

| 200' RADIUS PROPERTY OWNERS LIST | | | | | | | |
|----------------------------------|-----|-----------|--------------------|--|----------------------------|-------------------------|-----------------|
| Block | Lot | Qualifier | Location | Owner | Owner Street | Owner City/State/Zip | Additional Lots |
| 609 | 11 | | 1713 STRATFORD AVE | JULES, EMILIO & SAINVILLEN, MARIE A | 1713 STRATFORD AVENUE | NEPTUNE, NJ 07753 | |
| 609 | 12 | | 400 DRUMMOND AVE | DAMBROSIO, CHRISTOPHER & MARRUCCA, ANIEL | 28 LAIRD ROAD | MIDDLETOWN, NJ 07748 | |
| 609 | 13 | | 402 DRUMMOND AVE | 402 DRUMMOND AVENUE LLC | 990 CEDARBRIDGE AV, B7-153 | BRICK, NJ 08723 | |
| 609 | 14 | | 404 DRUMMOND AVE | LOPEZ, CLAUDIA VANESSA CELESTINO | 404 DRUMMOND AVENUE | NEPTUNE, NJ 07753 | |
| 609 | 15 | | 422 DRUMMOND AVE | FEDERAL NATIONAL MORTGAGE ASSN | 3900 WISCONSIN AVENUE | WASHINGTON, DC 20016 | |
| 609 | 16 | | 424 DRUMMOND AVE | HAMILANI, MUZZAFAR A & SHAHAR | 424 DRUMMOND AVENUE | NEPTUNE, NJ 07753 | |
| 609 | 17 | | 426 DRUMMOND AVE | PUGH, HELENA W | 426 DRUMMOND AVE | NEPTUNE, NJ 07753 | |
| 609 | 18 | | 436 DRUMMOND AVE | MEADE, PATRICIA E | 436 DRUMMOND AVE | NEPTUNE, NJ 07753 | |
| 610 | 21 | | 350 DRUMMOND AVE | CALDERON, DEIDRA C | PO BOX 44 | NEPTUNE, NJ 07754 | |
| 610 | 22 | | 352 DRUMMOND AVE | U.S. BANK TRUST NA, TRUSTEE | 13801 WIRELESS WAY | OKLAHOMA CITY, OK 73134 | |
| 610 | 23 | | 1710 STRATFORD AVE | CADET, CETOUTSON | 1710 STRATFORD AVENUE | NEPTUNE, NJ 07753 | |
| 610 | 24 | | 1708 STRATFORD AVE | STEPHENS, MCKINLEY E | 1708 STRATFORD AVE | NEPTUNE, NJ 07753 | |
| 616 | 1 | | 353 DRUMMOND AVE | COVIN, SHAWN & KATRINA | 353 DRUMMOND AVE | NEPTUNE, NJ 07753 | |
| 616 | 2 | | 351 DRUMMOND AVE | GILL, NAKIA & CLARK, LENARD C III | 351 DRUMMOND AVE | NEPTUNE, NJ 07753 | |
| 616 | 3 | | 349 DRUMMOND AVE | BOVE-QUICK, KAREN J | 83 WILSON AVENUE | NEPTUNE, NJ 07753 | |
| 616 | 5 | | 1807 MILTON AVE | CALDERON, ALEXANDER & DELDRA | 350 DRUMMOND AVENUE | NEPTUNE, NJ 07753 | |
| 616 | 6 | | 1809 MILTON AVE | JACKSON, WILLIE L, JR. | 1809 MILTON AVENUE | NEPTUNE, NJ 07753 | |
