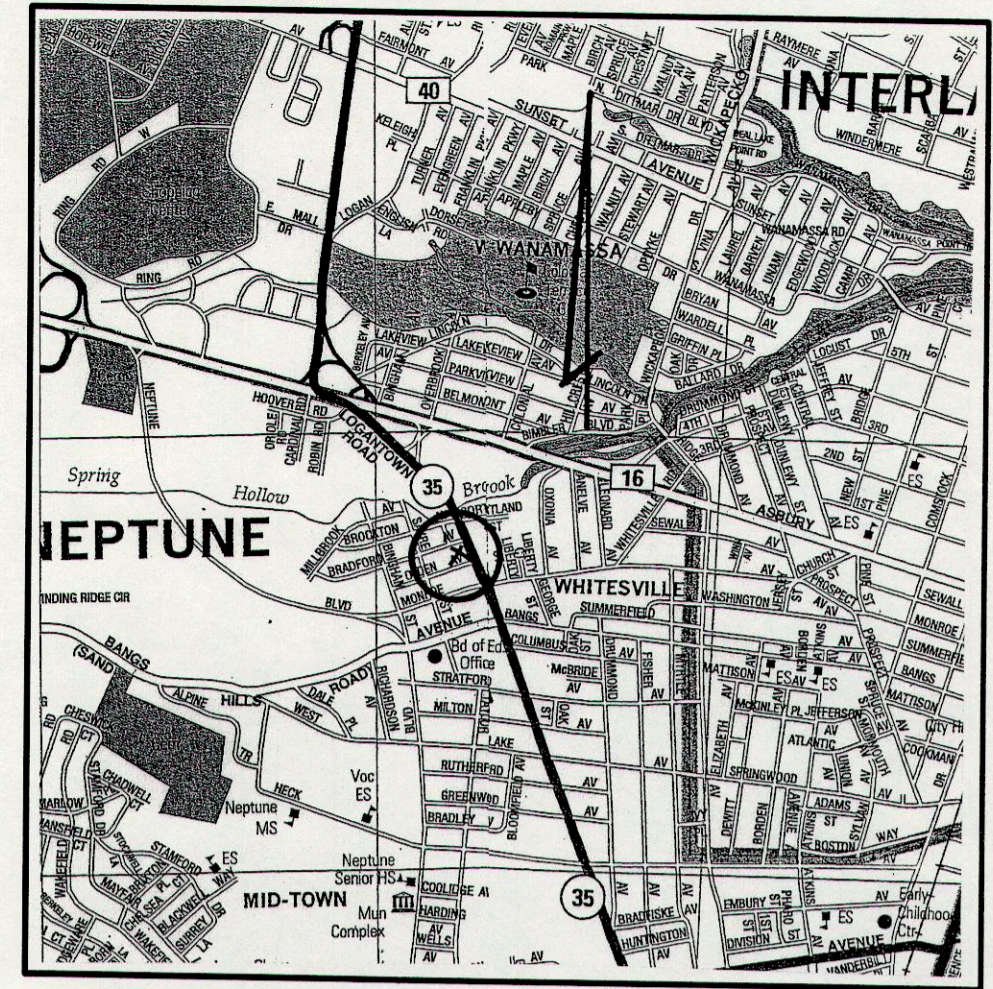


PRELIMINARY AND FINAL SITE PLAN

NEPTUNE MOWER REPAIR - 615 HIGHWAY 35

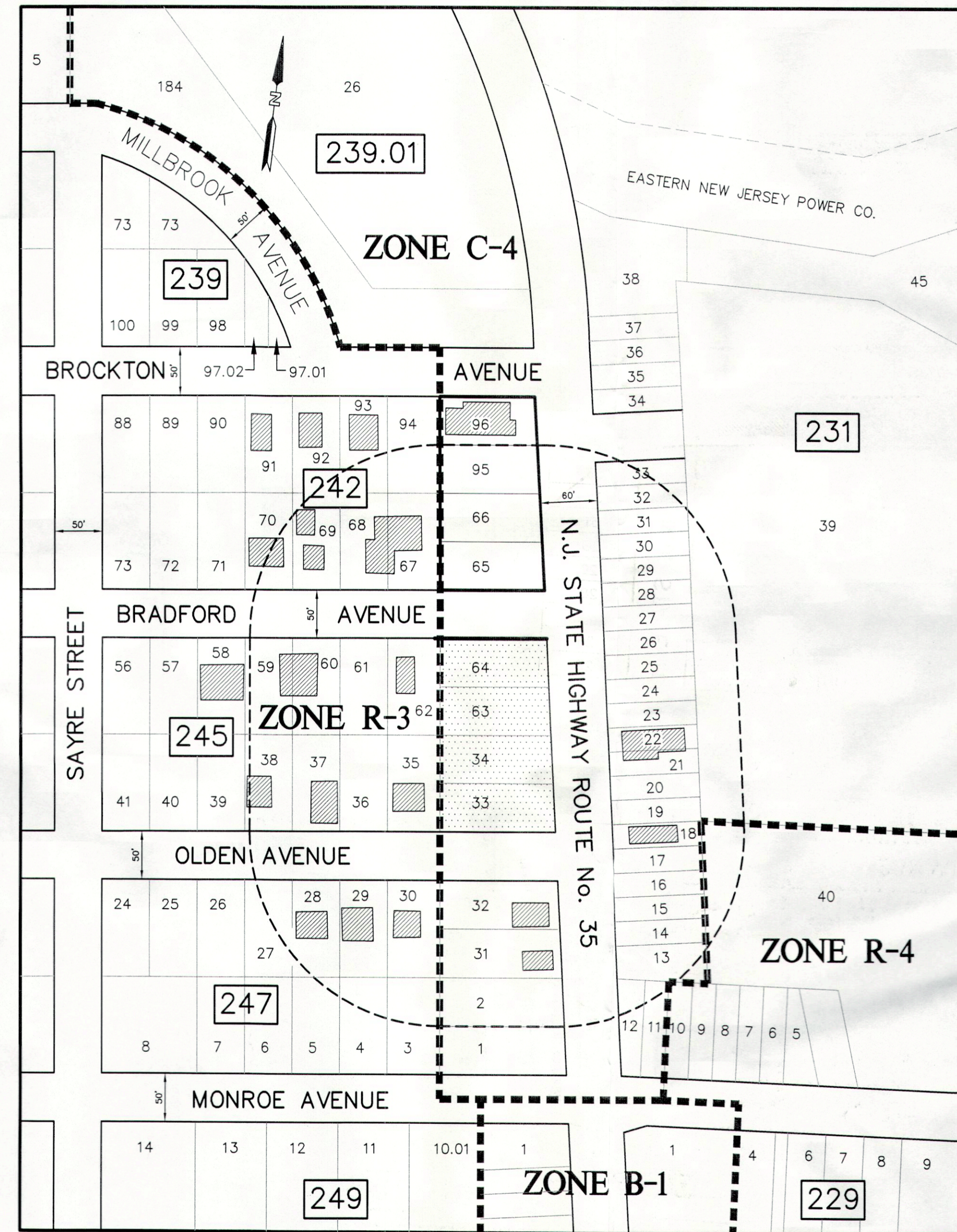
TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY



KEY MAP
SCALE: 1"=2000'

LIST OF PROPERTY OWNERS WITHIN 200 FT. OF SITE

BLOCK	LOT	PROPERTY OWNER
231	10.01	VILLIAMA D & TARRIN E MORGAN 716 DIONIA AVENUE NEPTUNE, NJ 07753
231	11	AMERICAN CLASSIC DEVELOPMENT INC. 277 FIRST AVENUE NEW YORK, NY 10003
231	11.01	RUTH & ZINA WILLIAMSON 120 DIONIA AVENUE NEPTUNE, NJ 07753
231	12.01	ANNIE D. ANDERSON 122 DIONIA AVENUE NEPTUNE, NJ 07753
231	13.01	ROBERT A VARTANOV 124 DIONIA AVENUE NEPTUNE, NJ 07753
231	15	ROBERT MILDNER 610 HWY 35 NEPTUNE, NJ 07753
231	19	FELIPI & MONORINA PEREZ 518 HWY 35 NEPTUNE, NJ 07753
231	23	CHARLES & JOHNE ROESING 83 TELEGRAPH HILL ROAD HOLMDEL, NJ 07733
231	26	JOHNE & CHARLES ROESING 83 TELEGRAPH HILL ROAD HOLMDEL, NJ 07733
231	30	JOSEPH STORZIERI PO BOX 1172 NEPTUNE, NJ 07753
231	39	CLIFFORD R & JUNE M APPELGATE 17 PAL DRIVE OCEAN, NJ 07712
231	40	TOWNSHIP OF NEPTUNE PO BOX 1125 NEPTUNE, NJ 07753
242	65	DUEK PROPERTIES LLC-AP. PROPERTY 1806 HWY 35, STE. 301 OCEAN, NJ 07755
242	67	VIVIAN SCOTT 1708 BRADFORD AVENUE NEPTUNE, NJ 07753
242	70	LESTER C & PATRICIA PURYEAR 1708 BRADFORD AVENUE NEPTUNE, NJ 07753
242	92	CLAUDETTE & RICHARD MATHENEY 5313 SOUTH RIVERBLVD LOS ANGELES, CA 90043
242	93	EDITH L JONES 1706 BRADFORD AVENUE NEPTUNE, NJ 07753
242	94	VICTORIA C BROWN 1704 BRADFORD AVENUE NEPTUNE, NJ 07753
242	95	JOHN F ABEL 68 BENNETT AVENUE NEPTUNE CITY, NJ 07753
245	35	CURTIS E & CATHERINE D STEVART 1703 OLDEN AVENUE NEPTUNE, NJ 07753
245	36	TAUFIK PALACIOS 1708 OLDEN AVENUE NEPTUNE, NJ 07753
245	38	ERIC EUGENE SCHERCK 1711 OLDEN AVENUE NEPTUNE, NJ 07753
245	58	FATIMA SMITH 1710 BRADFORD AVENUE NEPTUNE, NJ 07753
245	60	SEBRAN A WILLIAMS 1708 BRADFORD AVENUE NEPTUNE, NJ 07753
245	61	YANICK & CHILAIRE BELFORT 1704 BRADFORD AVENUE NEPTUNE, NJ 07753
247	1	POPPY SO LLC 509 MAIN STREET, SUITE 1 AVON BY THE SEA, NJ 07717
247	2	JAMES A MAFFI 1505 MARIN AVENUE OCEAN, NJ 07712
247	3	STEPHANIE & REID FERGUSON 1703 MONROE AVENUE NEPTUNE, NJ 07753
247	4	CARL BRAGGS 82 BEAN PLACE FORKED RIVER, NJ 08731
247	5	KURTIS D & DEBORAH A ROSS 1708 MONROE AVENUE NEPTUNE, NJ 07753
247	27	BOBBY N & EMMA J CONYERS 1710 OLDEN AVENUE NEPTUNE, NJ 07753
247	28	BILLY & EDNA FARLEY 729 GAIL DRIVE NEPTUNE, NJ 07753
247	29	SARAH MUSTIN 1708 OLDEN AVENUE NEPTUNE, NJ 07753
247	30	HELEN TYSON 1704 OLDEN AVENUE NEPTUNE, NJ 07753
247	31	I. C. LITE, INC. PO BOX 710 CLOSTER, NJ 07624
247	32	TERRI LYNN JOHNSON 611 HWY 35 NEPTUNE, NJ 07753



AREA MAP
SCALE: 1"=100'

GENERAL NOTES:

- PROPERTY KNOWN AS LOTS 33, 34, 63 & 64 IN BLOCK 245 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF NEPTUNE, SHEET No. 41.03.
- PLAN BASED ON SURVEY PREPARED BY CHARLES SURMONTE P.E. & L.S.
- PROPERTY IS SITUATED IN THE C-4 (ROUTE 66 EAST COMMERCIAL) ZONE.
- REQUIREMENTS OF C-4 ZONE:

	REQUIRED	PROVIDED
MIN. LOT AREA	15,000 S.F.	23,653 S.F.
MIN. LOT FRONTAGE	100 FT.	200.2 FT. (ROUTE 35) 123.1 FT. (OLDEN AVE.) 113.5 FT. (BRADFORD AVE.)
MIN. LOT WIDTH	100 FT.	200 FT.
MIN. LOT DEPTH	100 FT.	113.5 FT.
MIN. FRONT SETBACK	15 FT.	11.6 FT.** (ROUTE 35) 6.0 FT. (OLDEN AVE.) * 15.0 FT. (BRADFORD AVE.)
MIN. SIDE SETBACK	10 FT./25 FT	N/A
MIN. REAR SETBACK	20 FT.	54.6 FT.
MAX. BUILDING COVERAGE	35%	33.2% (7,843 S.F.)
MAX. LOT COVERAGE	80%	72.4% (17,131 S.F.)
MAX. BUILDING HEIGHT	48 FT.	24 FT.± (RETAIL), 30 FT.± (MOWER SHOP) 2 STORIES (MOWER SHOP) 1 STORIE (RETAIL)
MIN. IMPROVABLE AREA	7200 S.F.	14,150 S.F.
MIN. DIAMETER OF CIRCLE	55 FT.	79.2 FT.
MIN. No. of PARKING SPACES	17 SPACES	17 SPACES
RETAIL STORES: 3093 S.F. @ 1/250 S.F. = 12.3 SPACES		
MOWER SHOP: 3800 S.F. @ 1/1500 S.F. = 2.5 SPACES		
MOWER SHOP: 2 EMPLOYEES @ 1 SPACE PER = 2 SPACES		

- * VARIANCE REQUIRED (EXISTING CONDITION)
- ** VARIANCE REQUIRED (PROPOSED CONDITION)

- APPLICANT/OWNER: ROBERT M. MILDNER
615 HIGHWAY 35
NEPTUNE, N.J. 07753
- LIST OF OUTSIDE AGENCY APPROVALS:
 - MONMOUTH COUNTY PLANNING BOARD
 - FREEHOLD SOIL CONSERVATION DISTRICT
- NO STORAGE OF OUTSIDE EQUIPMENT IS PERMITTED.
- NO RESIDENTIAL USES ARE PERMITTED ON THE SITE
- THE FACADE OF THE BUILDING SHALL COMPLY WITH NEPTUNE TOWNSHIP DEVELOPMENT ORDINANCE SECTION 502B(1)(a).

