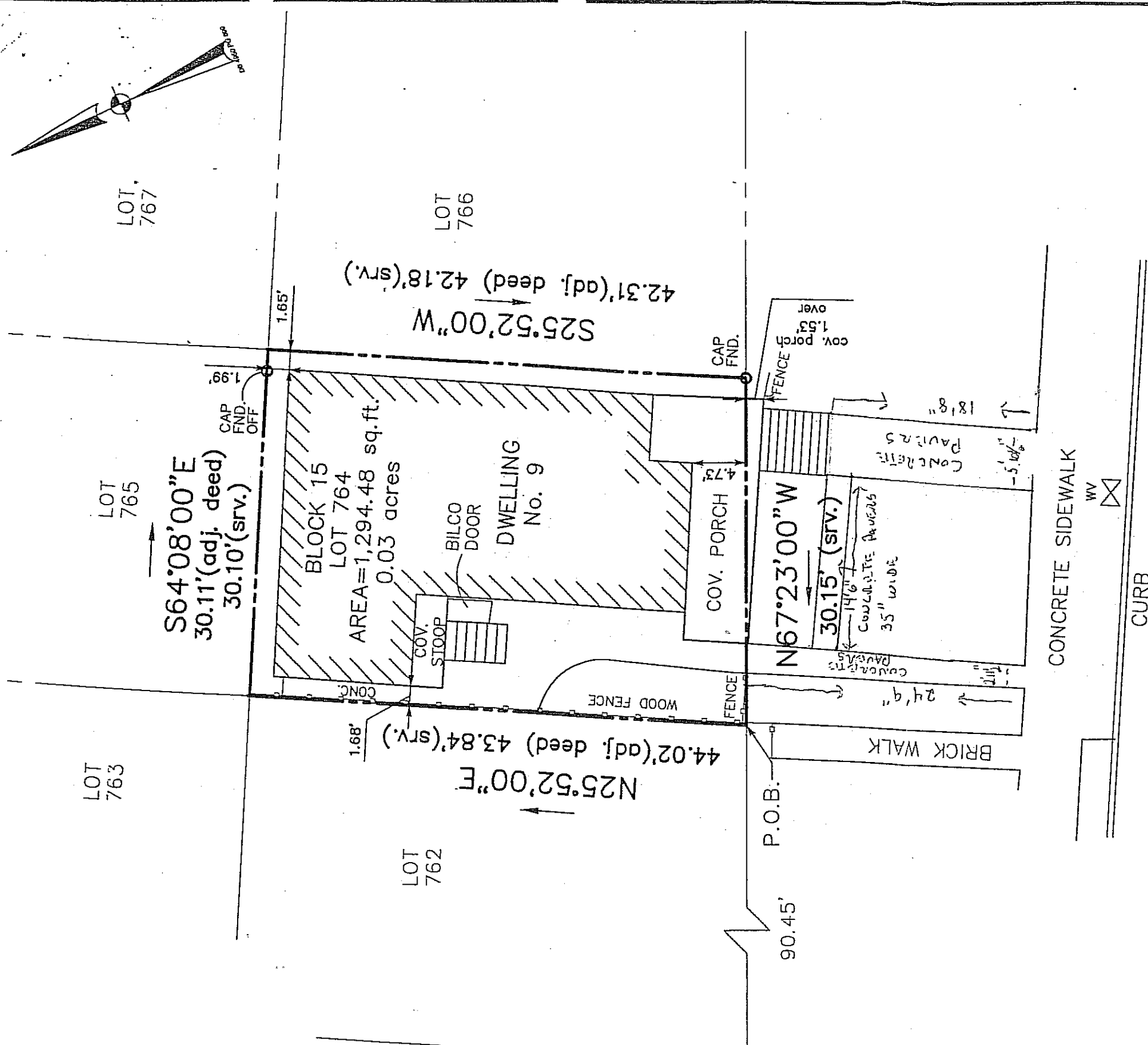


BEACH AVENUE
R.O.W.=40' (T.M.)



BROADWAY
R.O.W. VARIES (T.M.)

NOTE:
1. ALL BUILDING OFFSETS MEASURED TO SIDING UNLESS NOTED OTHERWISE.

IO:
1. WILLIAM E. TAYLOR III

- REFERENCES:
- DEED BOOK 6117 PAGE 2629 (ADJ. LOT 762)
 - DEED BOOK 6167 PAGE 3705 (ADJ. LOT 762)
 - DEED BOOK 8011 PAGE 4899 (ADJ. LOT 765)
 - DEED BOOK 4950 PAGE 699 (ADJ. LOT 766)
 - TOWNSHIP OF NEPTUNE TAX MAP SHEET No. 3

NOTES: THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH MAY BE DISCLOSED BY A TITLE SEARCH. UNDERGROUND STRUCTURES AND/OR UTILITIES NOT LOCATED BY THIS SURVEY. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID COPIES. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS ILLEGAL AND PUNISHABLE BY LAW.

THIS SURVEYOR IS NOT QUALIFIED TO MAKE ANY DETERMINATION AS TO THE EXISTENCE OF WETLANDS AND/OR TOXIC WASTES. NO STATEMENT IS BEING MADE BY THE FACT THAT NO EVIDENCE OF WETLANDS AND/OR TOXIC WASTES IS PORTRAYED HEREON. THE CLIENT SHOULD PURSUE THESE MATTERS AS ITEMS SEPARATE AND APART FROM THIS SURVEY.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:10-5.1(d). THIS SURVEY IS MADE ONLY TO NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OR TO DELINEATE PROPERTY FOR NAMED PARTIES.

I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP IS THE PRODUCT OF A SURVEY PERFORMED, ON OR ABOUT THE DATE INDICATED IN THE TITLE BLOCK HEREON, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH N.J.A.C. 13:40-5.1, LAND SURVEYOR; PREPARATION OF LAND SURVEYS. THIS MAP IS MADE TO PROVIDE INFORMATION TO THE TITLE INSURER SO THAT THEY MAY INSURE TITLE TO THE LAND SHOWN HEREON AND FOR THE MORTGAGE HOLDER NAMED ABOVE. THIS DECLARATION IS GIVEN SOLELY TO THE ABOVE NAMED PARTIES FOR THIS TRANSACTION ONLY AND IS NOT TRANSFERABLE, EXCEPT AS PROVIDED HEREIN.

GRAPHIC SCALE



REV. DESCRIPTION

SURVEY OF PROPERTY
9 BROADWAY
situate in
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY
NEW JERSEY

Zenon T. Grybowski

ZENON T. GRYBOWSKI
N.J. PROFESSIONAL LAND SURVEYOR - 23918
N.J. PROFESSIONAL PLANNER - 2911

DATE BY

LANDMARK
SURVEYING AND ENGINEERING, INC.
813 Main Street
Avon-by-the-Sea, New Jersey 07717
Tel: (732)775-8558 - Fax: (732)775-7848
CERT. OF AUTH. #24GA27929700
Email: Landmarkse@Optimum.net
Web: www.Landmarkse.net

SCALE:	1"=10'	DATE:	07/30/2013
DRAWN BY:	TG/JK	SHEET #:	1 OF 1
		DRAWING:	13160SRV
		JOB #:	13160

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