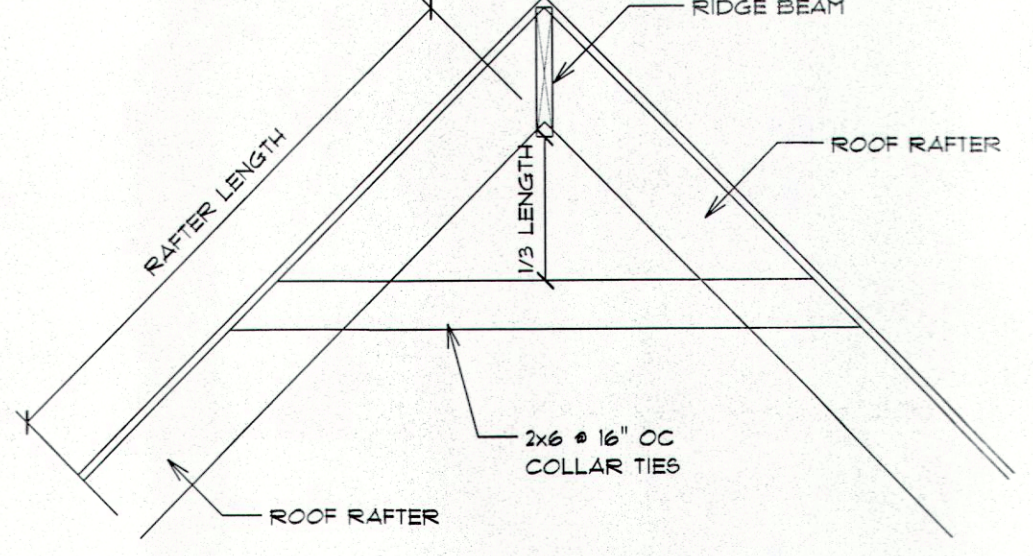
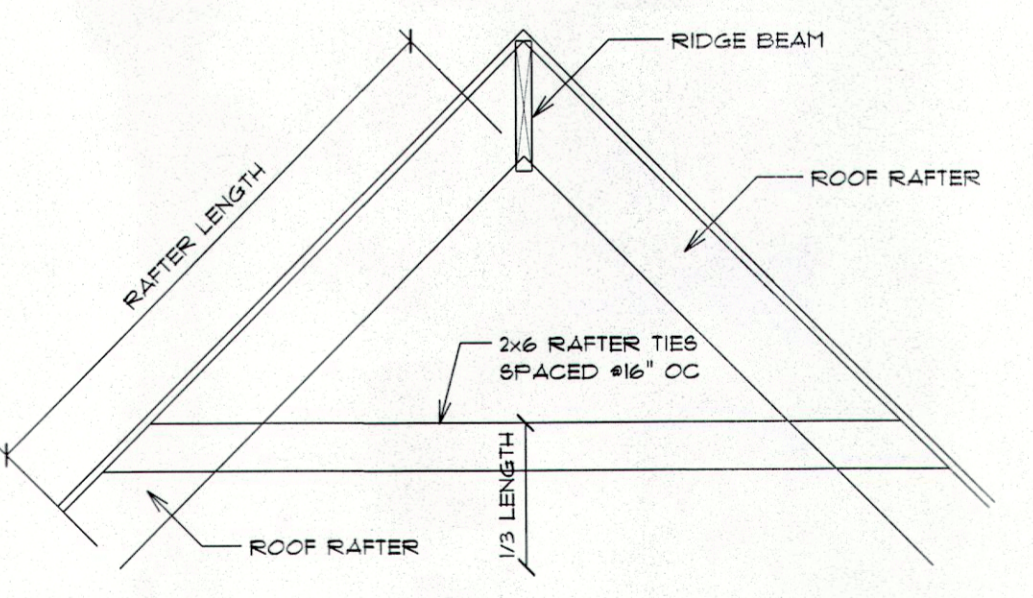
ROOM NAME	FLOORING	CEILING FINISH	CEILING MATERIAL	WALLCOVERING	AREA
BATH	Tile	Flat	Drywall	Tile	35.1 sq ft.
BEDROOM 1	Hardwood	Flat	Drywall	Paint	112.8 sq ft.
BEDROOM 2	Hardwood	Flat	Drywall	Paint	91.0 sq ft.
LAUNDRY	Tile w/ Drain	Flat	Drywall	Paint	16.6 sq ft.
MECHANICAL	Tile w/ Drain	Flat	Drywall	Paint	5.8 sq ft.
LIVING	Hardwood	Flat	Drywall	Paint	413.2 sq ft.



**WALL & HEADER FRAMING**  
 3/8" = 1'-0"



**FIRE RATED PROPERTY LINE OPTIONS**  
 1/8" = 1'-0"



**PROPOSED FIRST FLOOR**  
 SCALE: 1/4" = 1'-0"