INDEX	
SHEET No.	DESCRIPTION
1	COVER SHEET & GENERAL NOTES
2	EXISTING CONDITION PLAN
3	PHASING PLAN
4	IMPROVEMENT PLAN
5	LANDSCAPING PLAN
6	LIGHTING PLAN
7	SOIL EROSION & SEDIMENT CONTROL PLAN
8	CONSTRUCTION DETAILS-1
9	CONSTRUCTION DETAILS-2

APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF NEPTUNE TOWNSHIP
ON Sept 1 - 2010 RESOLUTION # 28-19/18

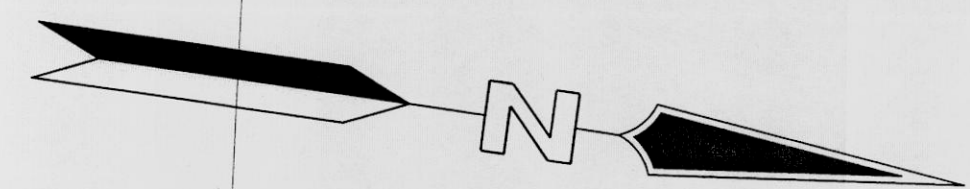
Robert M. Mildner 1/3/11
CHAIRMAN DATE

Rose O'Hara 2/24/2011
SECRETARY DATE

Mark S. Luff 12-20-10
ENGINEER DATE

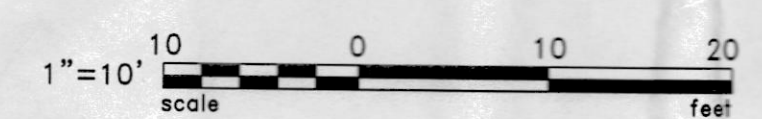
NO.	DATE	DESCRIPTION
3	12-02-10	REVISED PER BOARD PLANNER'S REVIEW LETTER OF 11-12-10
2	11-22-10	REVISED PER REOLUTION COMPLIANCE REVIEW LETTER OF 11-15-10
1	10-28-10	REVISED PER REOLUTION COMPLIANCE

COVER SHEET AND GENERAL NOTES		
LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP SHEET No. 41.03)		
TOWNSHIP OF NEPTUNE	MONMOUTH COUNTY	NEW JERSEY
Charles Surmonte P.E. & P.L.L.C. New Jersey Professional Engineer and Land Surveyor License No. 35885		301 Main Street, 2nd Floor Allentown, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404
PROJECT No. 07-868	SCALE: AS SHOWN	SHEET: 1 OF 9



N.J. STATE HIGHWAY ROUTE No. 35
(60' R.O.W.)

07-868EX.dwg 11-22-10 6:52:42 am EST



NO.	DATE	DESCRIPTION
2	11-22-10	REVISED PER RESOLUTION COMPLIANCE REVIEW LETTER OF 11-15-10

EXISTING CONDITION PLAN

LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP SHEET No. 41.03)

TOWNSHIP OF NEPTUNE MONMOUTH COUNTY NEW JERSEY

Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35885

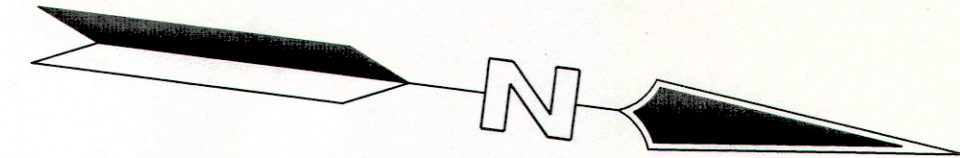
301 Main Street, 2nd Floor
Allenhurst, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

PROJECT No. 07-888	DATE: 6-07-10	SCALE: 1"=10'	SHEET: 2 OF 9
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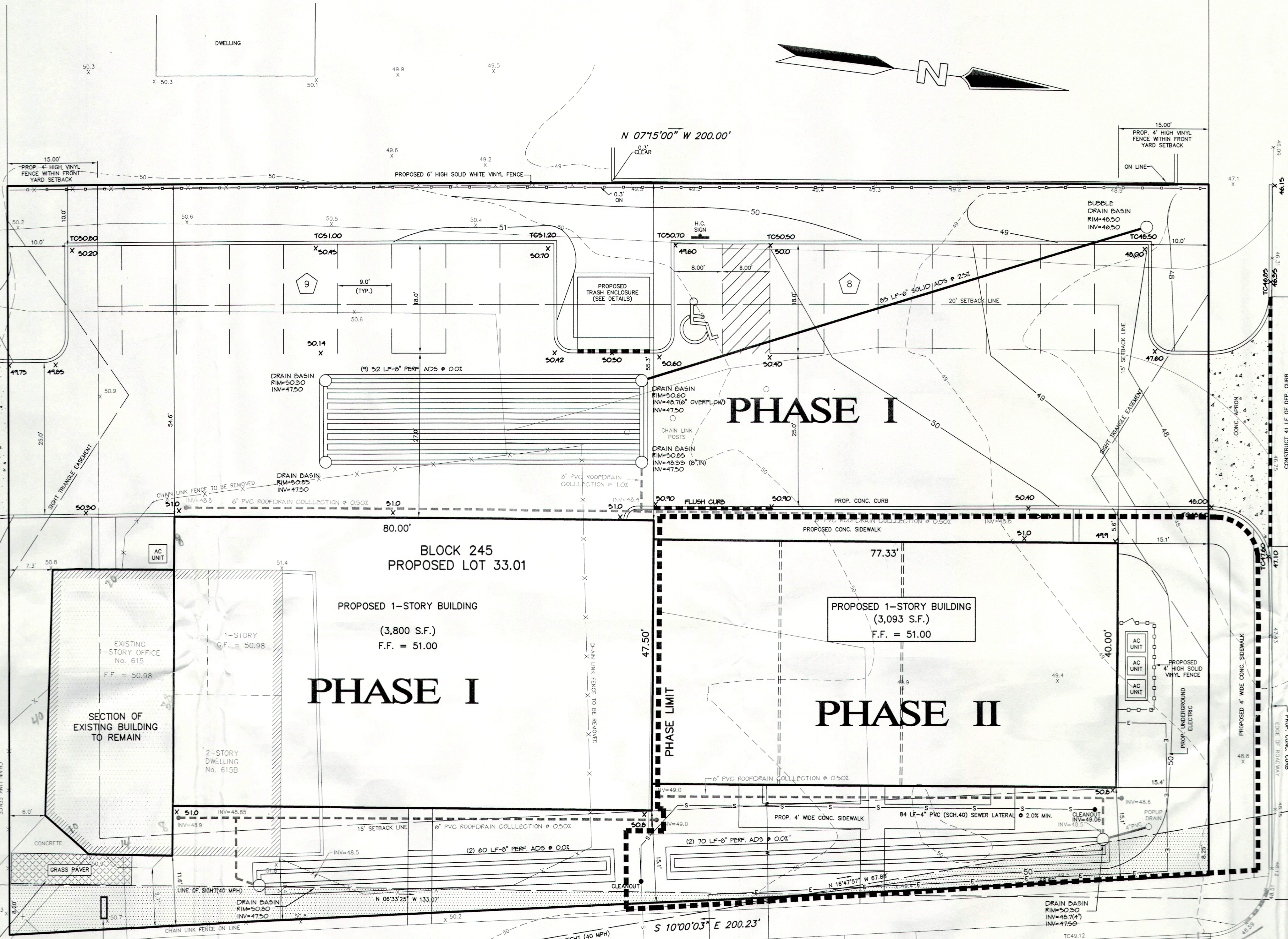
OLDEN AVENUE
(50' R.O.W.)

N 82°45'00" E 113.46' BRADFORD AVENUE
(50' R.O.W.)

N.J. STATE HIGHWAY ROUTE No. 35



PROPOSED DISPLAY AREA
(5' X 20') ENCLOSED WITH
DECORATIVE ALUMINUM FENCE
42" HIGH MAX.



S 82°45'00" W 123.07'

S 10°00'03" E 200.23'

PHASE I

PHASE I

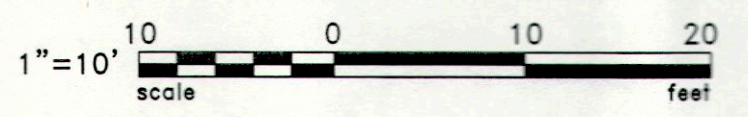
PHASE II

SECTION OF
EXISTING BUILDING
TO REMAIN

BLOCK 245
PROPOSED LOT 33.01

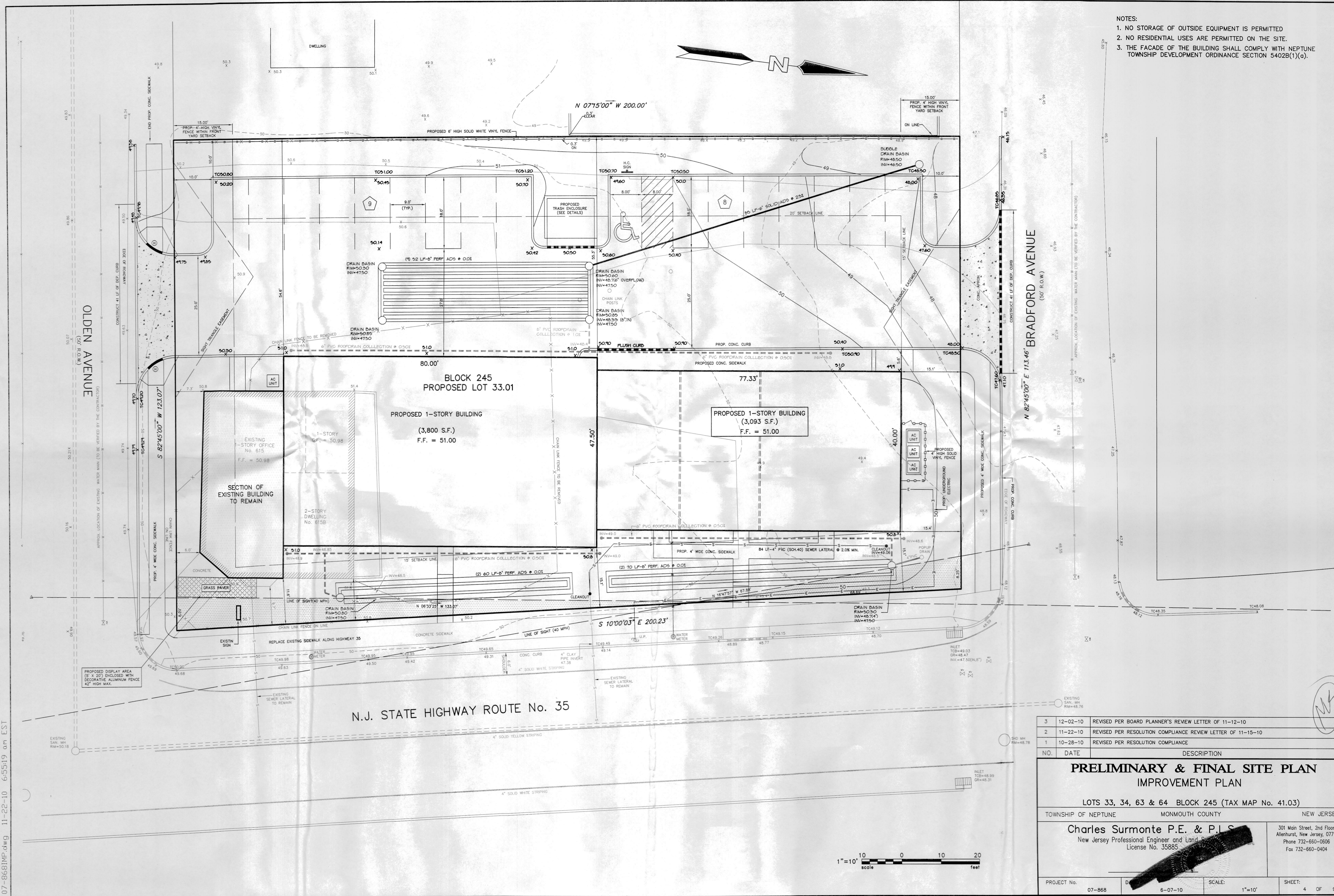
PROPOSED 1-STORY BUILDING
(3,800 S.F.)
F.F. = 51.00

PROPOSED 1-STORY BUILDING
(3,093 S.F.)
F.F. = 51.00



NO.	DATE
PR	
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TOWNSHIP OF	
Cho	
Ne	
PROJECT No.	

- NOTES:
1. NO STORAGE OF OUTSIDE EQUIPMENT IS PERMITTED
 2. NO RESIDENTIAL USES ARE PERMITTED ON THE SITE.
 3. THE FACADE OF THE BUILDING SHALL COMPLY WITH NEPTUNE TOWNSHIP DEVELOPMENT ORDINANCE SECTION 5402B(1)(c).



07-868IMP.dwg 11-22-10 6:55:19 am EST

NO.	DATE	DESCRIPTION
3	12-02-10	REVISED PER BOARD PLANNER'S REVIEW LETTER OF 11-12-10
2	11-22-10	REVISED PER RESOLUTION COMPLIANCE REVIEW LETTER OF 11-15-10
1	10-28-10	REVISED PER RESOLUTION COMPLIANCE

**PRELIMINARY & FINAL SITE PLAN
IMPROVEMENT PLAN**

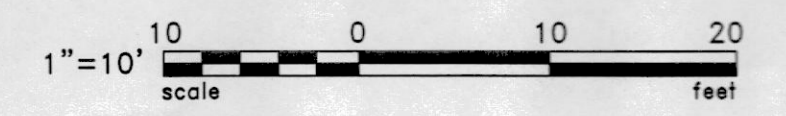
LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP No. 41.03)

TOWNSHIP OF NEPTUNE MONMOUTH COUNTY NEW JERSEY

Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35885

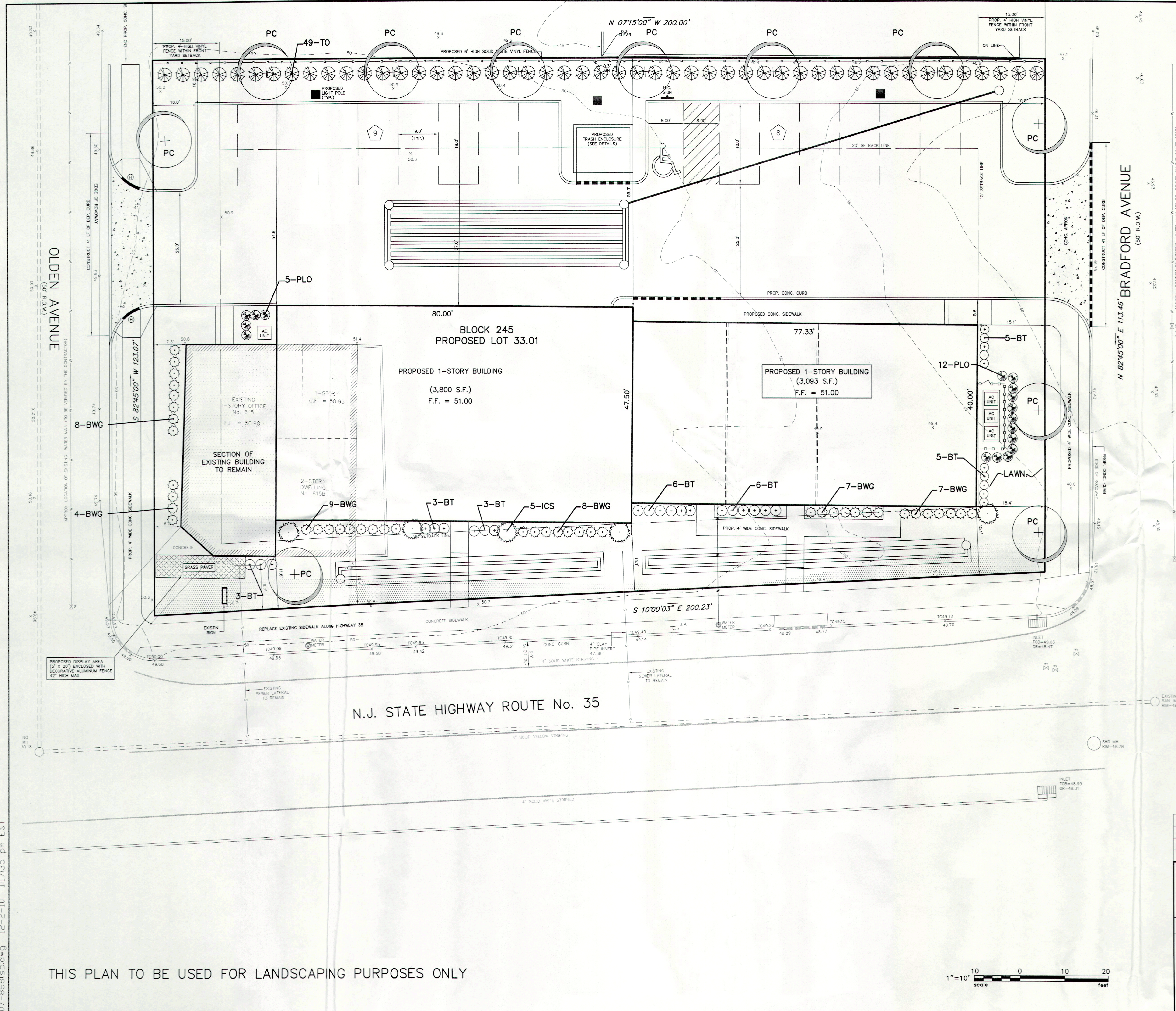
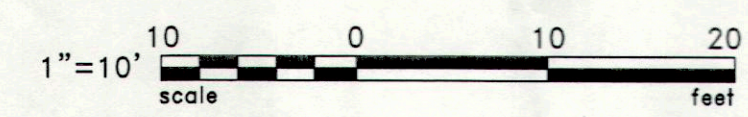
301 Main Street, 2nd Floor
Allenhurst, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

PROJECT No.	07-868	DATE	6-07-10	SCALE	1"=10'	SHEET	4 OF 9
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07-8681sp.dwg 12-2-10 11:7:35 pm EST

THIS PLAN TO BE USED FOR LANDSCAPING PURPOSES ONLY



KEY	Q
PC	
TO	
ICS	
BT	
BWG	
PLO	

3	12-02-
1	10-28-
NO.	DATE

TOWNSHIP	
Ch	
PROJECT NO.	

