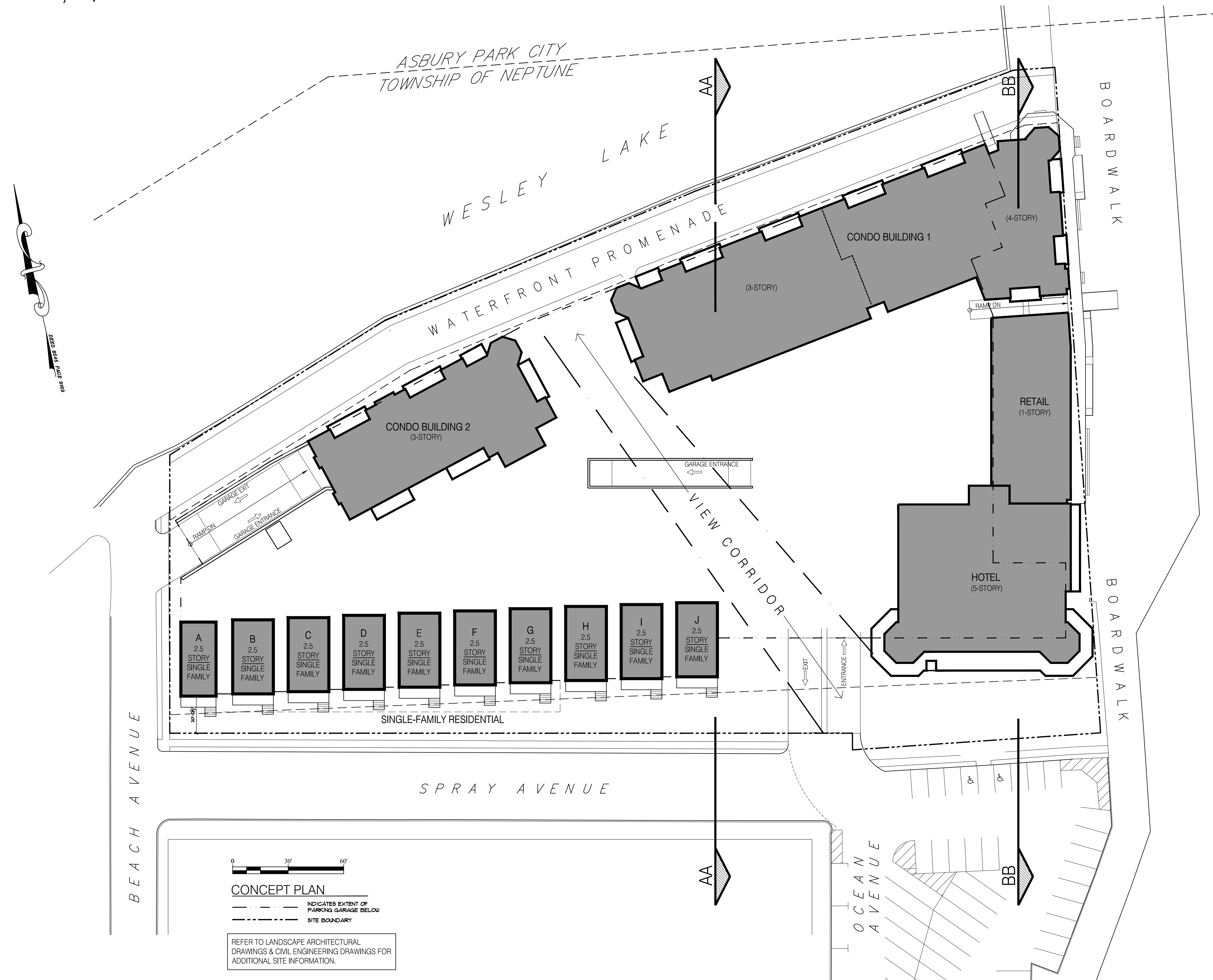


# PROPOSED NEW CONSTRUCTION FOR: NORTH END REDEVELOPMENT

TOWNSHIP OF NEPTUNE, NEW JERSEY  
BLOCK 101, P/O LOT 2 AND LOTS 3 & 4



PROJECT DATA		
<b>HOTEL (5-STORIES):</b>		
1ST FLOOR	0 ROOMS	8,000 SF
2ND FLOOR	11 ROOMS	7,042 SF
3RD FLOOR	11 ROOMS	7,042 SF
4TH FLOOR	11 ROOMS	7,042 SF
5TH FLOOR	7 ROOMS	6,148 SF
<b>TOTAL</b>	<b>40 ROOMS</b>	<b>35,274 SF</b>
<b>RETAIL (1-STORY):</b>		
1ST FLOOR		7,353 SF
<b>TOTAL</b>		<b>7,353 SF</b>
<b>MULTI-FAMILY BLDG. 1 (3-4-STORIES):</b>		
1ST FLOOR	5 UNITS (2-BDRM)	12,834 SF
2ND FLOOR	10 UNITS (2-BDRM)	15,635 SF
3RD FLOOR	10 UNITS (2-BDRM)	15,635 SF
4TH FLOOR	5 UNITS (2-BDRM)	10,985 SF
<b>TOTAL</b>	<b>30 UNITS</b>	<b>55,089 SF</b>
<b>MULTI-FAMILY BLDG. 2 (3-STORIES)</b>		
1ST FLOOR	2 UNITS (2-BDRM) & 1 UNIT (3-BDRM)	5,964 SF
2ND FLOOR	2 UNITS (2-BDRM) & 1 UNIT (3-BDRM)	5,964 SF
3RD FLOOR	2 UNITS (2-BDRM) & 1 UNIT (3-BDRM)	5,964 SF
<b>TOTAL</b>	<b>6 UNITS</b>	<b>17,892 SF</b>
<b>SINGLE FAMILY RESIDENTIAL 2.5-STORIES:</b>		
DETACHED HOUSE:		10

**USE GROUP CLASSIFICATION:**  
MIXED USE CONSISTING OF (S-2) PARKING GARAGE, (R-1) HOTEL, (M) RETAIL, CONDOMINIUM UNITS (R-2), SINGLE FAMILY RESIDENCES (R-2), & ASSEMBLY (A-3)

**CONSTRUCTION CLASSIFICATION:**  
TYPE 1B, FULLY SPRINKLERED

DRAWING INDEX	
CS	COVER SHEET
A-1	GARAGE LEVEL PLAN
A-2	BUILDING 1- FIRST & SECOND FLOOR PLANS
A-3	BUILDING 1- THIRD & FOURTH FLOOR PLANS
A-4	BUILDING 1- ROOF PLANS
A-5	BUILDING 1- ELEVATIONS
A-6	BUILDING 1- ELEVATIONS
A-7	BUILDING 2- FLOOR PLANS
A-8	BUILDING 2- ELEVATIONS
A-9	HOTEL- GARAGE LEVEL, FIRST, SECOND, THIRD & FOURTH FLOOR PLANS
A-10	HOTEL- FIFTH FLOOR AND ROOF PLANS
A-11	HOTEL- ELEVATIONS
A-12	HOTEL- ELEVATIONS
A-13	SITE SECTION & DETAILS
A-14	SINGLE FAMILY RESIDENCES- SITE PLAN & FRONT ELEVATION (SPRAY AVENUE)
A-15	SINGLE FAMILY RESIDENCES- HOUSE-A PLANS & ELEVATIONS
A-16	SINGLE FAMILY RESIDENCES- HOUSE-B PLANS & ELEVATIONS
A-17	SINGLE FAMILY RESIDENCES- HOUSE-C PLANS & ELEVATIONS
A-18	SINGLE FAMILY RESIDENCES- HOUSE-D PLANS & ELEVATIONS
A-19	SINGLE FAMILY RESIDENCES- HOUSE-E PLANS & ELEVATIONS
A-20	SINGLE FAMILY RESIDENCES- HOUSE-F PLANS & ELEVATIONS
A-21	SINGLE FAMILY RESIDENCES- HOUSE-G PLANS & ELEVATIONS
A-22	SINGLE FAMILY RESIDENCES- HOUSE-H PLANS & ELEVATIONS
A-23	SINGLE FAMILY RESIDENCES- HOUSE-I PLANS & ELEVATIONS
A-24	SINGLE FAMILY RESIDENCES- HOUSE-J PLANS & ELEVATIONS
A-25	DETAILS
A-26	DETAILS

CONSULTANTS	
<b>ARCHITECT OF RECORD</b>	SHORE POINT ARCHITECTURE, PA 108 SOUTH MAIN STREET OCEAN GROVE, NJ 07756
<b>CIVIL ENGINEER</b>	INSITE ENGINEERING, LLC 1913 ATLANTIC AVE., SUITE F4 WALL, NJ 08736
<b>LANDSCAPE ARCHITECT OF RECORD</b>	MELILLO AND BAUER ASSOCIATES, INC. 200 UNION AVENUE BRIELLE, NJ 08730
<b>TRAFFIC ENGINEER</b>	MASER CONSULTING, PA 331 NEWMAN SPRINGS RD #203 RED BANK, NJ 07701

**OWNER:**  
OG NORTH END DEVELOPMENT, LLC  
801 E. MAIN STREET  
BELMAR, NJ 07719

**APPLICANT:**  
OG NORTH END DEVELOPMENT, LLC  
801 E. MAIN STREET  
BELMAR, NJ 07719

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Shore Point Architecture, PA  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

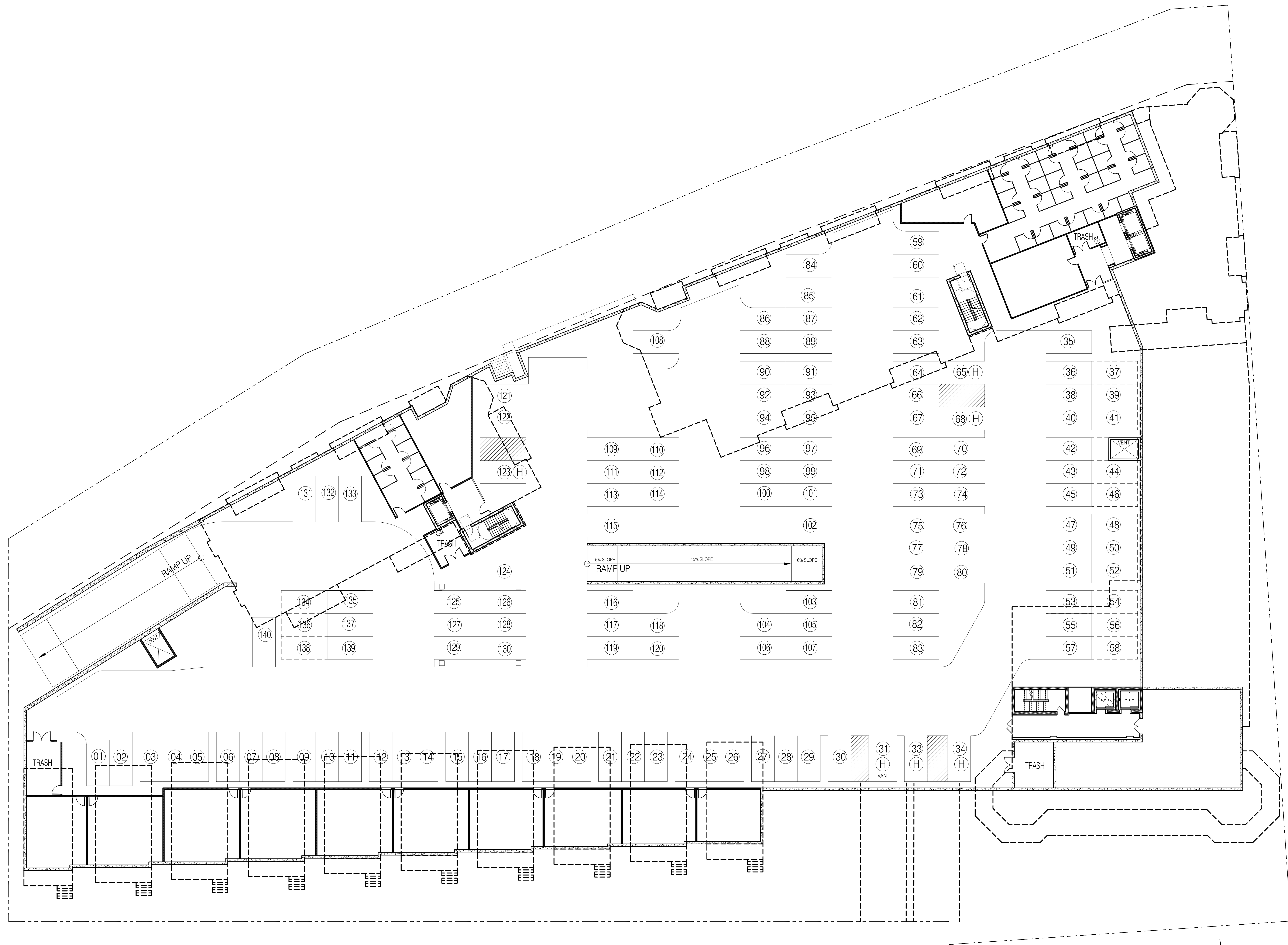
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

DRAWN: JG  
**COVER SHEET**  
SCALE: AS SHOWN

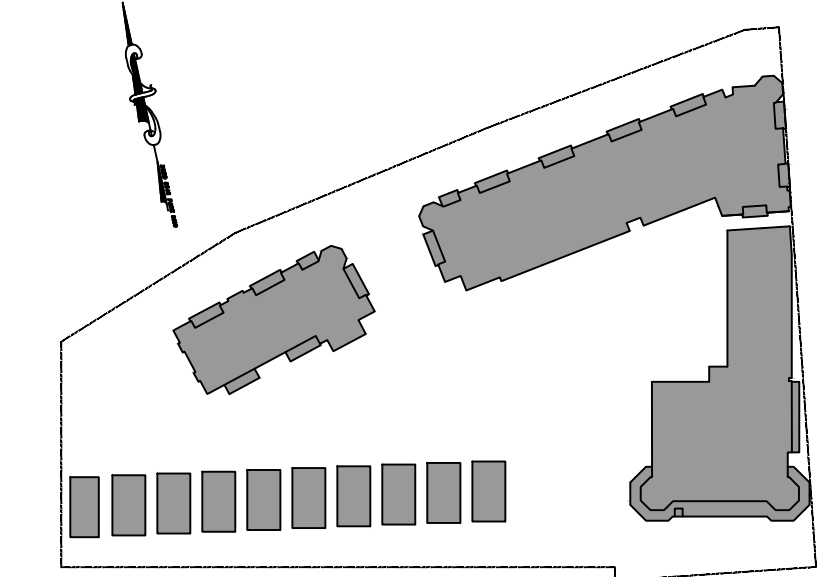
DATE	REVISION
4/22/2021	HFC REVISIONS
8/9/2021	HFC REVISIONS
10/27/2021	HFC REVISIONS
5/11/2022	HFC REVISIONS
2/17/2023	HFC REVISIONS
5/23/2023	HFC REVISIONS
6/30/2023	HFC REVISIONS

JOB NUMBER  
**2018-23**

**CS**  
NORTH END



GARAGE LEVEL PLAN  
1/16"=1'-0"



KEY PLAN  
N.T.S.

SCALE:  
*[Signature]*  
Shore Point Architecture, PA  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7260 www.shorepointarch.com

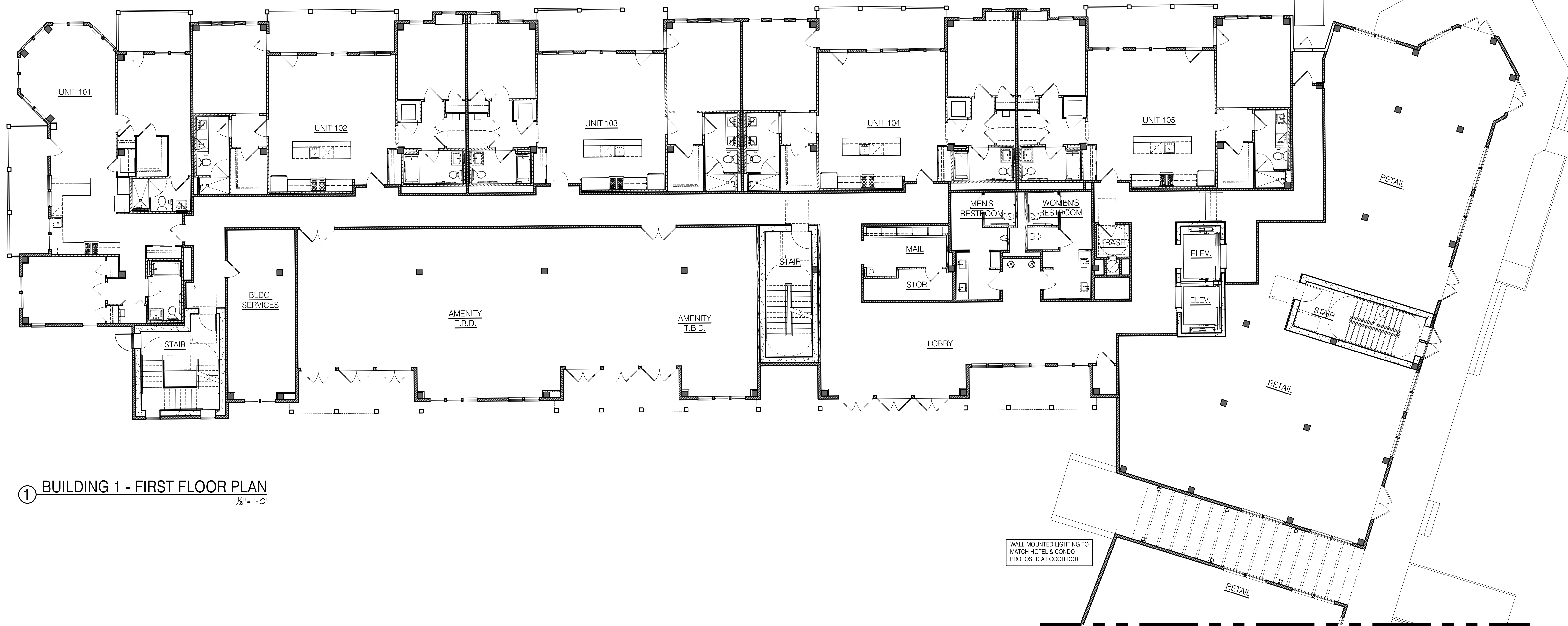
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7260 www.shorepointarch.com

GARAGE LEVEL PLAN  
SCALE: AS SHOWN  
DRAWN: JG

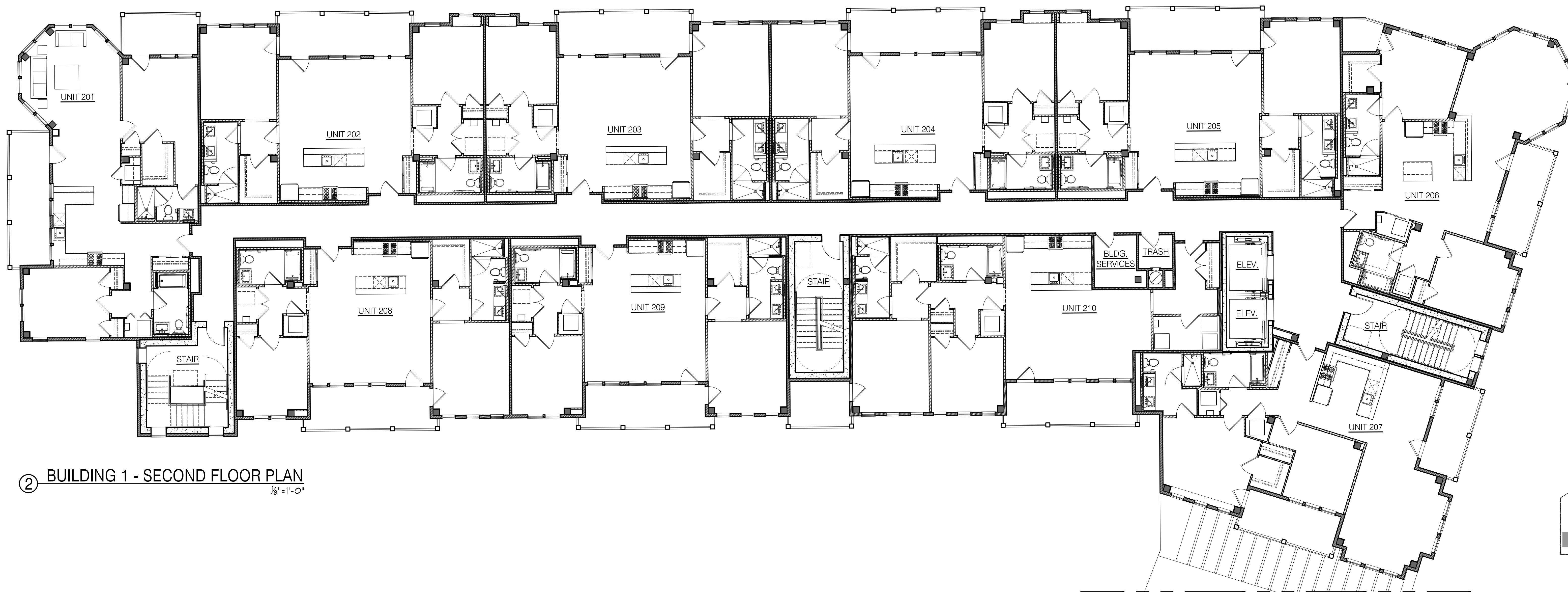
DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
5/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

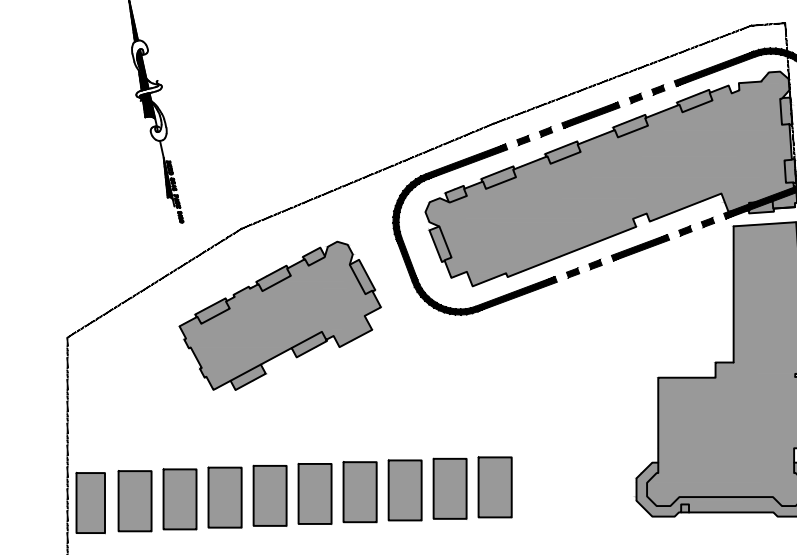
**A-1**  
NORTH END



① BUILDING 1 - FIRST FLOOR PLAN  
1/8"=1'-0"



② BUILDING 1 - SECOND FLOOR PLAN  
1/8"=1'-0"



KEY PLAN  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
Principal Architect

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

DRAWN: JG  
BUILDING 1 - FIRST AND SECOND FLOOR PLANS  
SCALE: AS SHOWN

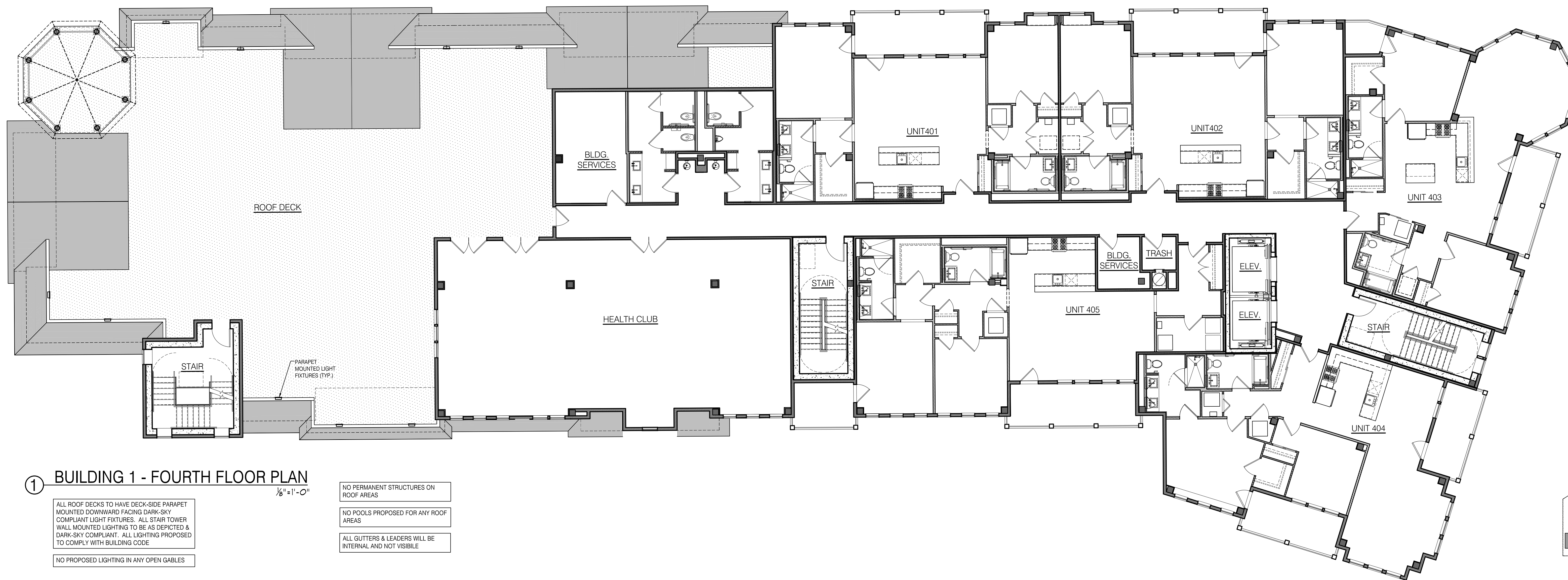
DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
8/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

**A-2**  
NORTH END



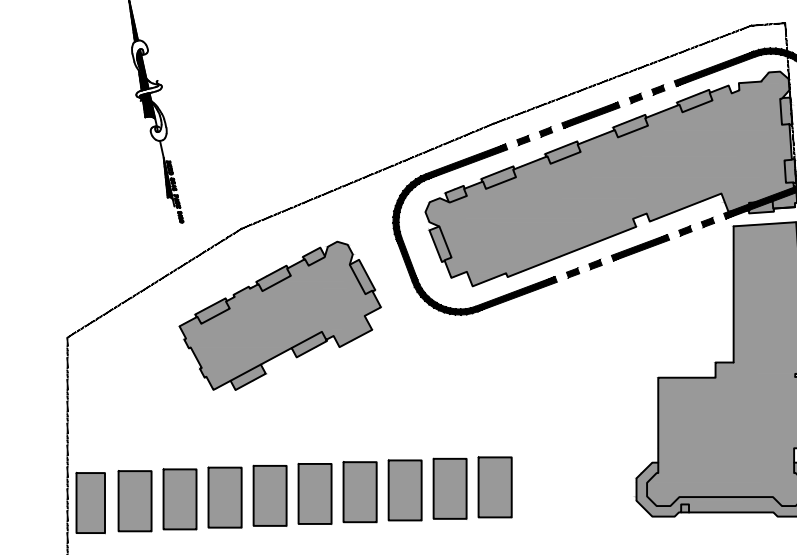
① BUILDING 1 - THIRD FLOOR PLAN  
1/8"=1'-0"



① BUILDING 1 - FOURTH FLOOR PLAN  
1/8"=1'-0"

ALL ROOF DECKS TO HAVE DECK-SIDE PARAPET MOUNTED DOWNWARD FACING DARK-SKY COMPLIANT LIGHT FIXTURES. ALL STAIR TOWER WALL MOUNTED LIGHTING TO BE AS DEPICTED & DARK-SKY COMPLIANT. ALL LIGHTING PROPOSED TO COMPLY WITH BUILDING CODE.  
NO PROPOSED LIGHTING IN ANY OPEN GABLES

NO PERMANENT STRUCTURES ON ROOF AREAS  
NO POOLS PROPOSED FOR ANY ROOF AREAS  
ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE



KEY PLAN  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
Principal Architect

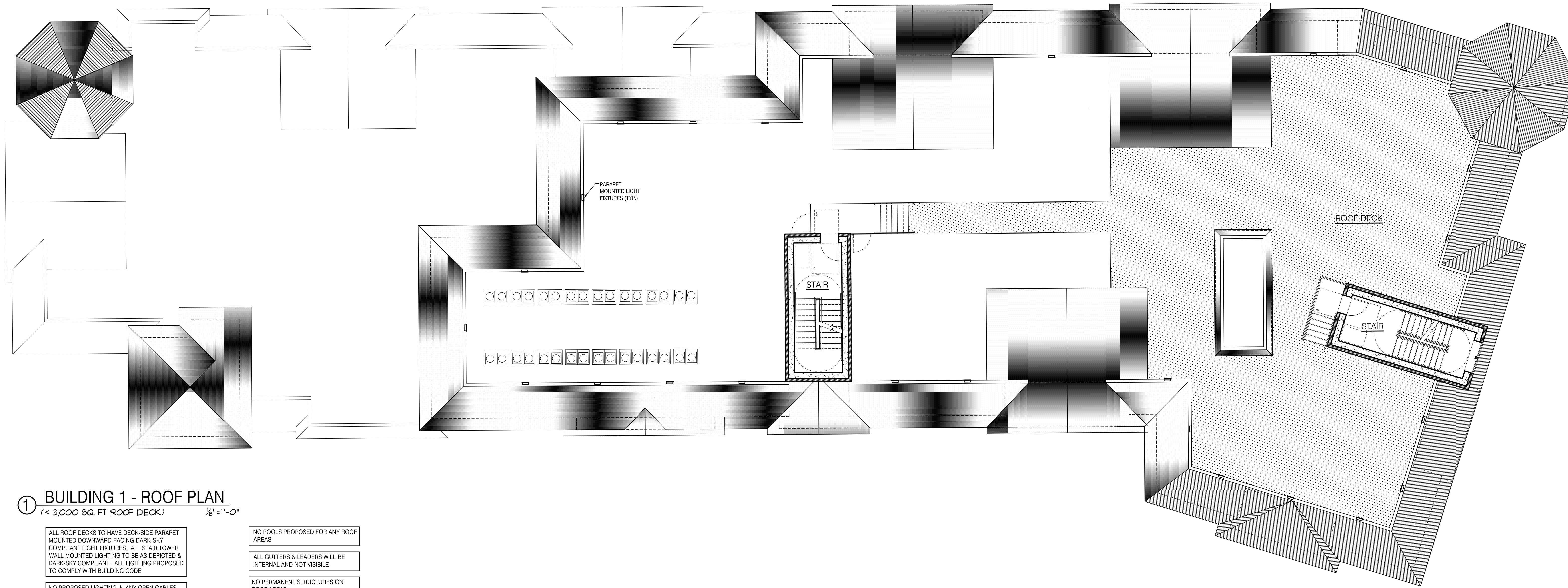
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

BUILDING 1 - THIRD AND FOURTH FLOOR PLANS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/1/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS

JOB NUMBER  
2018-23

**A-3**  
NORTH END



**1 BUILDING 1 - ROOF PLAN**  
 (< 3,000 SQ. FT. ROOF DECK) 1/8"=1'-0"

ALL ROOF DECKS TO HAVE DECK-SIDE PARAPET MOUNTED DOWNWARD FACING DARK-SKY COMPLIANT LIGHT FIXTURES. ALL STAIR TOWER WALL MOUNTED LIGHTING TO BE AS DEPICTED & DARK-SKY COMPLIANT. ALL LIGHTING PROPOSED TO COMPLY WITH BUILDING CODE.

NO PROPOSED LIGHTING IN ANY OPEN GABLES

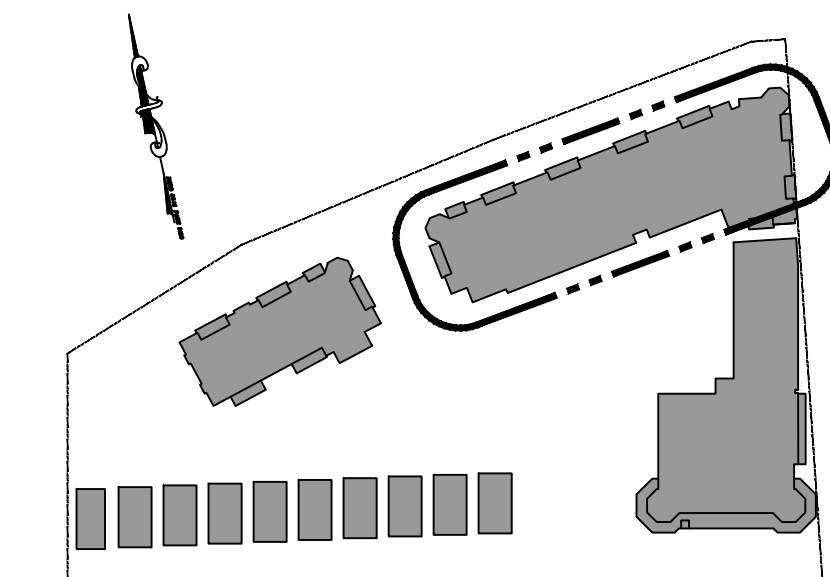
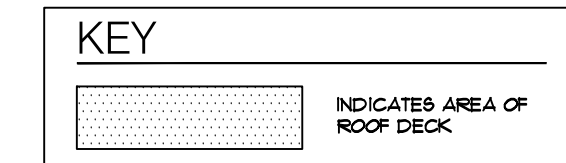
WALKWAY LIGHTING TO BE PROVIDED BY NON-VISIBLE DOWNWARD FACING RAILING MOUNTED LIGHTING. ALL PROPOSED LIGHTING TO BE DARK-SKY COMPLIANT. ALL LIGHTING PROPOSED TO COMPLY WITH BUILDING CODE.

NO POOLS PROPOSED FOR ANY ROOF AREAS

ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE

NO PERMANENT STRUCTURES ON ROOF AREAS

1-1/4" DIA. GALVANIZED PIPE RAILING TO BE PROVIDED AT ROOFTOP PATHWAY AND WHERE REQUIRED AT ROOF DECK



**KEY PLAN**  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
 (OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
 BLOCK 101 LOT 2, 3 & 4

SEAL  
  
 Stephen J. Callegari, P.E.  
 State of New Jersey  
 License No. 1212-000000000

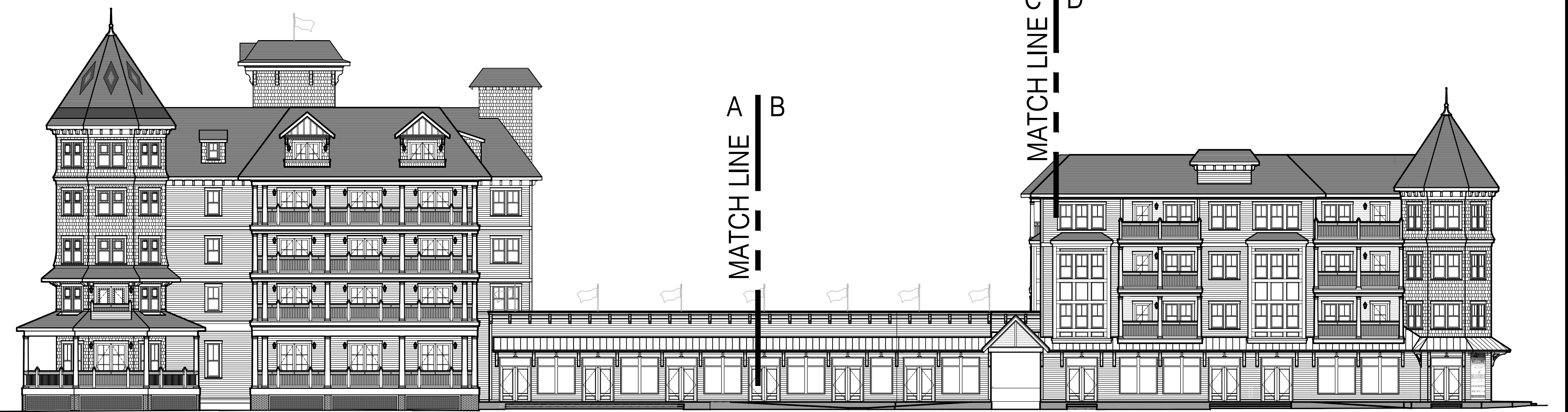
**SHORE POINT ARCHITECTURE, PA**  
 108 South Main Street, Ocean Grove, New Jersey 07756  
 P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

**BUILDING 1 - ROOF PLAN**  
 SCALE: AS SHOWN DRAWN: JC

DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/1/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
**2018-23**

**A-4**  
 NORTH END



① OVERALL EAST ELEVATION  
N.T.S.