| 616 | 7 | | 1813 MILTON AVE | LANE, MICHAEL | 1813 MILTON AVENUE | NEPTUNE, NJ 07753 | |
| 616 | 17 | | STRATFORD AVE | TOWNSHIP OF NEPTUNE | PO BOX 1125 | NEPTUNE, NJ 07754 | |
| 616 | 18 | | 1812 STRATFORD AVE | BROWN, JUDITH | 109 ASPEN DR | BOALSBURG, PA 16827 | |
| 616 | 19 | | 1810 STRATFORD AVE | ANDERSON, TROY & JOYAR | 1810 STRATFORD AVE | NEPTUNE, NJ 07753 | |
| 616 | 20 | | 1808 STRATFORD AVE | SANDERS, MARION E | 1808 STRATFORD AVE | NEPTUNE, NJ 07753 | |
| 616 | 21 | | 1806 STRATFORD AVE | VENTURA, MARGARIDA | 1806 STRATFORD AVENUE | NEPTUNE, NJ 07753 | |
| 617 | 3 | | 437 DRUMMOND AVE | MALLORY III, SAMUEL | 437 DRUMMOND AVENUE | NEPTUNE, NJ 07753 | |
| 617 | 4 | | 435 DRUMMOND AVE | GRANT, STEPHNEY | 435 DRUMMOND AVENUE | NEPTUNE, NJ 07753 | |
| 617 | 5 | | 433 DRUMMOND AVE | ATKINSON, BONITA | 433 DRUMMOND AVENUE | NEPTUNE, NJ 07753 | |
| 617 | 6 | | 1807 MC BRIDE AVE | 1807 MCBRIDE AVENUE, LLC | 330 CHANGEBRIDGE ROAD | PINE BROOK, NJ 07058 | |
| 617 | 7 | | 1811 MC BRIDE AVE | CAPC NJ ASSEST STABILIZATION FUND I | 460 WASHINGTON ST UNIT 1 | NEWARK, NJ 07102 | |
| 617 | 16 | | 1808 MC BRIDE AVE | NEWSOME, MAURICE & SUSAN R CHAPMAN | 1808 MCBRIDE AVE | NEPTUNE, NJ 07753 | |
| 617 | 17 | | 1806 MC BRIDE AVE | BRAHA, SAMUEL | 5 SANDY LANE | EATONTOWN, NJ 07724 | |
| 617 | 18 | | 1804 MC BRIDE AVE | BRAY, DOROTHY | 1804 MC BRIDE AVE | NEPTUNE, NJ 07753 | |
| 617 | 19 | | 1802 MC BRIDE AVE | AGUILAR, CIRENIA & FLORENCIO | 1802 MC BRIDE AVE | NEPTUNE, NJ 07753 | |
| 617 | 20 | | 425 DRUMMOND AVE | 425 DRUMMOND LLC | 700 EMORY STREET | ASBURY PARK, NJ 07712 | |
| 617 | 21 | | 423 DRUMMOND AVE | GREATER EMANUEL TEMPLE CHURCH | PO BOX 974 | NEPTUNE, NJ 07754 | |
| 617 | 24 | | 1805 STRATFORD AVE | SHORE TOWN HOMES, LLC | 406 14TH AVENUE | BELMAR, NJ 07719 | |
| 617 | 25 | | 1807 STRATFORD AVE | BRAGGS, CARL | 1706 COLUMBUS AVE | NEPTUNE, NJ 07753 | |
| 617 | 26 | | 1811 STRATFORD AVE | LVA, LLC | PO BOX 38 | BOALSBURG, PA 16827 | |
| 617 | 28 | | 1813 STRATFORD AVE | THELUSMA, HUMERLDA | 1813 STRATFORD AVENUE | NEPTUNE, NJ 07753 | |
| 617 | 29 | | 1815 STRATFORD AVE | PARKER, DINAL | 1815 STRATFORD AVENUE | NEPTUNE, NJ 07753 | |