CONTACT:
JEFF PLATZKE
INDEPENDENT LIGHTING ASSOCIATES
96 FRENCH AVENUE MATAMoras NJ 07747
JPLATZKE@IALighting.com

AS THE BASE DRAWING MAY HAVE CHANGED,
PLEASE EXTRACT ONLY THE LIGHTING CALCULATION
LAYERS FROM THIS FILE.

THESE CALCULATIONS ARE MADE USING ACCEPTED
PROCEDURES OF THE ILLUMINATING ENGINEERING
SOCIETY OF NORTH AMERICA.
VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT,
LINE VOLTAGE, DIRT CONDITIONS AND OTHER
FACTORS CAN AFFECT ACTUAL RESULTS.
UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED
VALUES, USING ACCEPTED LIGHT LOSS FACTORS (LLF).

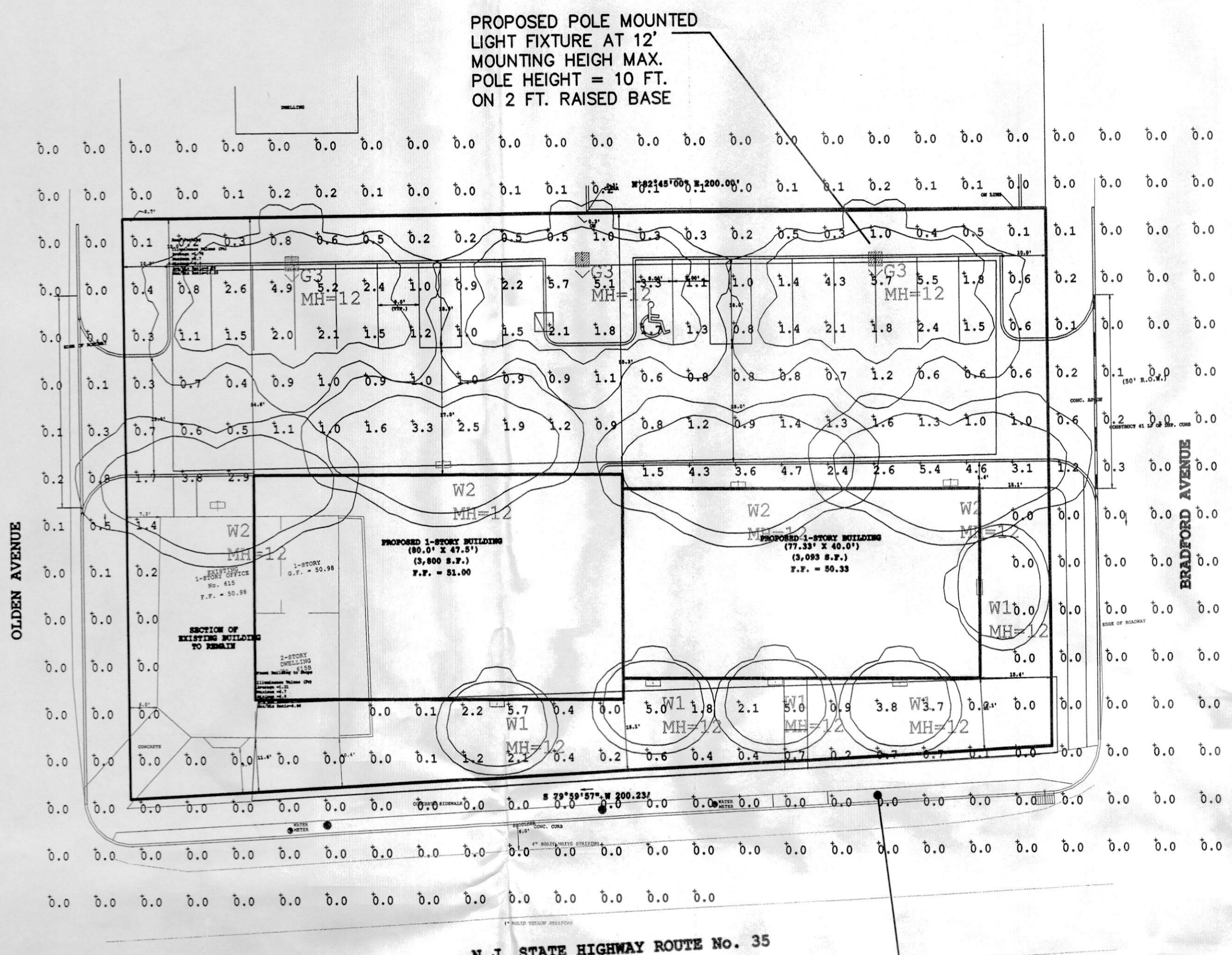
LUMINAIRE SUBSTITUTIONS MUST BE OF SAME FORM
AND EQUAL PERFORMANCE. SUBMITTALS WITHOUT
PHOTOMETRIC DATA AND SUBSTANTIATING
POINT-BY-POINT ANALYSIS WILL NOT BE CONSIDERED.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
[Symbol]	4	W1	SINGLE	3200	0.750	Gardco 101 wall sconce: 101-WT-42TRF at 12 ft
[Symbol]	5	W2	SINGLE	6900	0.850	Gardco101 wall sconce: 101-WT-60CMPE-200/277-Finish 812ft
[Symbol]	3	G3	SINGLE	10450	0.750	Gardco Gullwing: G13-3XL-90CMPE-HS-200/277-Finish Pole: 12ft 4in SRS-finish to match (adjust pole height if on raised base)

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	Illuminance	Fc	0.64	5.7	0.0	N.A.	N.A.
Rear Parking	Illuminance	Fc	1.70	5.7	0.4	4.25	14.25
Front Building to Shops	Illuminance	Fc	1.21	5.7	0.0	N.A.	N.A.
Light Spill to RT 35	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.



PROPOSED POLE MOUNTED
LIGHT FIXTURE AT 12'
MOUNTING HEIGHT MAX.
POLE HEIGHT = 10 FT.
ON 2 FT. RAISED BASE

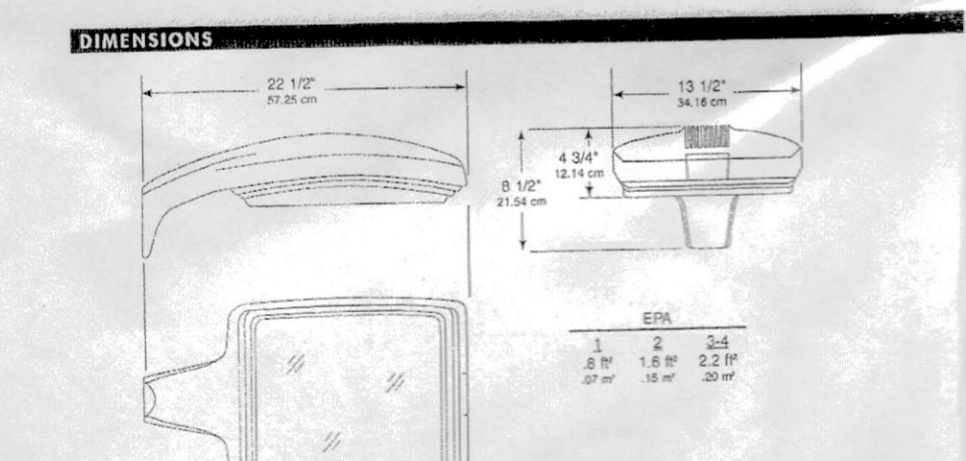
(3) DECORATIVE STREET
LIGHT- STERNBERG A850
OLDTOWN FIXTURE WITH
STANDARD FINIAL-100 WATT
METAL HALIDE (TYPE III ASYMETRICAL HORIZ.
NIGHTSKY ROOF OPTICS), 508BD-4 FITTER
AND GEORGETOWN 10' HIGH FLUTED POLE
OR APPROVED EQUAL

TIMER SHALL BE EMPLOYED ON ALL ON-SITE LIGHTING TO REDUCE
THE LEVEL OF ILLUMINATION TO MINIMUM WITHIN ONE HOUR AFTER
CLOSE OF BUSINESS OR BEFORE MIDNIGHT, WHICHEVER OCCURS EARLIER

STERNBERG VINTAGE LIGHTING
TEL. (847) 588-3400
FAX. (847) 588-3440

GULLWING
G13 AREA LUMINAIRES

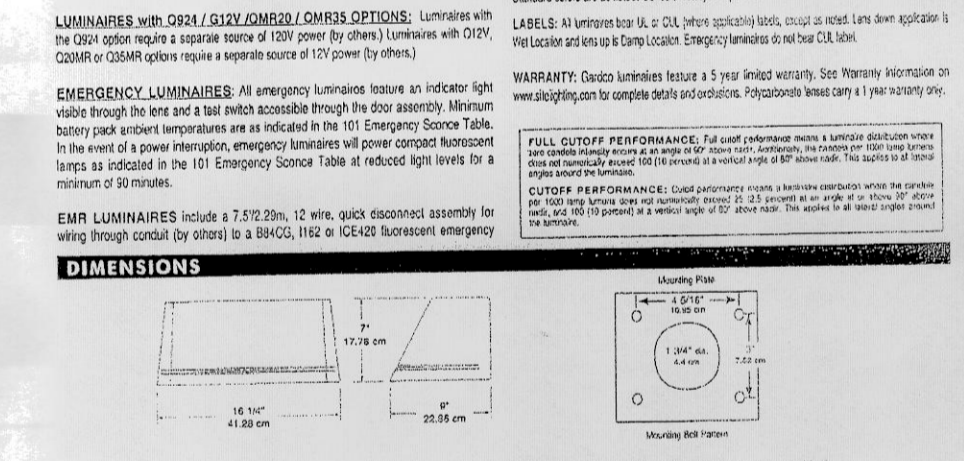
SPECIFICATIONS
GENERAL DESCRIPTION: The Gullwing luminaire is a wall mounted luminaire...
SPECIFICATIONS: The luminaire is a wall mounted luminaire...
MOUNTING: A one-piece die cast aluminum housing...
LENS ASSEMBLY: A one-piece die cast aluminum lens...
OPTICAL SYSTEMS: The approved optical systems are manufactured...
WARRANTY: Gullwing luminaires feature a 5 year limited warranty...



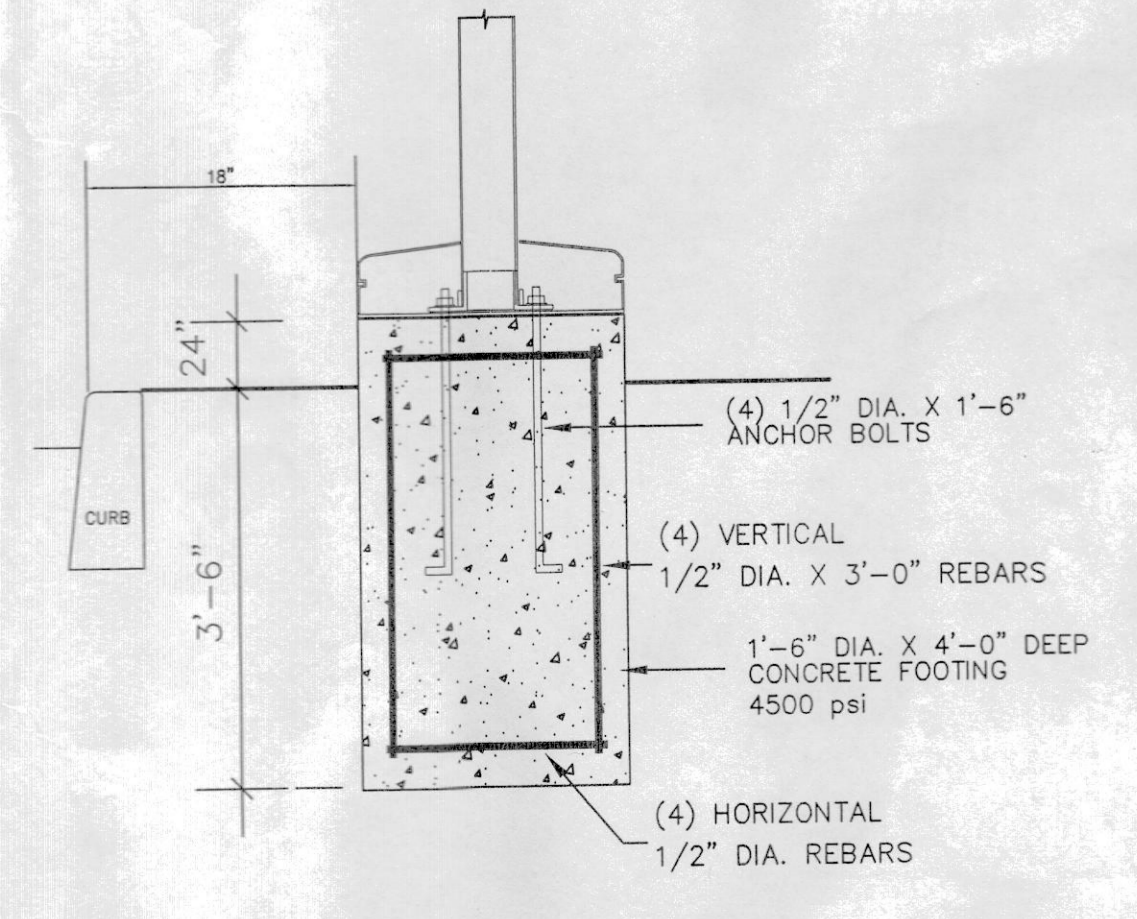
PHILIPS
GARDCO
100 LINE
101 PERFORMANCE SCNCE

PHILIPS
GARDCO
100 LINE
101 PERFORMANCE SCNCE

IDENTIFICATIONS
GENERAL: Each Gardco 101 luminaire is a wall mounted luminaire...
HOUSING: Housing is die cast aluminum...
DOOR FRAME: A one-piece die cast aluminum door frame...
OPTICAL SYSTEMS: Reflector is composed of optically finished...
ELECTRICAL: Each luminaire is a wall mounted luminaire...
STANDARD LUMINAIRE: Each luminaire has a 100 watt metal halide...
EMERGENCY LUMINAIRE: All emergency luminaires feature...
DIMENSIONS: 22 1/2 inches wide, 13 1/2 inches high, 4 inches deep.