REFER TO SHEET A-11 FOR HOTEL ELEVATIONS



NOTE  
 \* (INDICATES ELEVATION ABOVE SEA LEVEL)  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

①A EAST ELEVATION-A  
1/8" = 1'-0"

REFER TO SHEET A-11 FOR HOTEL ELEVATIONS  
 NO CEILING FANS PROPOSED ON BALCONIES  
 ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN, FRENCH DOORS AS SHOWN.  
 ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE  
 SUBSEQUENT APPROVALS WILL BE SOUGHT FOR ANY ADDITIONAL SIGNAGE

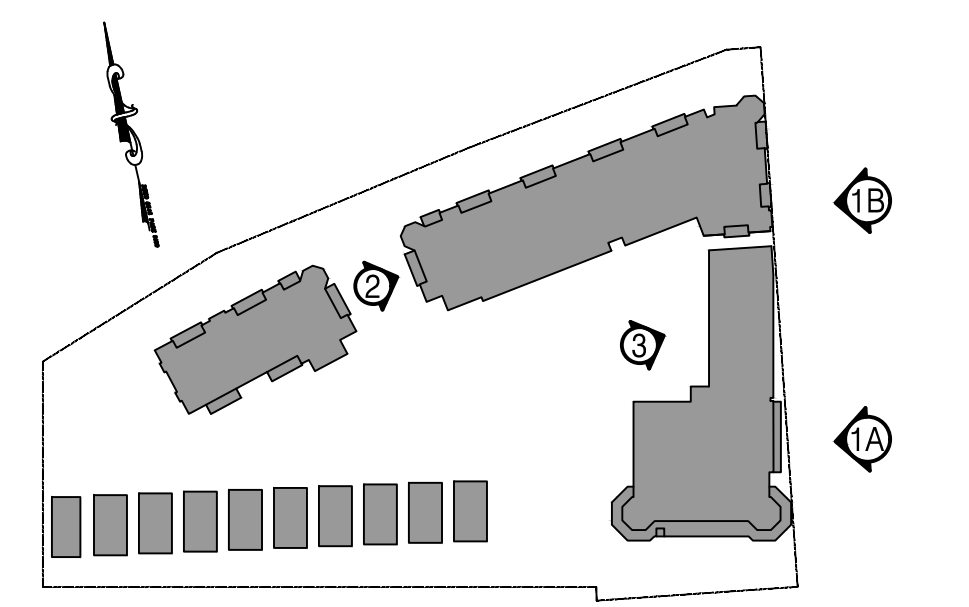
BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.

METAL ROOFING TO BE ZINC, NON-PAINTED STANDING FOLDED SEAM TO SUBSTANTIALLY MATCH IN COLOR & APPEARANCE WITH THE STATE HISTORIC PRESERVATION OFFICE APPROVED ROOFING ON THE GREAT AUDITORIUM

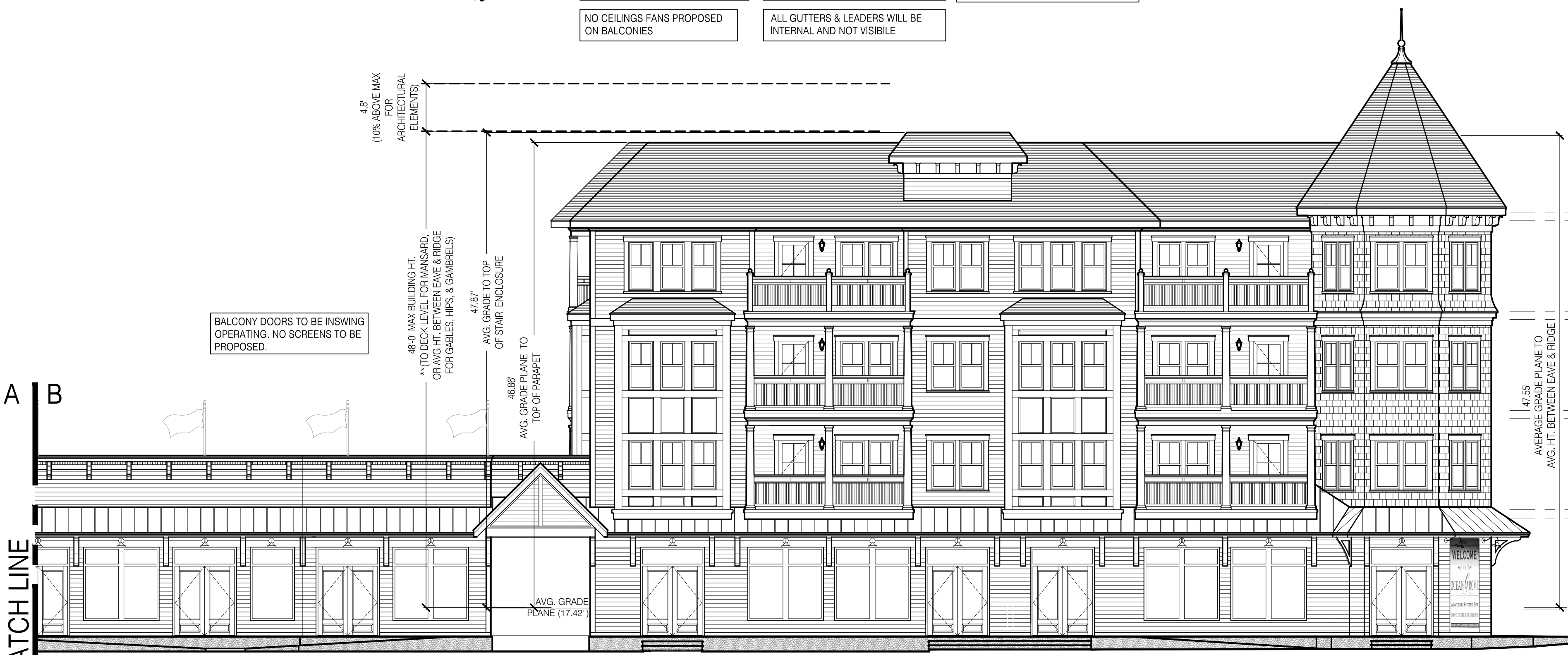


③ PARTIAL WEST ELEVATION  
N.T.S.

REFER TO SHEET A-11 FOR HOTEL ELEVATIONS



KEY PLAN  
N.T.S.



BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.

METAL ROOFING TO BE ZINC, NON-PAINTED STANDING FOLDED SEAM TO SUBSTANTIALLY MATCH IN COLOR & APPEARANCE WITH THE STATE HISTORIC PRESERVATION OFFICE APPROVED ROOFING ON THE GREAT AUDITORIUM  
 NO CEILING FANS PROPOSED ON BALCONIES  
 ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE  
 ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN, FRENCH DOORS AS SHOWN.  
 SUBSEQUENT APPROVALS WILL BE SOUGHT FOR ANY ADDITIONAL SIGNAGE

NOTE  
 \* (INDICATES ELEVATION ABOVE SEA LEVEL)  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

①B EAST ELEVATION-B  
1/8" = 1'-0"



BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.

NOTE  
 \* (INDICATES ELEVATION ABOVE SEA LEVEL)  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN, FRENCH DOORS AS SHOWN.  
 NO CEILING FANS PROPOSED ON BALCONIES  
 ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE

② WEST ELEVATION  
1/8" = 1'-0"

SCALE:  
  
 Steven J. Calabrese, AIA  
 License # 13000000

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
**2018-23**



NOTE  
 \* INDICATES ELEVATION ABOVE SEA LEVEL  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

SUBSEQUENT APPROVALS WILL BE SOUGHT FOR ANY ADDITIONAL SIGNAGE

ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 1/2" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.

BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.

NO CEILING FANS PROPOSED ON BALCONIES

ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE

1 NORTH ELEVATION  
 1/8" = 1'-0"



NOTE  
 \* INDICATES ELEVATION ABOVE SEA LEVEL  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

SUBSEQUENT APPROVALS WILL BE SOUGHT FOR ANY ADDITIONAL SIGNAGE

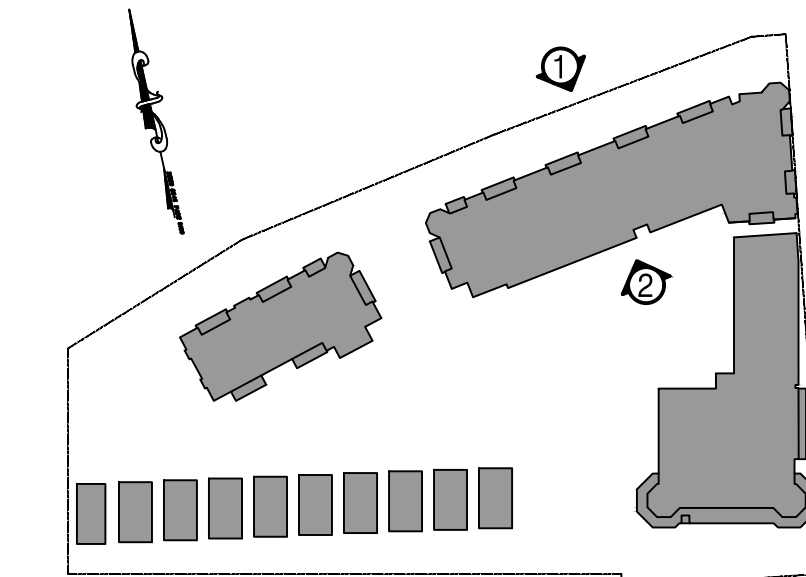
ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 1/2" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.

BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.

NO CEILING FANS PROPOSED ON BALCONIES

ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE

2 SOUTH ELEVATION  
 1/8" = 1'-0"



KEY PLAN  
 N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
 (OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
 BLOCK 101 LOT 2, 3 & 4

SCALE  
  
 SHORE POINT ARCHITECTURE, PA  
 108 South Main Street Ocean Grove, New Jersey 07756  
 P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

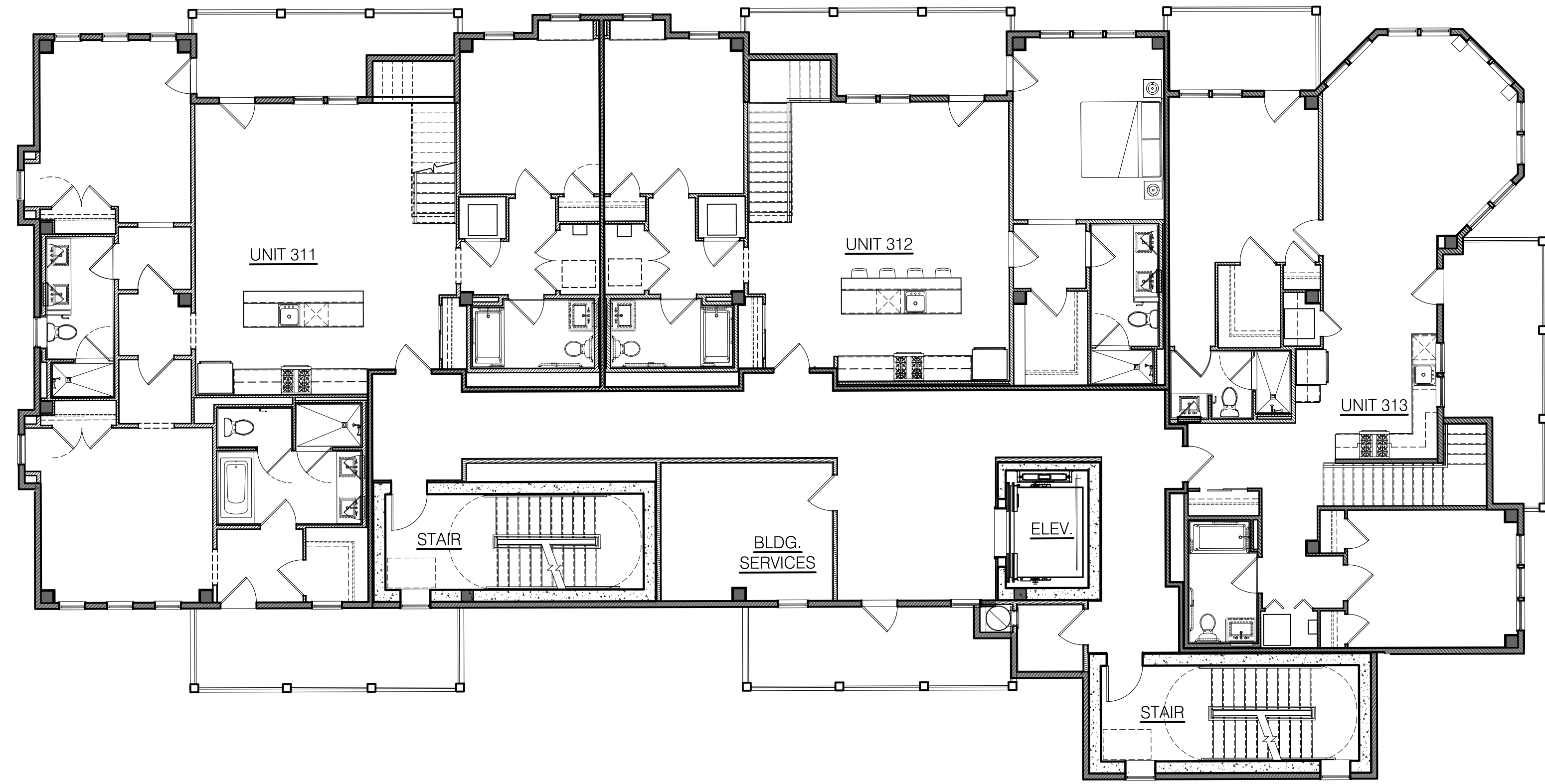
**SHORE POINT ARCHITECTURE, PA**  
 108 South Main Street Ocean Grove, New Jersey 07756  
 P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

BUILDING 1 - ELEVATIONS  
 SCALE: AS SHOWN  
 DRAWN: JG

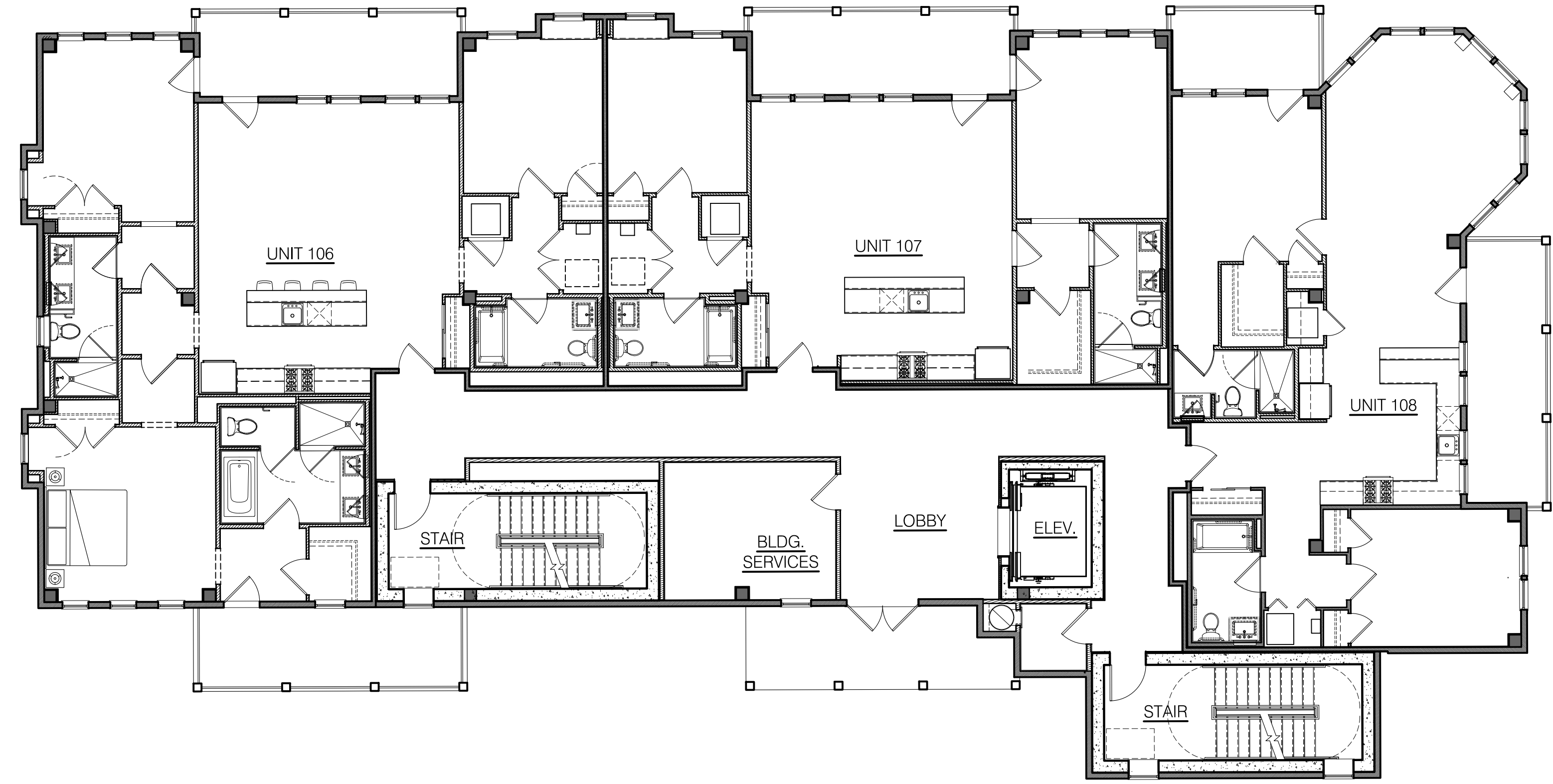
DATE	REVISION
4/22/2021	HPS REVISIONS
6/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/11/2022	HPS REVISIONS
7/1/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
 2018-23

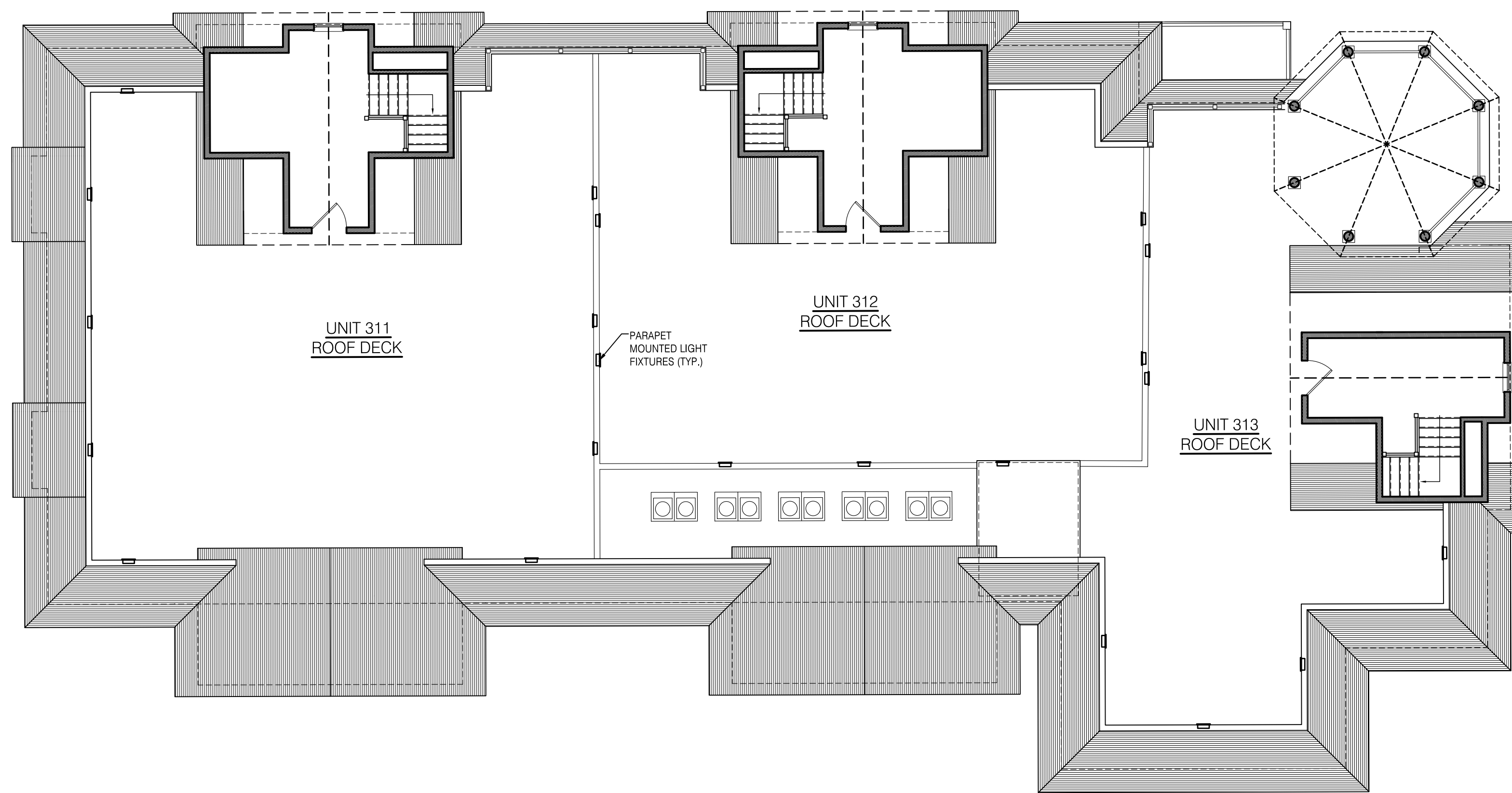
**A-6**  
 NORTH END



③ BUILDING 2 - THIRD FLOOR PLAN  
1/8"=1'-0"



① BUILDING 2 - FIRST FLOOR PLAN  
1/8"=1'-0"



④ BUILDING 2 - ROOF PLAN  
1/8"=1'-0"

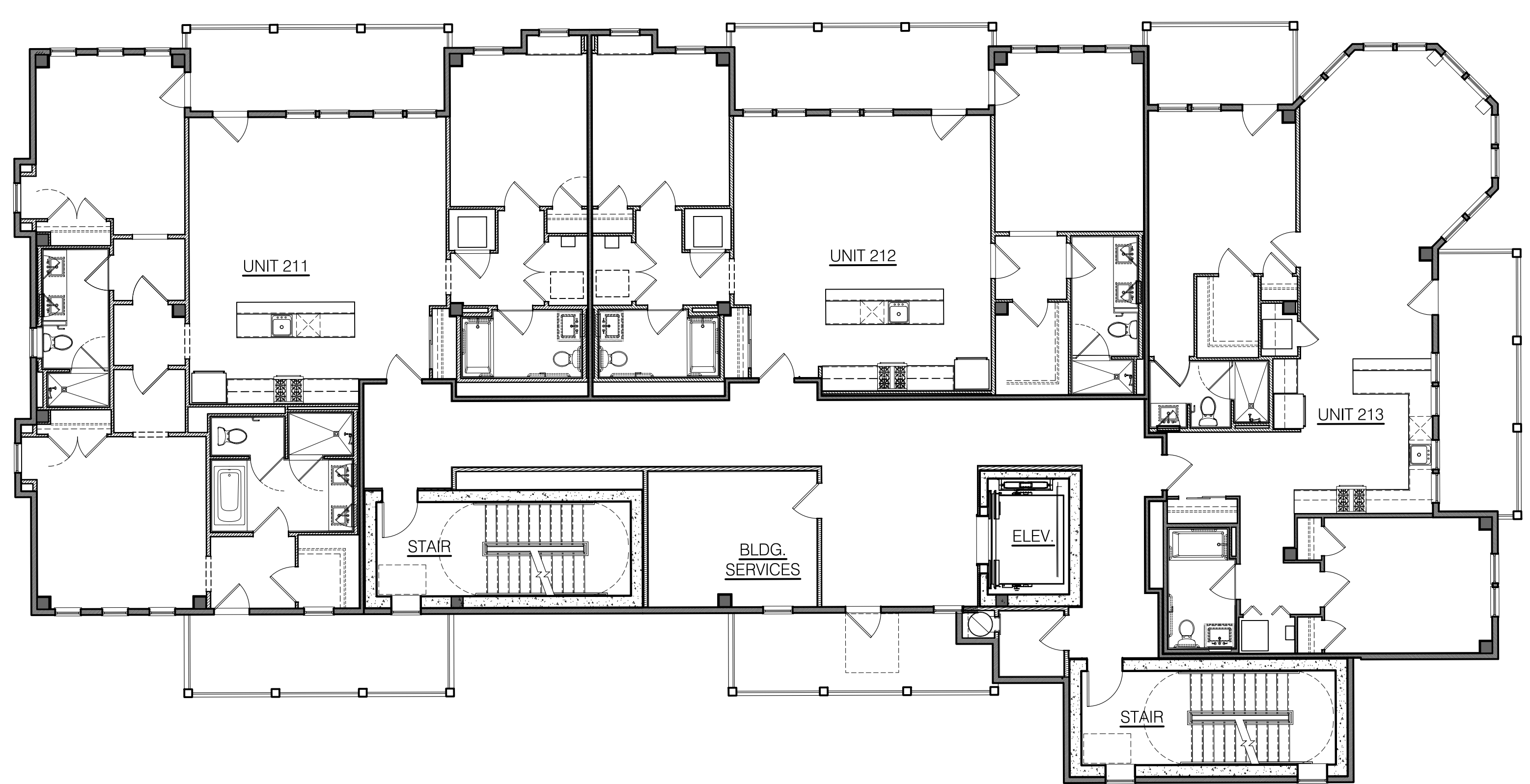
ALL ROOF DECKS TO HAVE DECK-SIDE PARAPET MOUNTED DOWNWARD FACING DARK-SKY COMPLIANT LIGHT FIXTURES. ALL STAIR TOWER WALL MOUNTED LIGHTING TO BE AS DEPICTED & DARK-SKY COMPLIANT. ALL LIGHTING PROPOSED TO COMPLY WITH BUILDING CODE.

NO PERMANENT STRUCTURES ON ROOF AREAS.

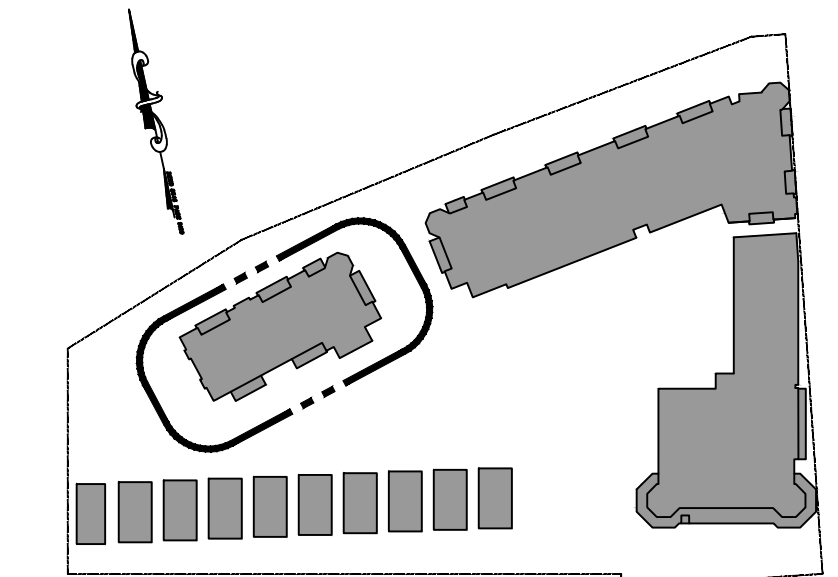
NO POOLS PROPOSED FOR ANY ROOF AREAS.

ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE.

NO PROPOSED LIGHTING IN ANY OPEN GABLES.



② BUILDING 2 - SECOND FLOOR PLAN  
1/8"=1'-0"



KEY PLAN  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
Suzanne@shorepoint.com

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

**BUILDING 2 - FLOOR PLANS**  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/17/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

**A-7**  
NORTH END





② BUILDING 2 - EAST ELEVATION  
1/8" = 1'-0"

BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.  
NO CEILING FANS PROPOSED ON BALCONIES

ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.  
ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE



① BUILDING 2 - NORTH ELEVATION  
1/8" = 1'-0"

BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.  
NO CEILING FANS PROPOSED ON BALCONIES

ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.  
ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE



④ BUILDING 2 - SOUTH ELEVATION  
1/8" = 1'-0"

BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.  
NO CEILING FANS PROPOSED ON BALCONIES

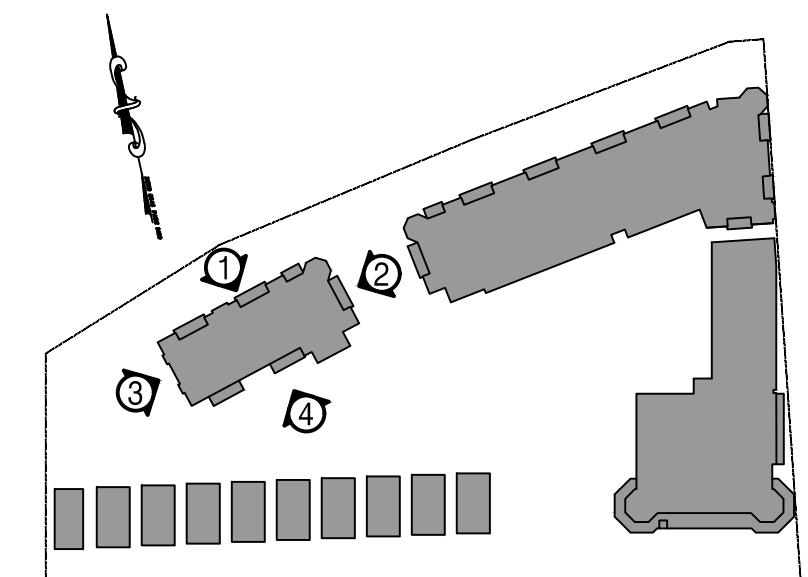
ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.  
ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE



③ BUILDING 2 - WEST ELEVATION  
1/8" = 1'-0"

BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.  
NO CEILING FANS PROPOSED ON BALCONIES

ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.  
ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE



KEY PLAN  
N.T.S.