200' RADIUS UTILITIES LIST

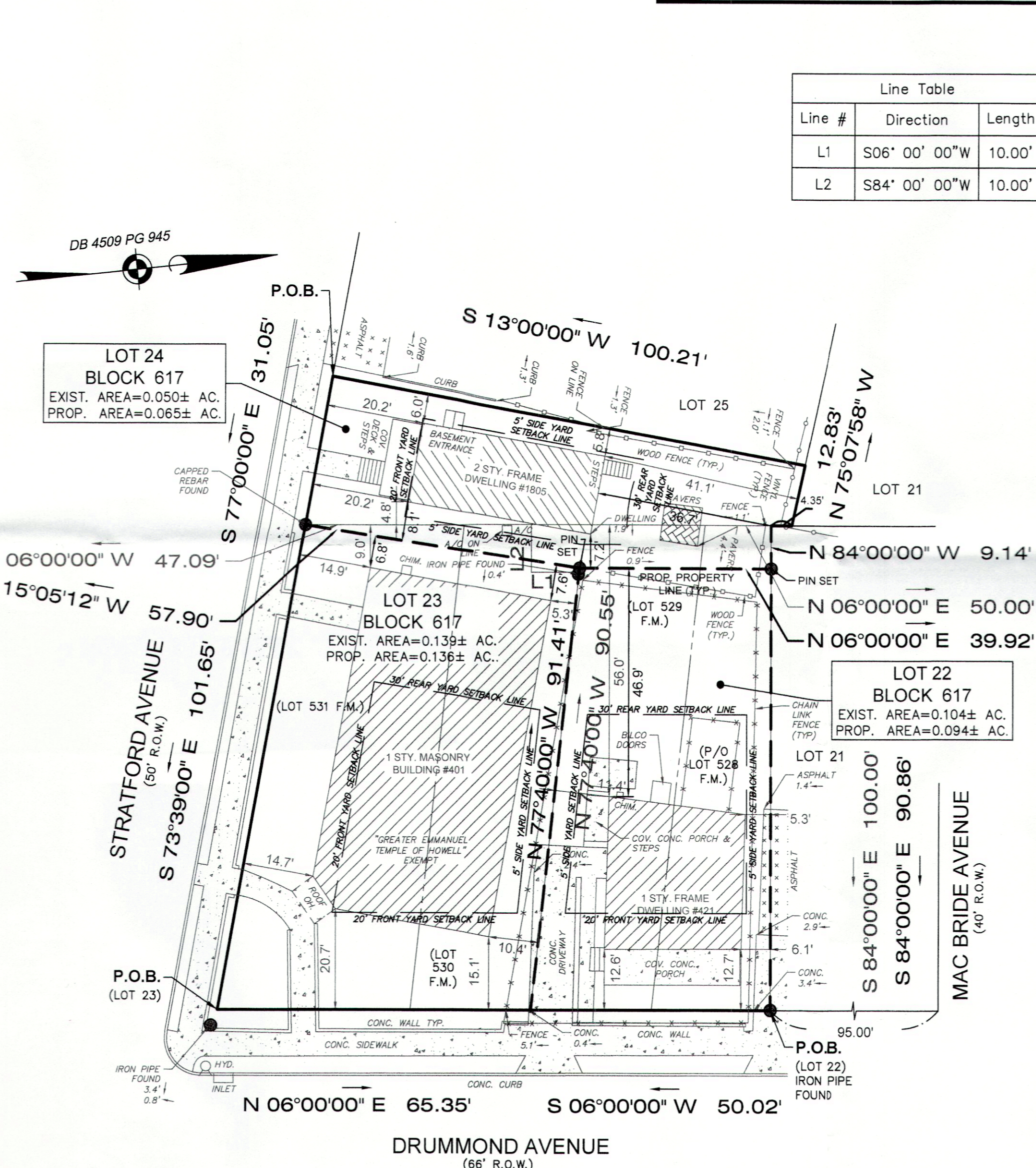