PHILIPS
GARDCO
100 LINE
101 PERFORMANCE SCNCE



LIGHT FOOTING DETAIL

NO.	DATE	DESCRIPTION
1	10-28-10	REVISED PER RESOLUTION COMPLIANCE

PRELIMINARY & FINAL SITE PLAN
LIGHTING PLAN
LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP No. 41.03)
TOWNSHIP OF NEPTUNE MONMOUTH COUNTY NEW JERSEY

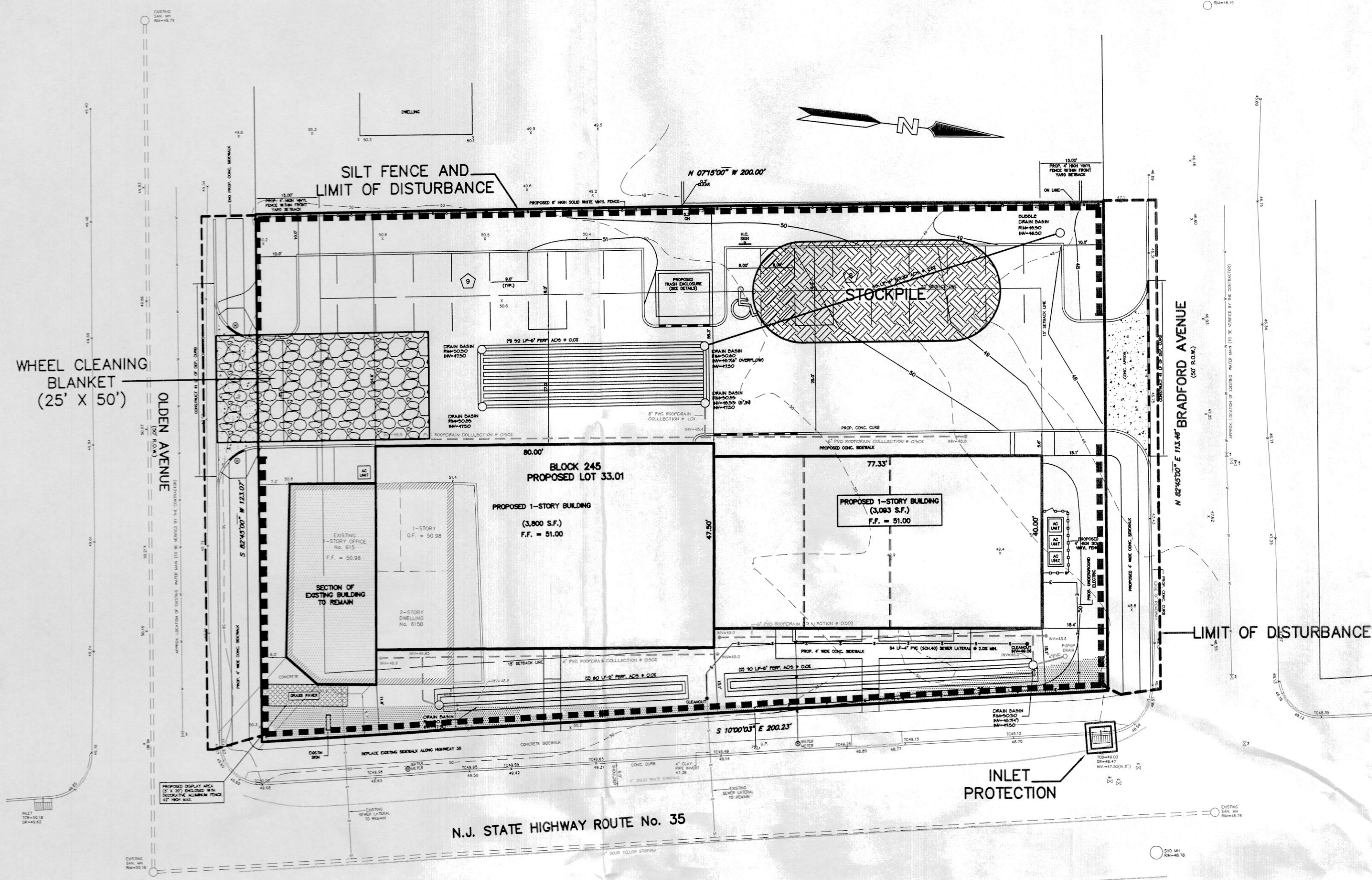
Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35885

301 Main Street, 2nd Floor
Allentown, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

PROJECT No. 07-868 DATE: 6-07-10 SCALE: 1"=20' SHEET: 6 OF 9

07-8681 G.dwg 10-28-10 7:44:46 am EST

THIS PLAN TO BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY



SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE FREEDOM SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED SEVENTY-TWO (72) HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL OF NEW JERSEY.
3. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
5. IN THAT N.J.S.A. 4:24-39 et seq. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR EROSION CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT PROTECTION, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
6. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN (30) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF 3 - 2 1/2 TONS PER ACRE, ACCORDING TO THE STANDARD FOR STABILIZATION WITH MULCH ONLY.
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 1 1/2 - 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
8. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
9. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
10. THE STANDARD FOR STABILIZED CONSTRUCTION ENTRANCE ACCESS REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF 1" - 2" STONE FOR A MINIMUM LENGTH OF 10' EQUAL TO THE LOT ENTRANCE WIDTH. ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
12. PERMANENT VEGETATION TO BE SEED OR SODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
13. AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. IN ACCORDANCE WITH THE STANDARDS FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING. PREPARATION AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY FOUR(24) INCHES OF SOIL HAVING A PH OF 5 OR MORE.
15. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
16. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
17. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE SHALL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR DUST CONTROL.
18. STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AREAS AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION & SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR THESE ACTIVITIES IF AN AREA GREATER THAN 5,000 SQUARE FEET IS DISTURBED.
19. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
20. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

NON-GROWING SEASON STABILIZATION METHOD

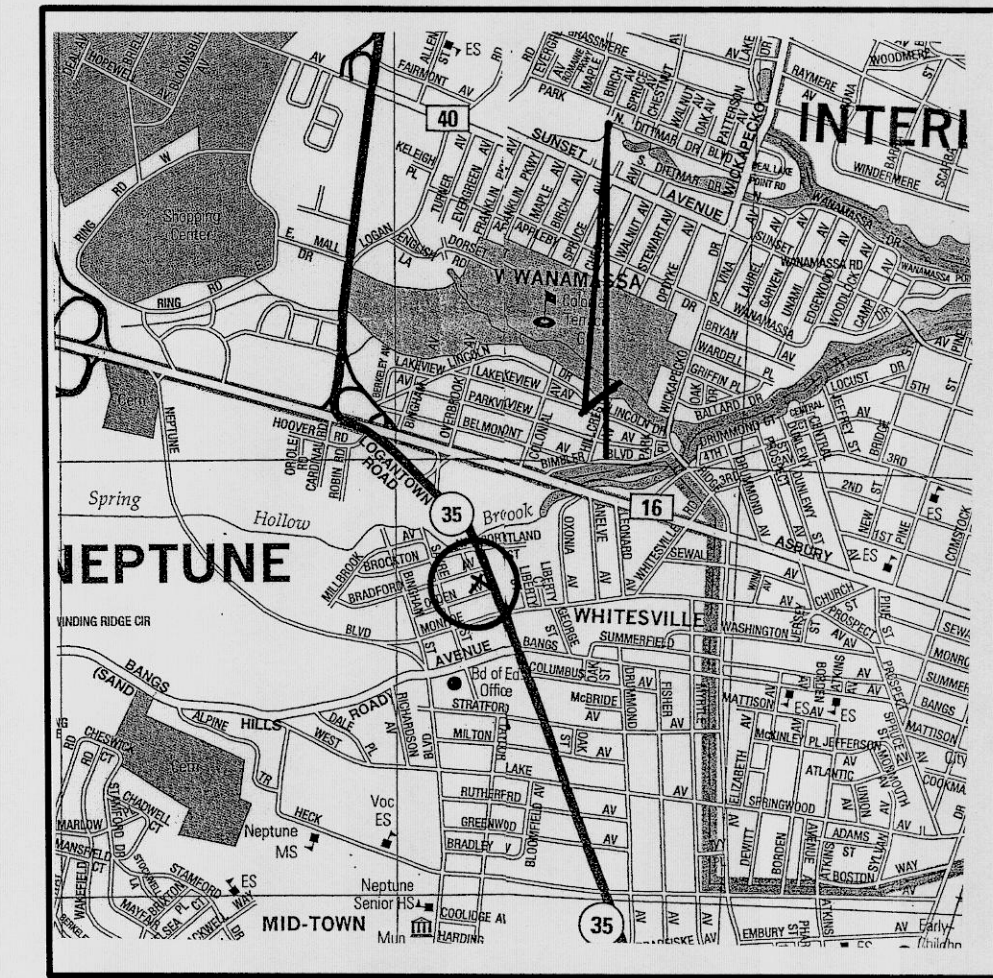
UNRITTED SMALL-GRAIN STRAW, HAY OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDER OR NETTING TIEDOWN.

SEEDING SCHEDULE

1. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING AND MULCH APPLICATION.
2. TEMPORARY SEEDING SHALL CONSIST OF EITHER:
 - COLD SEASON:**
 - PERENNIAL RYEGRASS # 1.0 LBS/1000 SQ. FT. (FEB. 15 - MAY 1 & AUG. 15 - OCT. 15) - (OPTIMUM SEED DEPTH OF 0.5 INCHES)
 - SPRING DATS # 2.0 LBS/1000 SQ. FT. (FEB. 15 - MAY 1 & AUG. 15 - OCT. 15) - (OPTIMUM SEED DEPTH OF 1.0 INCHES)
 - WINTER BARLEY # 2.2 LB/1000 SQ. FT. (AUG. 15 - OCT. 15) - (OPTIMUM SEED DEPTH OF 1.0 INCHES)
 - WINTER CEREAL RYE # 2.8 LB/1000 SQ. FT. (AUG. 1 - JAN. 15) - (OPTIMUM SEED DEPTH OF 1.0 INCHES)
 - WARM SEASON:**
 - PEARL MILLET # 0.5 LBS/1000 SQ. FT. (MAY. 1 - SEP. 15) - (OPTIMUM SEED DEPTH OF 1.0 INCHES)
 - MILLET # 0.7 LBS/1000 SQ. FT. (MAY. 1 - SEP. 15) - (OPTIMUM SEED DEPTH OF 1.0 INCHES)
 - GERMAN OR HUNGARIAN # 0.7 LB/1000 SQ. FT. (MAY. 1 - SEP. 15) - (OPTIMUM SEED DEPTH OF 1.0 INCHES)
 - WEeping LOVERGRASS # 0.2 LB/1000 SQ. FT. (MAY. 1 - SEP. 15) - (OPTIMUM SEED DEPTH OF 0.25 INCHES)
3. MULCH MATERIAL SHOULD BE UNRITTED SALT HAY, HAY OR SMALL GRAIN STRAW AT THE RATE OF 90 TO 115 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL. LIQUID MULCH BINDER OR NETTING TIEDOWN.
4. SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES. APPLY FERTILIZER AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER SQUARE FOOT USING 10-20-10 OR EQUIVALENT.
5. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, LUMPS OR ANY OTHER UNSUITABLE MATERIAL.
6. PERMANENT GROUND COVER OF SODDING OR SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL:
 - HARD FESCUE # 0.7 LB/1000 SQ. FT. (FEB. 1 - APRIL 30 & AUG. 15 - NOV. 30)
 - CREeping FESCUE # 0.7 LB/1000 SQ. FT. (FEB. 1 - APRIL 30 & AUG. 15 - NOV. 30)
 - PERENNIAL RYEGRASS # 0.25 LB/1000 SQ. FT. (FEB. 1 - APRIL 30 & AUG. 15 - NOV. 30) (LOW MAINTENANCE FINE FESCUE LAWN MIX)
7. THE SEEDING SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG.

SEQUENCE OF CONSTRUCTION

1. DEMOLITION OF EXISTING BUILDING
2. INSTALLATION OF SEDIMENT FABRIC PRIOR TO ANY LAND DISTURBANCE.
3. APPLICATION OF PROPER MEASURES FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL.
4. CONSTRUCT VEHICLE WHEEL-CLEANING BLANKET WHERE CONSTRUCTION TRAFFIC ENTERS PAVED ROADWAYS.
5. SITE GRADING AND CLEARING SITE, WITH APPROPRIATE EROSION CONTROL FACILITIES.
6. CONSTRUCT DRAINAGE FACILITIES
7. TEMPORARY SEEDING
8. CONSTRUCT SANITARY SEWER LATERAL & WATER SERVICE & INLET PROTECTIONS
9. CURB & SIDEWALK
10. ROAD SUB-BASE
11. MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES
12. CONSTRUCTION OF THE BUILDINGS
13. FINAL SEEDING & LANDSCAPING
14. REMOVAL OF SOIL EROSION AND SEDIMENT CONTROL FACILITIES WHEN PERMANENT EROSION CONTROL MEASURES ARE ACCEPTED BY THE TOWNSHIP ENGINEER.



KEY MAP
SCALE: 1"=2000'

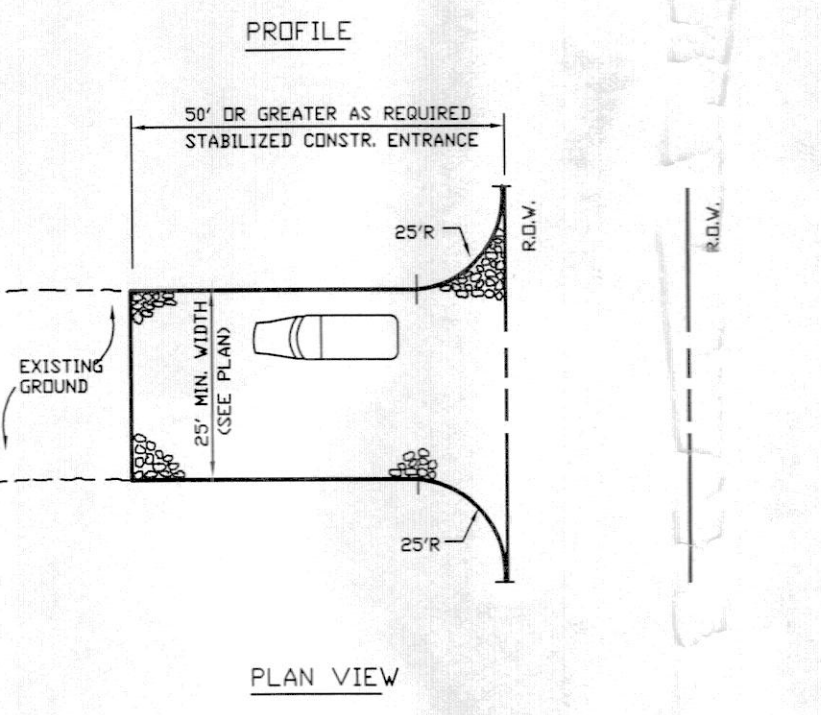
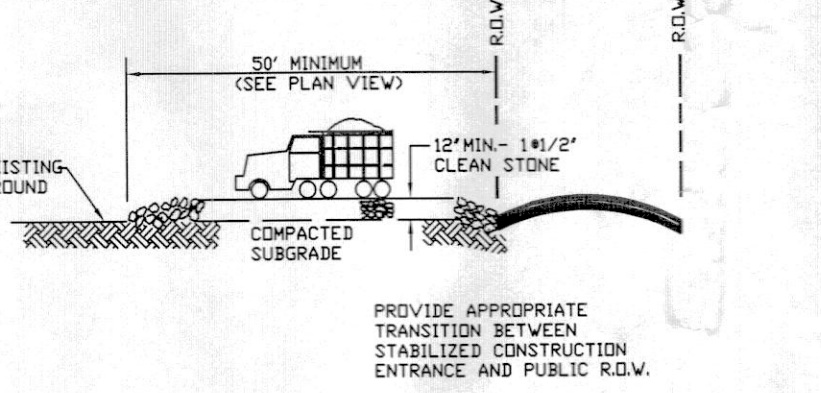
MULCHING

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DETERMINED BY VISUAL INSPECTION AND SOIL EROSION COMPLIANCE WITH THIS MULCHING REQUIREMENT.