SCALE:  
*[Signature]*  
Suzanne J. Carlini, AIA  
NJ-C-13488

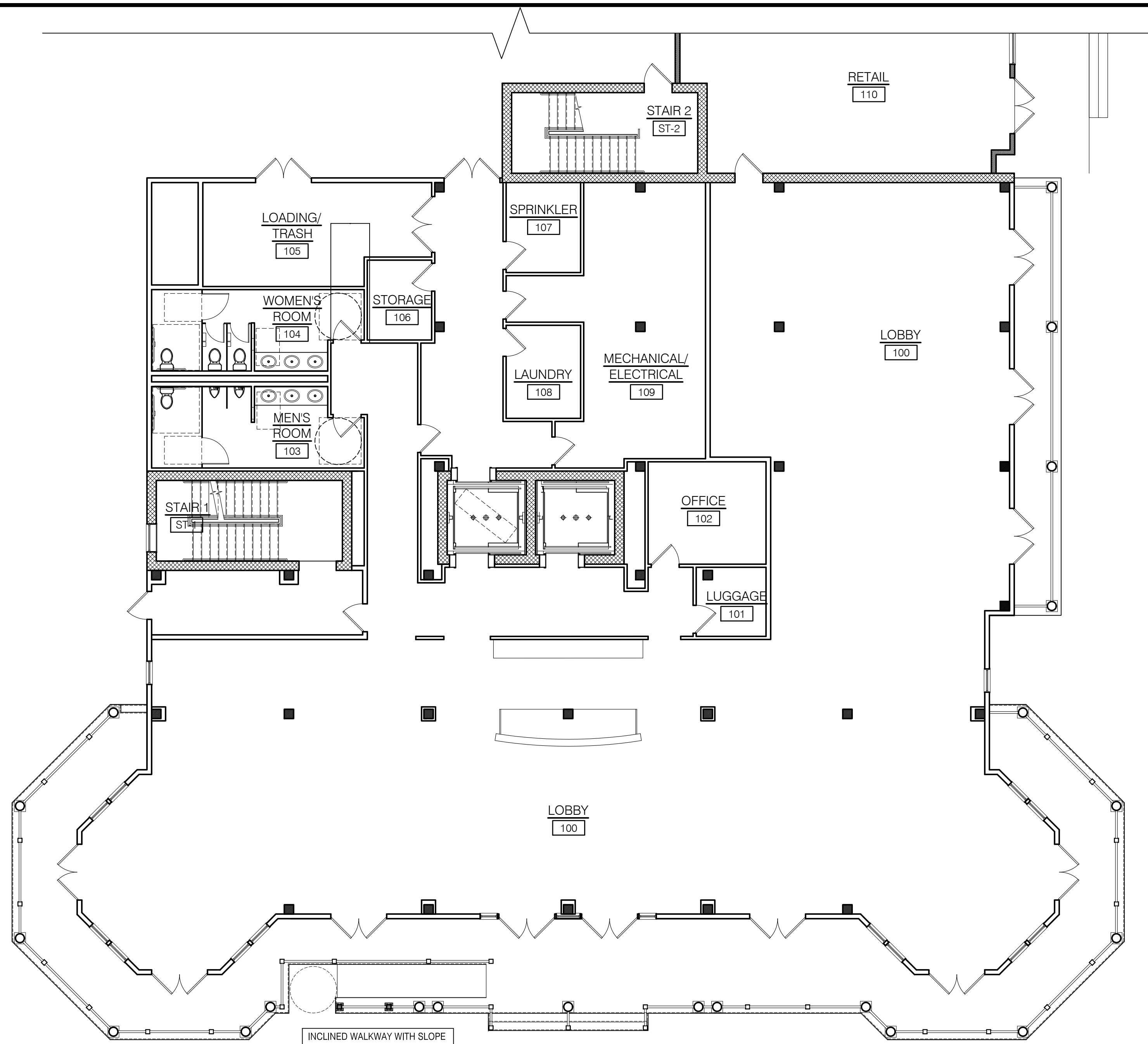
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

**BUILDING 2 - ELEVATIONS**  
SCALE: AS SHOWN  
DRAWN: JG

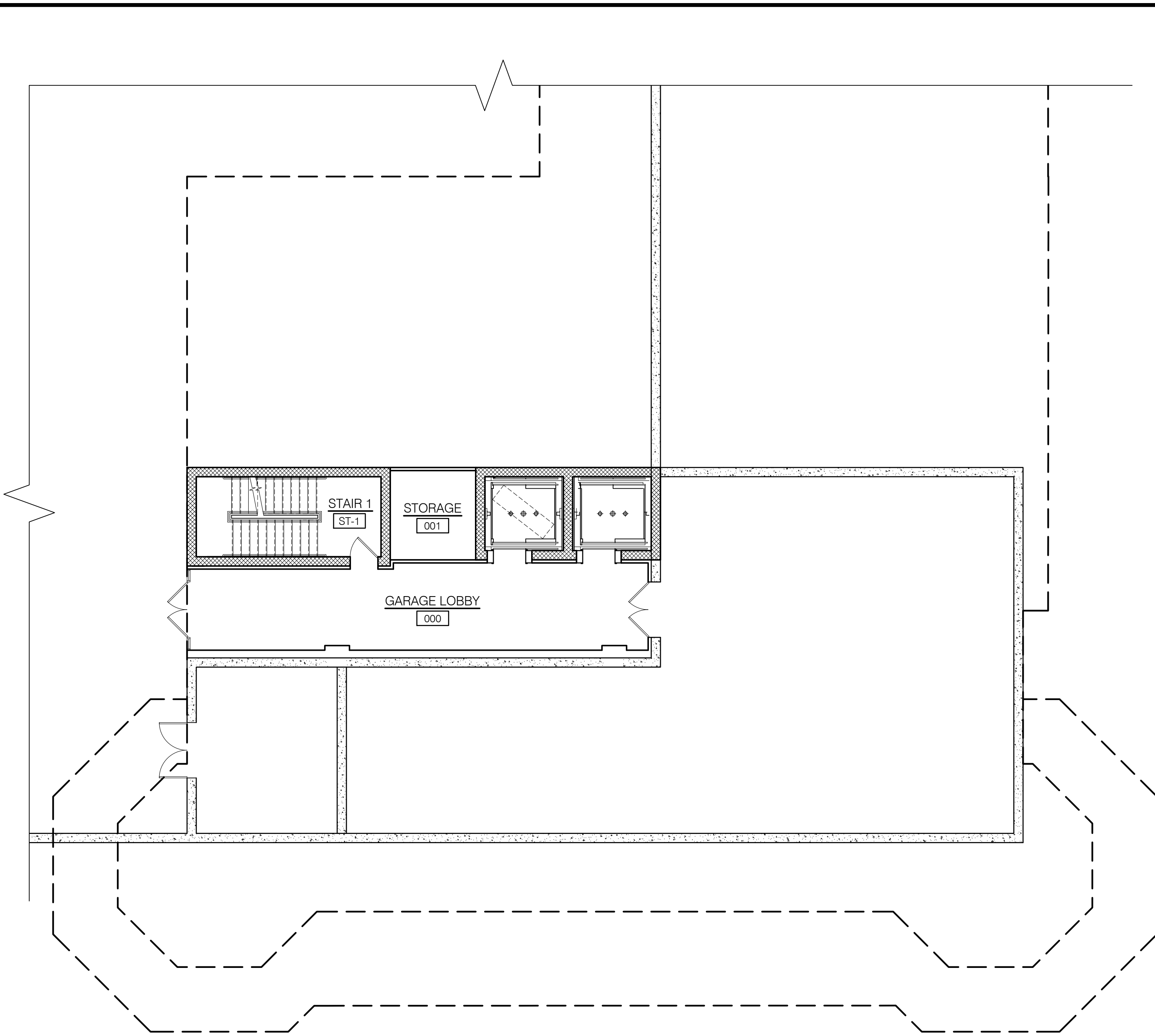
DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/1/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

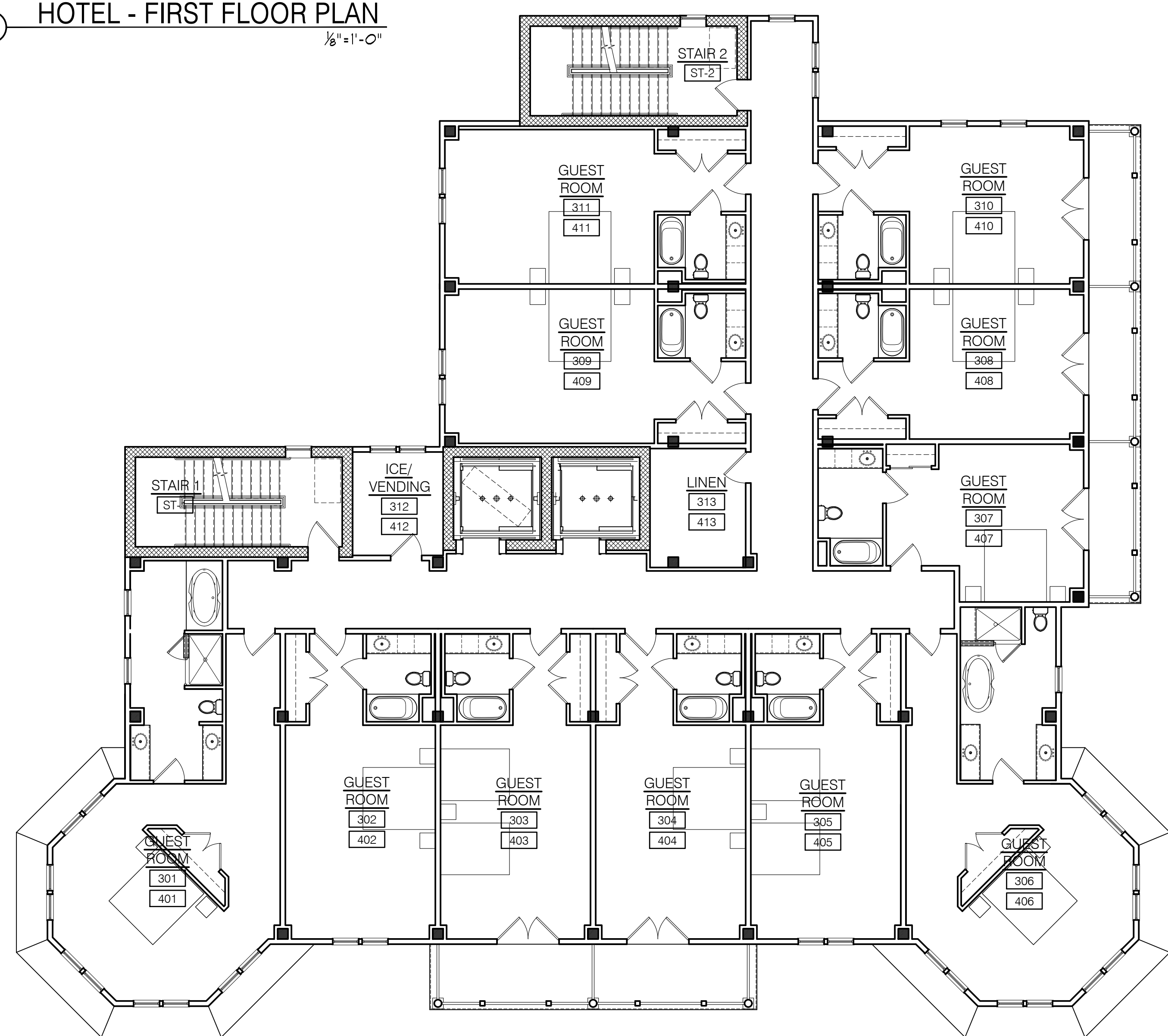
**A-8**  
NORTH END



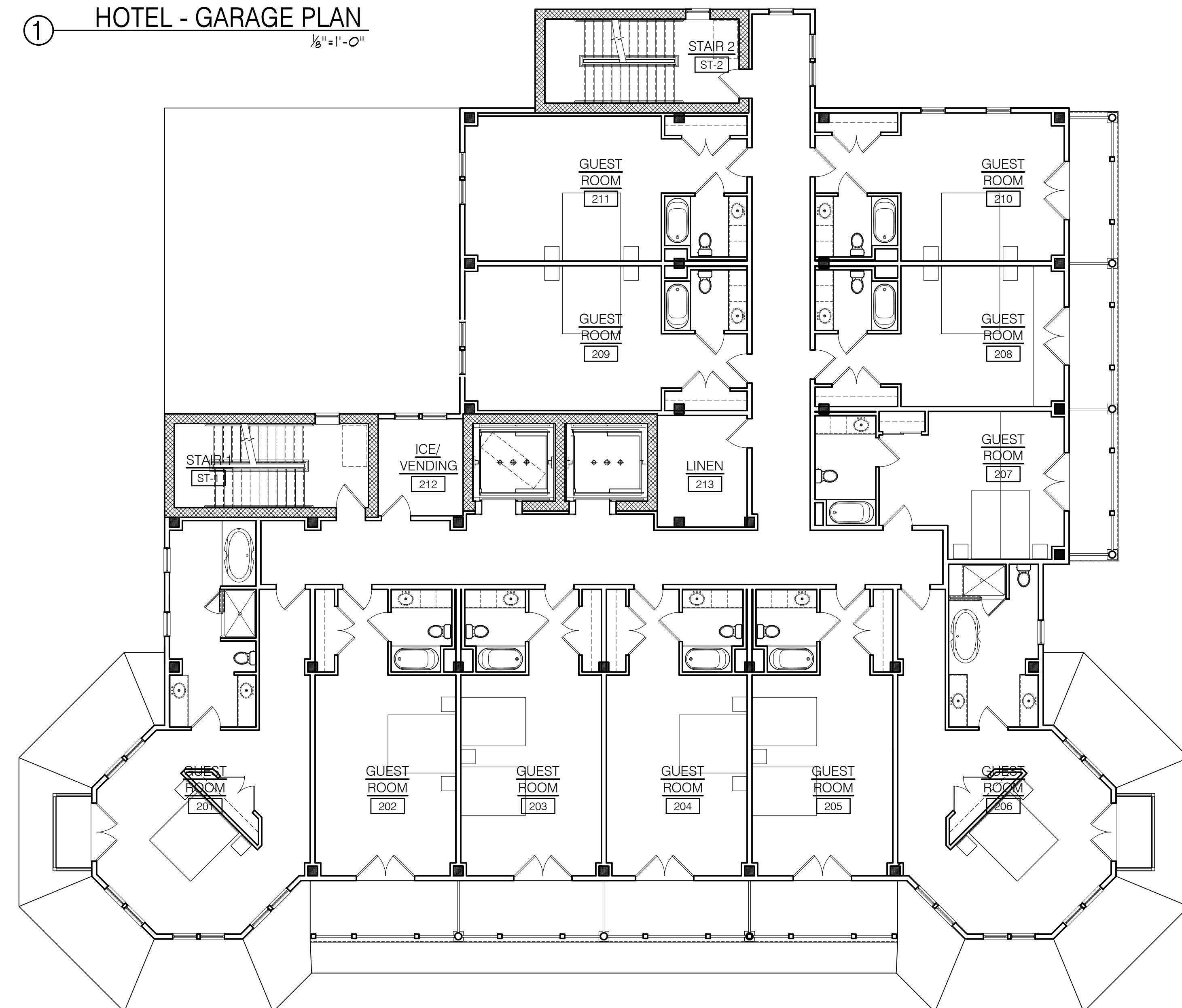
② HOTEL - FIRST FLOOR PLAN  
1/8" = 1'-0"



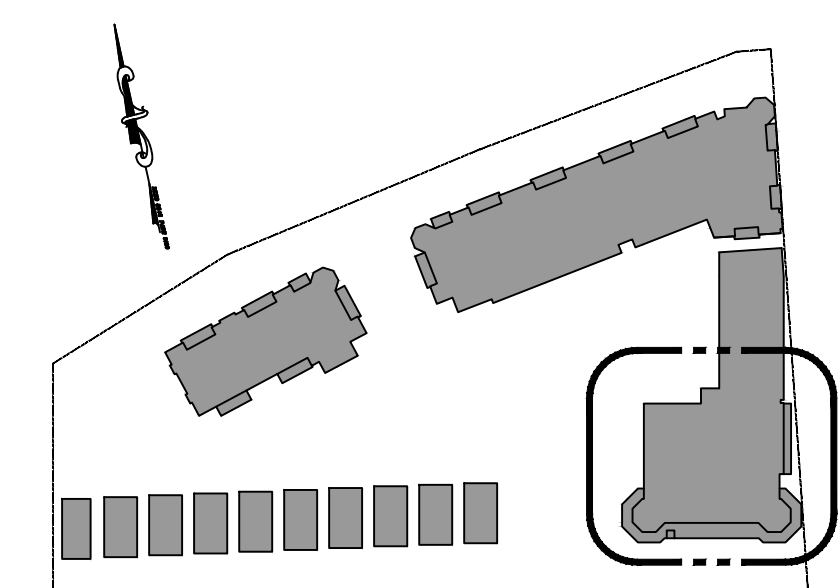
① HOTEL - GARAGE PLAN  
1/8" = 1'-0"



④ HOTEL - THIRD & FOURTH FLOOR PLAN  
1/8" = 1'-0"



③ HOTEL - SECOND FLOOR PLAN  
1/8" = 1'-0"



KEY PLAN  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
AIA 100-1000000

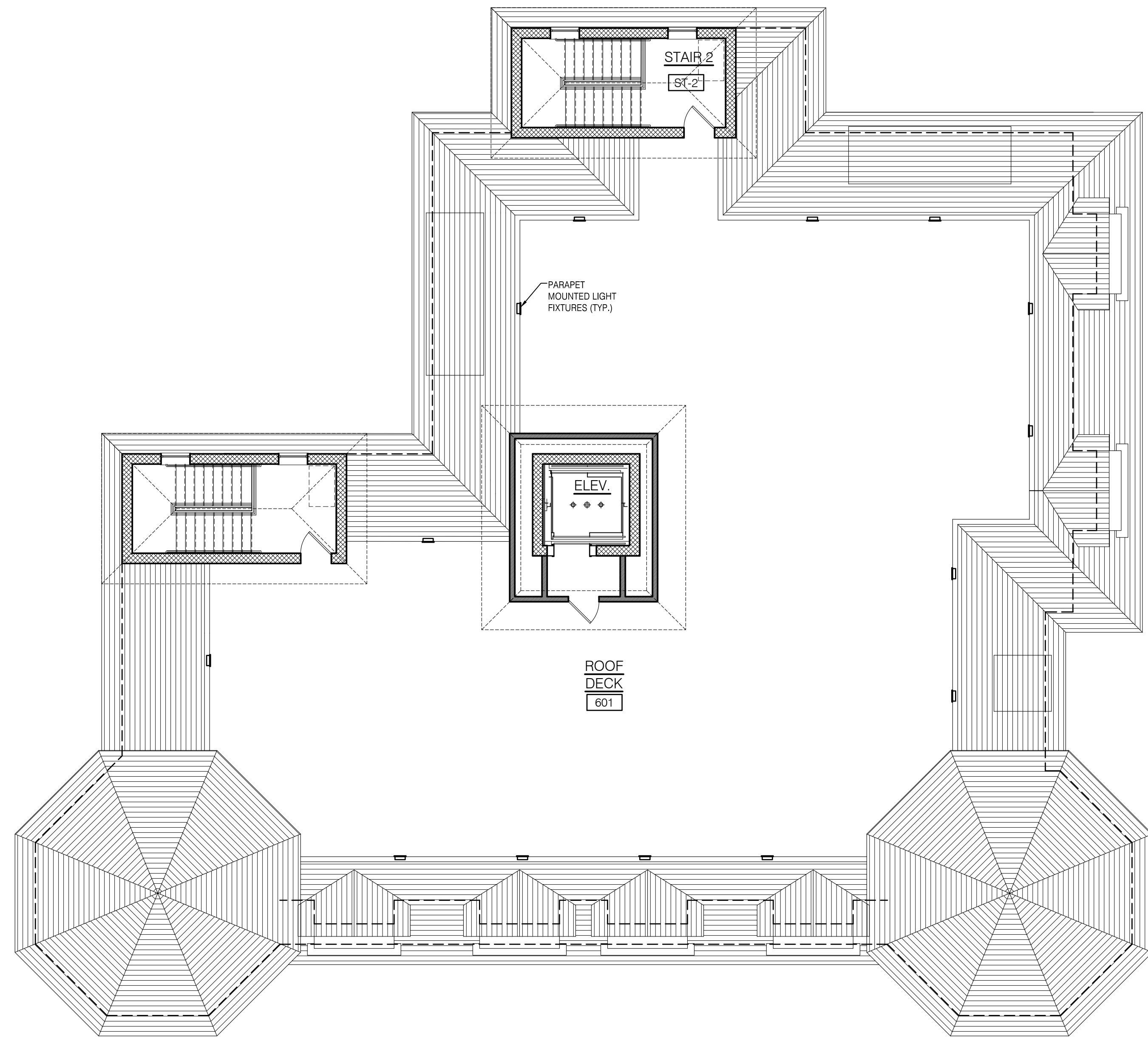
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

HOTEL GARAGE LEVEL, FIRST SECOND, THIRD & FOURTH FLOOR PLANS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HFC REVISIONS
8/9/2021	HFC REVISIONS
10/27/2021	HFC REVISIONS
5/11/2022	HFC REVISIONS
2/17/2023	HFC REVISIONS
5/23/2023	HFC REVISIONS
8/30/2023	HFC REVISIONS

JOB NUMBER  
2018-23

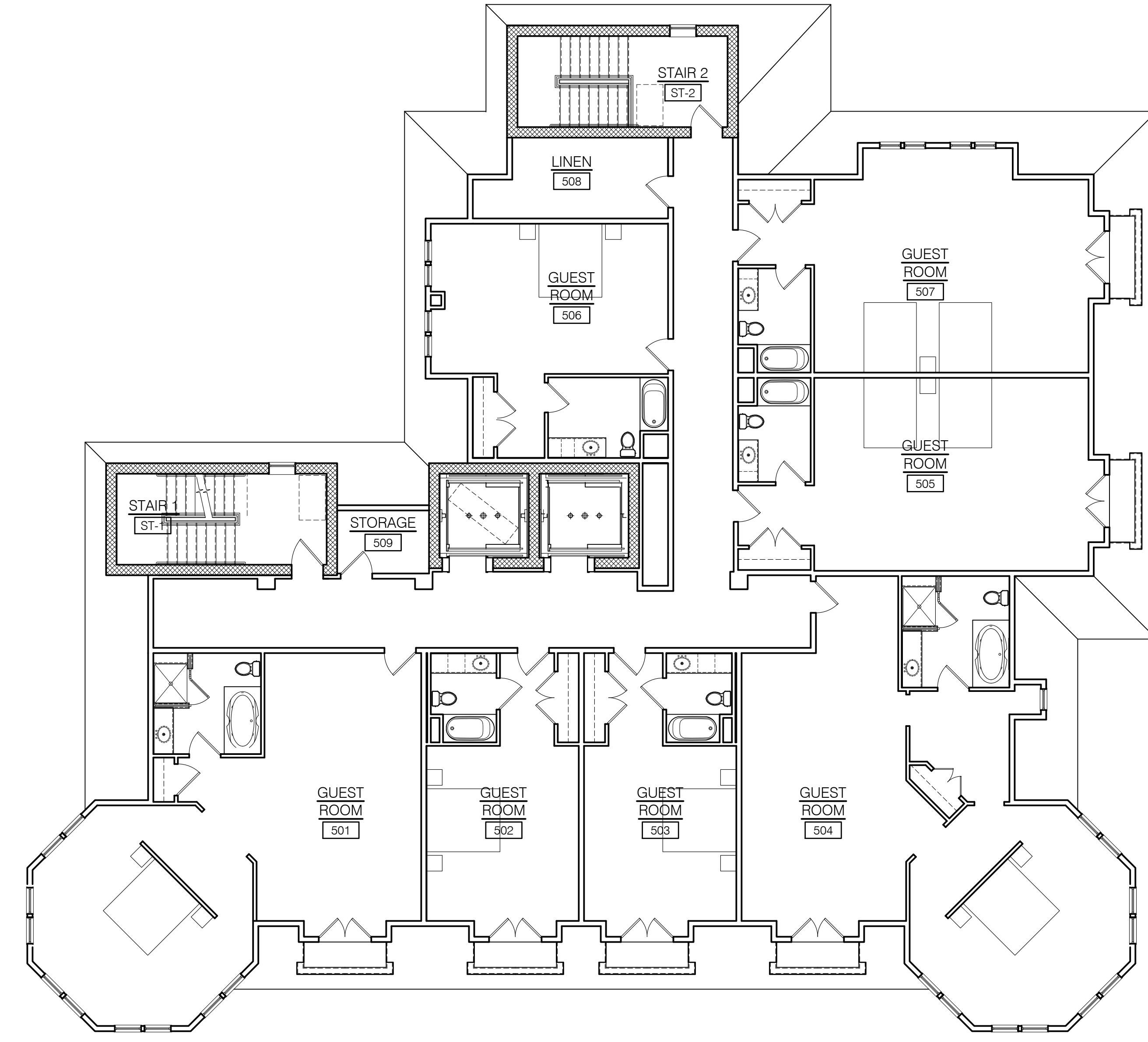
**A-9**  
NORTH END



② HOTEL - ROOF DECK PLAN  
1/8" = 1'-0"

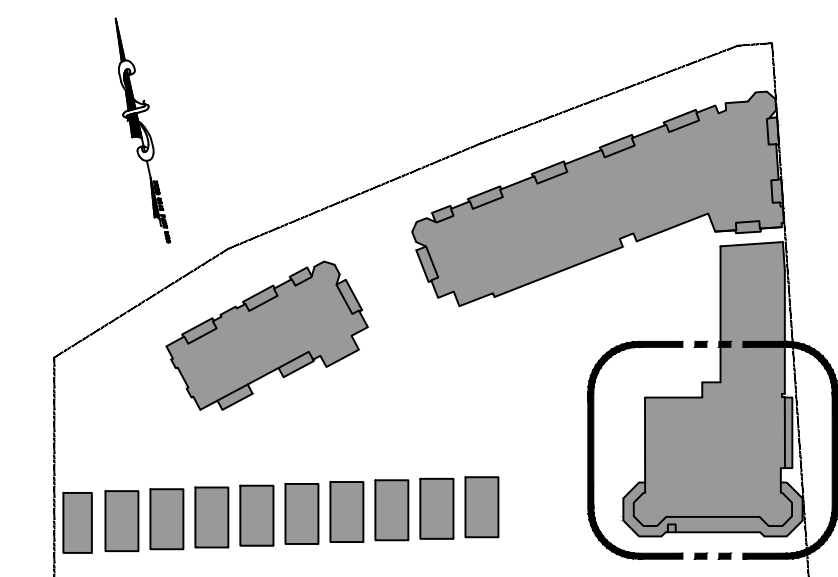
ALL ROOF DECKS TO HAVE DECK-SIDE PARAPET MOUNTED DOWNWARD FACING DARK-SKY COMPLIANT LIGHT FIXTURES. ALL STAIR TOWER WALL MOUNTED LIGHTING TO BE AS DEPICTED & DARK-SKY COMPLIANT. ALL LIGHTING PROPOSED TO COMPLY WITH BUILDING CODE.

NO POOLS PROPOSED FOR ANY ROOF AREAS  
NO PERMANENT STRUCTURES ON ROOF AREAS



① HOTEL - FIFTH FLOOR PLAN  
1/8" = 1'-0"

DORMER BALCONY RAILING TREATMENT TO BE VERTICAL KNEE WALLS WITH SHAKE SIDING.



KEY PLAN  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Landrum, AIA  
Principal Architect

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

HOTEL FIFTH FLOOR AND ROOF DECK PLANS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
2/1/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

**A-10**  
NORTH END



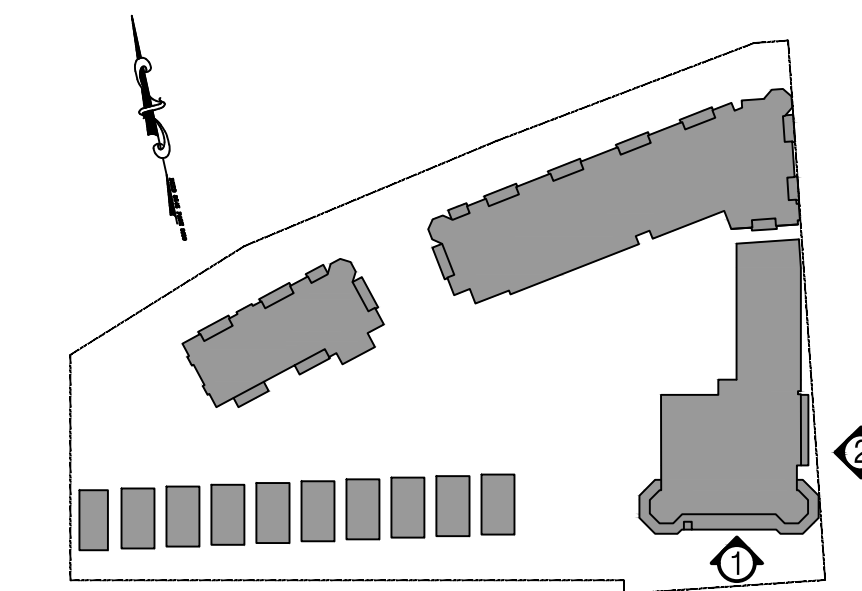
① HOTEL - SOUTH ELEVATION  
1/8" = 1'-0"

- NOTE: (INDICATES ELEVATION ABOVE SEA LEVEL)  
(INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)
- BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.
  - ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN, FRENCH DOORS AS SHOWN.
  - NO CEILING FANS PROPOSED ON BALCONIES
  - ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE
  - ALL CLAPBOARD TO HAVE MATCHING, CONSISTENT REVEAL
  - 42" HIGH HALF-WALL GUARDRAIL PROPOSED FOR ALL DORMER BALCONIES



② HOTEL - EAST ELEVATION  
1/8" = 1'-0"

- NOTE: (INDICATES ELEVATION ABOVE SEA LEVEL)  
(INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)
- BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.
  - ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN, FRENCH DOORS AS SHOWN.
  - SUBSEQUENT APPROVALS WILL BE SOUGHT FOR ANY ADDITIONAL SIGNAGE
  - DORMER BALCONY RAILING TREATMENT TO BE 42" HIGH VERTICAL KNEE WALLS WITH SHAKE SIDING.
  - NO CEILING FANS PROPOSED ON BALCONIES
  - ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE
  - ALL CLAPBOARD TO HAVE MATCHING, CONSISTENT REVEAL



KEY PLAN  
N.T.S.

SEAL:  
*[Signature]*  
Suzanne J. Callegari, AIA  
NJ-C-134888

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

HOTEL ELEVATIONS  
DRAWN: JC  
SCALE: AS SHOWN

DATE	REVISION
4/22/2021	HPS REVISIONS
6/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/11/2022	HPS REVISIONS
7/1/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
2018-23

**A-11**  
NORTH END



71.4' AVERAGE GRADE PLANE TO TOP OF TURRET

TOP OF CONC. - ELEVATOR SHAFT (87.29) (86.85)

TOP OF CONC. - STAIR TOWER (81.71) (84.28)

TOP OF PARAPET (73.78) (56.35)

DECK LEVEL (69.78) (52.35)

PLATE HT. 10'-0" 8'-10"

5TH FLR. (59.78) (42.35)

PLATE HT. 9'-8" 8'-10"

4TH FLR. (50.12) (32.68)

PLATE HT. 9'-8" 8'-10"

3RD FLR. (40.45) (23.01)

PLATE HT. 9'-8" 8'-10"

2ND FLR. (30.78) (13.35)

PLATE HT. 13'-6" 12'-8"

AVERAGE GRADE PLANE (17.42)

1ST FLR. (17.28)

66.8' AVG. GRADE PLANE TO TOP OF STAIR ENCLOSURE

66.85' AVERAGE GRADE PLANE TO TOP OF ELEV. SHAFT/ROOF

66.85' AVERAGE GRADE PLANE (17.42)

NOTE  
 \* (INDICATES ELEVATION ABOVE SEA LEVEL)  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

① HOTEL - NORTH ELEVATION  
 1/8" = 1'-0"

- BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.
- NO CEILING FANS PROPOSED ON BALCONIES
- ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.
- ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE
- ALL CLAPBOARD TO HAVE MATCHING, CONSISTENT REVEAL.



TOP OF CONC. - ELEVATOR SHAFT (87.29) (86.85)

TOP OF CONC. - STAIR TOWER (81.71) (84.28)

TOP OF PARAPET (73.78) (56.35)

DECK LEVEL (69.78) (52.35)

PLATE HT. 10'-0" 8'-10"

5TH FLR. (59.78) (42.35)

PLATE HT. 9'-8" 8'-10"

4TH FLR. (50.12) (32.68)

PLATE HT. 9'-8" 8'-10"

3RD FLR. (40.45) (23.01)

PLATE HT. 9'-8" 8'-10"

2ND FLR. (30.78) (13.35)

PLATE HT. 13'-6" 12'-8"

AVERAGE GRADE PLANE (17.42)

1ST FLR. (17.28)

64.28' AVG. GRADE PLANE TO TOP OF STAIR ENCLOSURE

66.85' AVERAGE GRADE PLANE TO TOP OF ELEV. SHAFT/ROOF

71.4' AVERAGE GRADE PLANE TO TOP OF TURRET

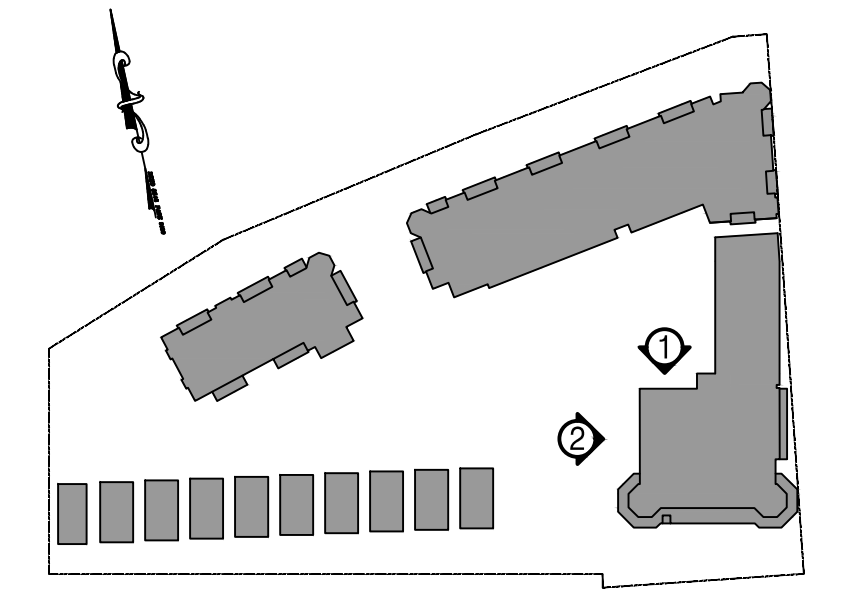
66.85' AVERAGE GRADE PLANE (17.42)

② HOTEL - WEST ELEVATION  
 1/8" = 1'-0"

- BALCONY DOORS TO BE INSWING OPERATING. NO SCREENS TO BE PROPOSED.
- NO CEILING FANS PROPOSED ON BALCONIES
- ALL FIRST FLOOR DOUBLE HUNG WINDOWS TO BE 3/4" MUNTIN PATTERN. FRENCH DOORS AS SHOWN.
- ALL GUTTERS & LEADERS WILL BE INTERNAL AND NOT VISIBLE
- ALL CLAPBOARD TO HAVE MATCHING, CONSISTENT REVEAL.