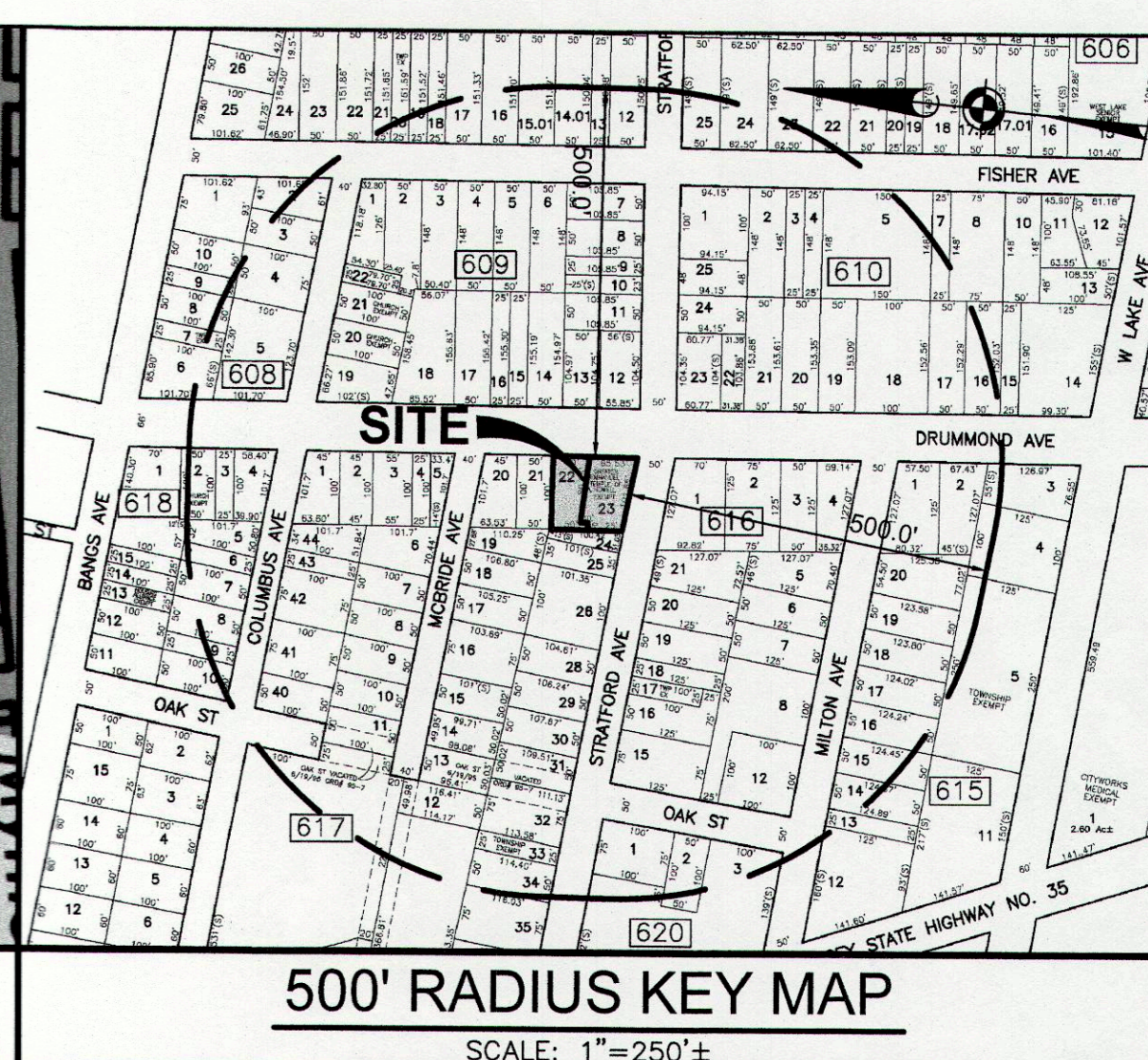
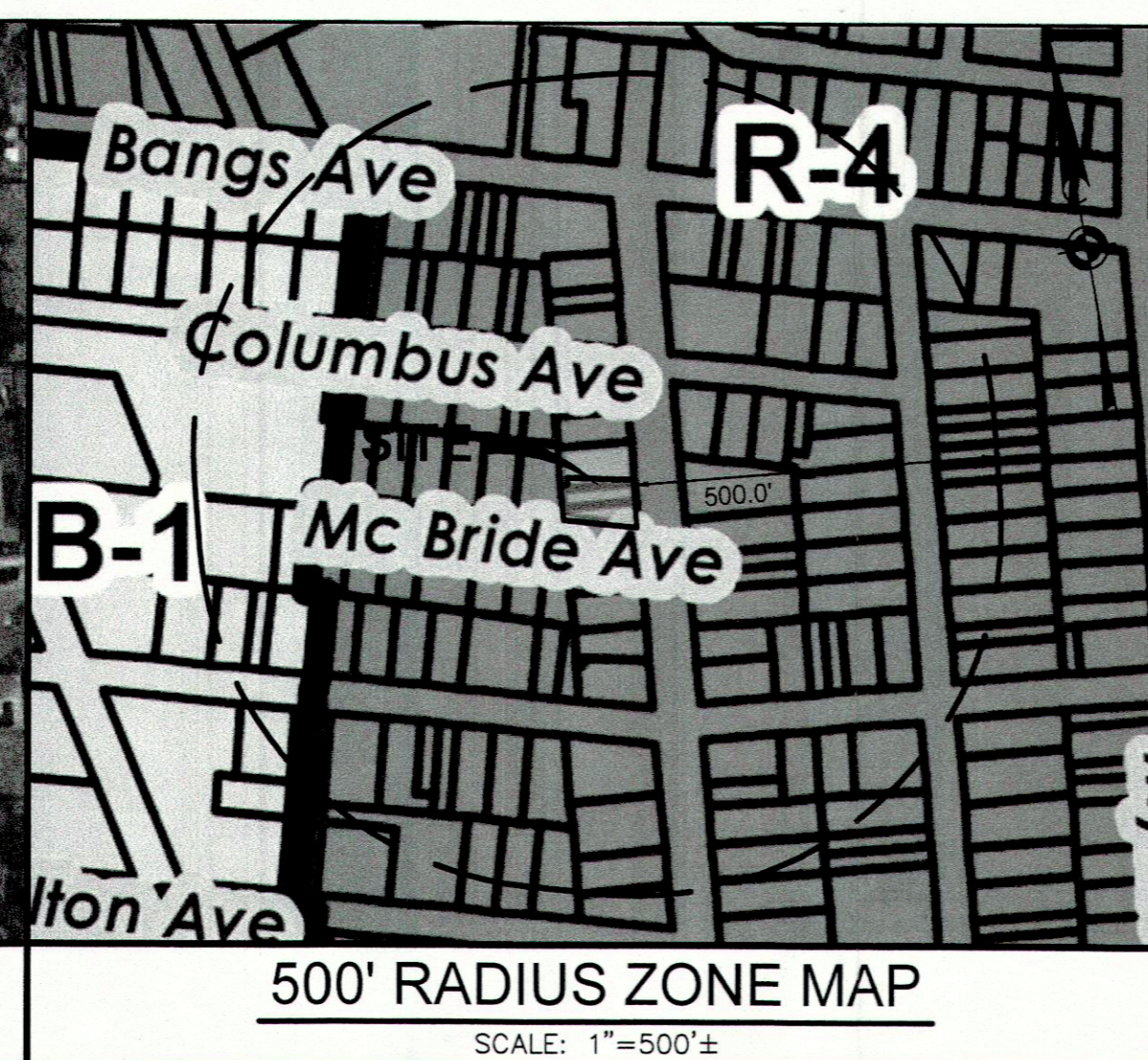