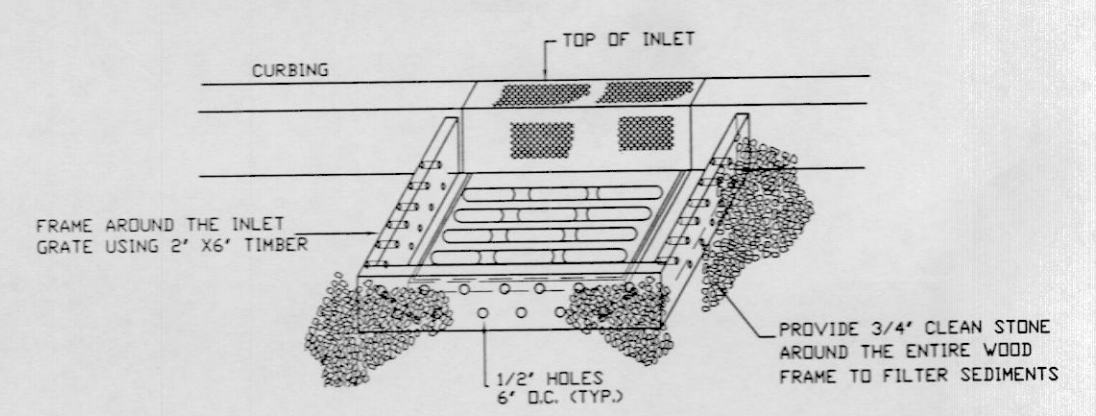
- MULCH MATERIALS SHOULD BE UNRITTED SMALL GRAIN STRAW, HAY FREE OF DEBRIS, OR SALT HAY TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (ACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION MUST BE DOUBLE THE LOWER RATE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MATERIAL.
- SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 500 SQUARE FEET SECTIONS AND DISTRIBUTE TO 90 POUNDS WITHIN EACH SECTION.
- MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PERMANENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES AND COSTS.
 1. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SCORE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOVED.
 3. TRACTOR-DRAWN ANCHORING TOOLS - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISCHARGO, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 2 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO ACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY, OR STRAW MULCHES.
 - A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
 - B. USE ONE OF THE FOLLOWING:
 - (1) EMULSIFIED ASPHALT - (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1, AND CRS-2)
 - APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON FLAT AREAS AND LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET OR MORE HIGH, USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE. THIS MATERIALS MAY BE DIFFICULT TO APPLY UNIFORMLY AND WILL DISCOLOR SURFACES.
 - (2) ORGANIC AND VEGETABLE BASED BINDER - NATURALLY OCCURRING, POWDERY BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTIC EFFECT OR IMPEDER GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON FLAT AREAS AND ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET OR MORE HIGH, USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE.
 - (3) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

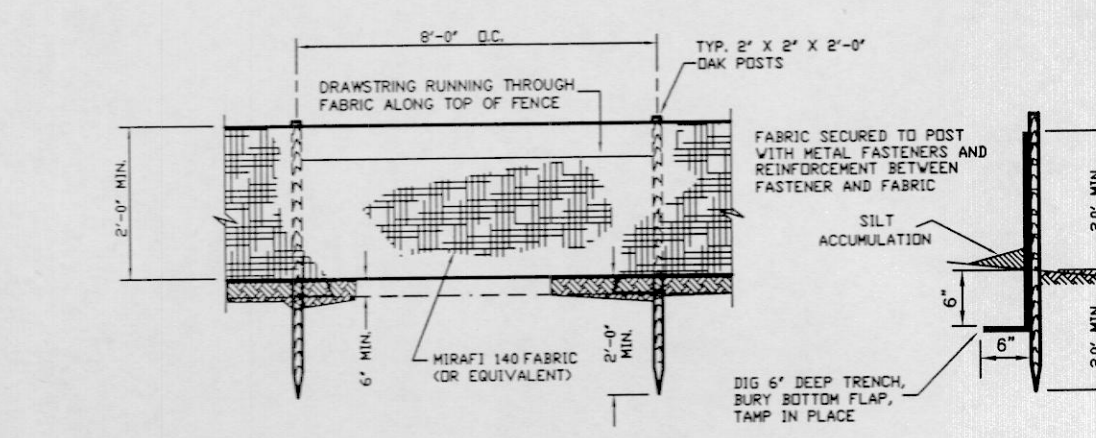
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAIN SOILS	FINE GRAIN SOILS
0 TO 2%	50'	100'
2 TO 5%	100'	200'
> 5%	ENTIRE SURFACE STABILIZED WITH FABRIC BASE COURSE	



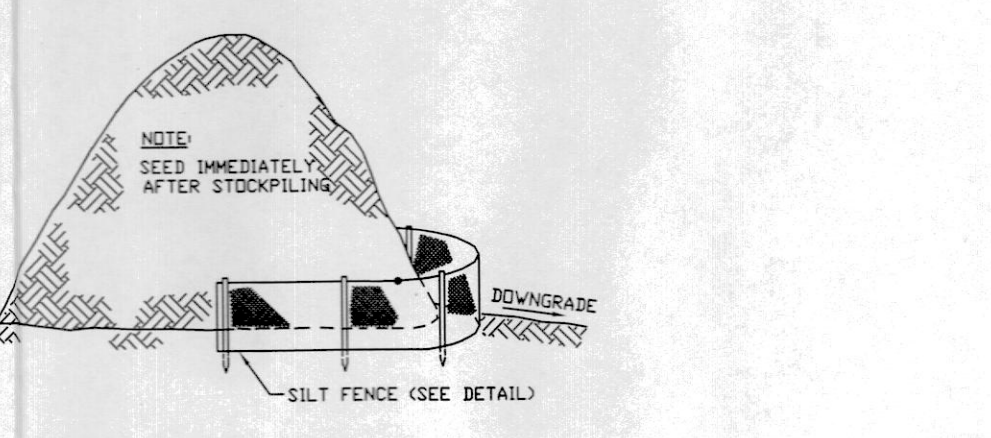
VEHICLE WHEEL-CLEANING BLANKET



TYPE "B" INLET PROTECTION



TEMPORARY SILTATION CONTROL FENCE

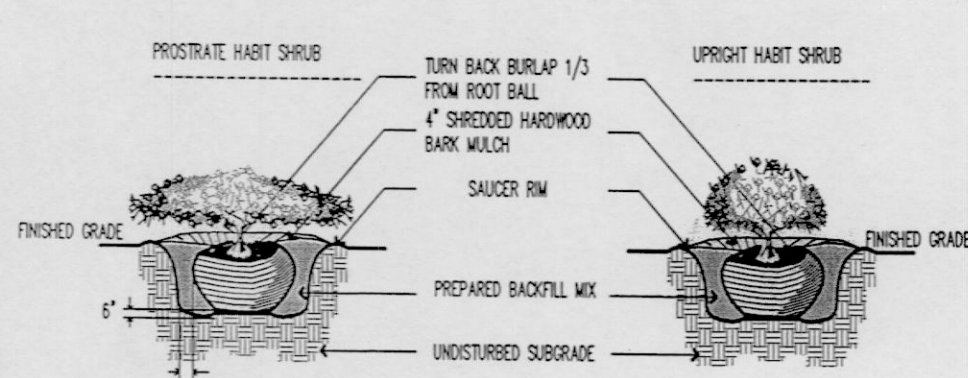


TYPICAL TOPSOIL STOCKPILE

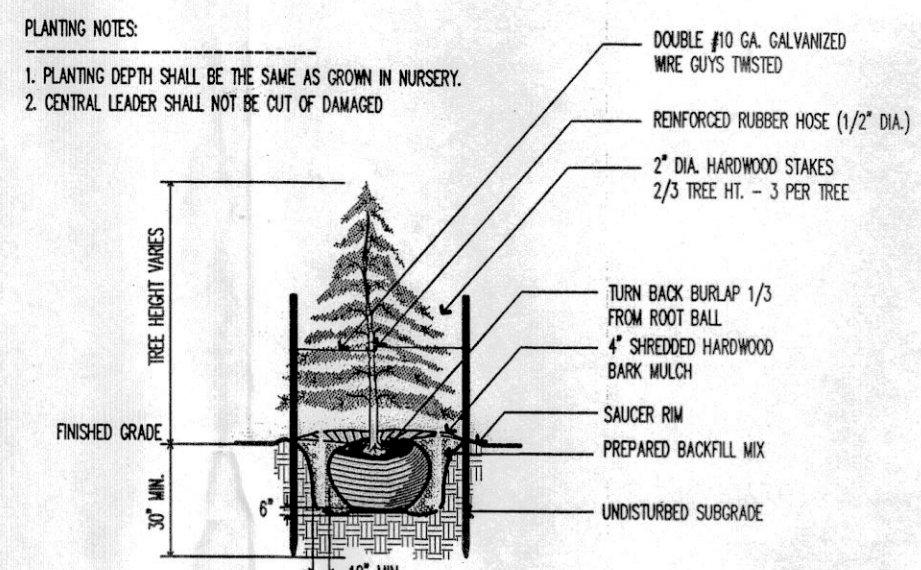
NOTE: ALL SILT FENCE WILL BE INSPECTED AND REMEDIAL MAINTENANCE PERFORMED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH RAIN.

07-868SDIIL.dwg 6-11-10 5:45:47 a.m. EST

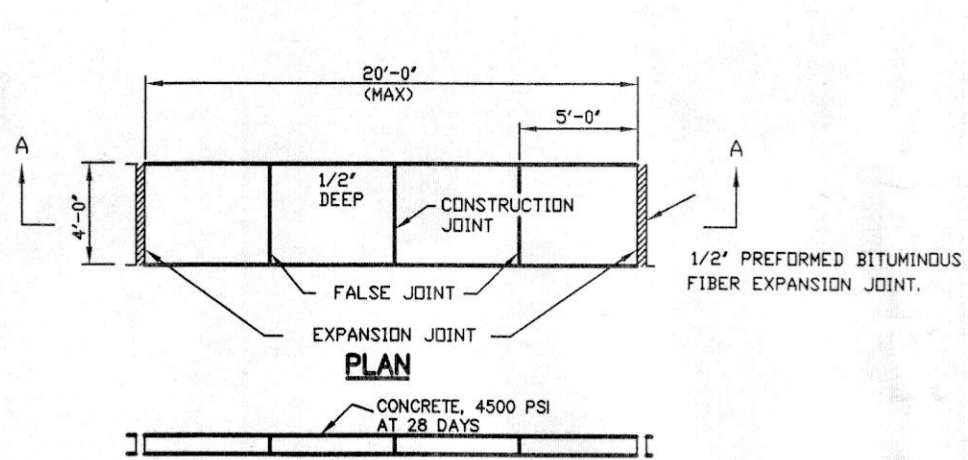
NO.	DATE	DESCRIPTION
PRELIMINARY & FINAL SITE PLAN		
SOIL EROSION AND SEDIMENT CONTROL PLAN		
LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP SHEET No. 41.03)		
TOWNSHIP OF NEPTUNE		MONMOUTH COUNTY
New Jersey		
Charles Surmonte P.E. & P.L.L.C. New Jersey Professional Engineer and License No. 35-12000-0001		301 Main Street, 2nd Floor Allentown, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404
PROJECT No.	DATE:	SCALE:
07-868	6-07-10	1"=10'
SHEET:		7 OF 9