NOTE  
 \* (INDICATES ELEVATION ABOVE SEA LEVEL)  
 (INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE)

REFER TO OVERALL ELEVATION ON SHEET A-5



KEY PLAN  
 N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
 (OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
 BLOCK 101 LOT 2, 3 & 4

SCALE  
  
 Stephen J. Carlini, AIA  
 License No. 1312-00000001

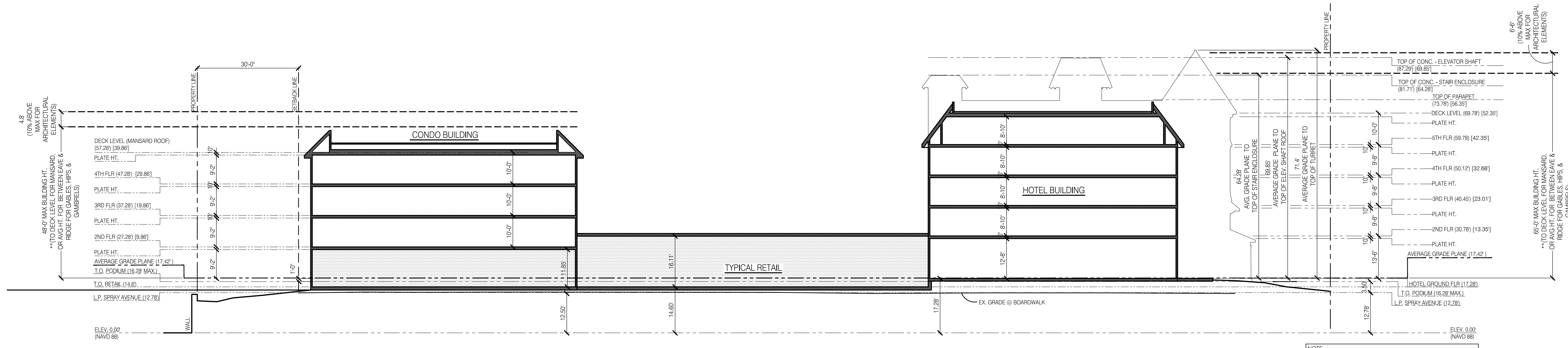
**SHORE POINT ARCHITECTURE, PA**  
 108 South Main Street Ocean Grove, New Jersey 07756  
 P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

HOTEL ELEVATIONS  
 SCALE: AS SHOWN  
 DRAWN: JG

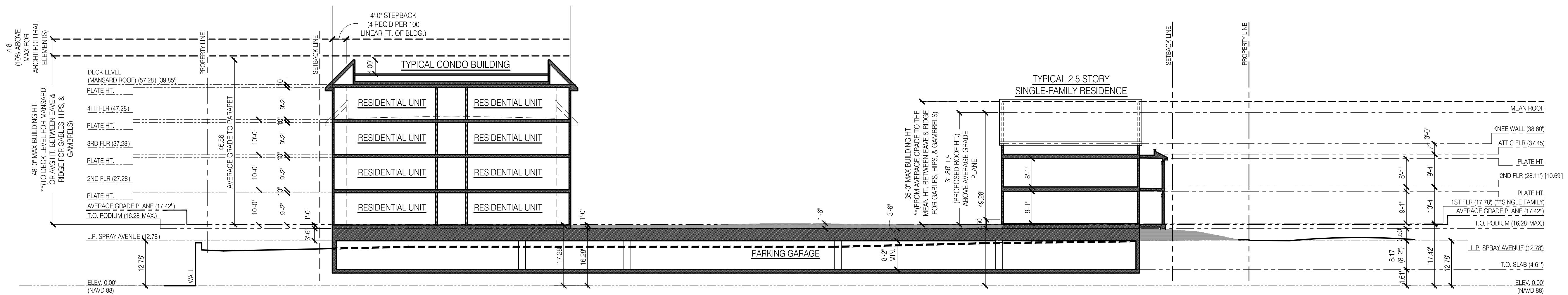
DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
2/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
5/30/2023	HPC REVISIONS

JOB NUMBER  
 2018-23

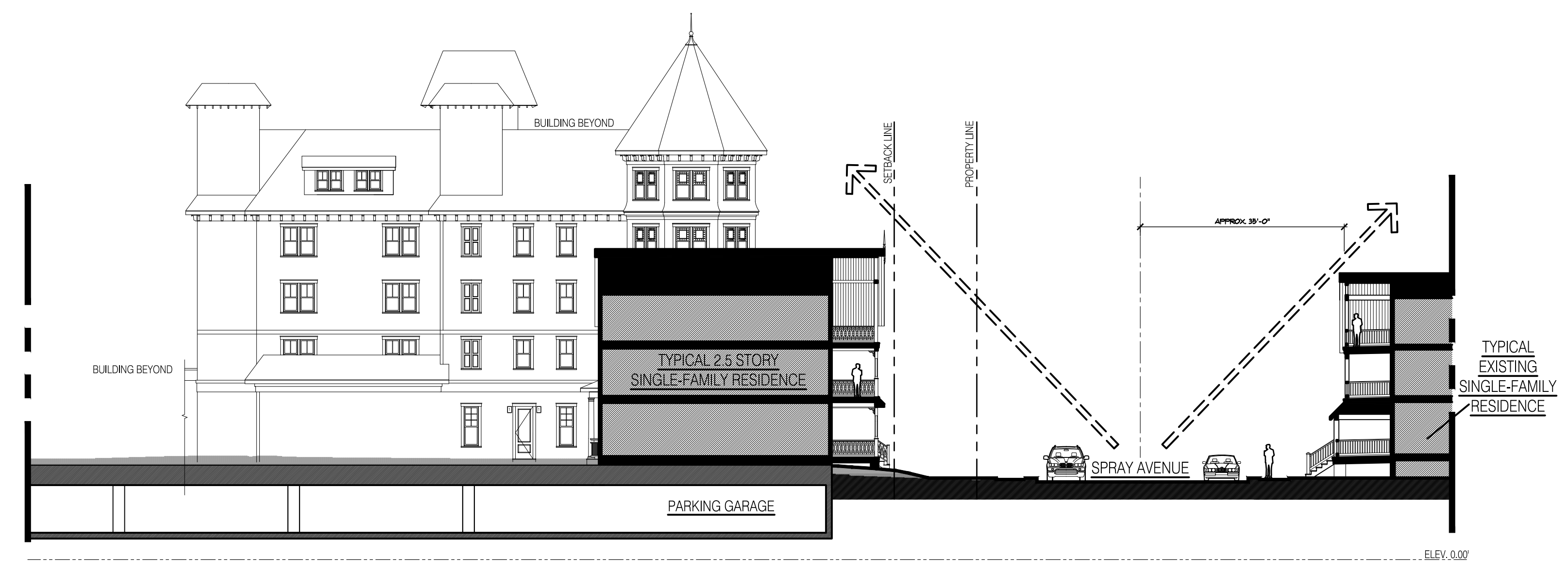
**A-12**  
 NORTH END



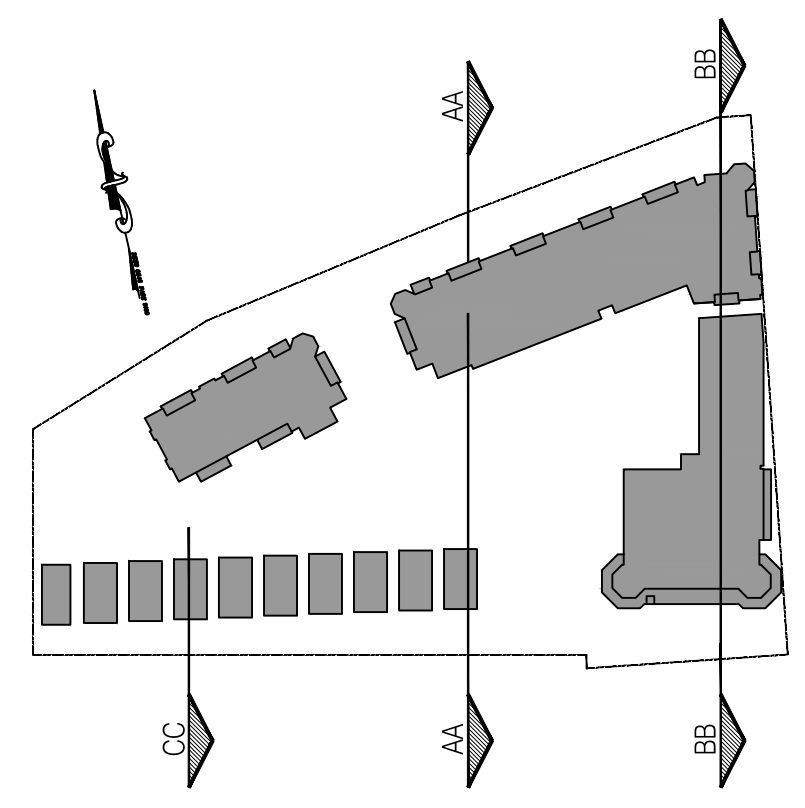
**SITE SECTION AA**  
1/8" = 1'-0"



**SITE SECTION BB**  
1/8" = 1'-0"



**SECTION DIAGRAM CC**  
1/8" = 1'-0"



**KEY PLAN**  
N.T.S.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Carlini, AIA  
Principal Architect

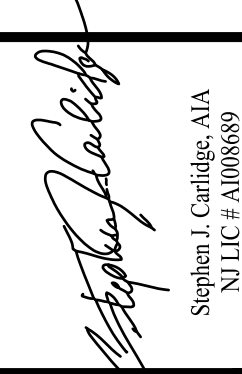
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

**SITE SECTIONS & DETAILS**  
SCALE: AS SHOWN  
DRAWN: JC

DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/17/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
8/30/2023	HPC REVISIONS

JOB NUMBER  
**2018-23**

**A-13**  
NORTH END

SCALE:  
  
 Steven J. Cardillo, P.E.  
 NJ License No. 121274

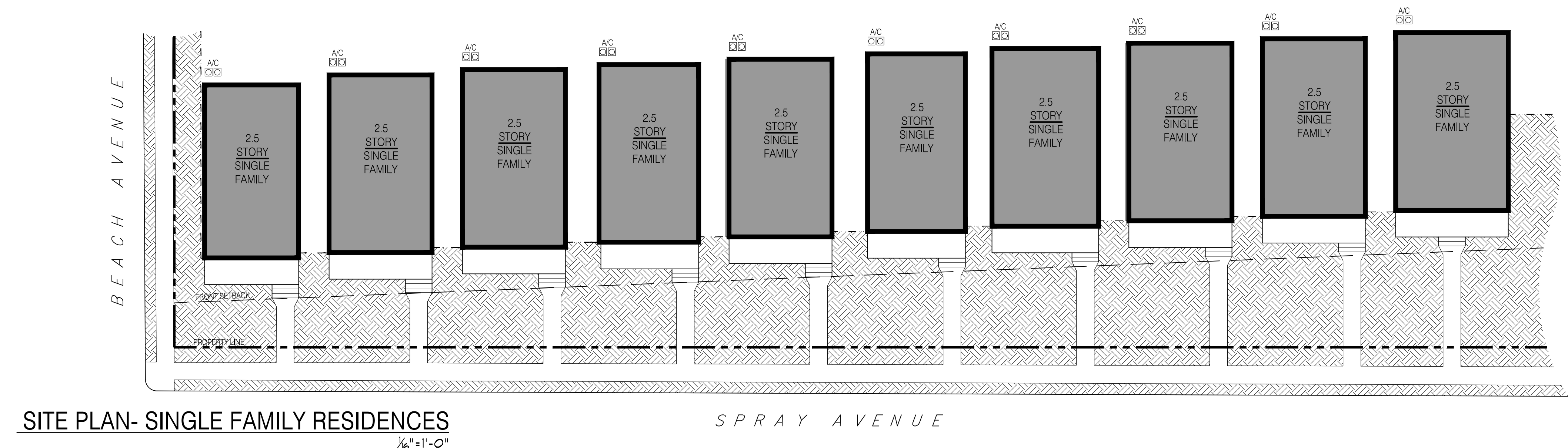
**SHORE POINT ARCHITECTURE, PA**  
 108 South Main Street, Ocean Grove, New Jersey 07756  
 P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

**SINGLE FAMILY RESIDENCES- SITE PLAN & FRONT ELEVATION (SPRAY AVENUE)**  
 DRAWN: JG  
 SCALE: AS SHOWN

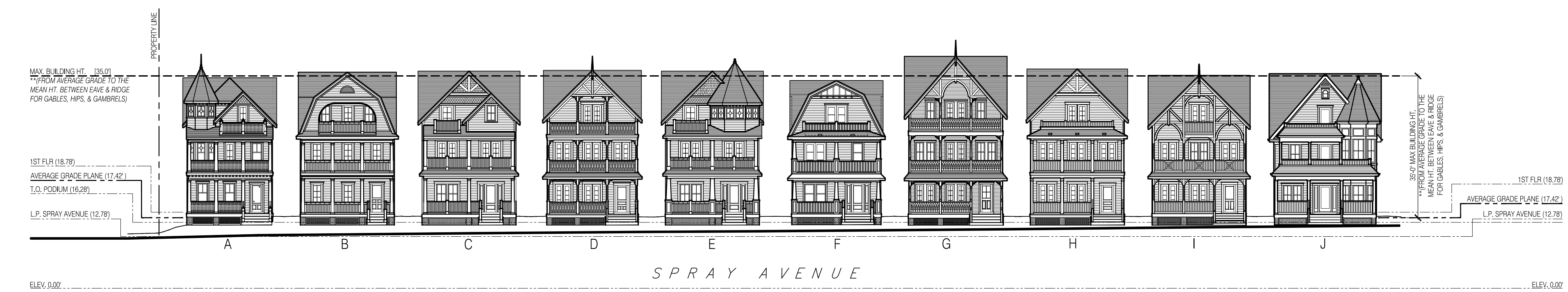
DATE	REVISION
4/22/2021	HPS REVISIONS
8/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/11/2022	HPS REVISIONS
2/17/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
 2018-23

**A-14**  
 NORTH END



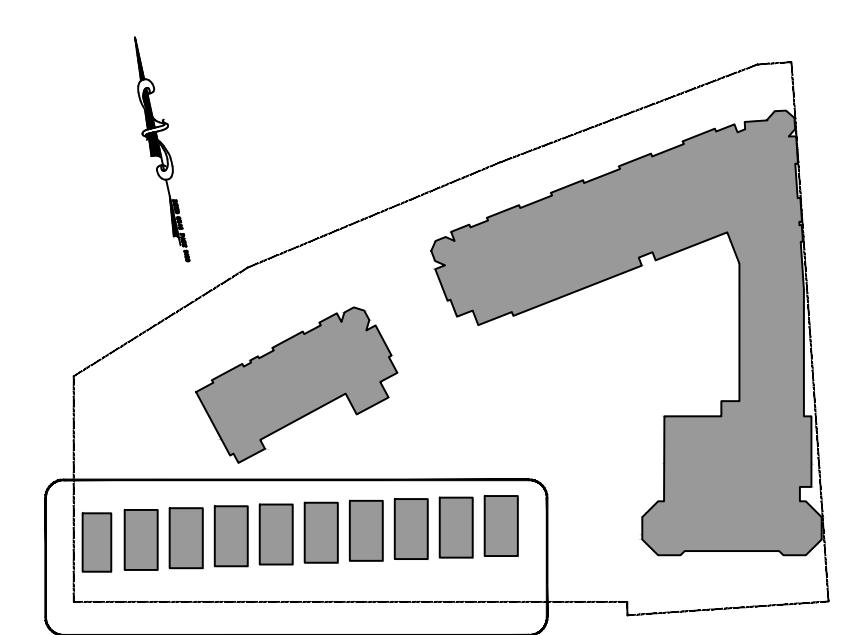
**SITE PLAN- SINGLE FAMILY RESIDENCES**  
 1/8"=1'-0"



**FRONT ELEVATIONS- SPRAY AVENUE**  
 1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

NOTE:  
 \* INDICATES ELEVATION ABOVE SEA LEVEL  
 \*\* INDICATES ELEVATION ABOVE AVERAGE GRADE PLANE



**KEY PLAN**  
 N.T.S.



REAR ELEVATION  
1/4"=1'-0"



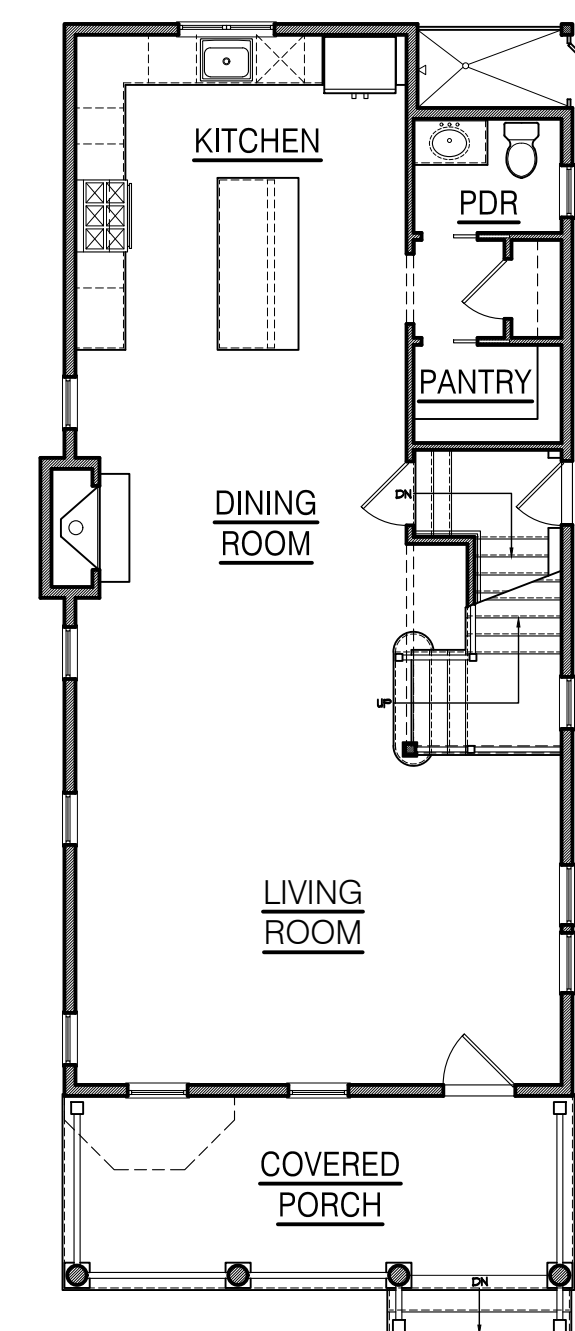
LEFT SIDE ELEVATION  
1/4"=1'-0"



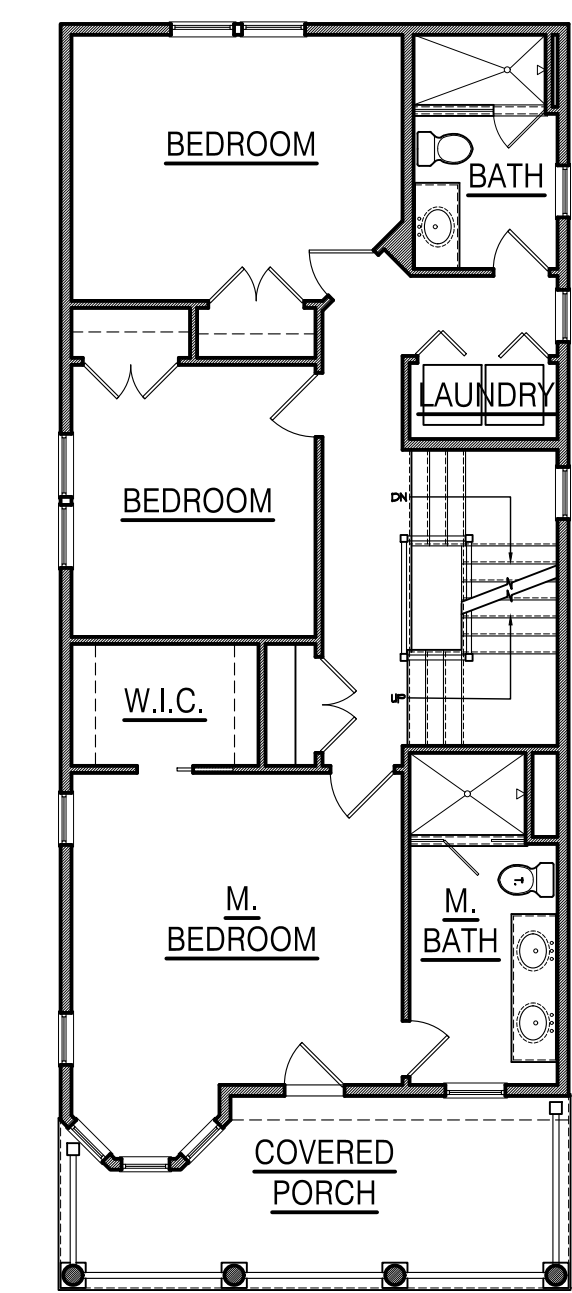
FRONT ELEVATION  
1/4"=1'-0"



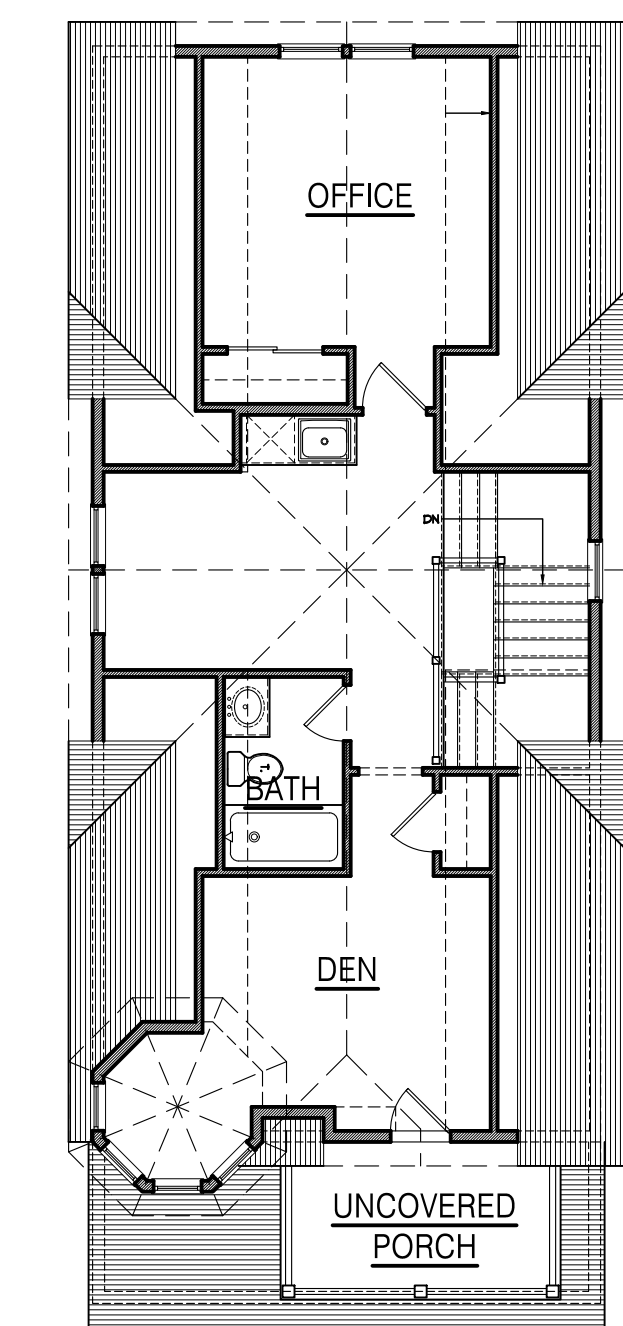
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
AIA 100-1000000

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-A PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/1/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

**A-15**  
NORTH END

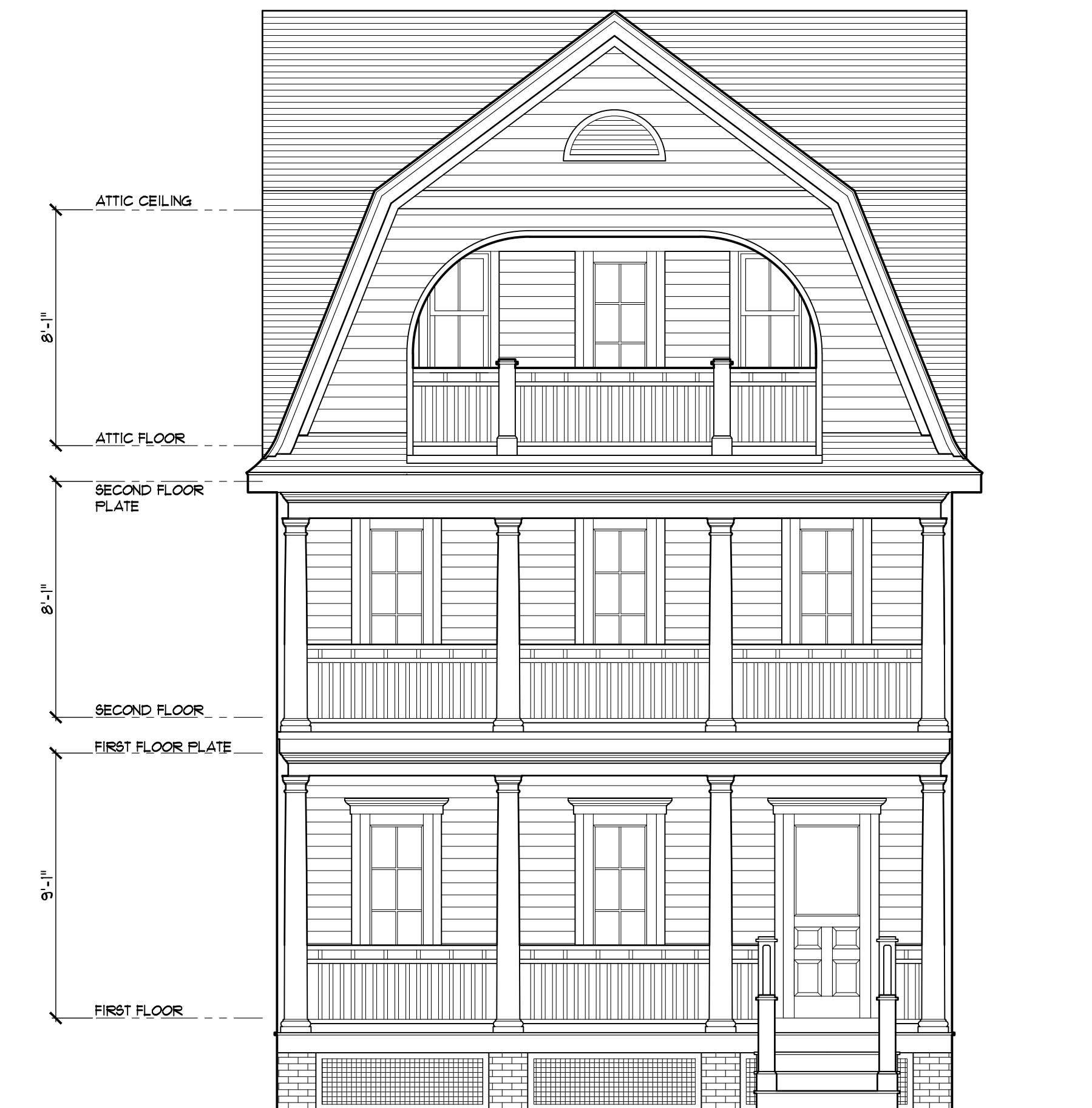




REAR ELEVATION  
1/4"=1'-0"



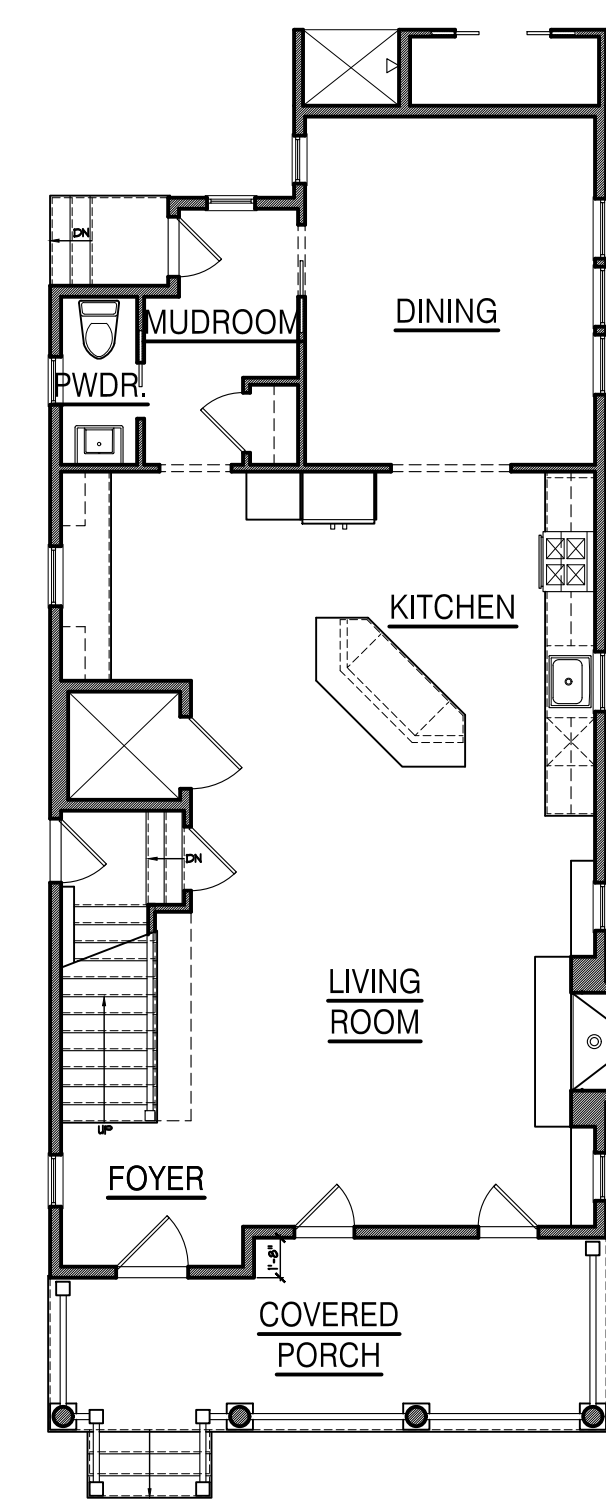
LEFT SIDE ELEVATION  
1/4"=1'-0"



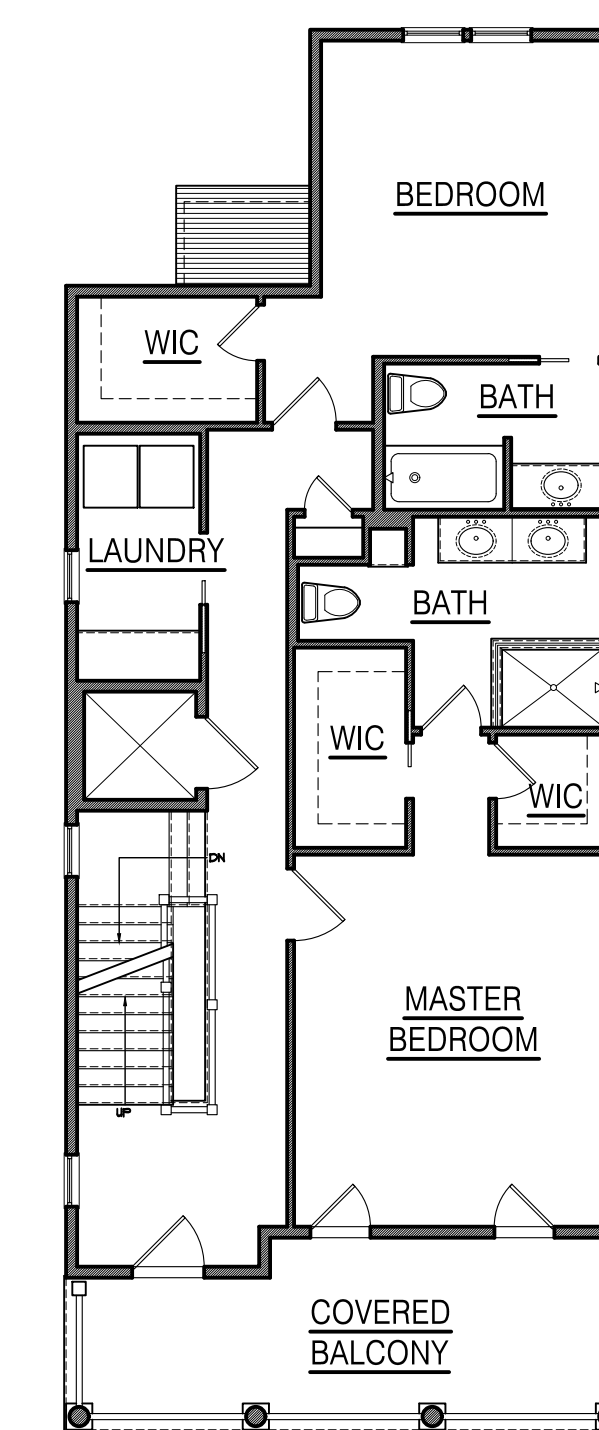
FRONT ELEVATION  
1/4"=1'-0"



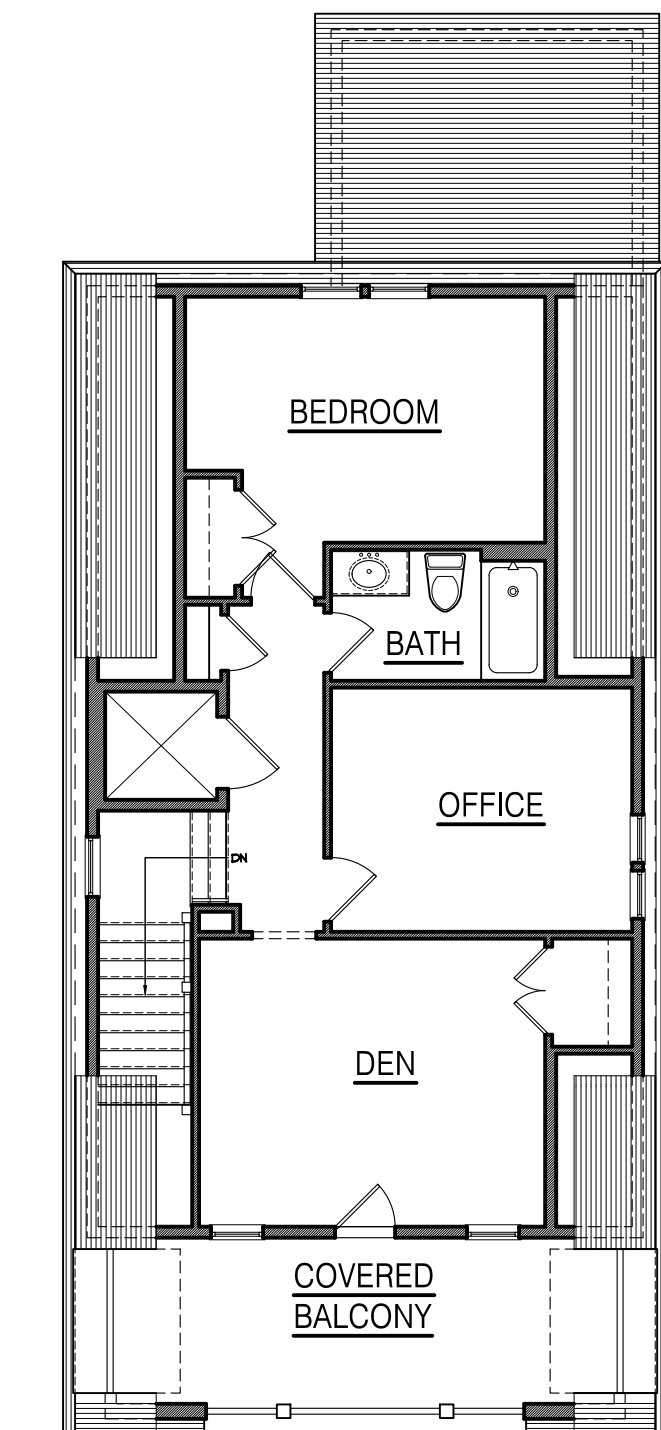
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



HALF-STORY PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Callahan, AIA  
AIA 100-1000000

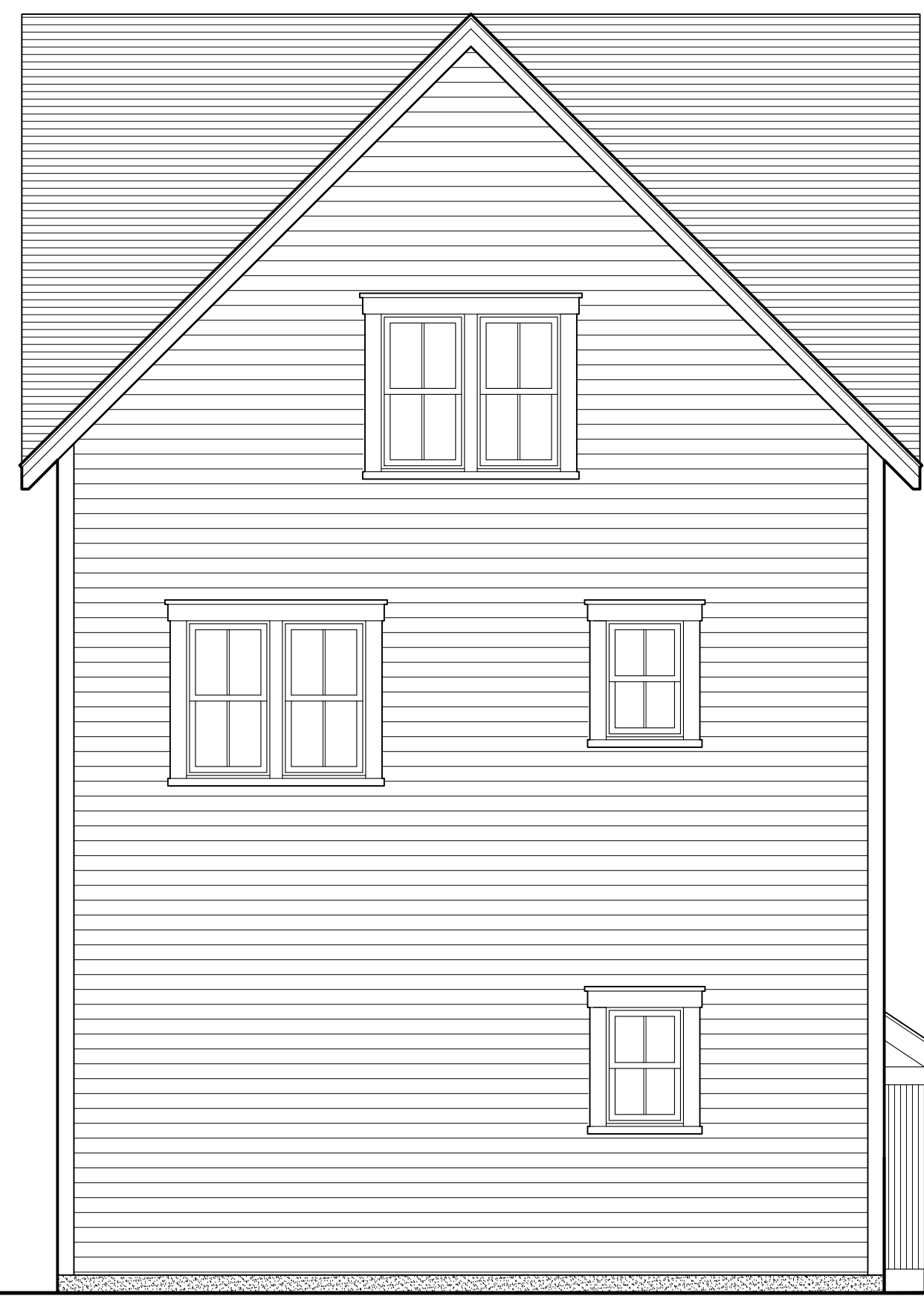
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-B PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPS REVISIONS
6/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/11/2022	HPS REVISIONS
2/17/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
2018-23