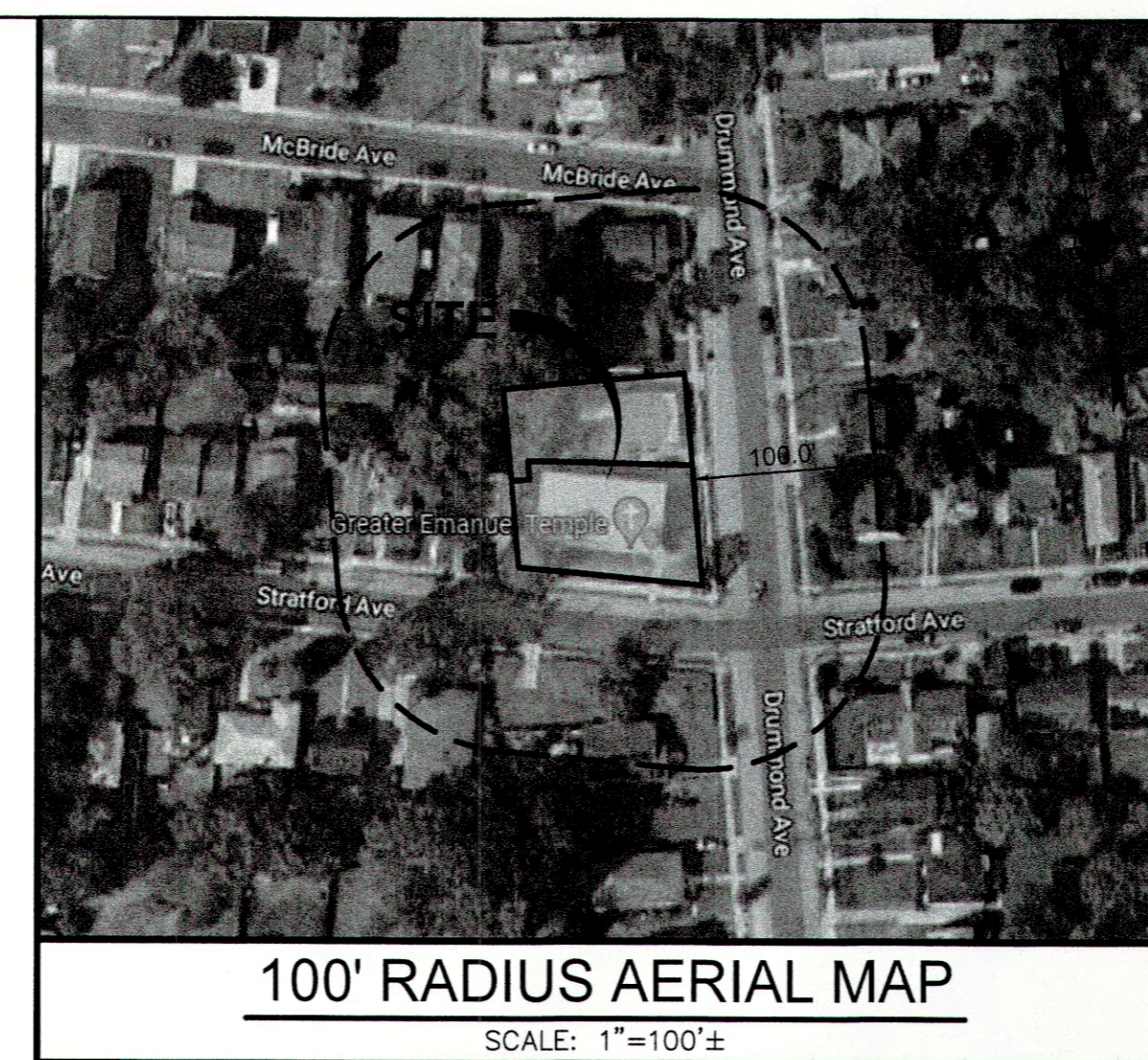
New Jersey - American Water Company, Inc.
Att. Donna Short GIS Supervisor
1025 Laurel Oak Road
Voorhees, NJ 08043