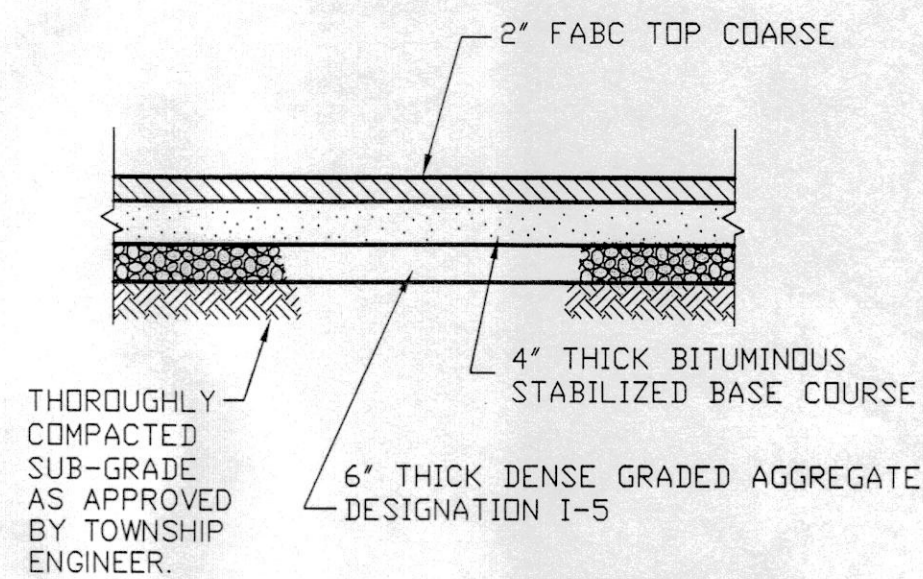
SHRUB PLANTING DETAIL



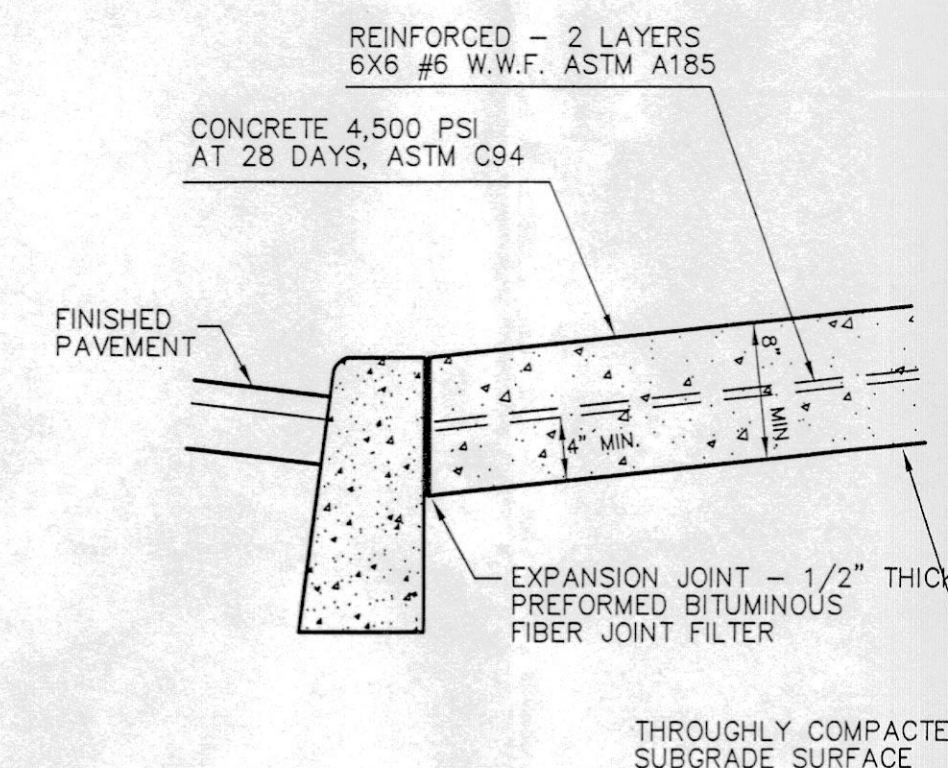
CONIFEROUS TREE PLANTING DETAIL



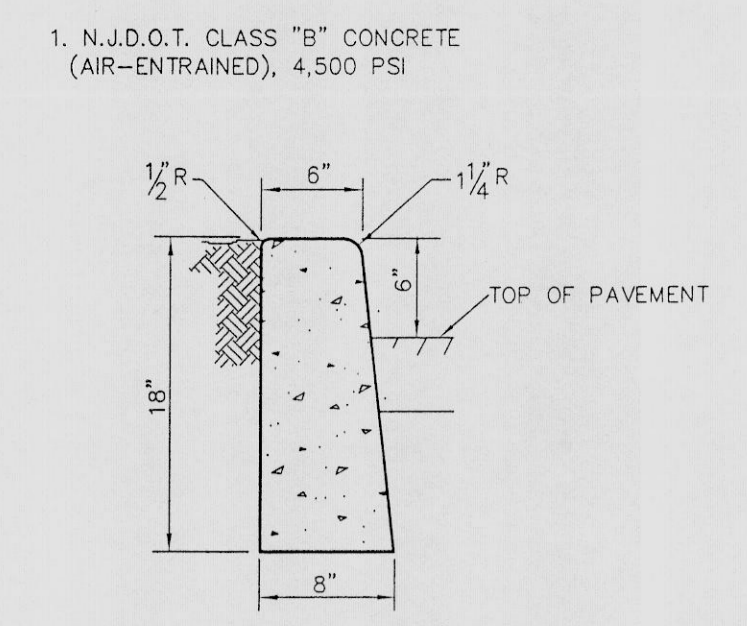
CONCRETE SIDEWALK DETAIL



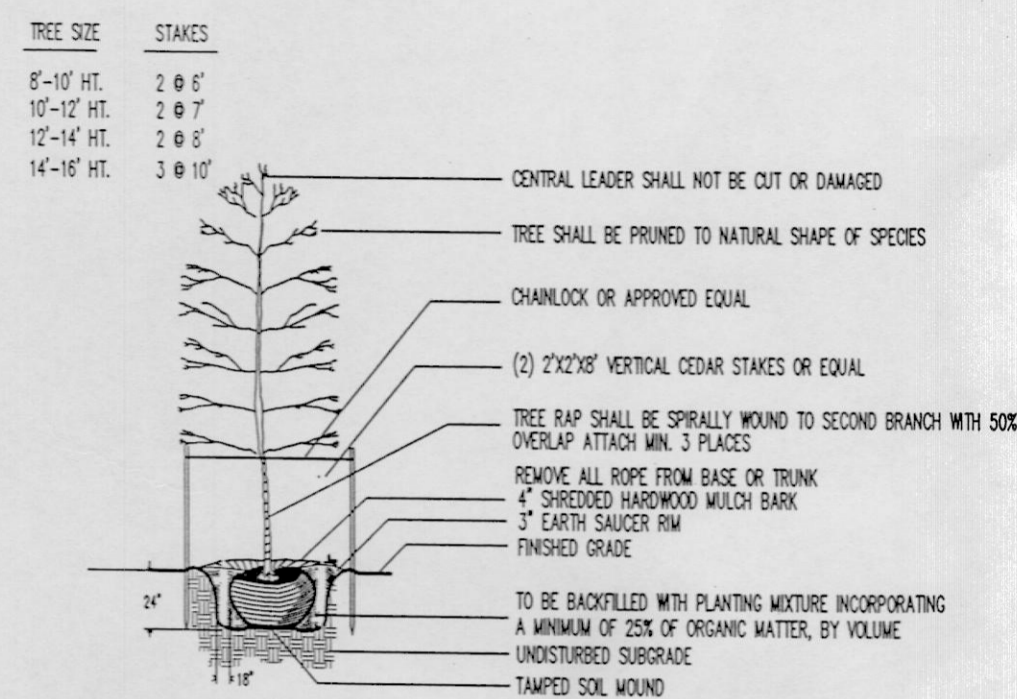
TYPICAL PAVEMENT SECTION



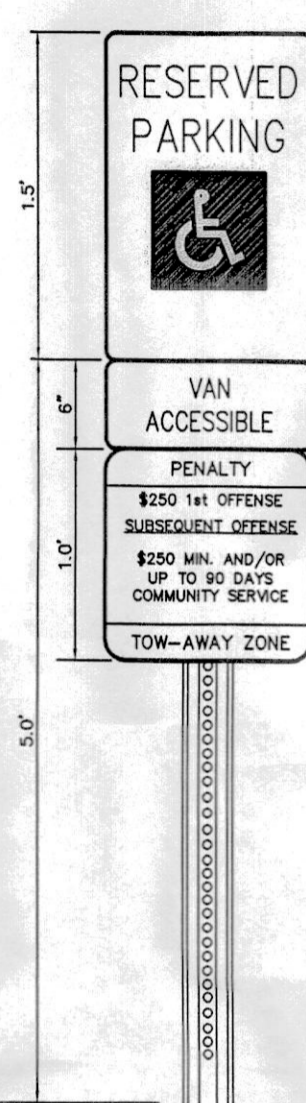
CONCRETE APRON DETAIL



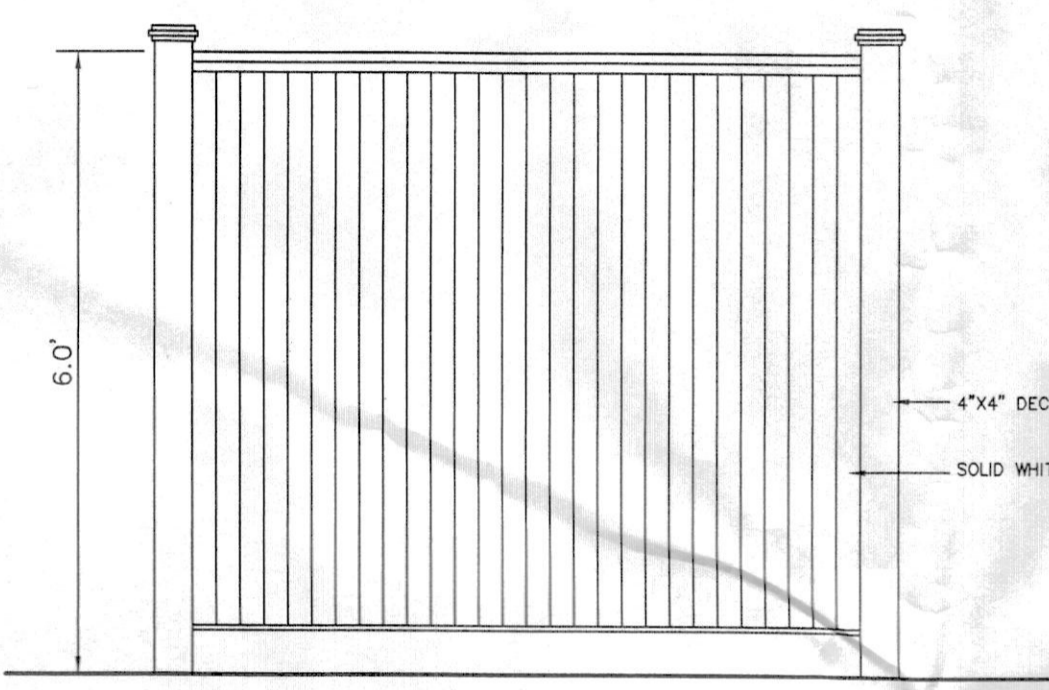
CONCRETE CURB



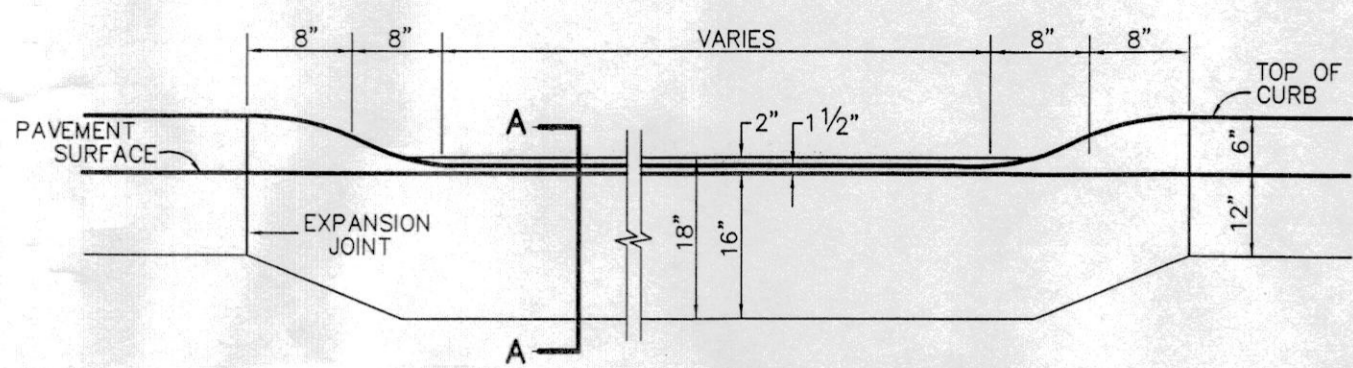
DECIDUOUS TREE PLANTING DETAIL



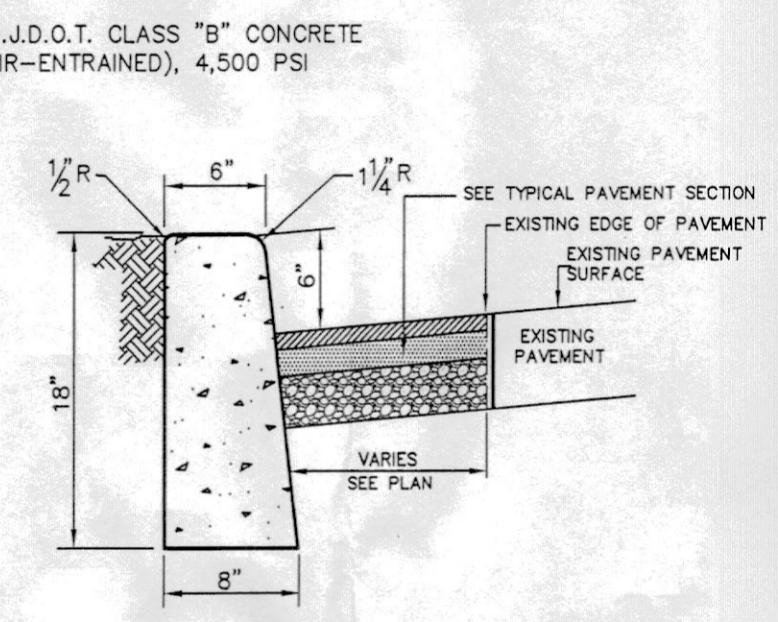
HANDICAPPED PARKING & SIGN DETAIL



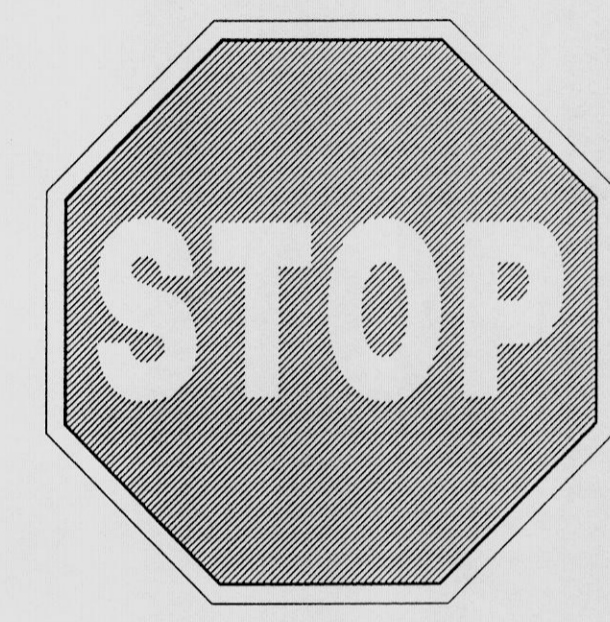
DECORATIVE WHITE VINYL FENCE



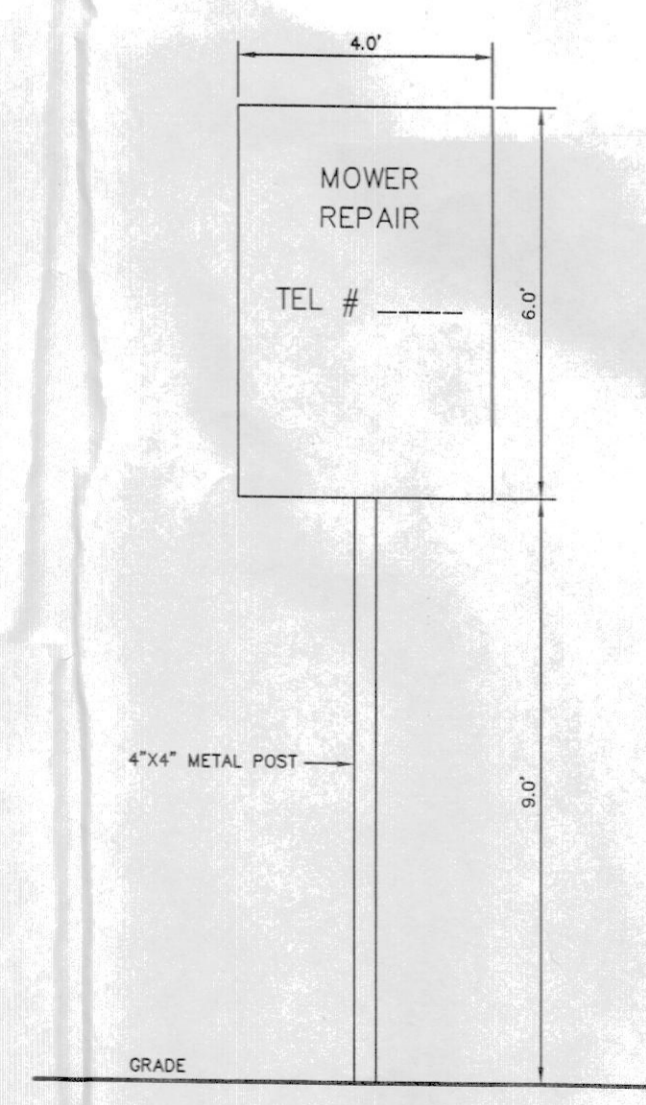
DEPRESSED CURB AT DRIVEWAY DETAIL



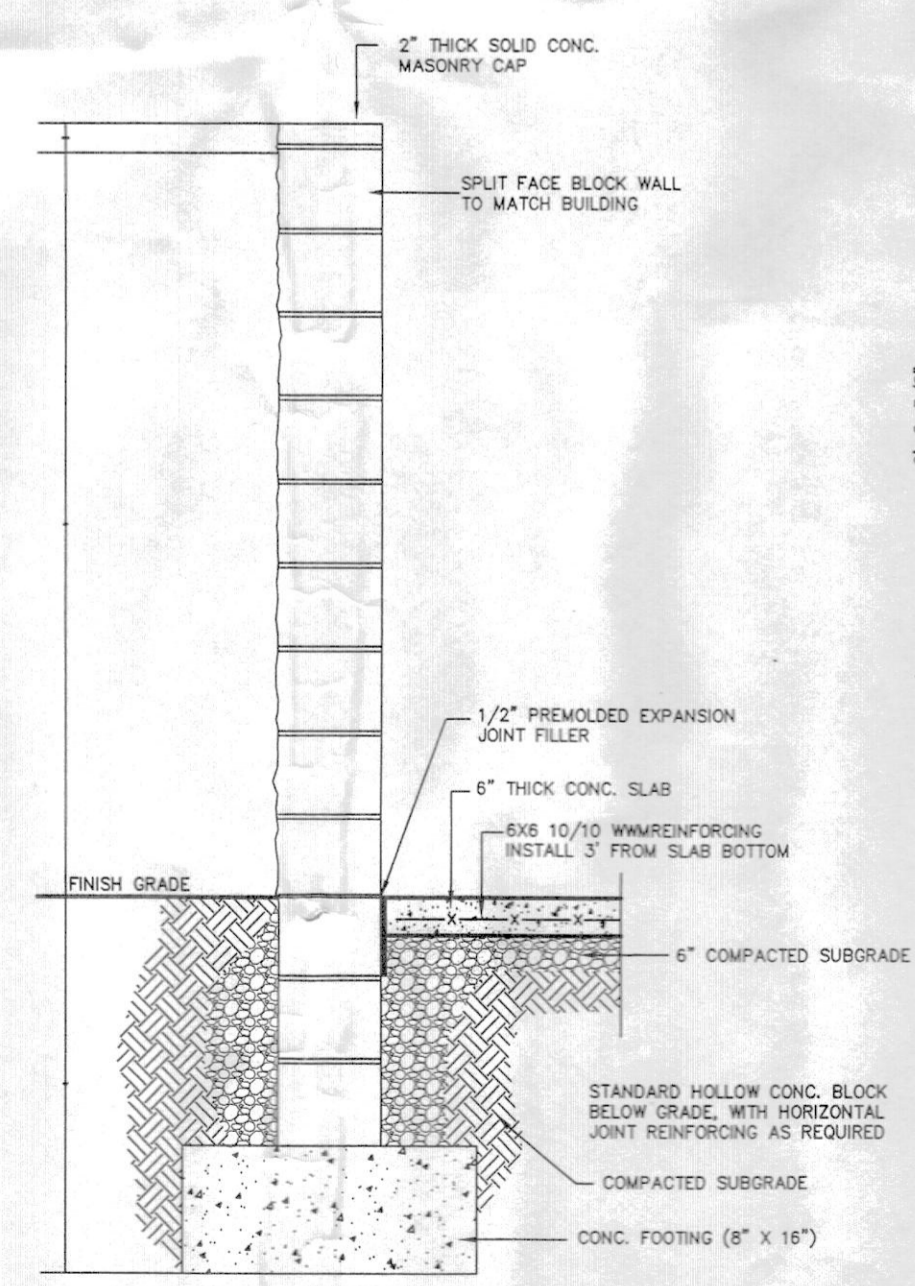