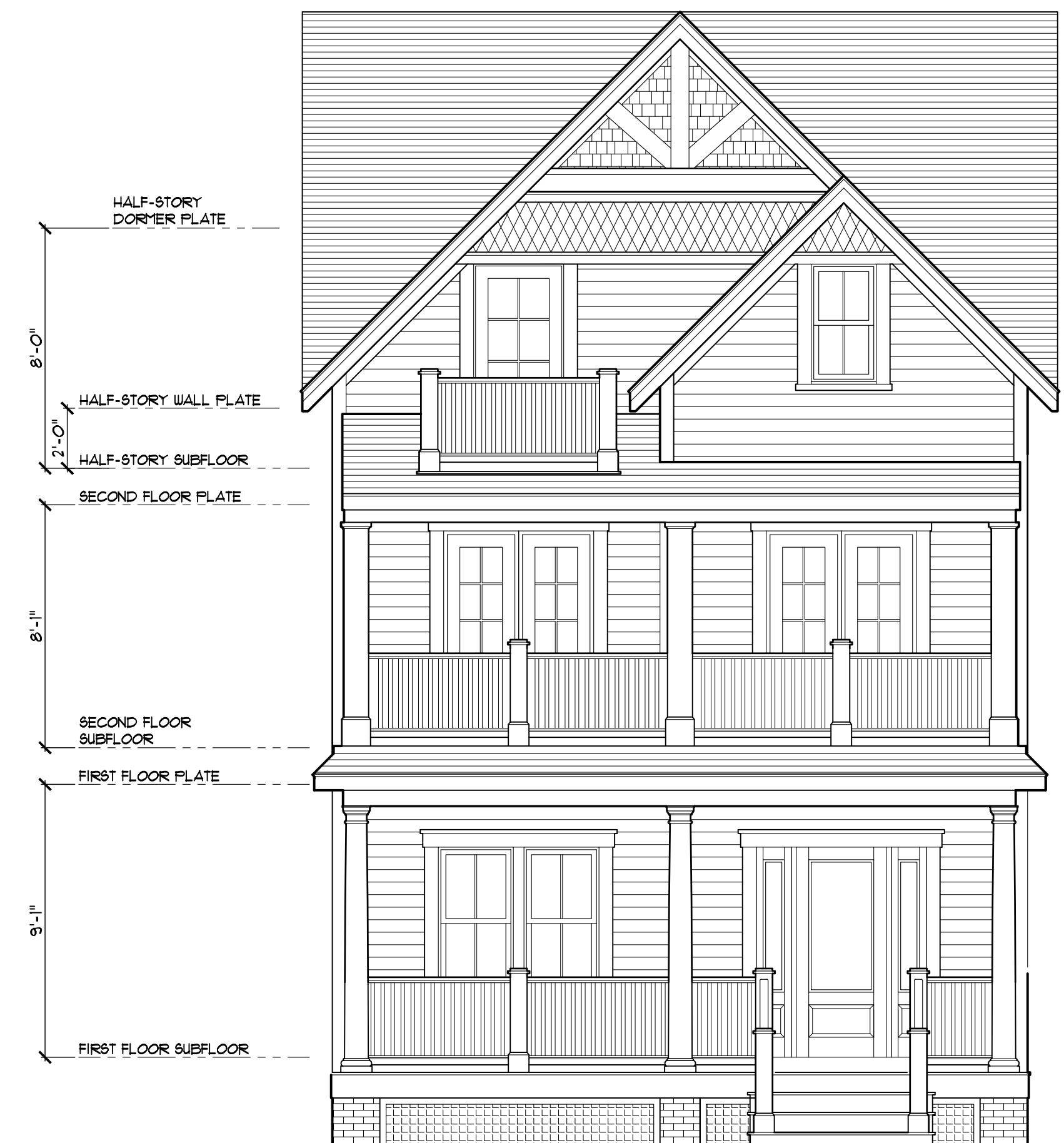
**A-16**  
NORTH END



REAR ELEVATION  
1/4"=1'-0"



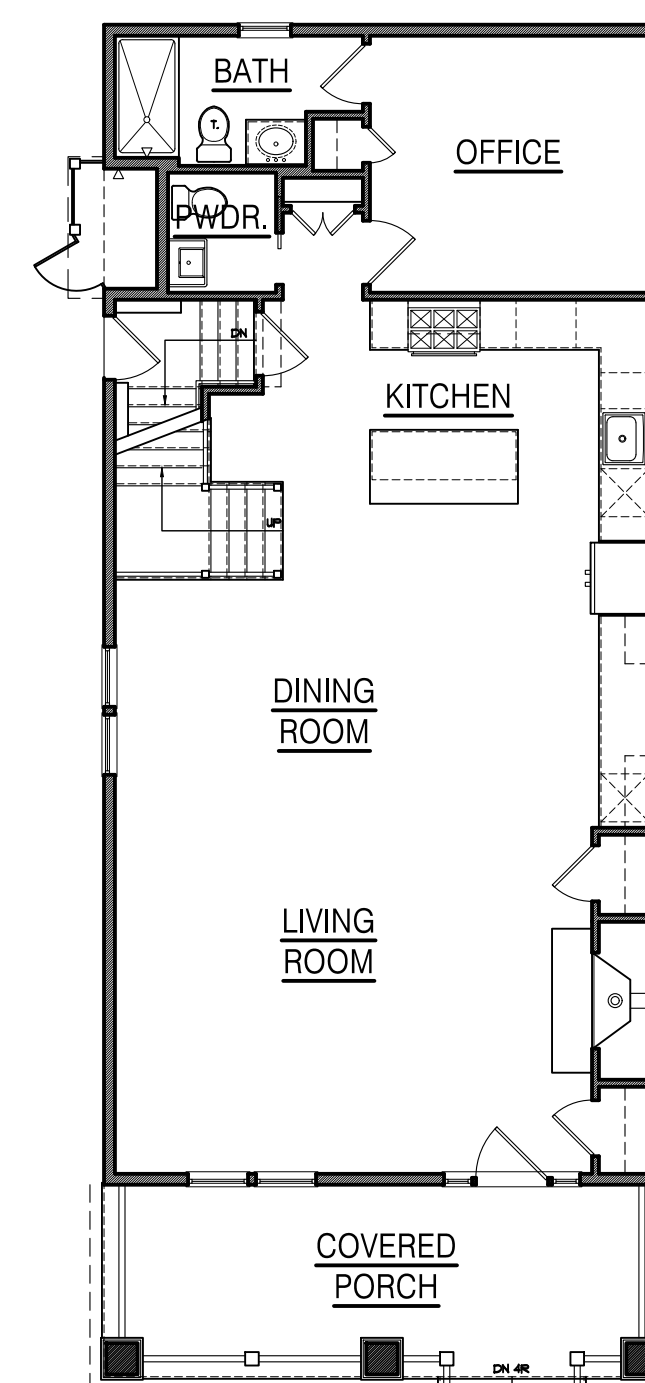
LEFT SIDE ELEVATION  
1/4"=1'-0"



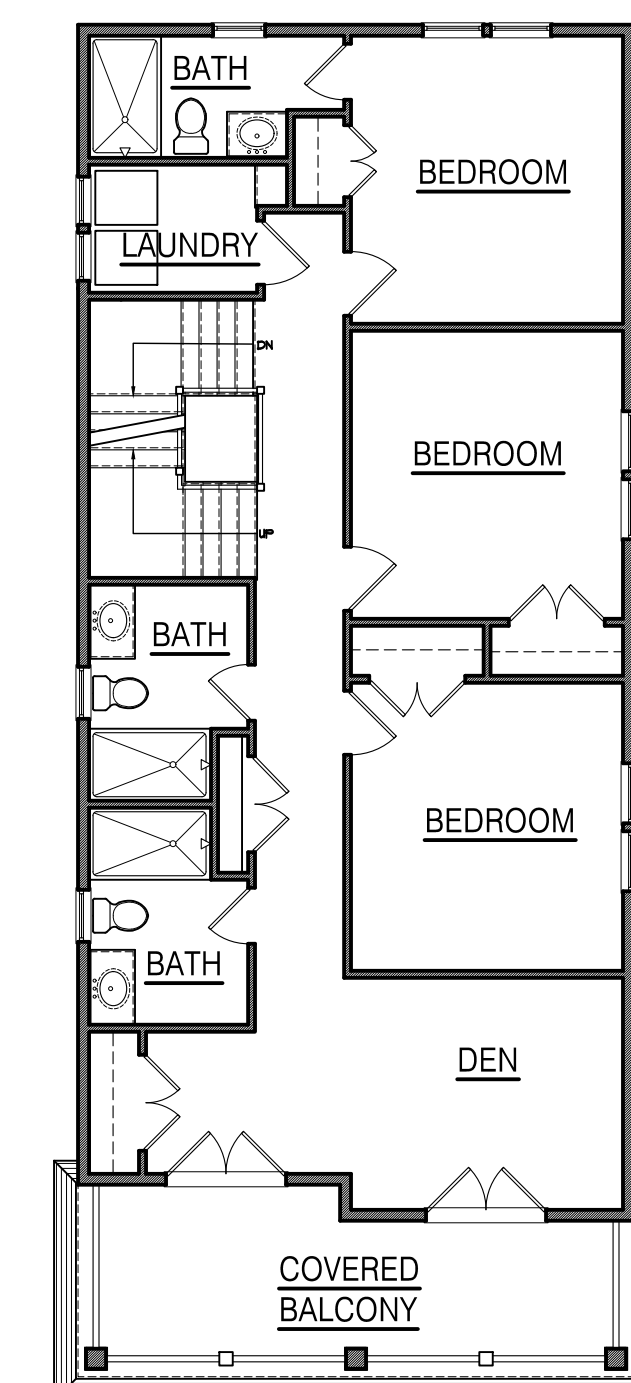
FRONT ELEVATION  
1/4"=1'-0"



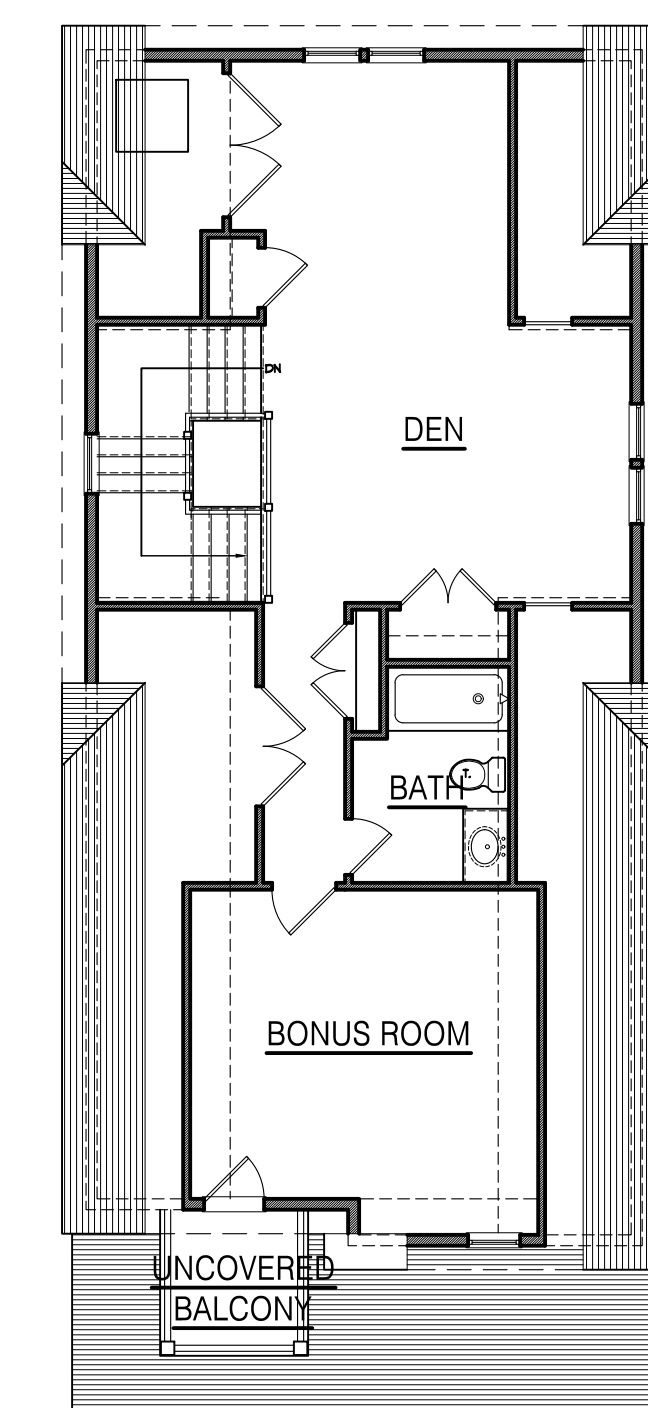
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



HALF-STORY PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Callahan, AIA  
AIA 100-1000000

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-C PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPS REVISIONS
6/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/17/2022	HPS REVISIONS
7/17/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
2018-23

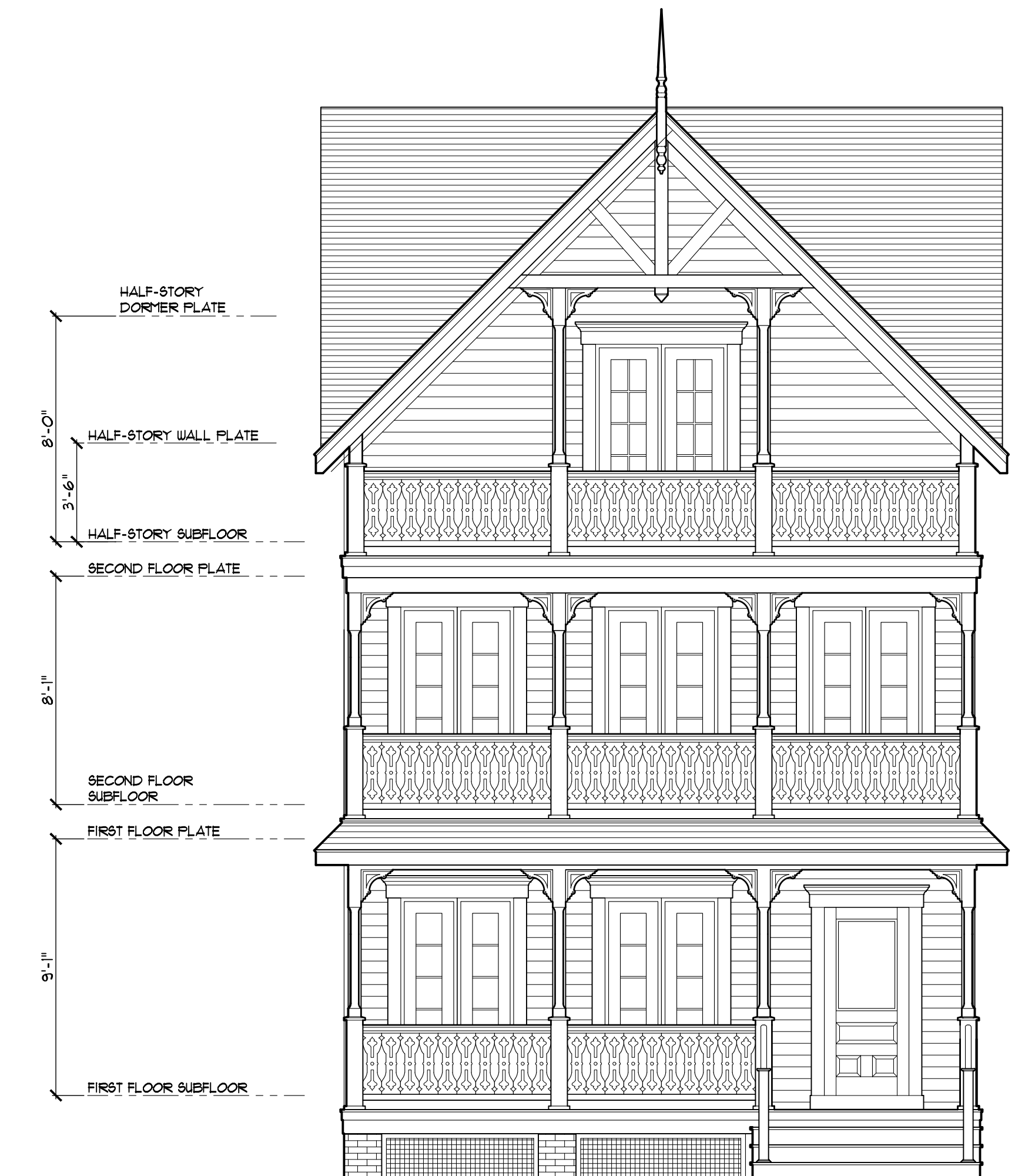
**A-17**  
NORTH END



REAR ELEVATION  
1/4"=1'-0"



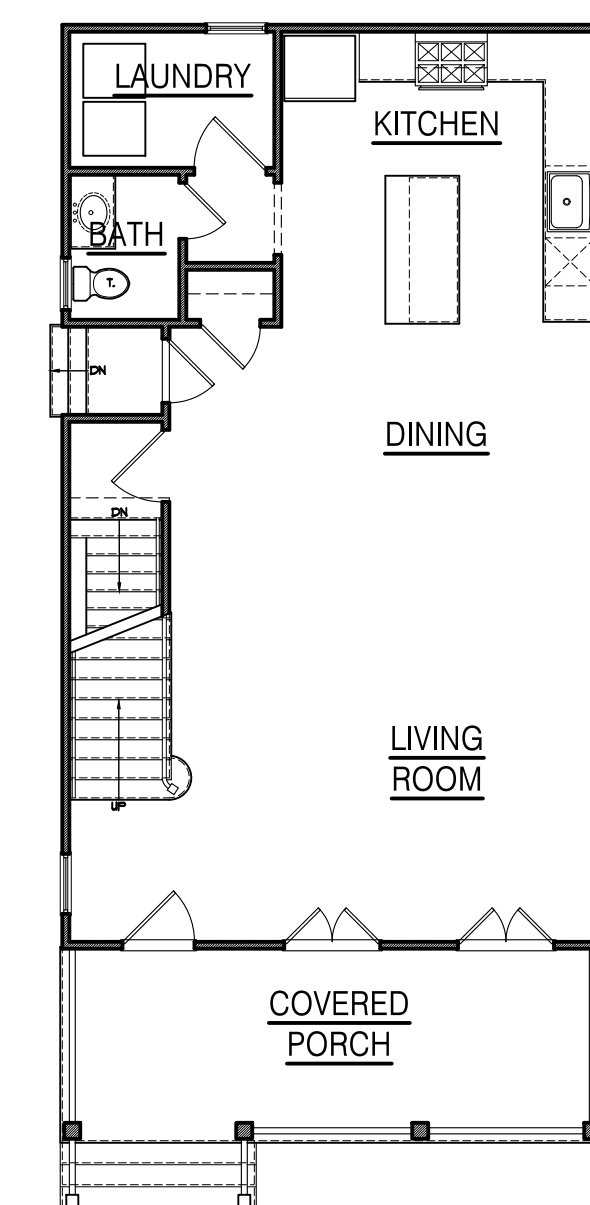
LEFT SIDE ELEVATION  
1/4"=1'-0"



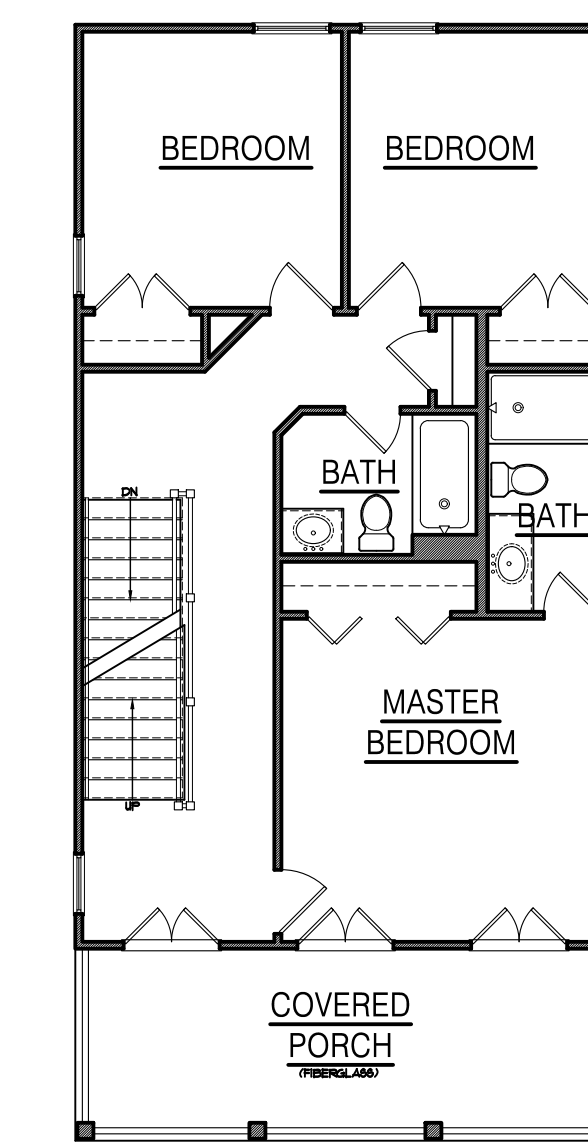
FRONT ELEVATION  
1/4"=1'-0"



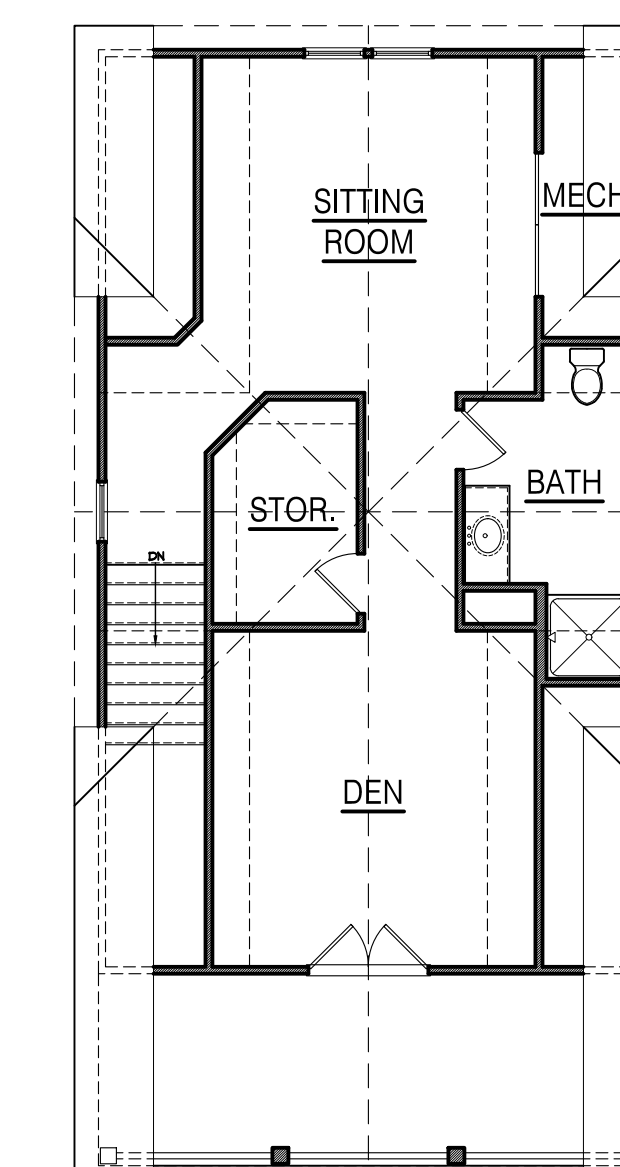
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
AIA 100-1000000

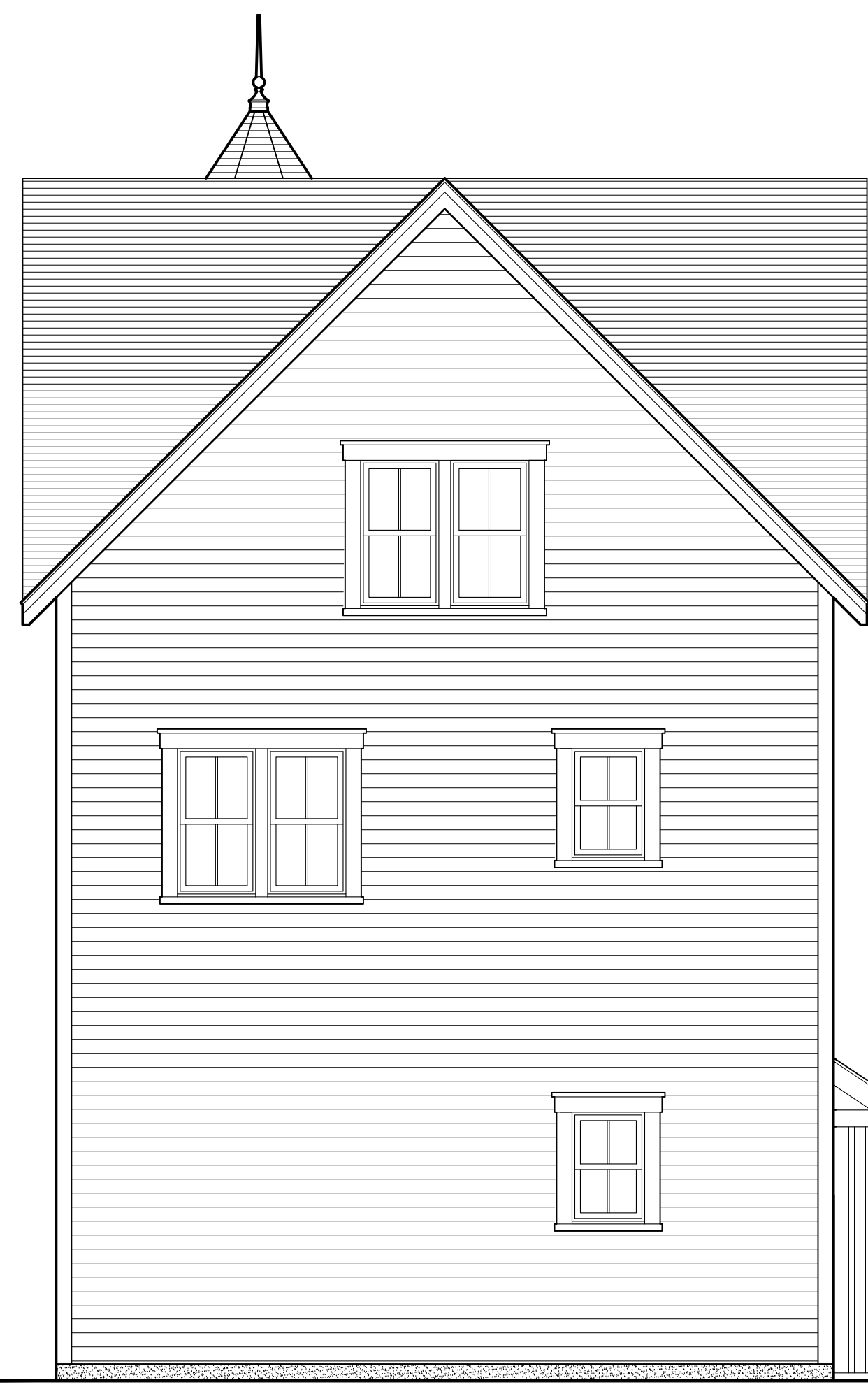
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-D PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPS REVISIONS
6/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/11/2022	HPS REVISIONS
7/17/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
2018-23

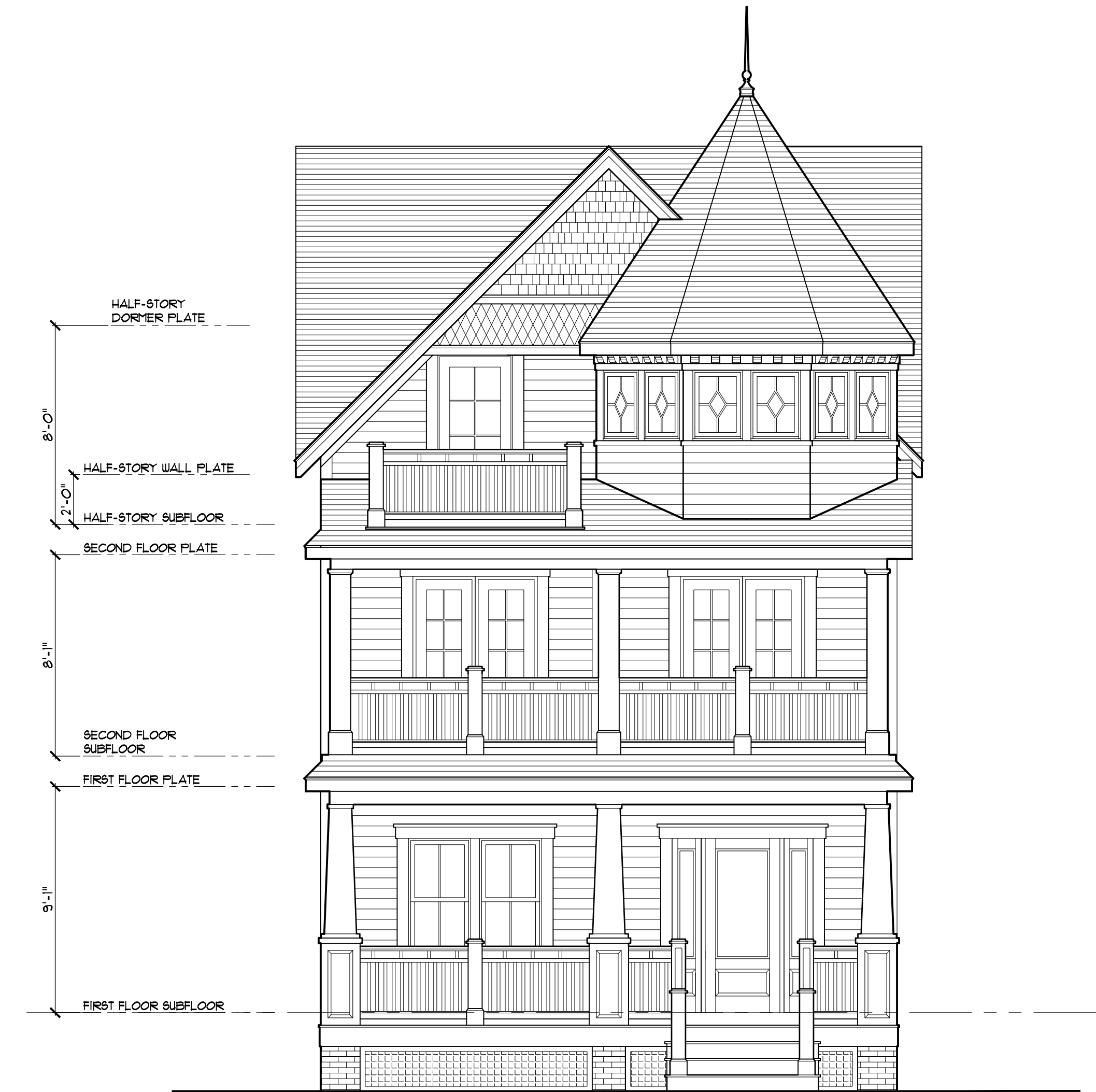
**A-18**  
NORTH END



REAR ELEVATION  
1/4"=1'-0"



LEFT SIDE ELEVATION  
1/4"=1'-0"

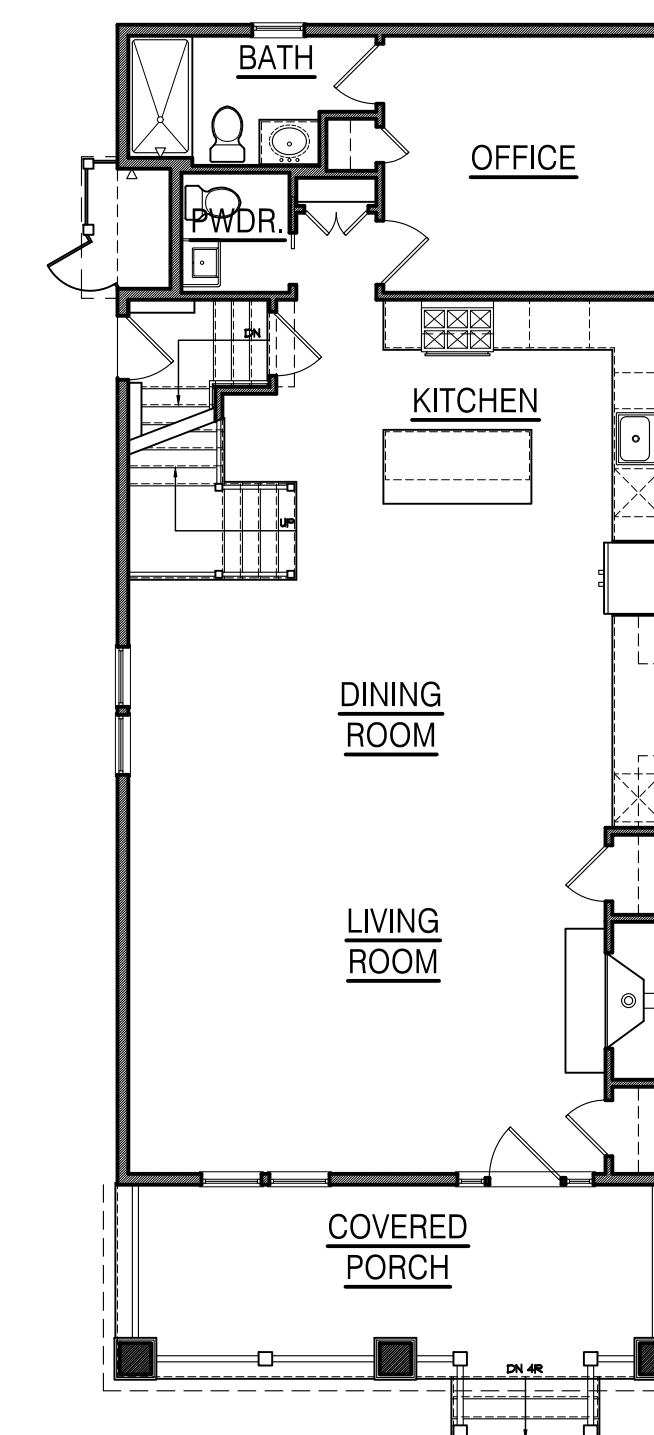


FRONT ELEVATION  
1/4"=1'-0"

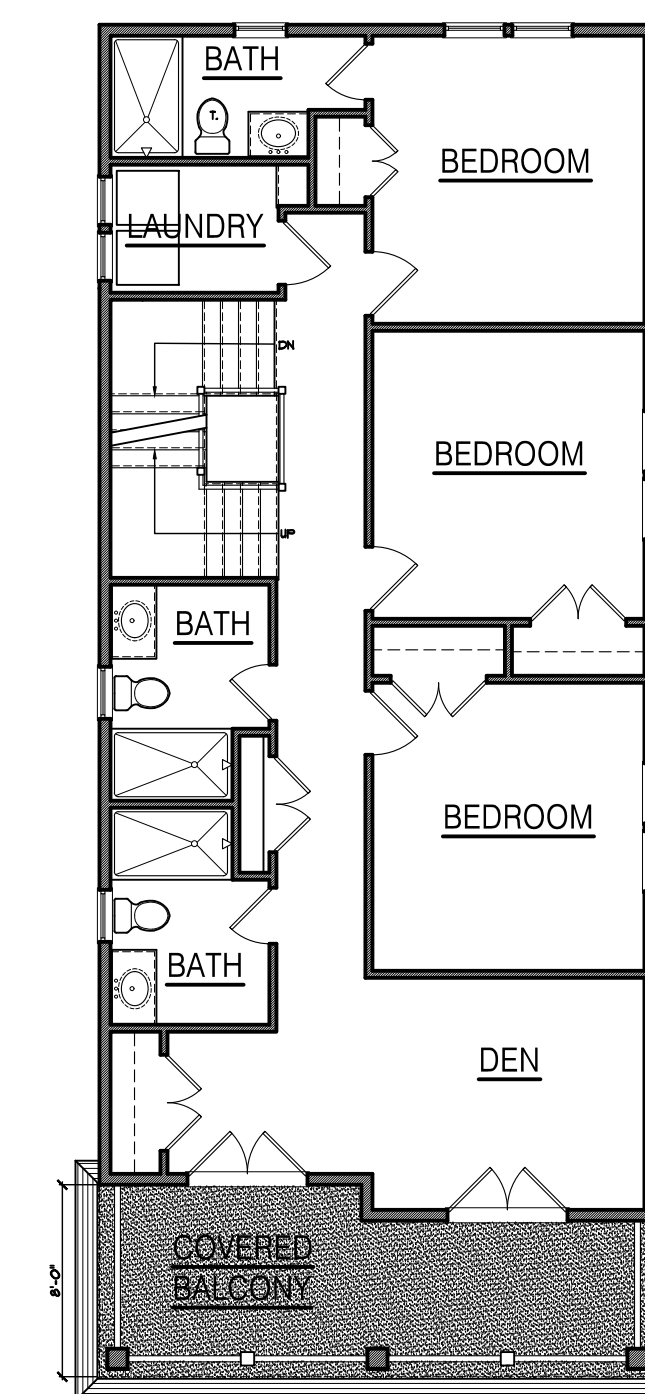
HALF-STORY DORMER PLATE  
8'-0"  
HALF-STORY WALL PLATE  
1'-0"  
HALF-STORY SUBFLOOR  
SECOND FLOOR PLATE  
8'-11"  
SECOND FLOOR SUBFLOOR  
FIRST FLOOR PLATE  
9'-11"  
FIRST FLOOR SUBFLOOR



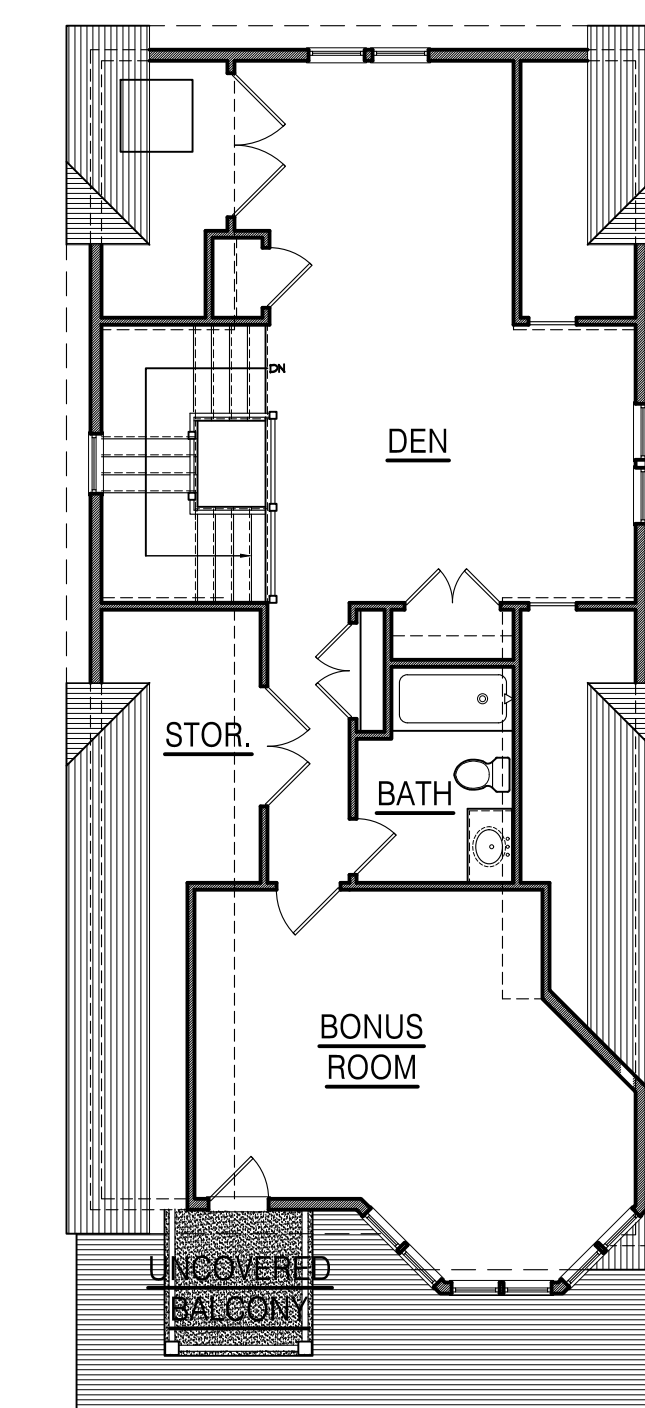
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE  
*[Signature]*  
Suzanne J. Callahan, AIA  
AIA 100-1000000

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-E PLANS & ELEVATIONS  
DRAWN: JG  
SCALE: AS SHOWN

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

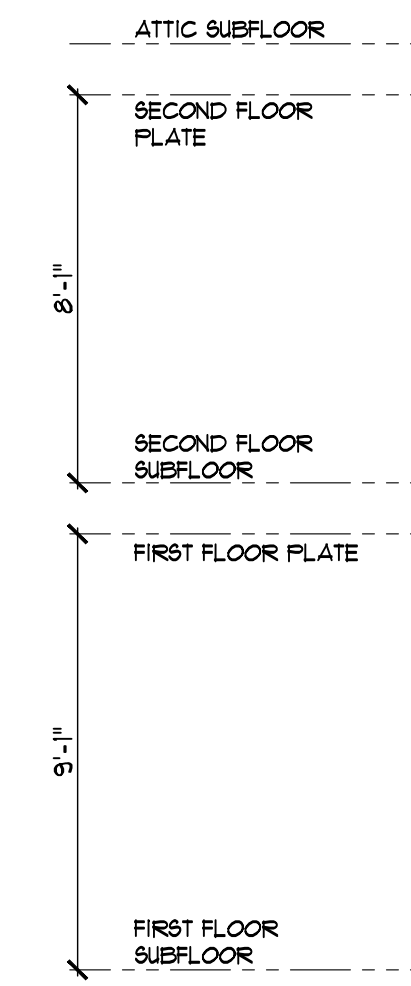
**A-19**  
NORTH END



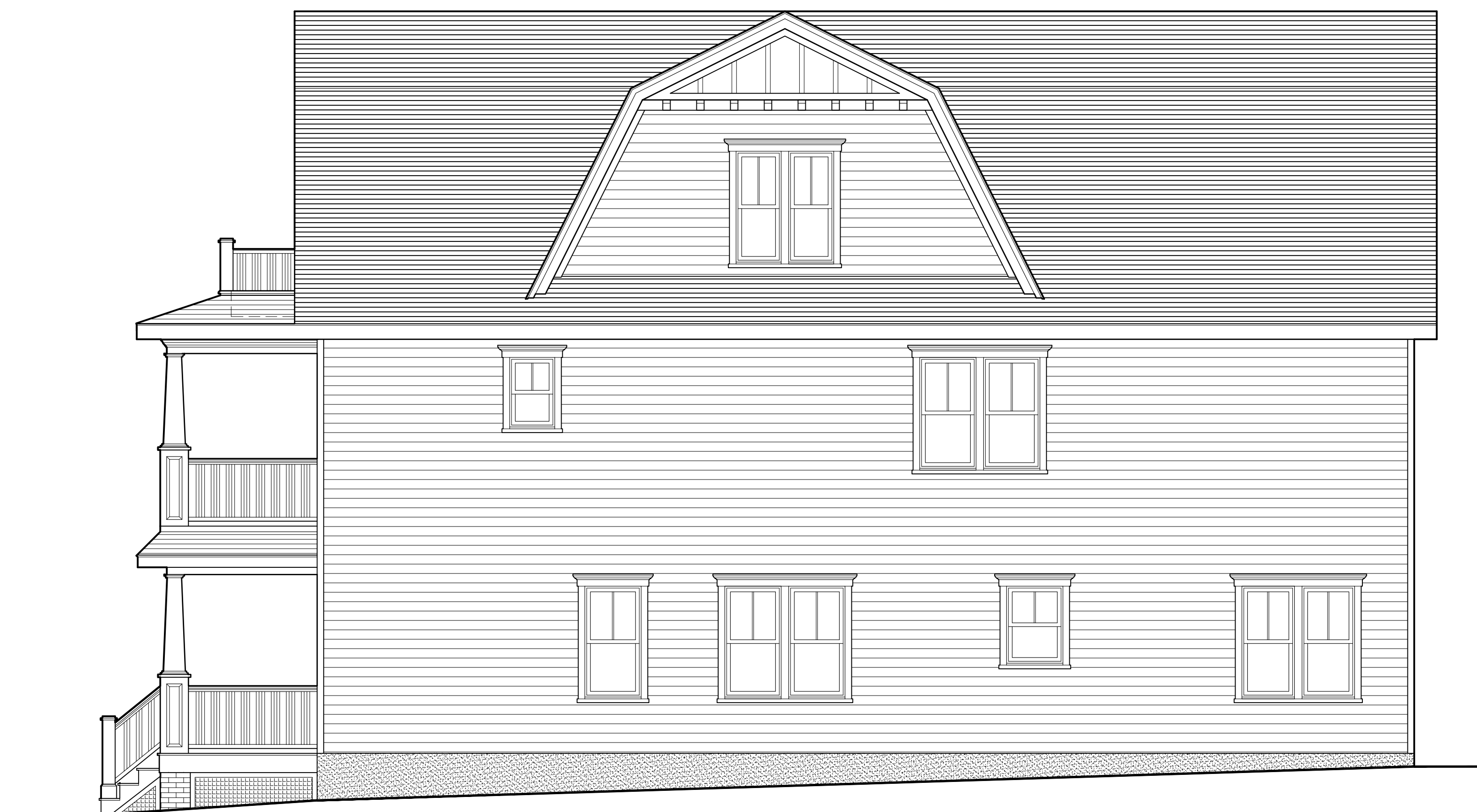
REAR ELEVATION  
1/4"=1'-0"



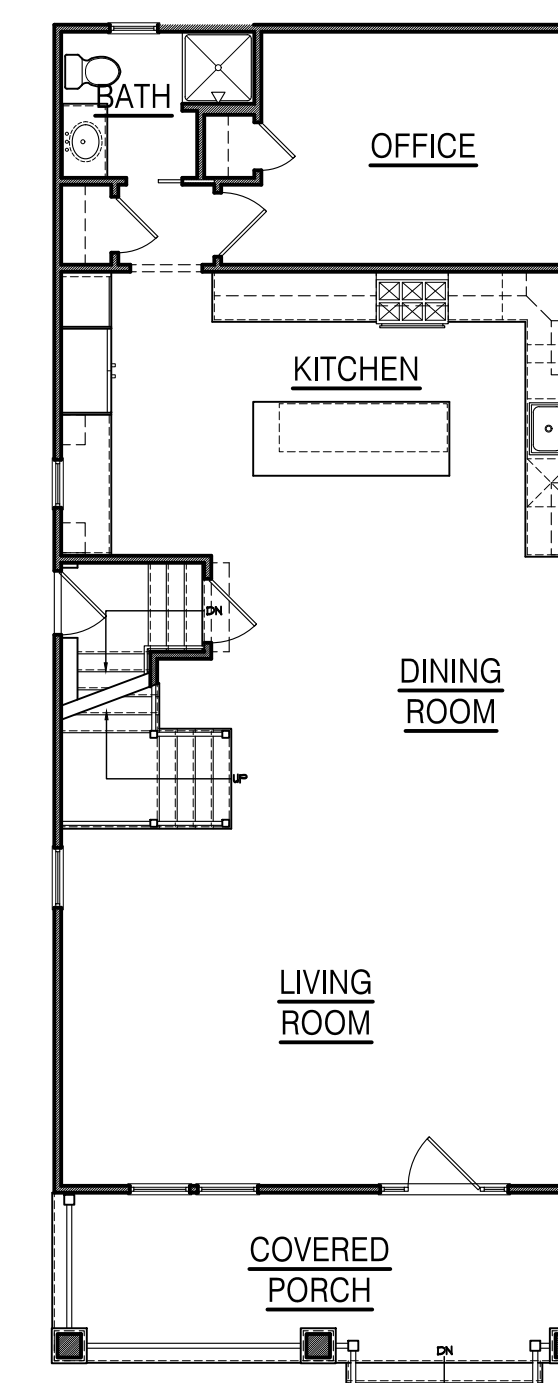
SIDE (WEST) ELEVATION  
1/4"=1'-0"



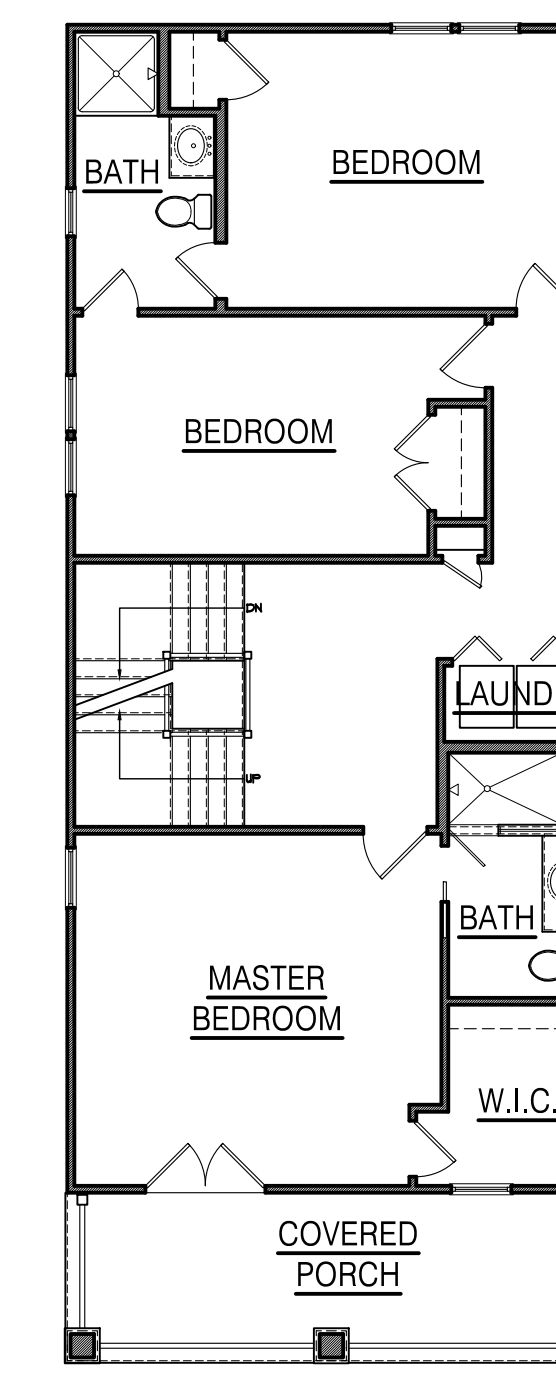
FRONT ELEVATION  
1/4"=1'-0"



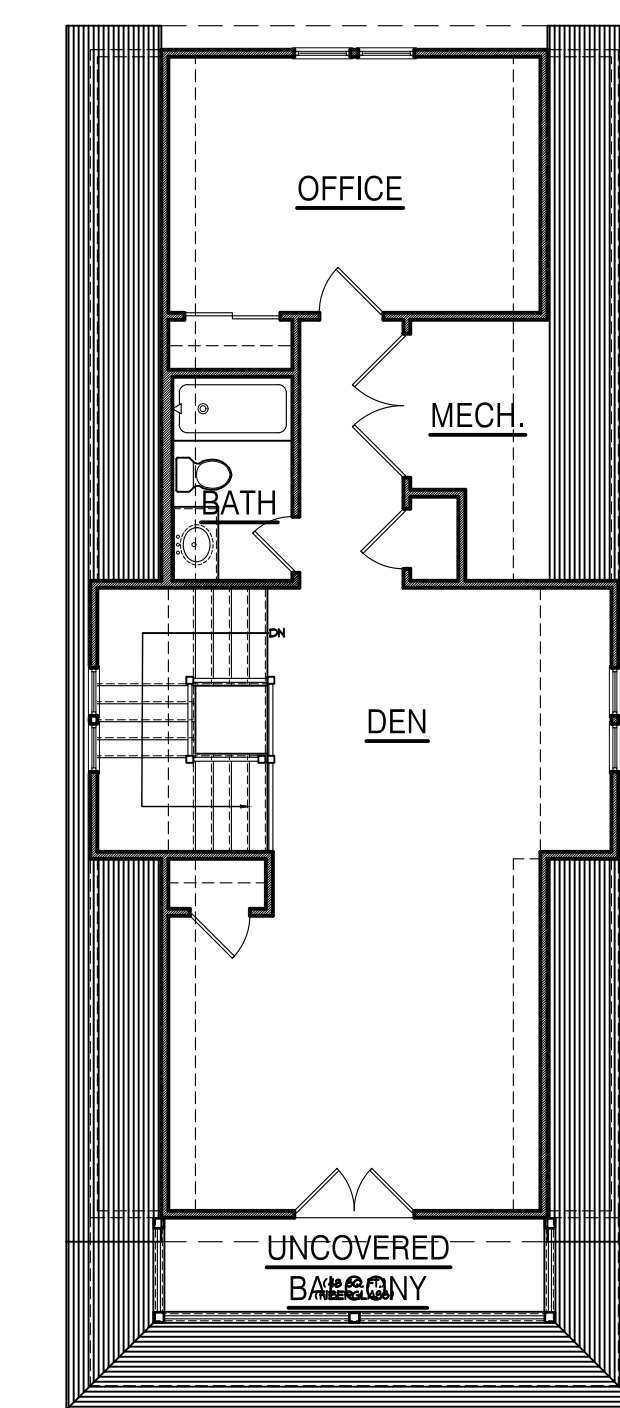
SIDE (EAST) ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SEAL  
*[Signature]*  
Suzanne J. Callegre, AIA  
NJ State Architect

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7200 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-F PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPS REVISIONS
6/9/2021	HPS REVISIONS
10/27/2021	HPS REVISIONS
5/11/2022	HPS REVISIONS
7/17/2023	HPS REVISIONS
5/23/2023	HPS REVISIONS
6/30/2023	HPS REVISIONS

JOB NUMBER  
2018-23

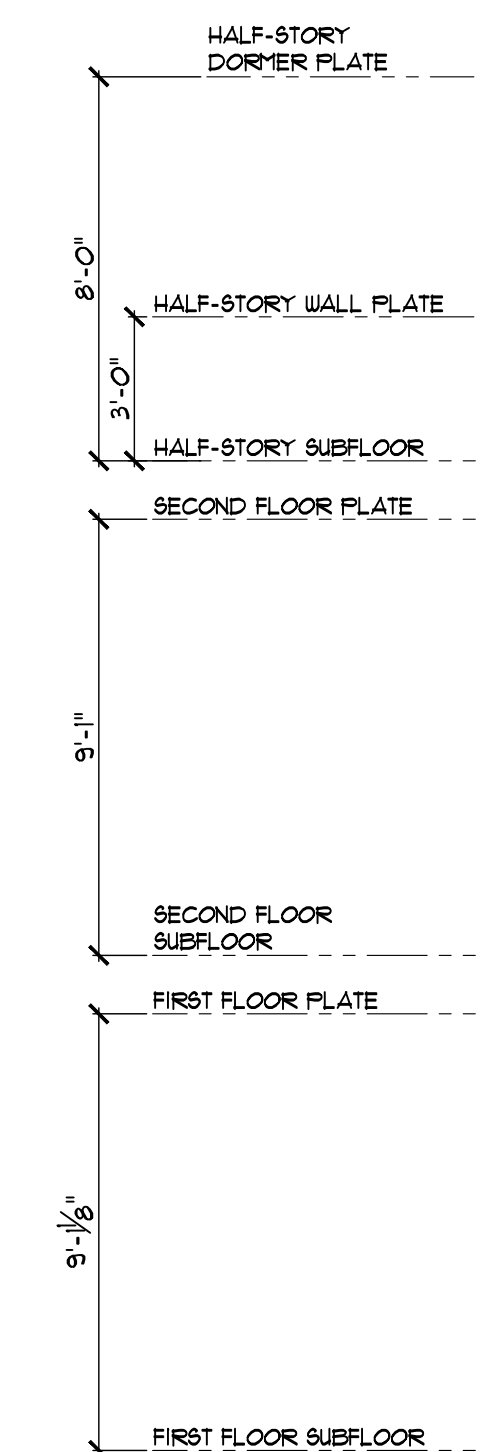
**A-20**  
NORTH END



REAR ELEVATION  
1/4"=1'-0"



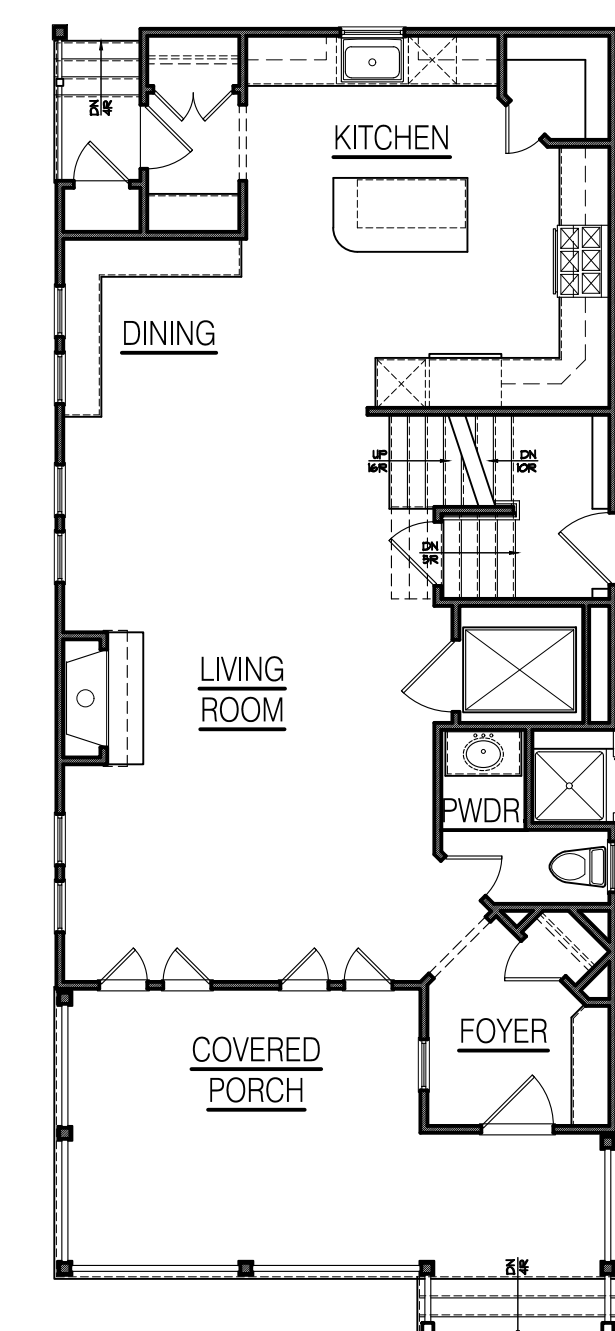
LEFT SIDE ELEVATION  
1/4"=1'-0"



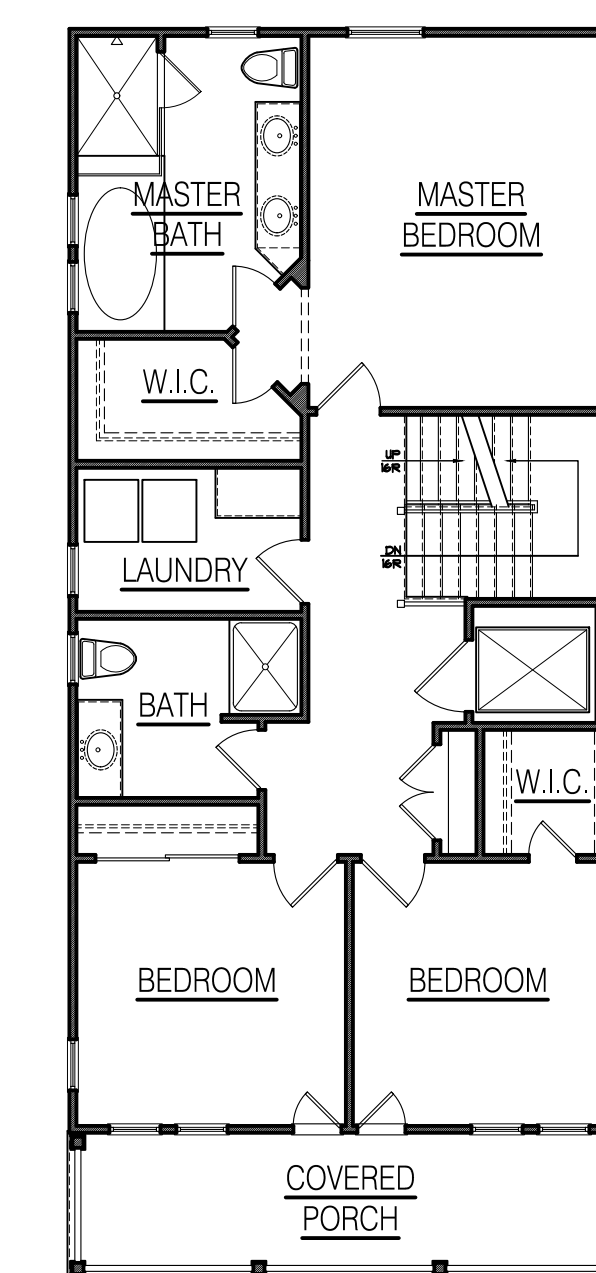
FRONT ELEVATION  
1/4"=1'-0"



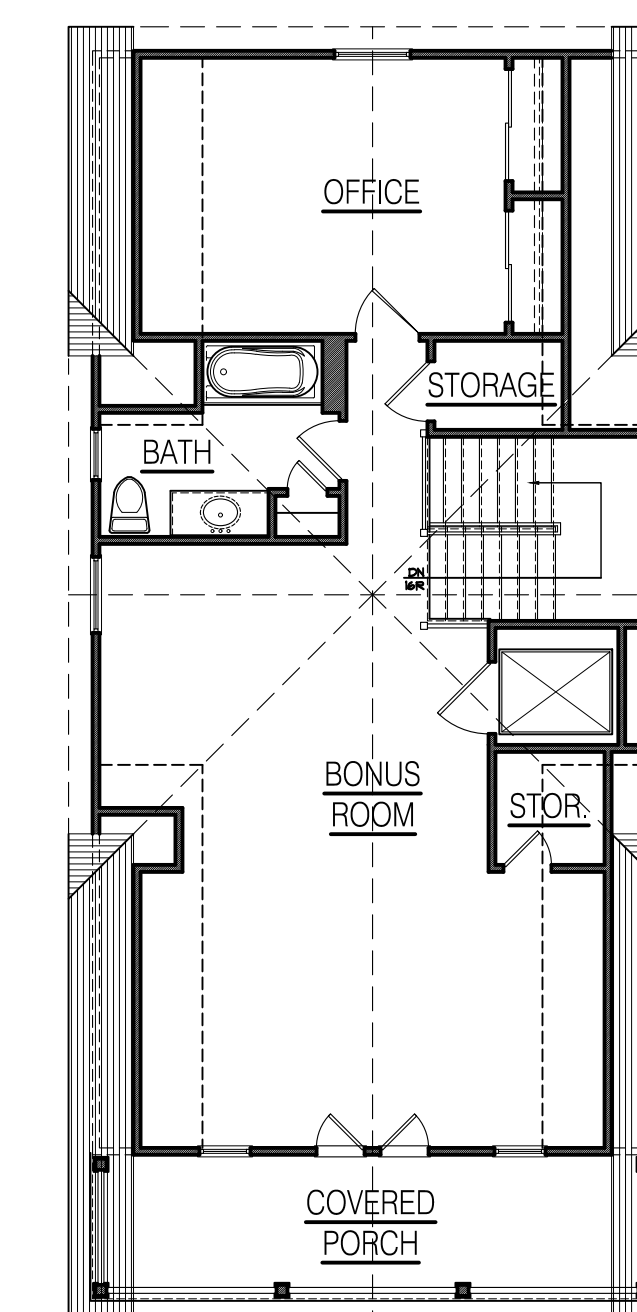
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
AIA #134888

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-G PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
2/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

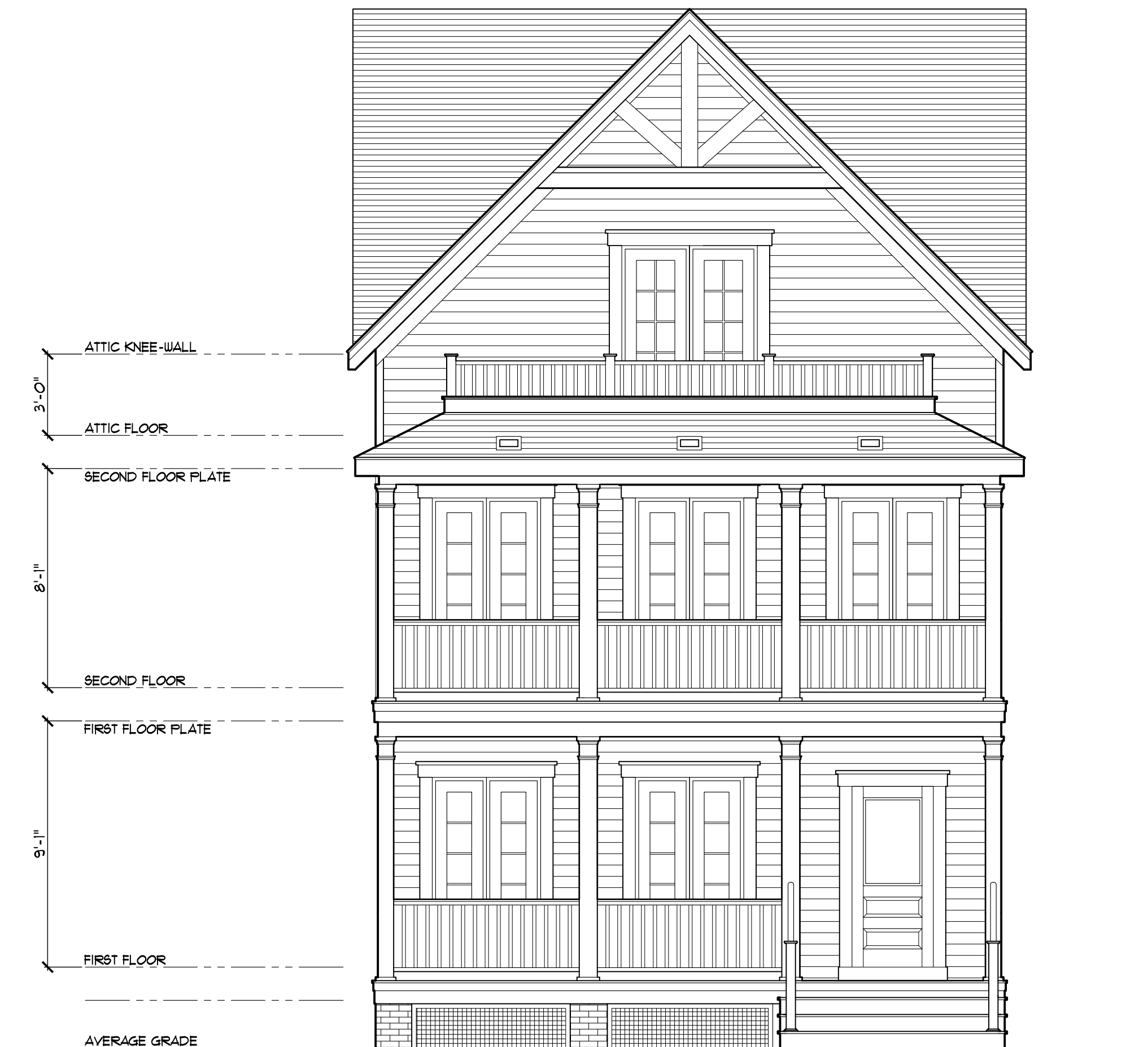
**A-21**  
NORTH END



REAR ELEVATION  
1/4"=1'-0"



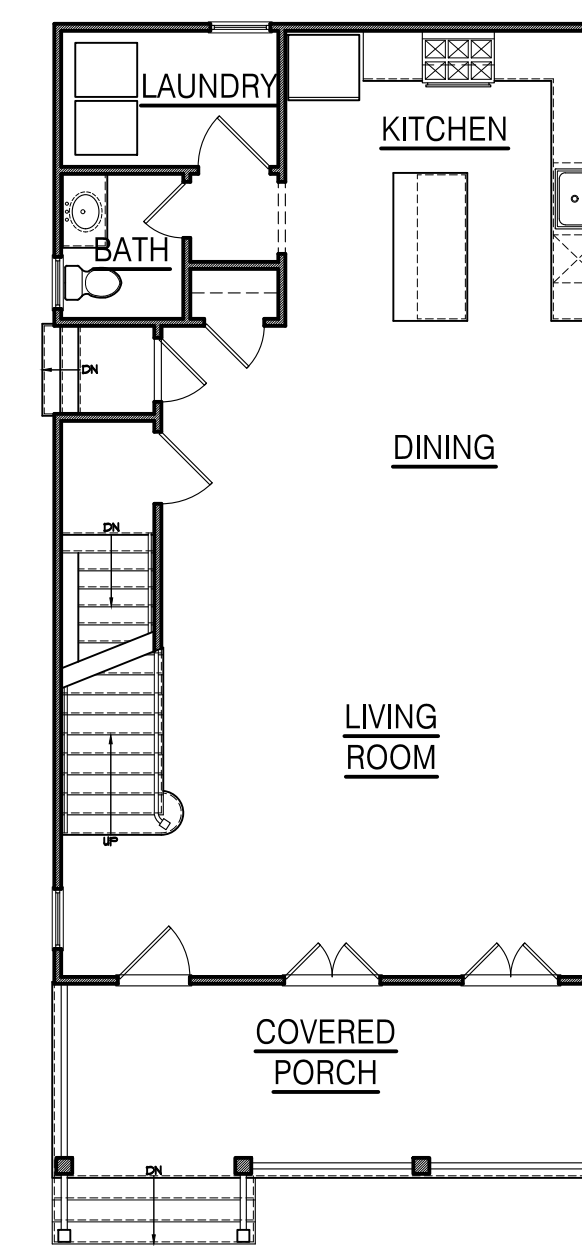
LEFT SIDE ELEVATION  
1/4"=1'-0"



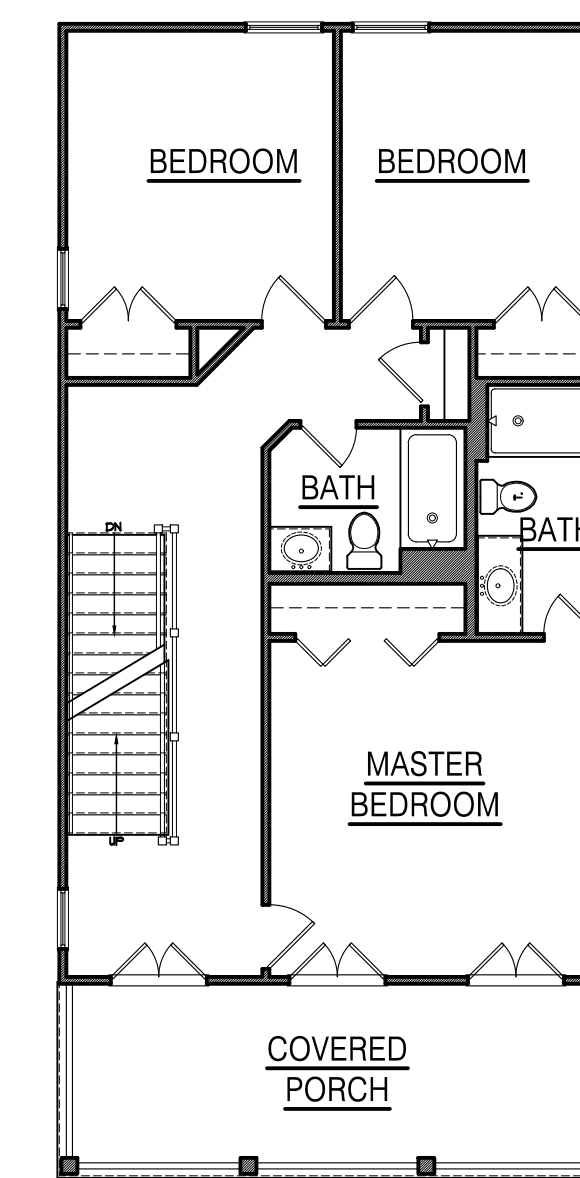
FRONT ELEVATION  
1/4"=1'-0"