PAVEMENT WIDENING DETAIL



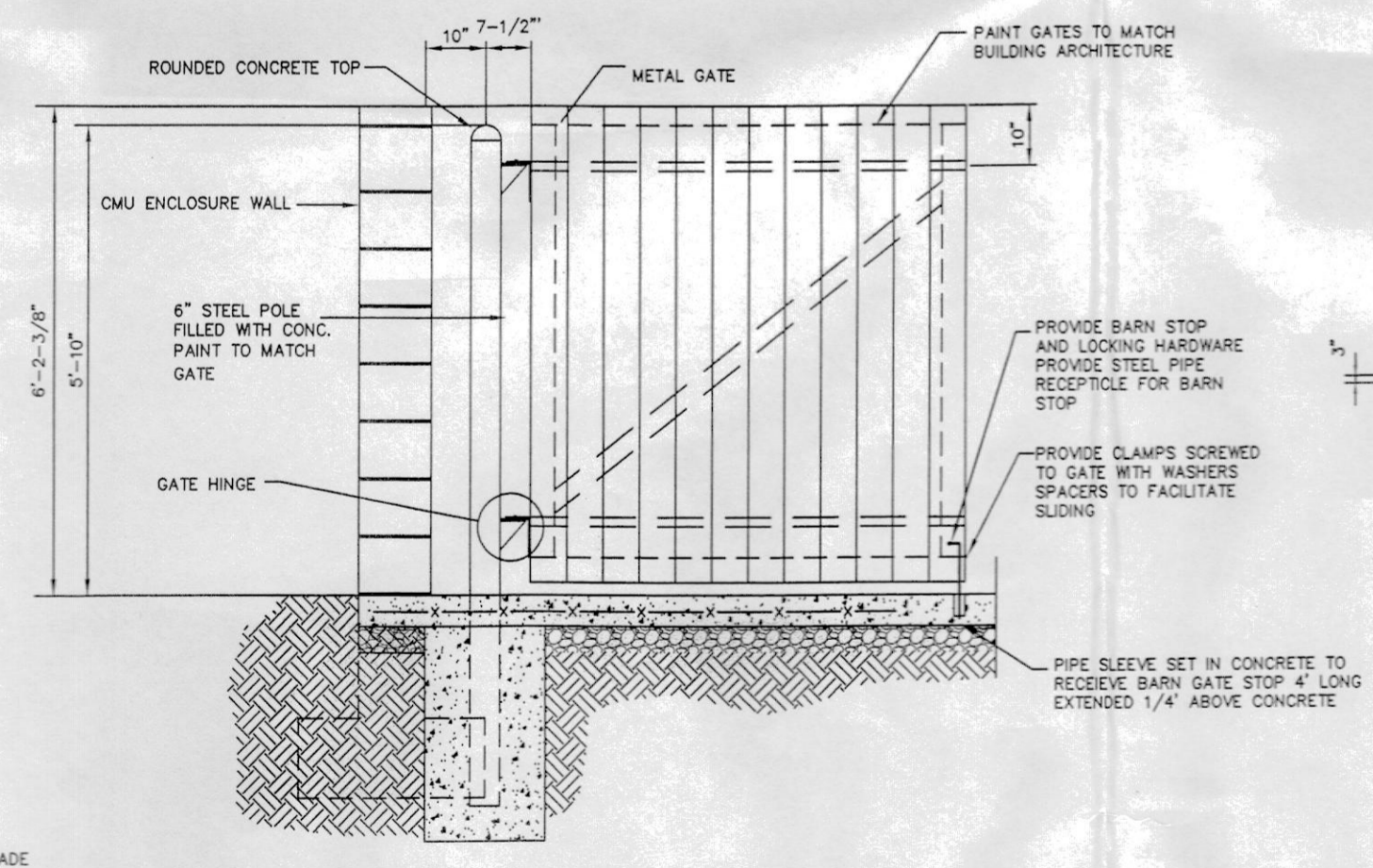
STOP SIGN DETAIL
30"x30"
R1-1
1 POST



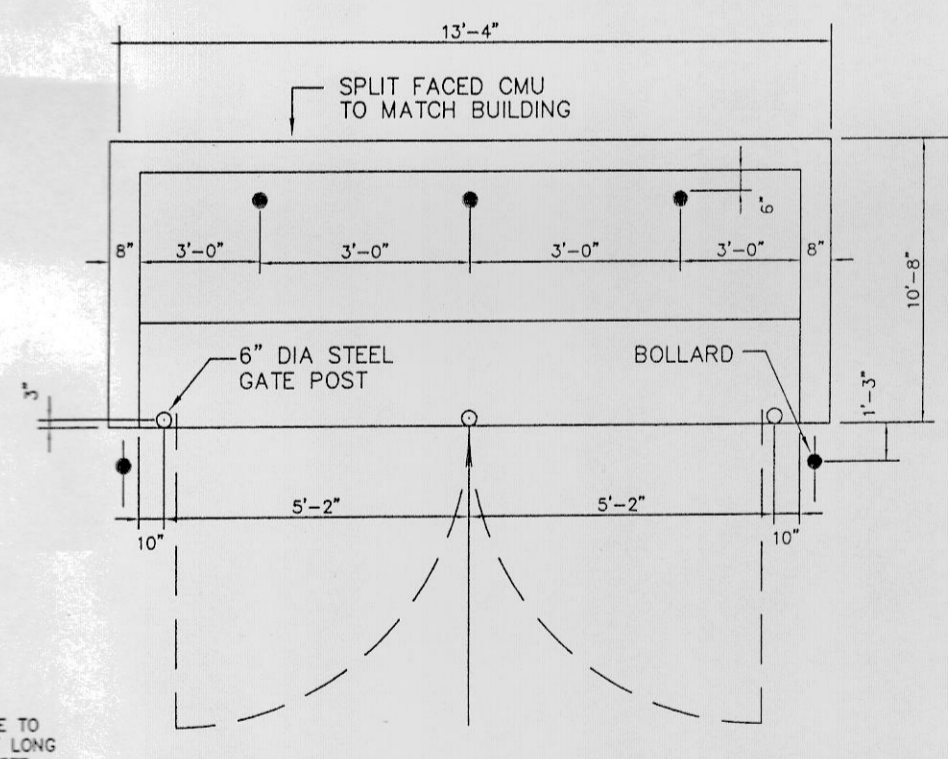
EXISTING SIGN DETAIL



TRASH ENCLOSURE SECTION



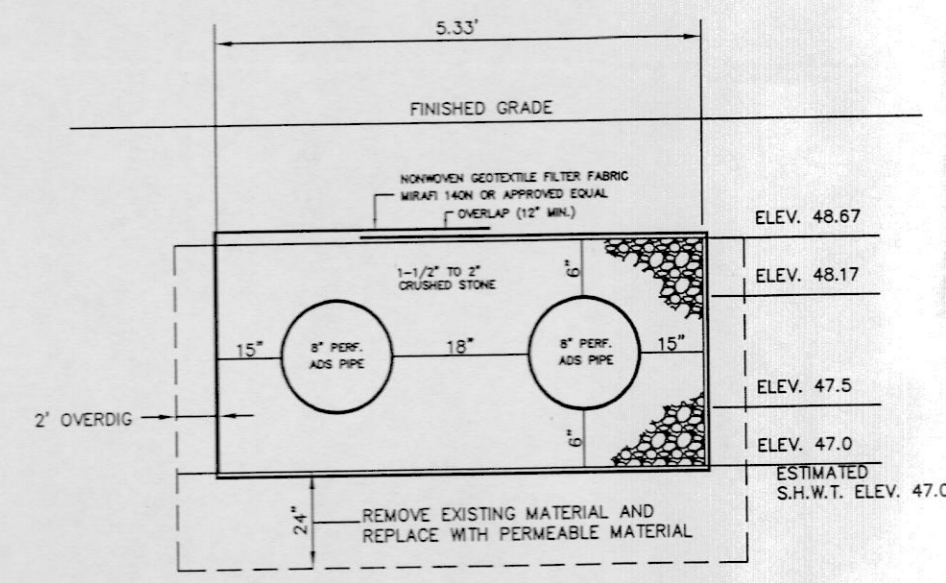
TRASH ENCLOSURE GATE



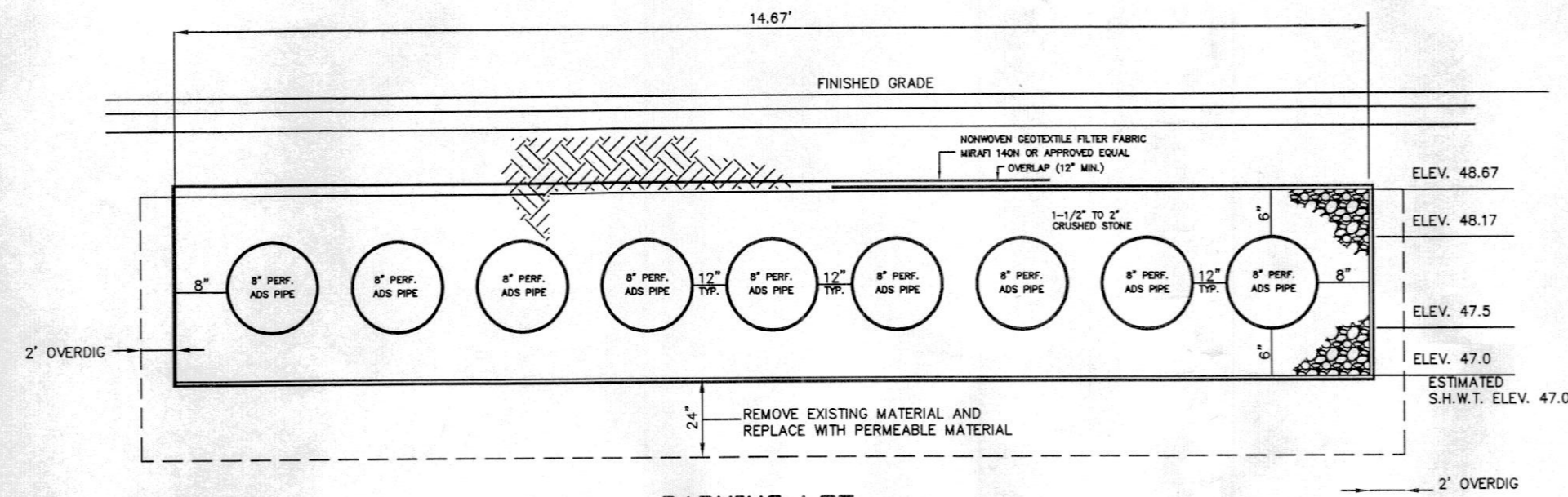
TRASH ENCLOSURE PLAN

NO.	DATE	DESCRIPTION
1	10-28-10	REVISED PER RESOLUTION COMPLIANCE
PRELIMINARY & FINAL SITE PLAN		
CONSTRUCTION DETAILS - 1		
LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP SHEET No. 41.03)		
TOWNSHIP OF NEPTUNE		MONMOUTH COUNTY
NEW JERSEY		
Charles Surmonte P.E. & P.L.S.		301 Main Street, 2nd Floor Avenhurst, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404
PROJECT No. 07-868		DATE: 6-07-10
SCALE: NONE		SHEET: 8 OF 9