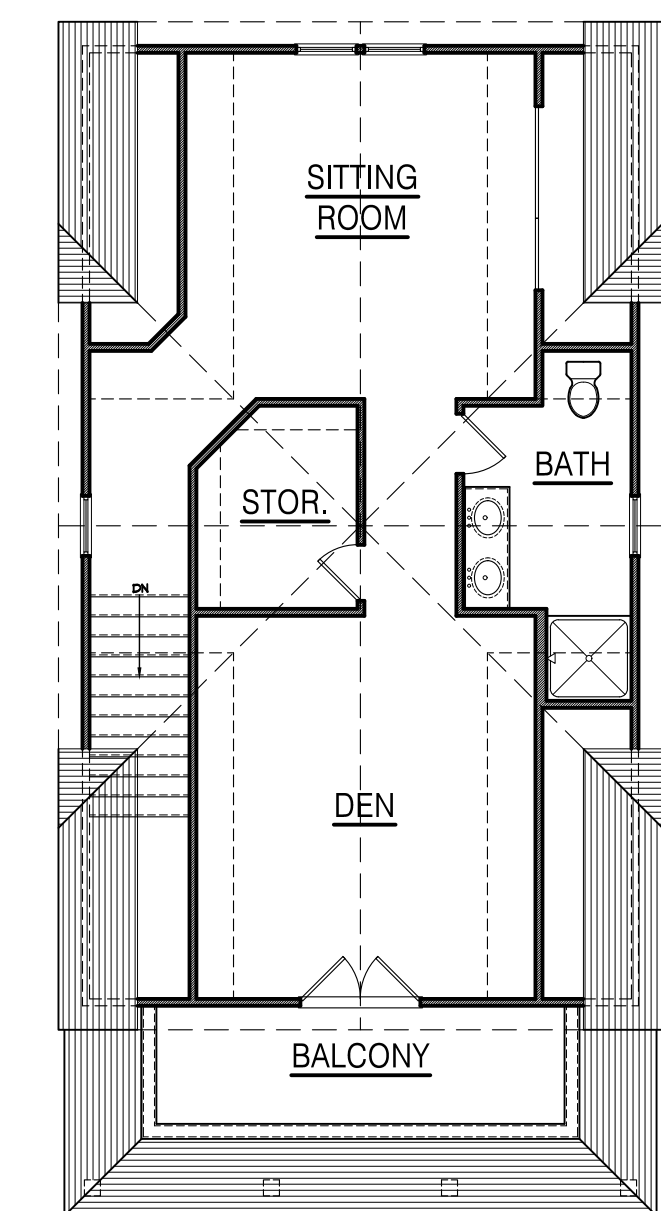
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SEAL  
*[Signature]*  
Suzanne J. Callegro, AIA  
Professional Architect

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-H PLANS & ELEVATIONS  
DRAWN: JG  
SCALE: AS SHOWN

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

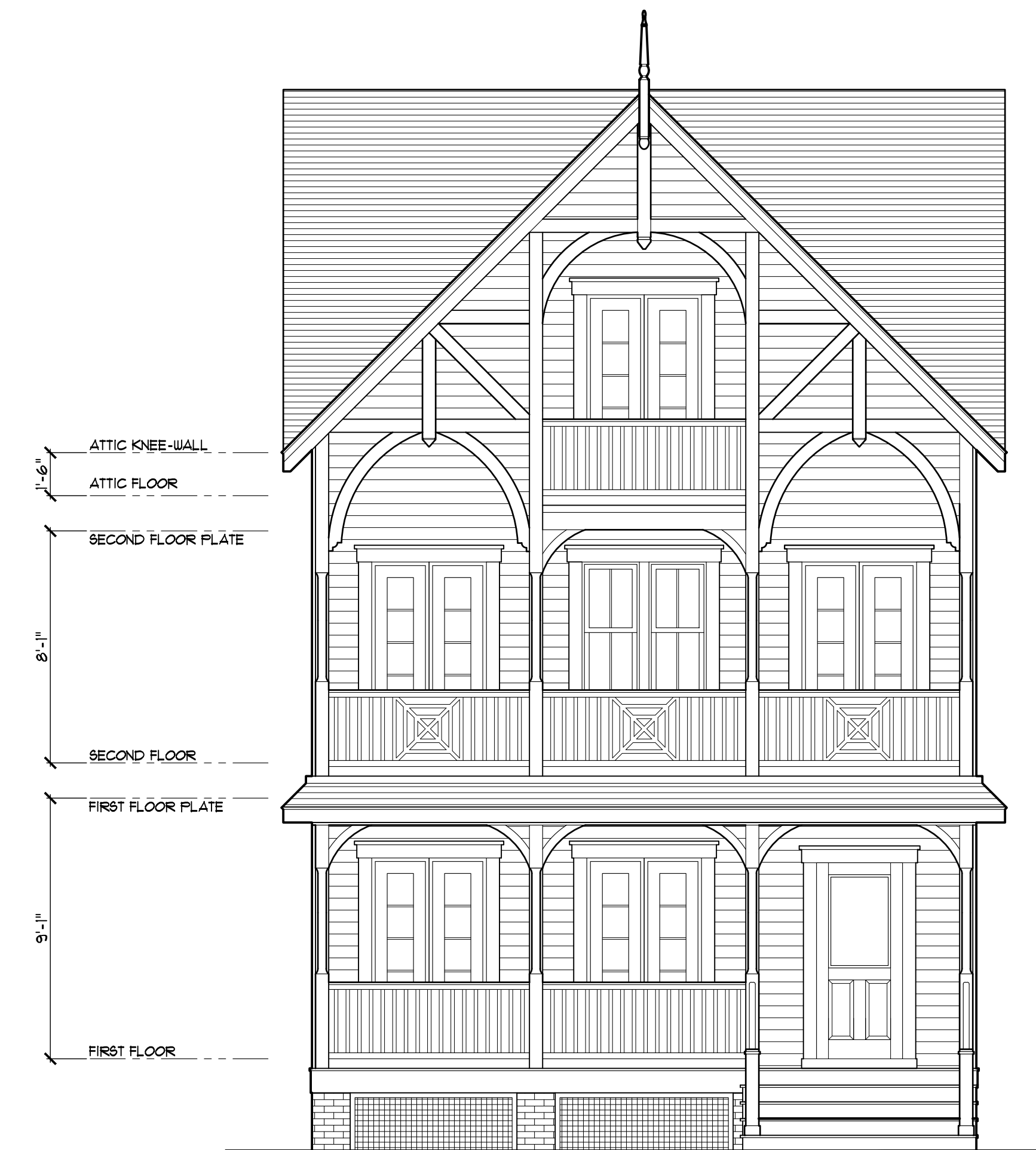
**A-22**  
NORTH END



REAR ELEVATION  
1/4"=1'-0"



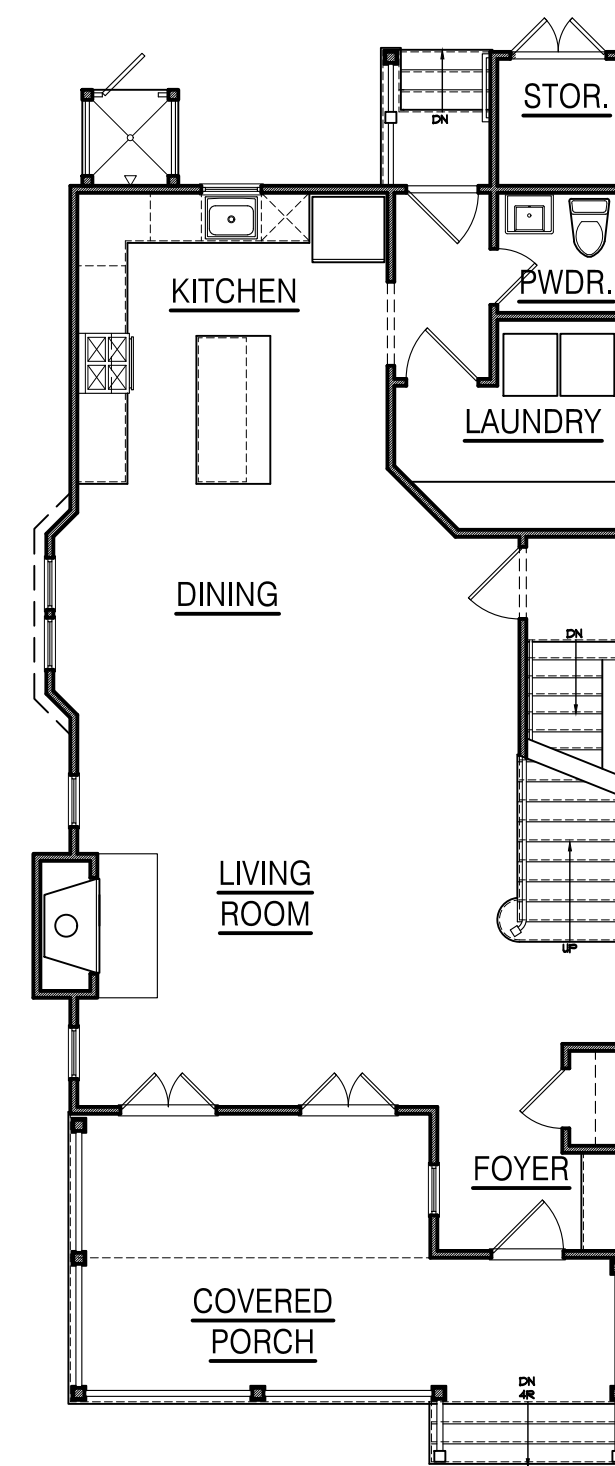
LEFT SIDE ELEVATION  
1/4"=1'-0"



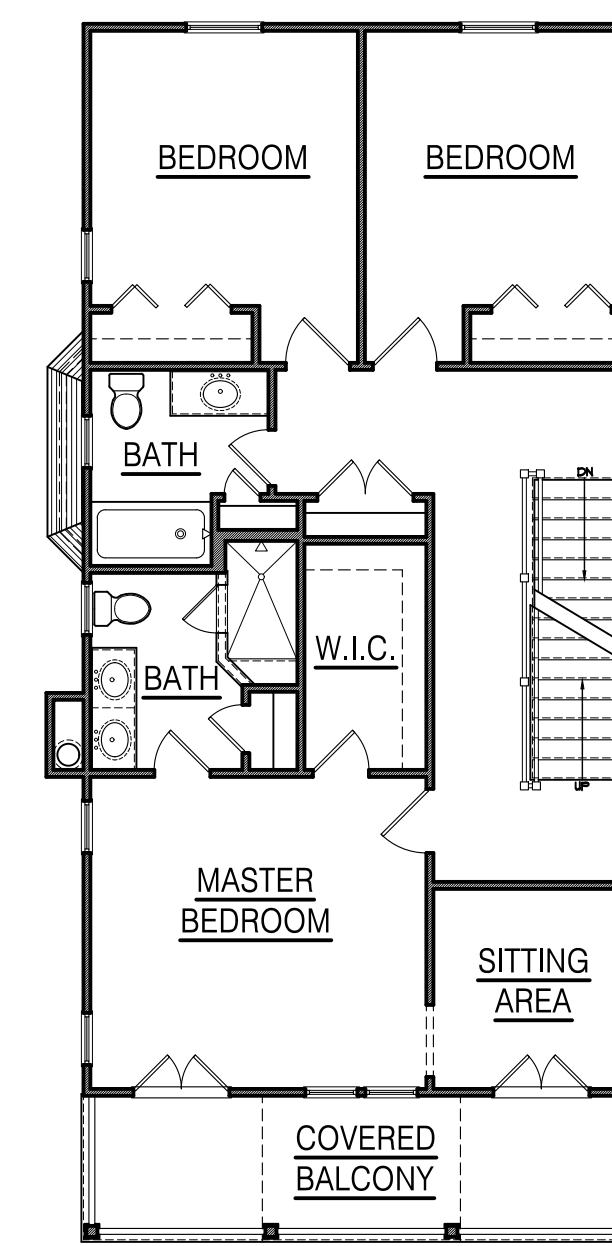
FRONT ELEVATION  
1/4"=1'-0"



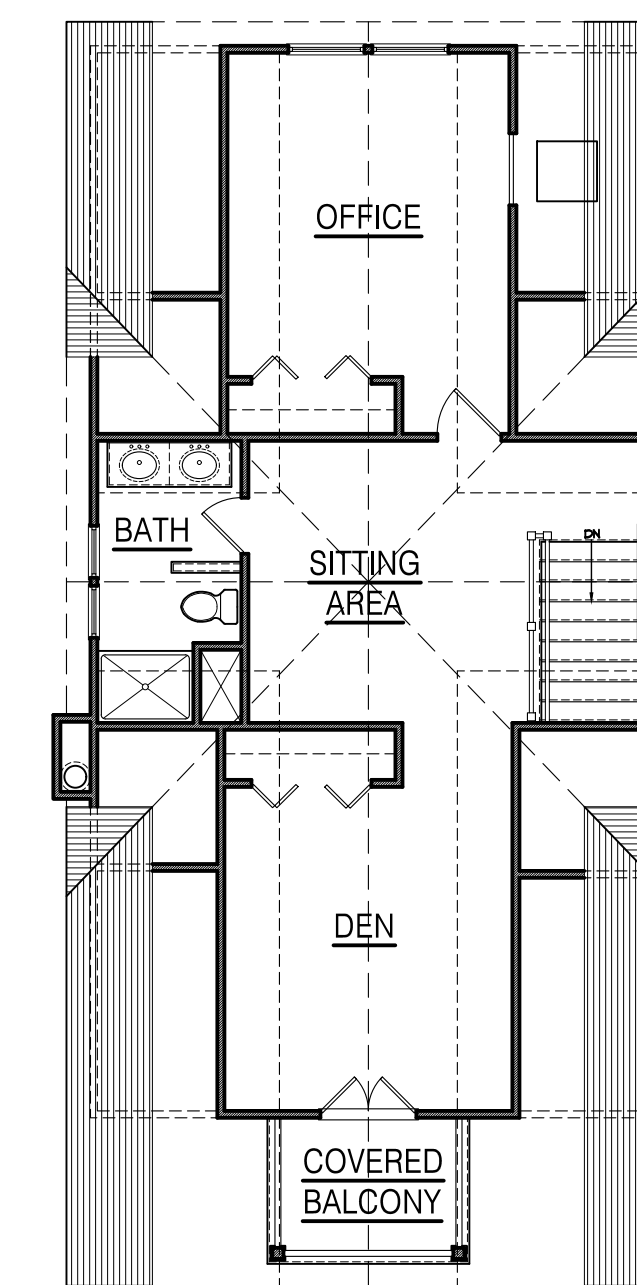
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SEAL  
*[Signature]*  
Suzanne J. Cardillo, AIA  
P.L.L.C. #00000000

**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street, Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-I PLANS & ELEVATIONS  
SCALE: AS SHOWN  
DRAWN: JG

DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
7/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

**A-23**  
NORTH END





REAR ELEVATION  
1/4"=1'-0"



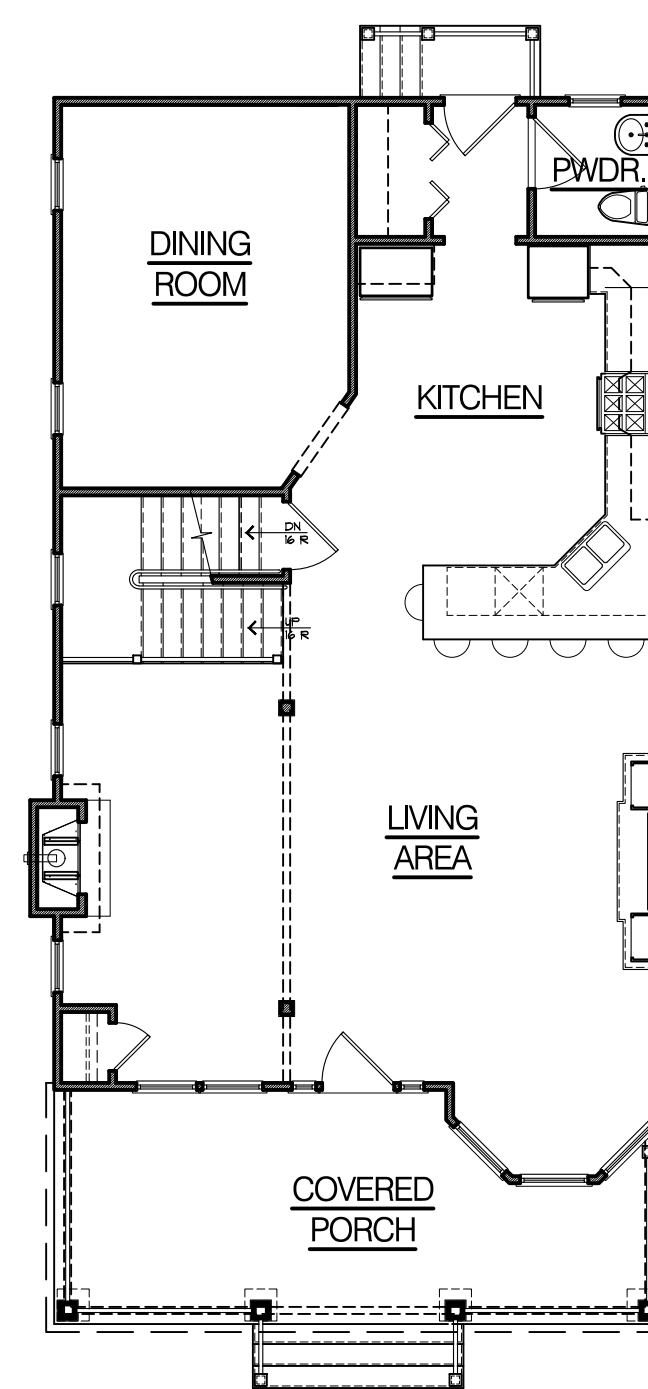
LEFT SIDE ELEVATION  
1/4"=1'-0"



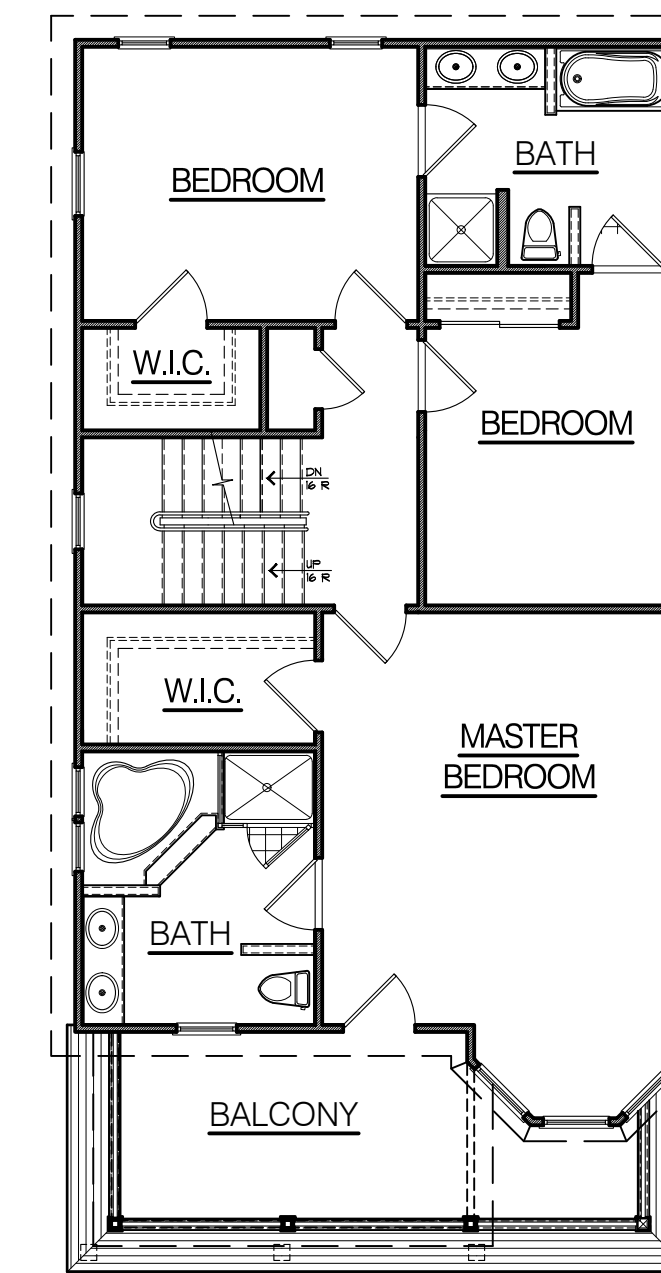
FRONT ELEVATION  
1/4"=1'-0"



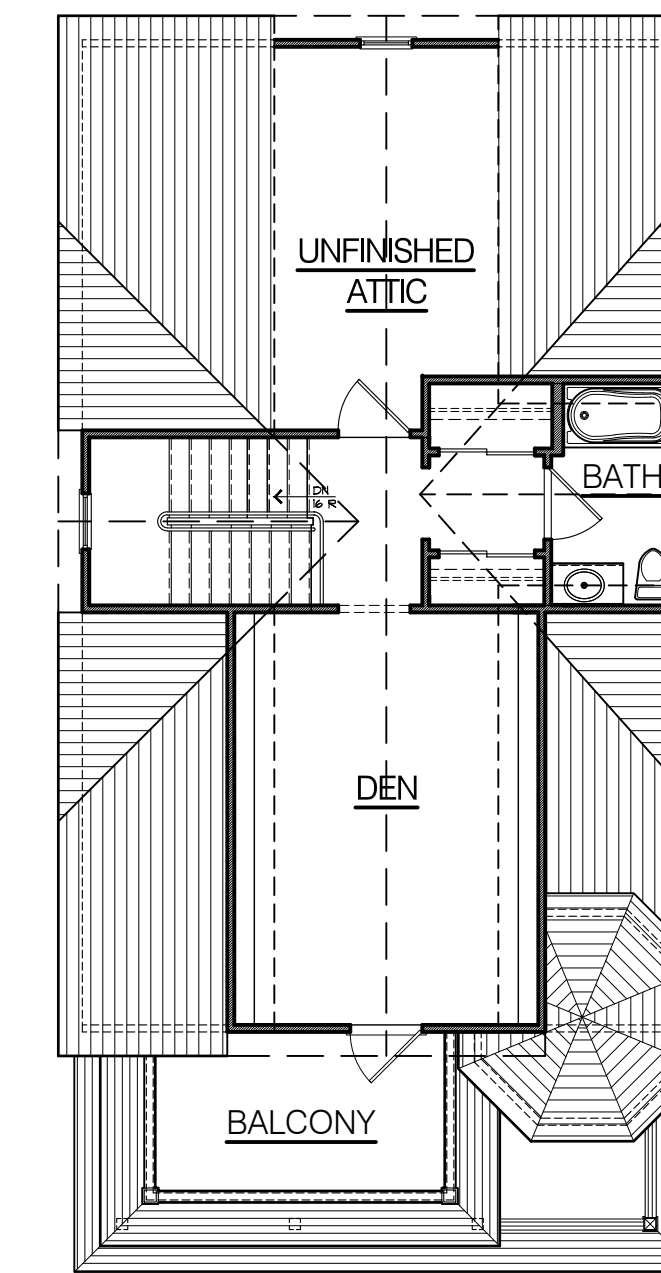
RIGHT SIDE ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN  
1/8"=1'-0"



SECOND FLOOR PLAN  
1/8"=1'-0"



FINISHED ATTIC PLAN  
1/8"=1'-0"

PLANS AND ELEVATIONS FOR THE (10) SINGLE FAMILY RESIDENCES ARE CONCEPTUAL ONLY AND BEING DEPICTED AS AN ILLUSTRATION TO DEMONSTRATE THE POTENTIAL SIZE, SCOPE AND INTENT OF THE PROPOSED DEVELOPMENT. FINAL ARCHITECTURAL DESIGN FOR EACH RESIDENCE WILL REQUIRE A CERTIFICATE OF APPROPRIATENESS FROM THE HISTORIC PRESERVATION COMMISSION UNDER A SEPARATE APPLICATION.

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
(OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
BLOCK 101 LOT 2, 3 & 4

SCALE:  
*[Signature]*  
Suzanne J. Cardillo, AIA  
AIA 100-1000000

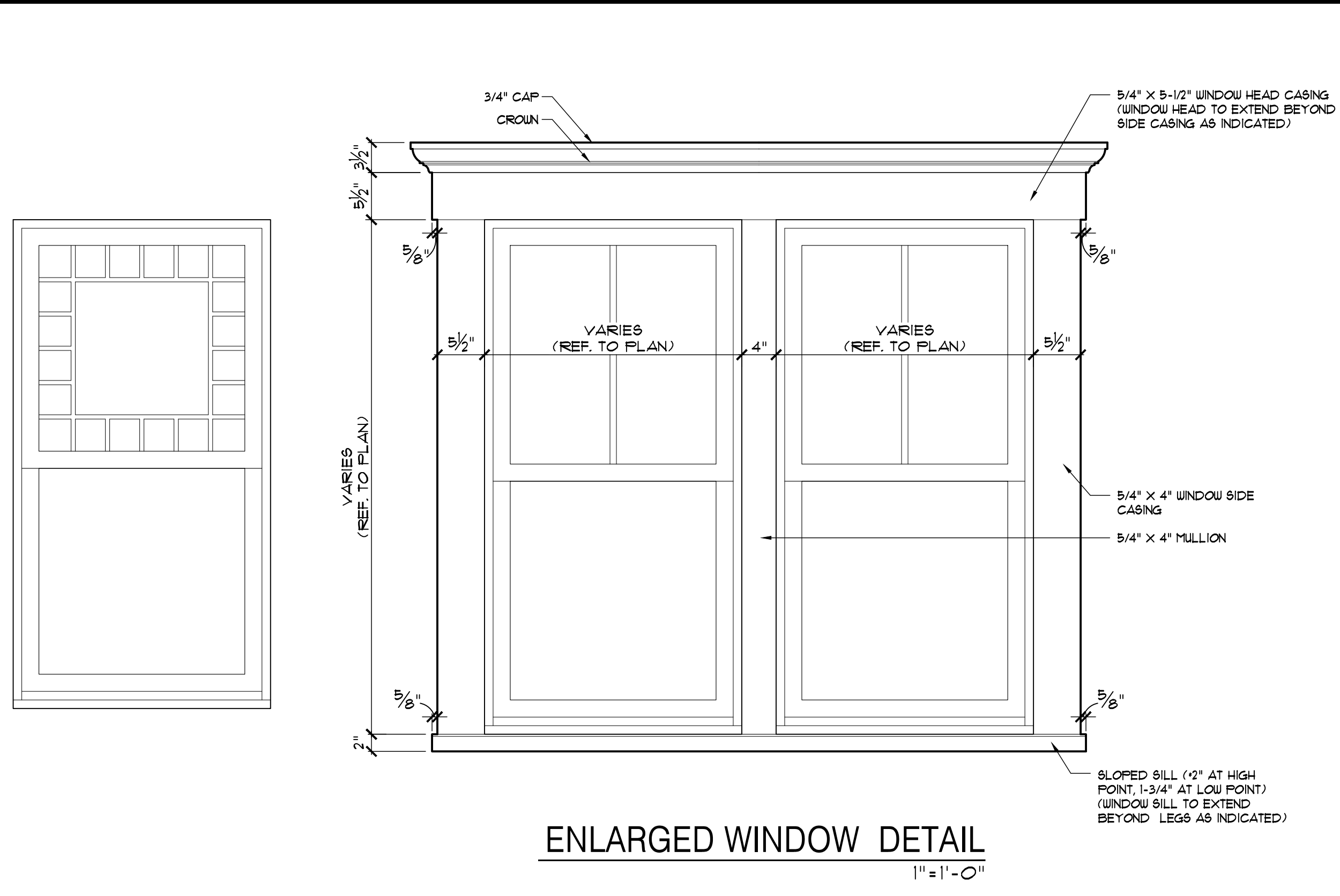
**SHORE POINT ARCHITECTURE, PA**  
108 South Main Street Ocean Grove, New Jersey 07756  
P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

SINGLE FAMILY RESIDENCES-  
HOUSE-J PLANS & ELEVATIONS  
DRAWN: JG  
SCALE: AS SHOWN

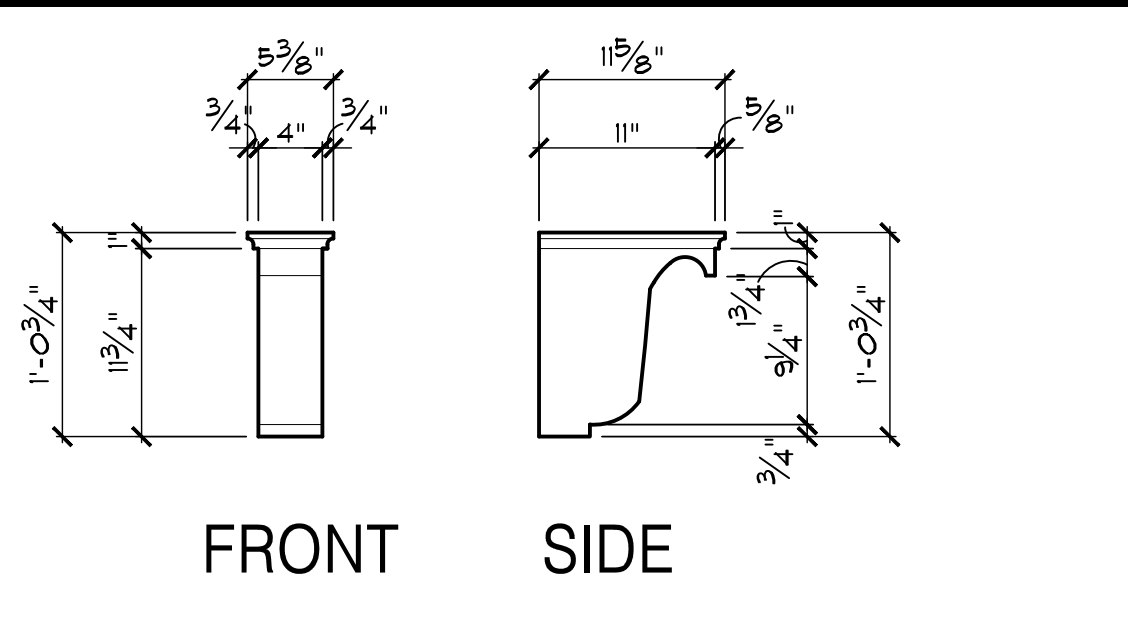
DATE	REVISION
4/22/2021	HPC REVISIONS
6/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
2/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
6/30/2023	HPC REVISIONS

JOB NUMBER  
2018-23

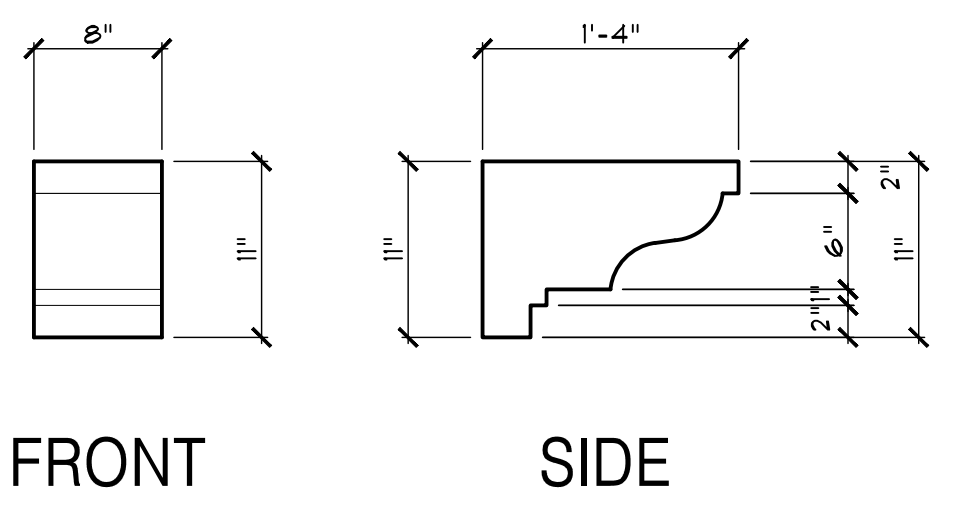
**A-24**  
NORTH END



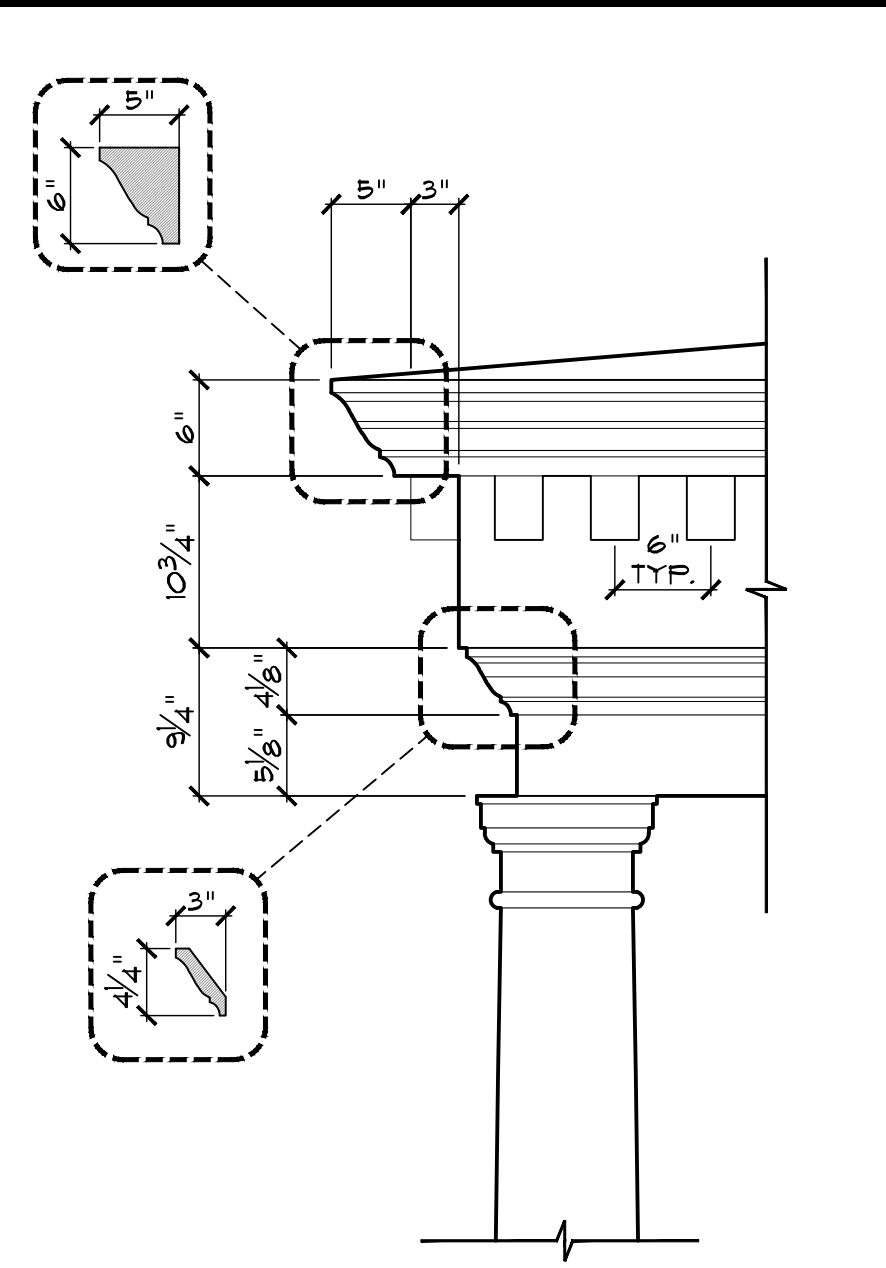
ENLARGED WINDOW DETAIL  
1" = 1'-0"



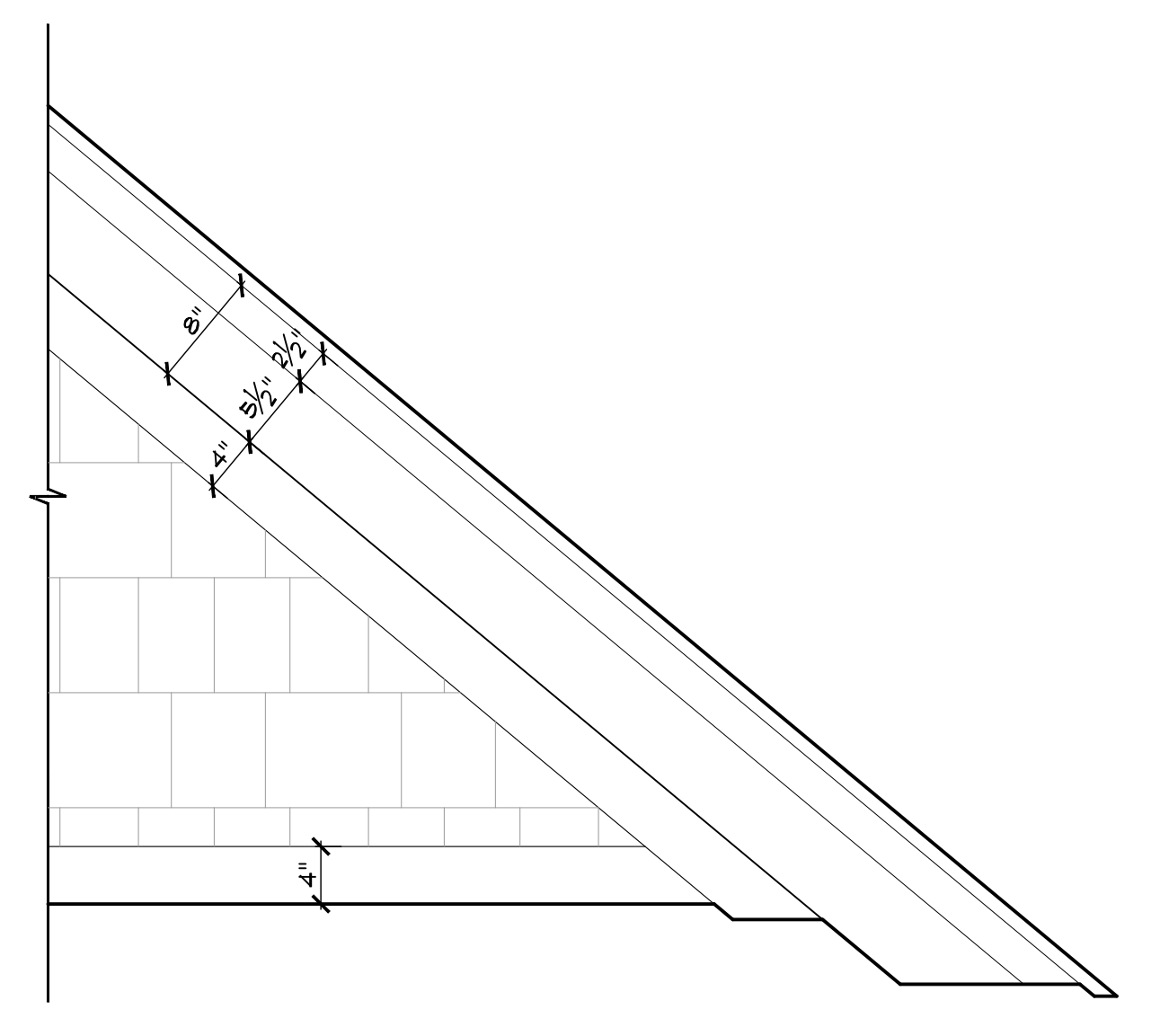
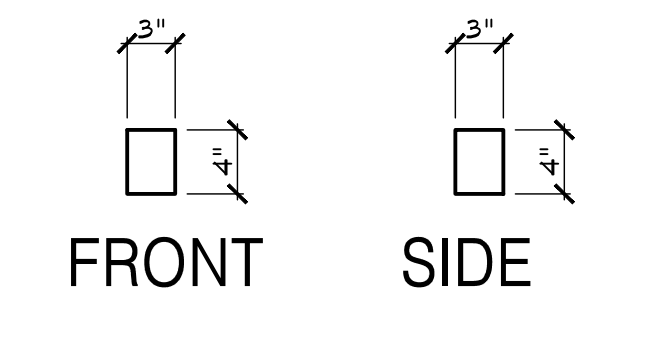
ENLARGED CORBEL DETAIL  
1" = 1'-0"



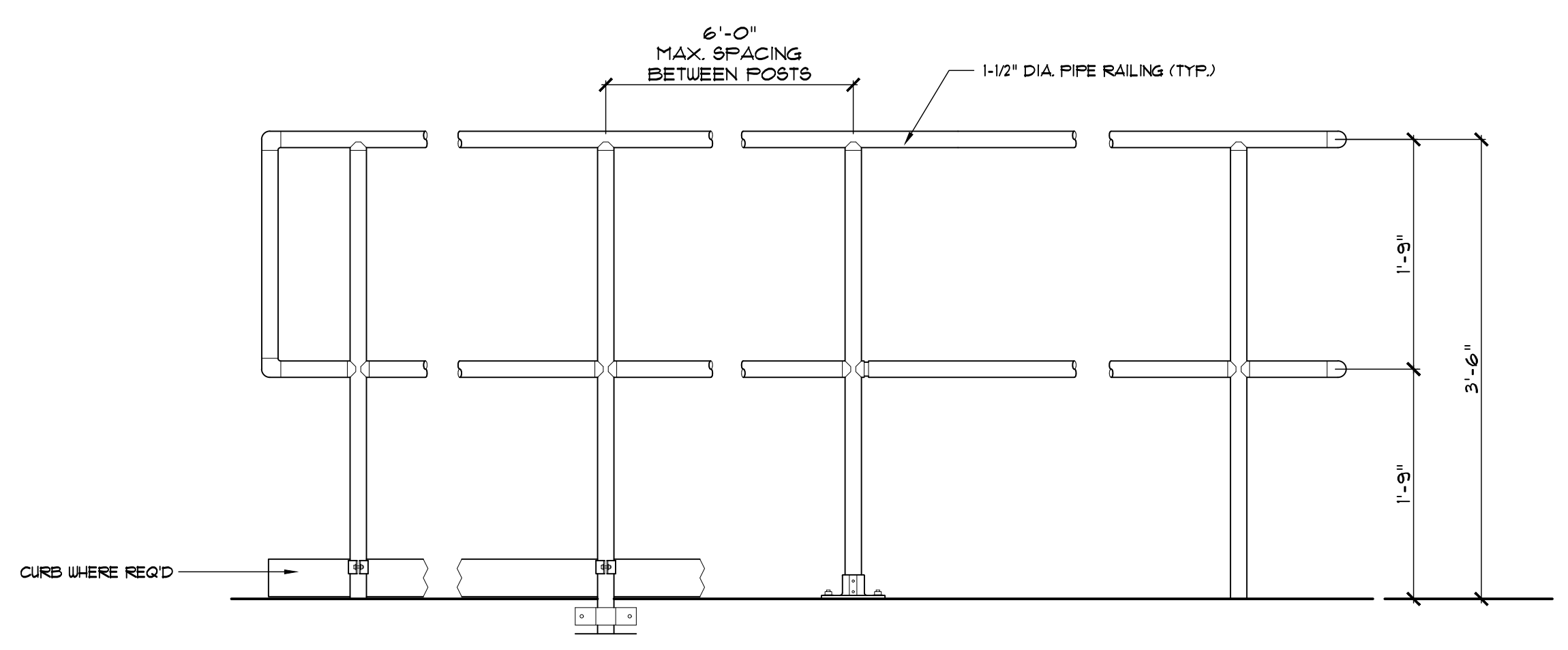
ENLARGED CORBEL DETAIL  
1" = 1'-0"



ENLARGED DENTIL DETAIL  
1" = 1'-0"



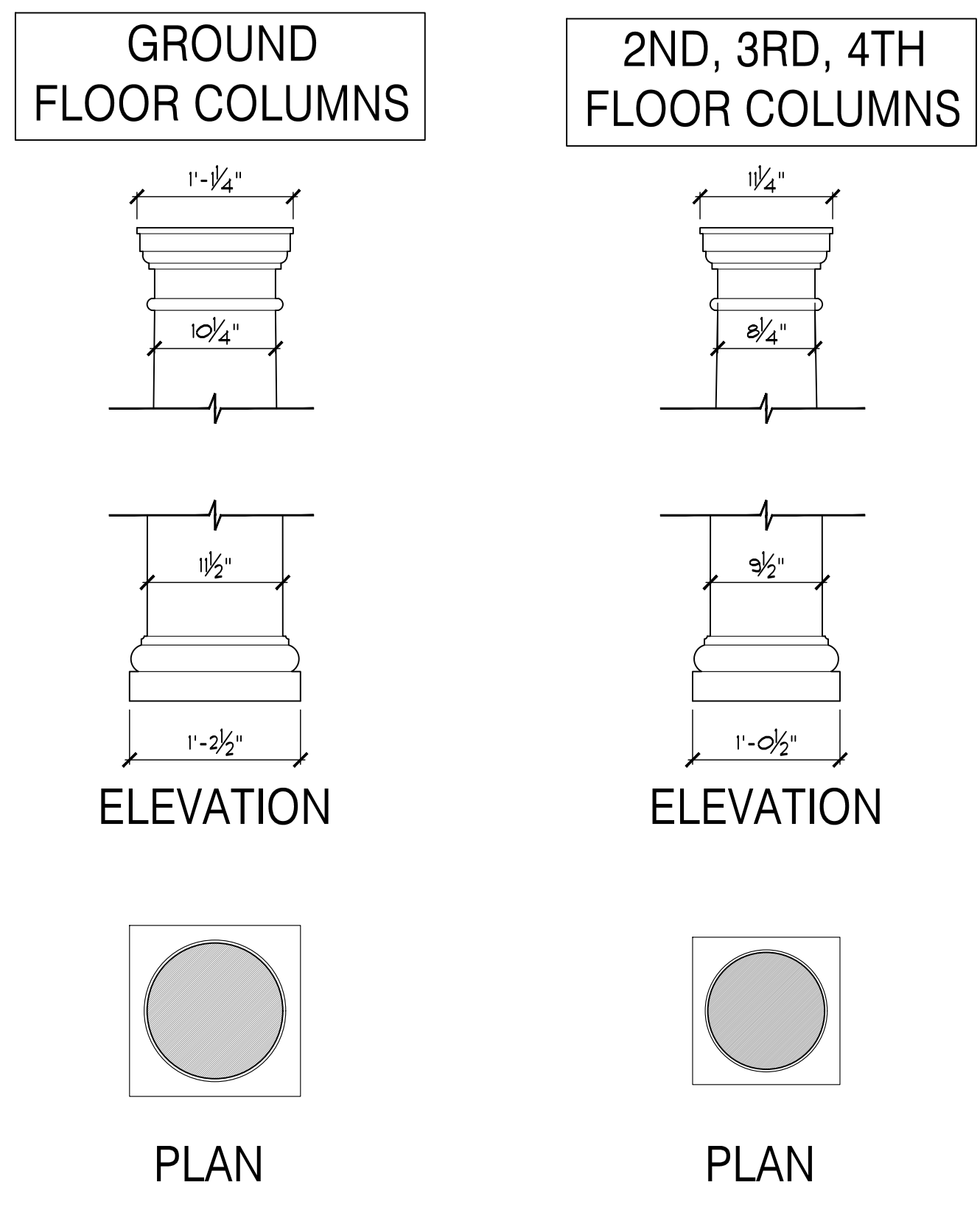
ENLARGED DETAIL @ DORMER  
1" = 1'-0"



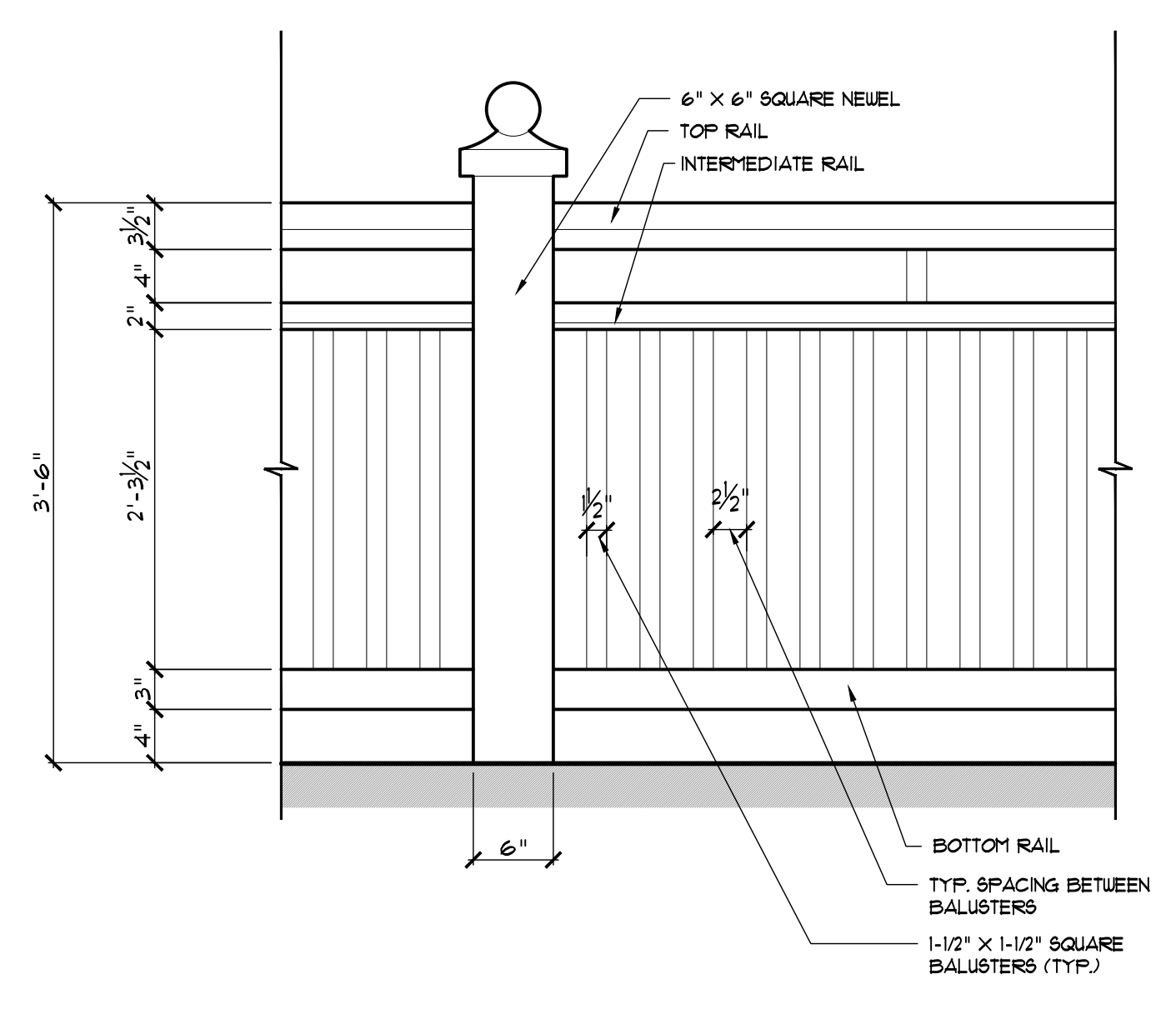
TYPICAL PIPE RAILING DETAIL  
1" = 1'-0"

TYP. RETAIL LIGHTING		HOTEL ENTRY LIGHTING		TYP. HOTEL & CONDO LIGHTING	
MANUFACTURER: PROGRESS LIGHTING MODEL: DISTRICT MODEL #PS22-3D FINISH: ANTIQUE BRONZE FINISH		MANUFACTURER: JOHN TIMBERLAND LIGHTING MODEL: BELLAGO 16-1/2" H. UPBRIDGE ARM OUTDOOR WALL LIGHT FINISH: BRONZE FINISH		MANUFACTURER: CHARLTON HOMES MODEL: SLIMMER 14 1/2" H. OUTDOOR WALL LANTERN FINISH: BLACK FINISH	

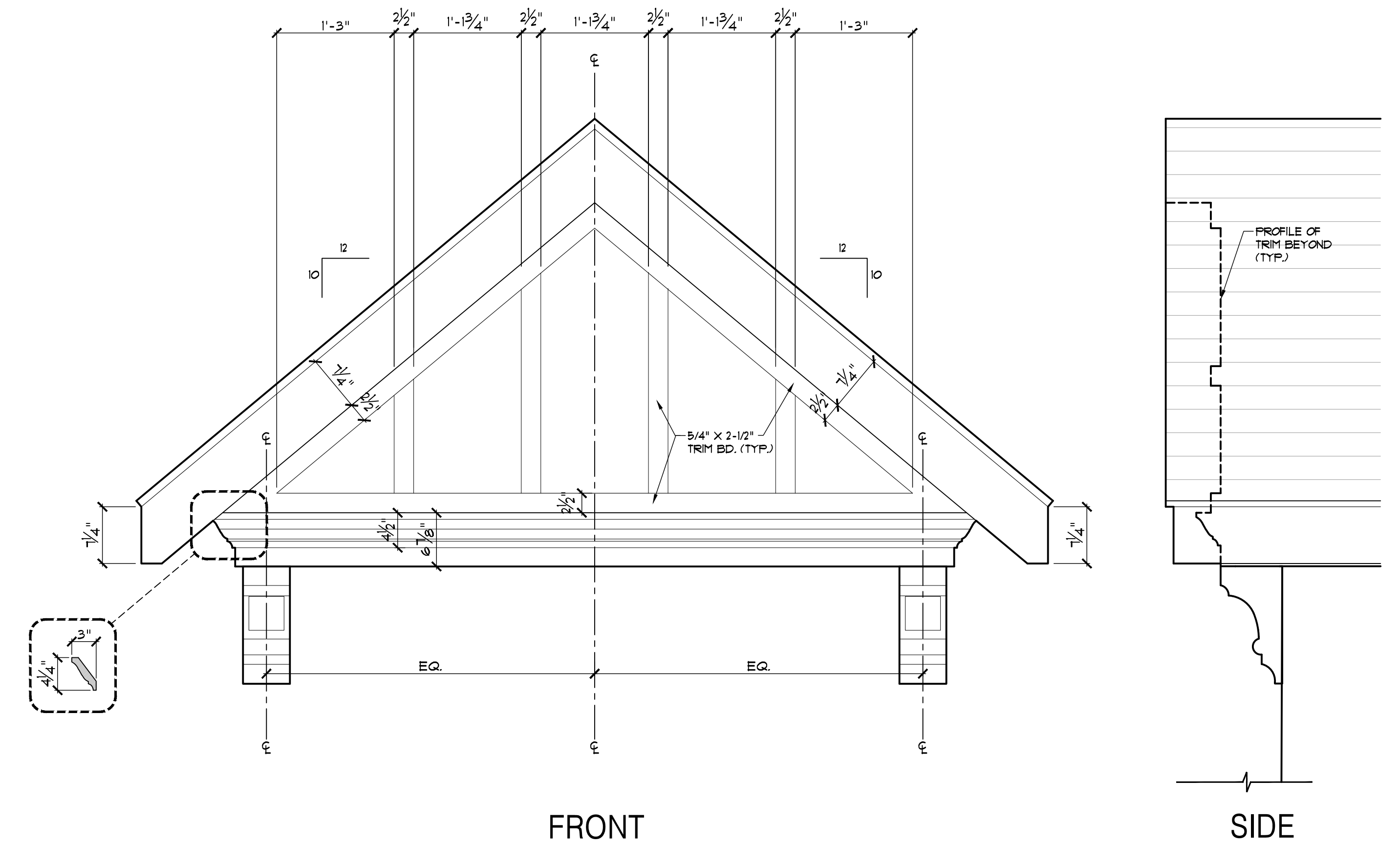
EXTERIOR LIGHTING DETAIL  
1" = 1'-0"



COLUMN DETAILS  
1" = 1'-0"



ENLARGED BALCONY RAILING DETAIL  
1" = 1'-0"



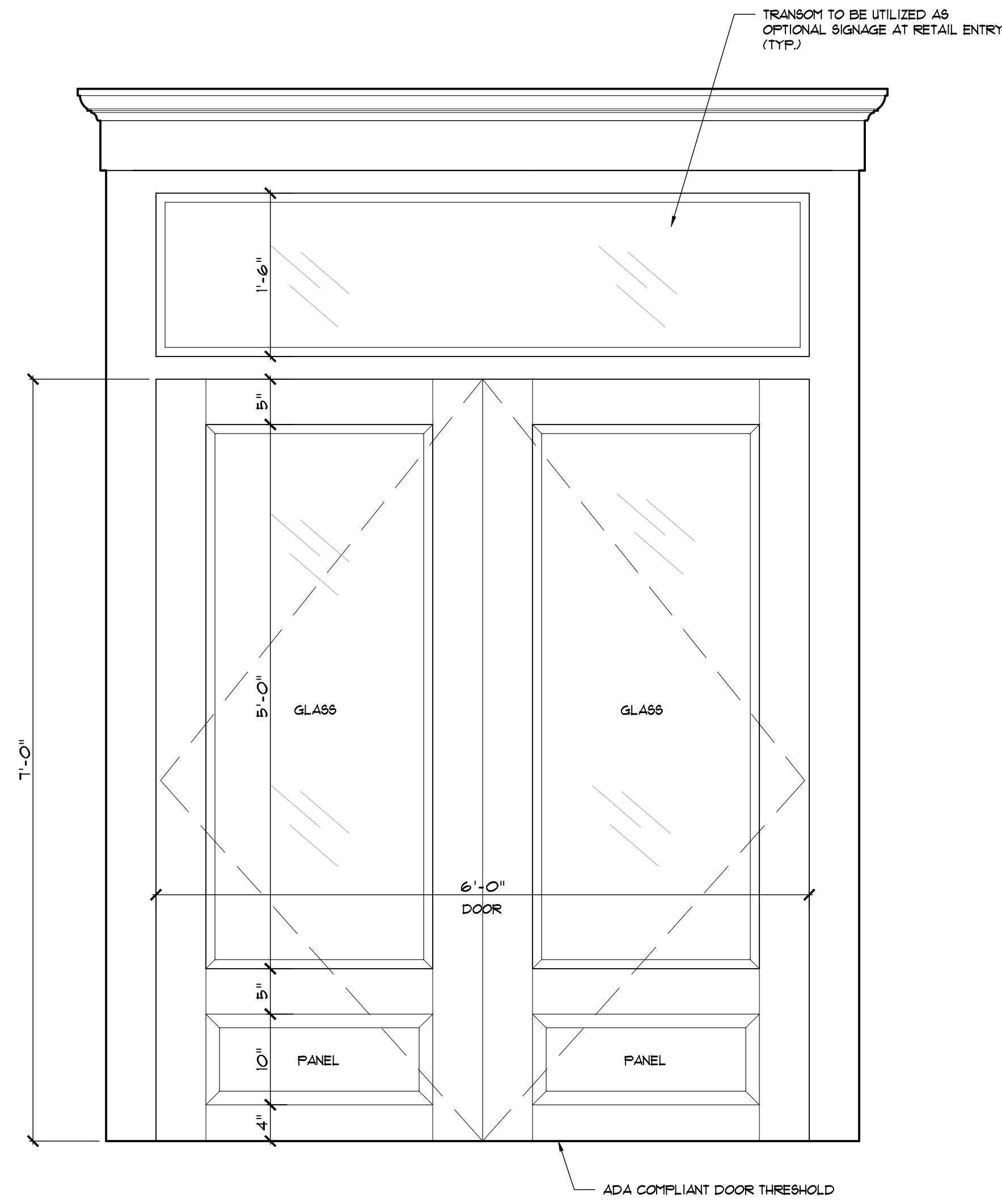
ENLARGED DETAIL  
1" = 1'-0"

DATE	REVISION
4/22/2021	HFC REVISIONS
8/9/2021	HFC REVISIONS
10/27/2021	HFC REVISIONS
5/17/2022	HFC REVISIONS
7/17/2023	HFC REVISIONS
5/23/2023	HFC REVISIONS
5/30/2023	HFC REVISIONS

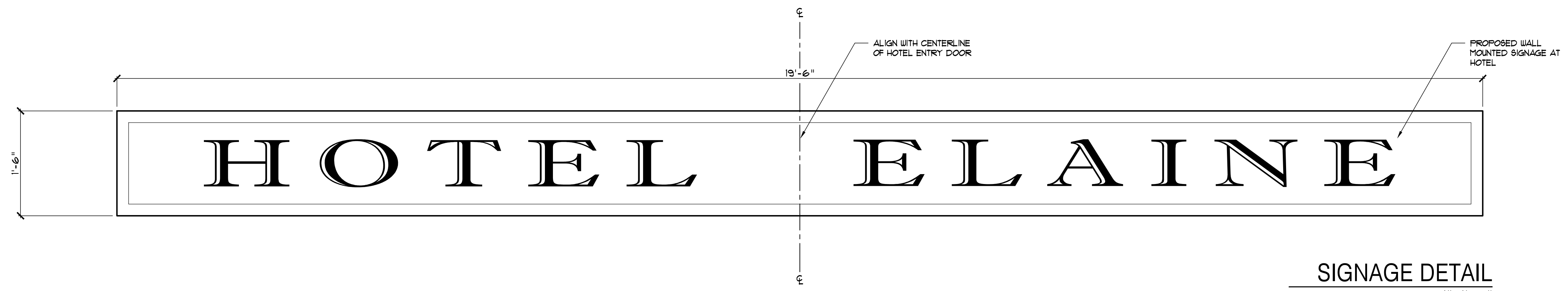


WEST CHESTER PICKET FENCE  
 800 WESTCHESTER PICKET FENCE AS  
 MANUFACTURED BY WALPOLE OUTDOORS  
 (800) 343-6348  
 DISTRIBUTED BY:  
 BAN'S OUTDOOR LIVING  
 125 EAST RIVER ROAD, RUMSON, NJ 07160  
 (732) 330-3310  
 INSTALL AS PER MANUFACTURERS  
 SPECIFICATIONS.

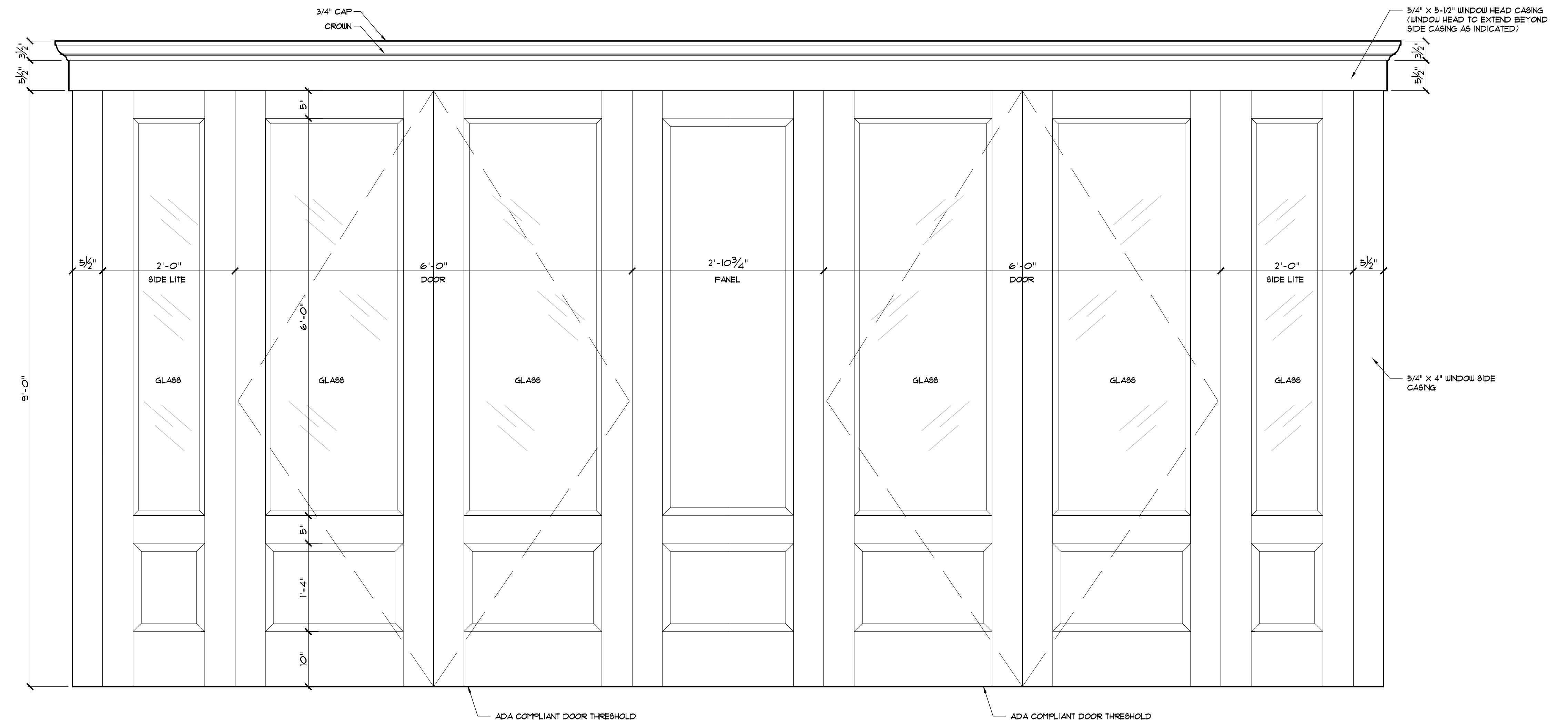
TYPICAL FENCING DETAIL  
 N.T.S.



TYPICAL RETAIL ENTRY DOOR DETAIL  
 1" = 1'-0"

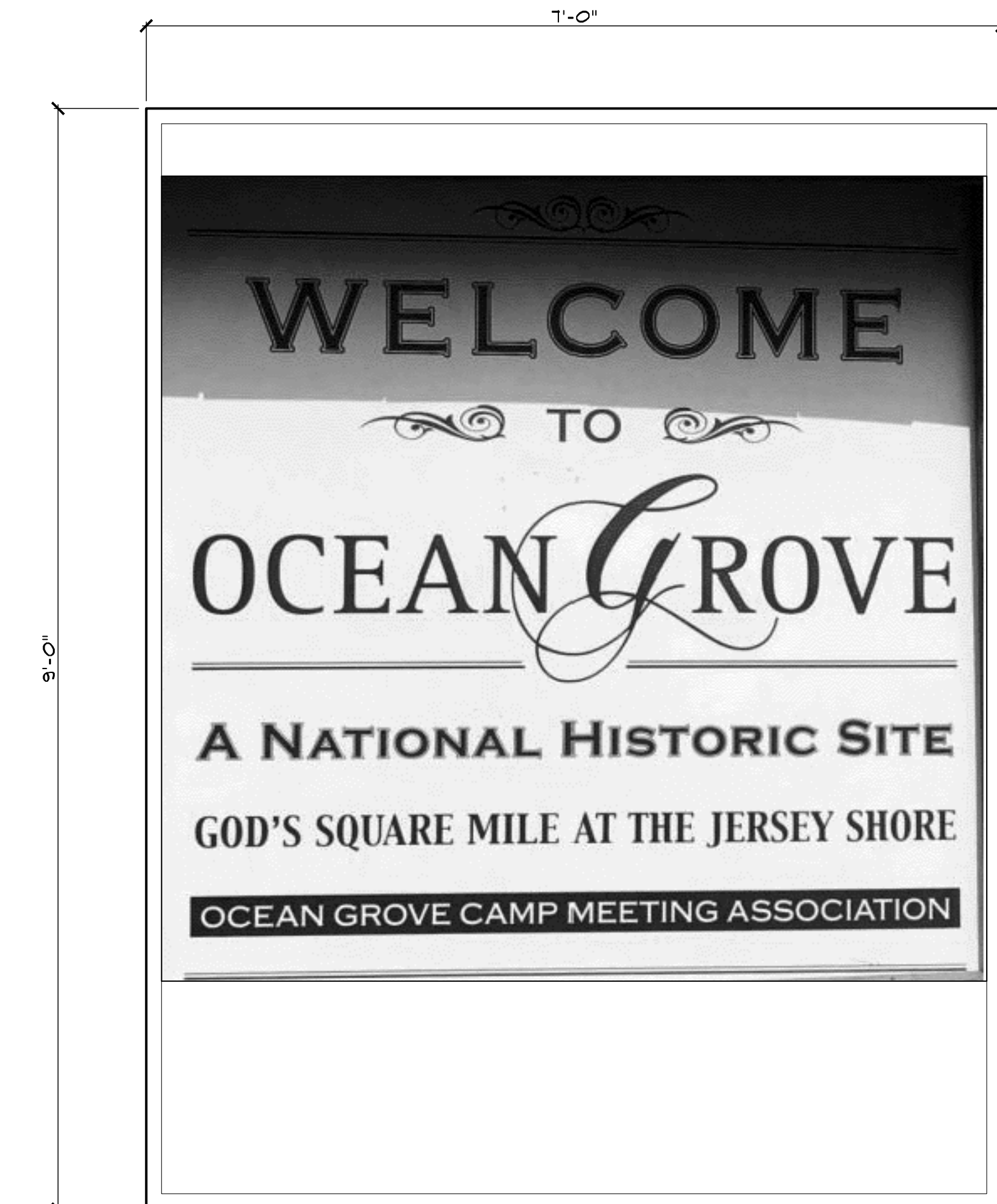


SIGNAGE DETAIL  
 1" = 1'-0"



ENLARGED HOTEL ENTRY DOOR DETAIL  
 1" = 1'-0"

CUSTOM GLASS + WOOD DOOR ENTRY SYSTEM



GATEWAY SIGN DETAIL  
 1" = 1'-0"

PROPOSED NEW CONSTRUCTION FOR:  
**NORTH END REDEVELOPMENT**  
 (OCEAN GROVE) TOWNSHIP OF NEPTUNE, NJ  
 BLOCK 101 LOT 2, 3 & 4

SCALE:  
  
 Stephen J. Carlini, AIA  
 License No. 120000000

**SHORE POINT ARCHITECTURE, PA**  
 108 South Main Street, Ocean Grove, New Jersey 07756  
 P: 732.774.6900 F: 732.774.7280 www.shorepointarch.com

DETAILS  
 SCALE: AS SHOWN  
 DRAWN: JC

DATE	REVISION
4/22/2021	HPC REVISIONS
8/9/2021	HPC REVISIONS
10/27/2021	HPC REVISIONS
5/11/2022	HPC REVISIONS
2/17/2023	HPC REVISIONS
5/23/2023	HPC REVISIONS
8/30/2023	HPC REVISIONS

JOB NUMBER  
 2018-23

**A-26**  
 NORTH END