07-868DET1.dwg 10-28-10 5:21:07 pm EST

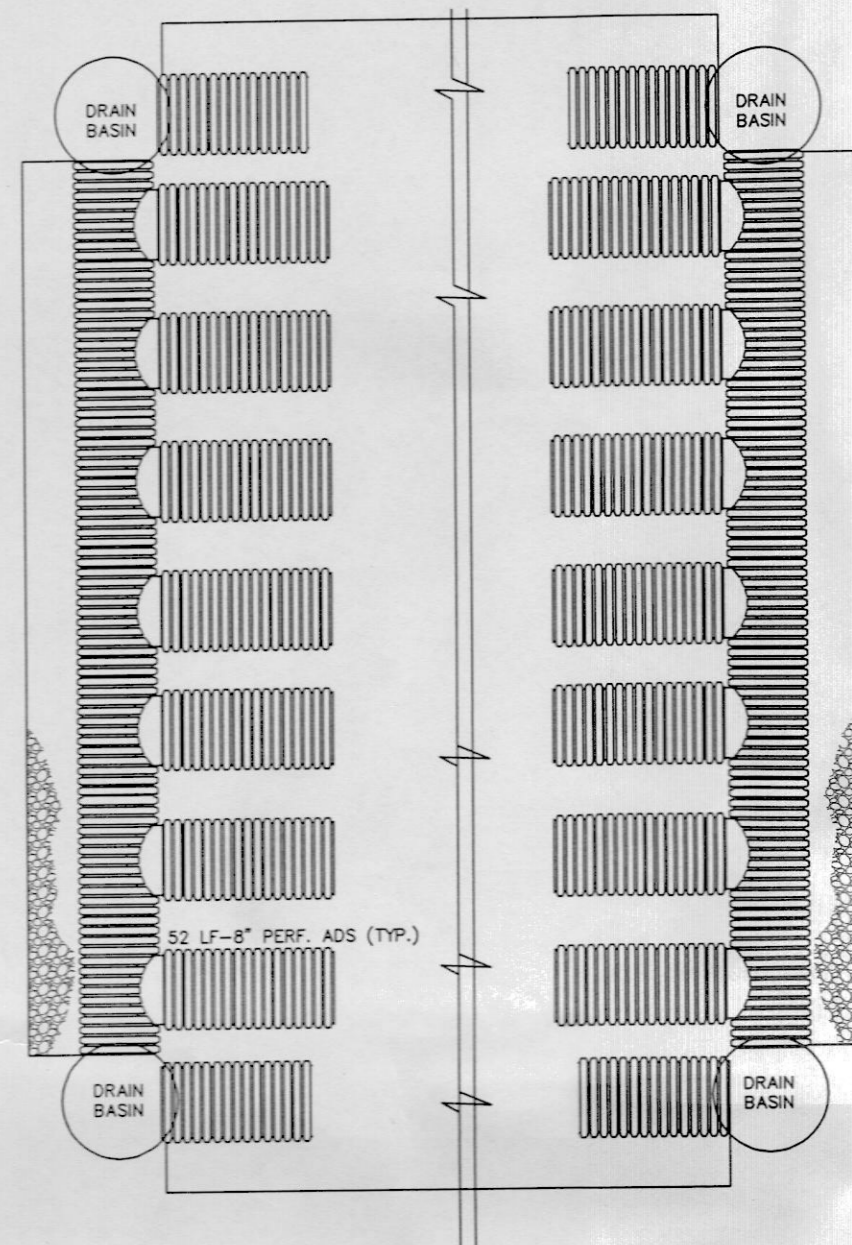


FRONT YARD RECHARGE SYSTEM
N.T.S.

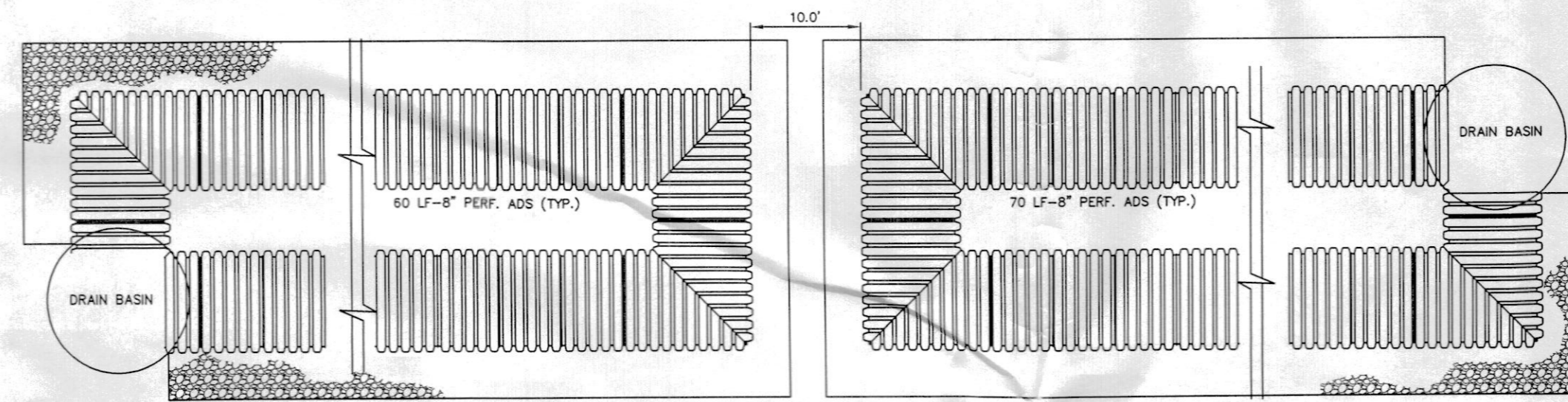


PARKING LOT RECHARGE SYSTEM
N.T.S.

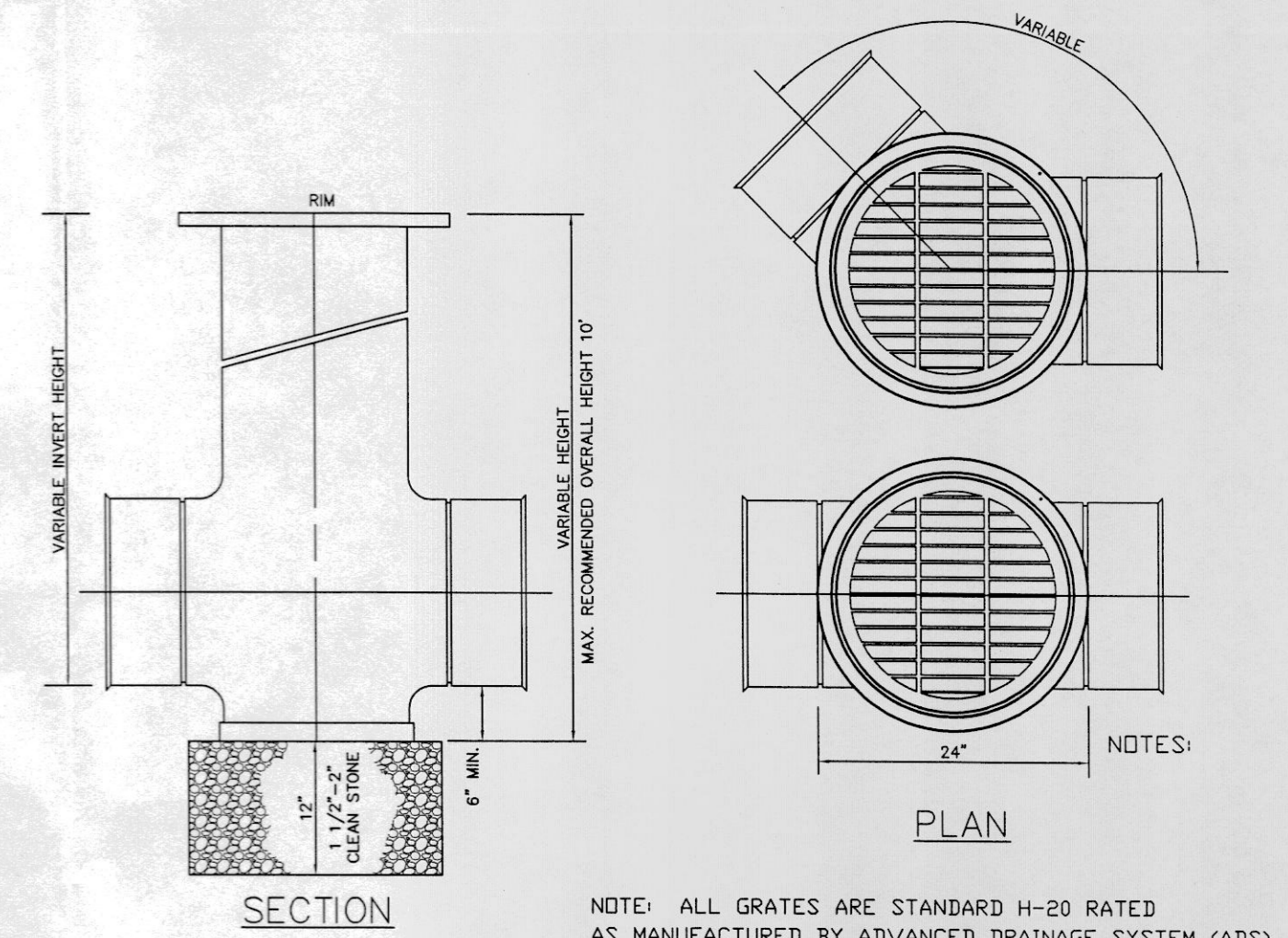
- NOTES:
1. THE CONTRACTOR SHALL ALLOW THE TOWNSHIP ENGINEER TO INSPECT THE BOTTOM OF THE RECHARGE TRENCH PRIOR TO LAYING ANY PIPE.
 2. REPLACEMENT MATERIAL SHALL BE K-5 OR GREATER.
 3. CONTRACTOR TO PROVIDE PERMEABILITY TESTING AS REQUESTED BY THE TOWNSHIP ENGINEER.
 4. BOTTOM OF TRENCH TO BE UNDISTURBED, NATURAL MATERIAL.
 5. DO NOT COMPACT BOTTOM OF TRENCH PRIOR TO LAYING PIPE.
 6. IN ANY AREA WHERE PERMEABILITY IS NOT AS SPECIFIED, CONTRACTOR TO REMOVE UNSUITABLE AND REPLACE WITH MATERIAL SATISFYING THE PERMEABILITY CRITERIA.
 7. THE SIDES OF RECHARGE TRENCH SHALL BE BACKFILLED WITH SAND AND GRAVEL ALLOWING A PERMEABILITY RATE OF EQUAL TO K-5 OR GREATER.



RECHARGE SYSTEM COMPONENTS UNDER PARKING LOT
N.T.S.

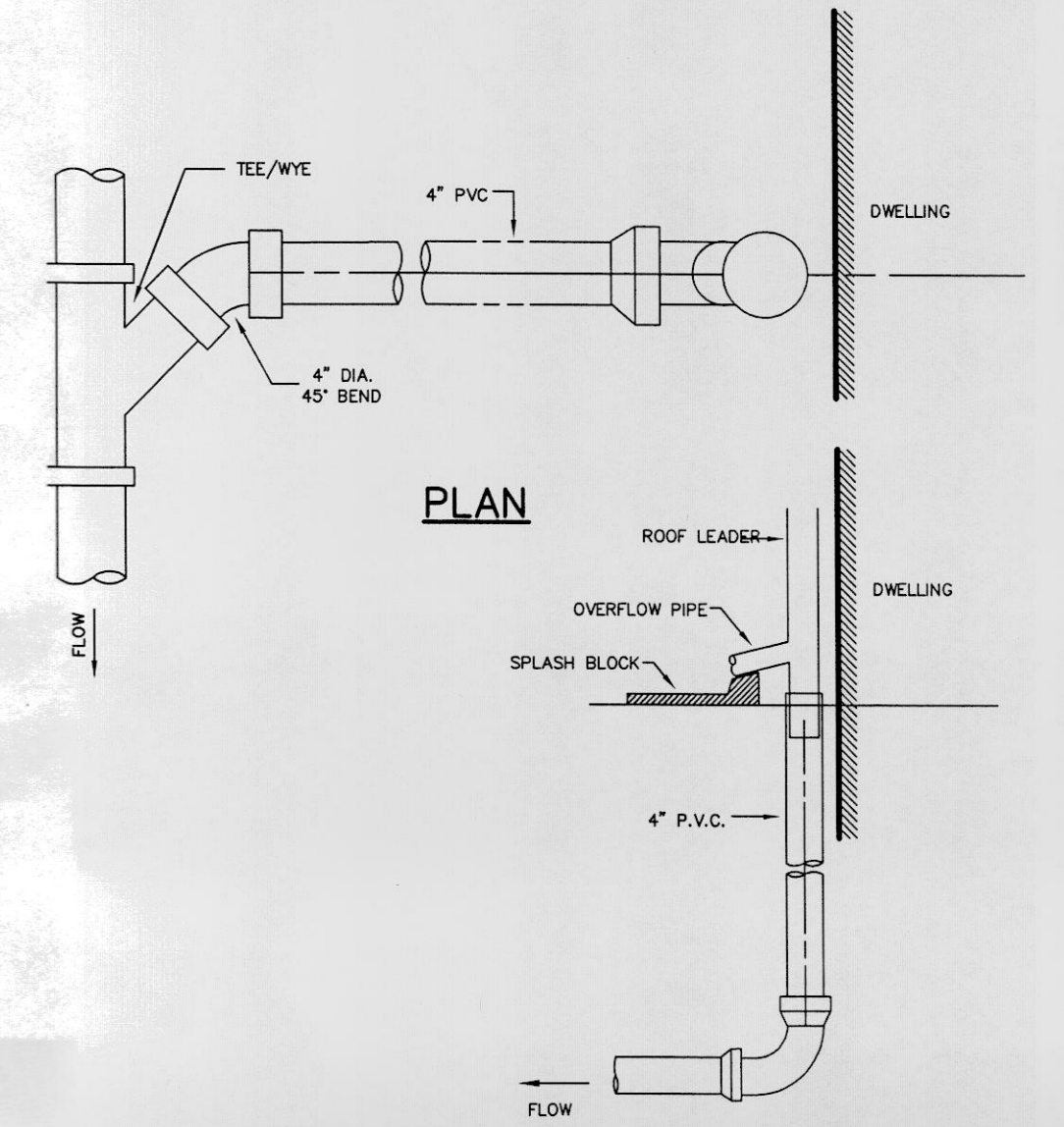


RECHARGE SYSTEM COMPONENTS ALONG HIGHWAY 35
N.T.S.



24" DRAIN BASIN
N.T.S.

NOTE: ALL GRATES ARE STANDARD H-20 RATED AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEM (ADS)



ROOFDRAIN CONNECTION DETAIL
NOT TO SCALE

07-868DET2.dwg 11-22-10 6:58:29 am EST

NO.	DATE	DESCRIPTION
2	11-22-10	REVISED PER RESOLUTION COMPLIANCE LETTER OF 11-15-10

PRELIMINARY & FINAL SITE PLAN

CONSTRUCTION DETAILS - 2

LOTS 33, 34, 63 & 64 BLOCK 245 (TAX MAP SHEET No. 41.03)

TOWNSHIP OF NEPTUNE MONMOUTH COUNTY NEW JERSEY

Charles Surmonte P.E. & P.L.S.
New Jersey Professional Engineer and Land Surveyor
License No. 35885

301 Main Street, 2nd Floor
Allenhurst, New Jersey, 07711
Phone 732-660-0606
Fax 732-660-0404

PROJECT No.	07-868	DATE:	6-07-10	SCALE:	NONE	SHEET:	9 OF 9
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