Verizon
Legal Department, 17th Floor
C/O Land Use Matters
540 Broad Street
Newark, NJ 07102

New Jersey Natural Gas Company
Attn: Right of Way Department
1415 Wyckoff Road
Wall Twp., NJ 07719

Jersey Central Power & Light Company
Attn: Land Use Matters
300 Madison Avenue
Morristown, NJ 07960

Monmouth Cablevision
Attn: Land Use Matters
1501 18th Avenue
Wall Twp., NJ 07719



ZONE R-4 (LOT 24) REQUIREMENTS

| | REQUIRED | EXISTING | PROPOSED |
|-------------------------|------------|-------------|---------------|
| MIN. LOT AREA | 5,000 S.F. | 2,192 S.F.* | 2,818 S.F.*** |
| MAX. DENSITY | 8.7 D/AC. | 20 D/AC.* | 15.4 D/AC.*** |
| MIN. LOT WIDTH | 50 FT. | 27.4 FT.* | 30.6 FT.*** |
| MIN. LOT FRONTAGE | 50 FT. | 31.05 FT.* | N.C. |
| MIN. LOT DEPTH | 100 FT. | 100.4 FT. | 95.7 FT.** |
| MIN. FRONT SETBACK | 20 FT. | 20.2 FT. | N.C. |
| MIN. SIDE SETBACK: | | | |
| SINGLE | 5 FT. | 0 FT.* | 5.8 FT. |
| COMBINED | 15 FT. | 5.8 FT.* | 13 FT.*** |
| MIN. REAR SETBACK | 30 FT. | 41.1 FT. | 36.7 FT. |
| MAX. BUILDING COVERAGE | 50% | 33.2% | 26.2% |
| MAX. TOTAL LOT COVERAGE | 65% | 39.4% | 32.1% |
| MIN. IMPROVABLE AREA | | | |
| TOTAL | 1,200 S.F. | 637 S.F.* | 918 S.F.*** |
| DIAMETER OF CIRCLE | 23 FT. | 9 FT.* | 9.9 FT.*** |

* - EXISTING NON-COMFORMANCE
** - VARIANCE REQUIRED
*** - EXISTING NON-COMFORMANCE TO BE REDUCED
N.C. - NO CHANGE

BUILDING COVERAGE (LOT 24)

| DESCRIPTION | EXISTING | PROPOSED |
|-----------------------------|------------|------------|
| DWELLING | 628 S.F. | 639 S.F. |
| COV. PORCH | 100 S.F. | N.C. |
| BUILDING LOT COVERAGE | 728 S.F. | 739 S.F. |
| LOT AREA | 2,192 S.F. | 2,818 S.F. |
| TOTAL BUILDING LOT COVERAGE | 33.2% | 26.2% |

IMPERVIOUS COVERAGE (LOT 24)

| DESCRIPTION | EXISTING | PROPOSED |
|-------------------------------|------------|------------|
| DWELLING | 628 S.F. | 639 S.F. |
| FRONT COV. PORCH & STEPS | 125 S.F. | N.C. |
| REAR STEPS | 18 S.F. | N.C. |
| BILCO | 14 S.F. | N.C. |
| CONC. | 45 S.F. | N.C. |
| PAVERS | 33 S.F. | 63 S.F. |
| IMPERVIOUS LOT COVERAGE | 863 S.F. | 904 S.F. |
| LOT AREA | 2,192 S.F. | 2,818 S.F. |
| TOTAL IMPERVIOUS LOT COVERAGE | 39.4% | 32.1% |

ZONE R-4 (LOT 23) REQUIREMENTS

| | REQUIRED | EXISTING | PROPOSED |
|-------------------------|------------|------------|-------------|
| MIN. LOT AREA | 5,000 S.F. | 6,072 S.F. | 5,911 S.F. |
| MAX. DENSITY | 8.7 D/AC. | 7.2 D/AC. | 7.4 D/AC. |
| MIN. LOT WIDTH | 50 FT. | 63.24 FT. | N.C. |
| MIN. LOT FRONTAGE: | | | |
| DRUMMOND AVENUE | 50 FT. | 65.35 FT. | N.C. |
| STRATFORD AVENUE | 50 FT. | 101.65 FT. | N.C. |
| MIN. LOT DEPTH | 100 FT. | 101.07 FT. | 96.45 FT.** |
| MIN. FRONT SETBACK: | | | |
| DRUMMOND AVENUE | 20 FT. | 15.1 FT.* | N.C. |
| STRATFORD AVENUE | 20 FT. | 14.7 FT.* | N.C. |
| MIN. SIDE SETBACK | 5 FT. | 5.3 FT. | N.C. |
| MIN. REAR SETBACK | 30 FT. | 9 FT.* | 7.6 FT.** |
| MAX. BUILDING COVERAGE | 50% | 4% | 45.2% |
| MAX. TOTAL LOT COVERAGE | 65% | 49.9% | 51.3% |
| MIN. IMPROVABLE AREA | | | |
| TOTAL | 1,200 S.F. | 1,838 S.F. | 1,647 S.F. |
| DIAMETER OF CIRCLE | 23 FT. | 35.85 FT. | 36.24 FT. |

BUILDING COVERAGE (LOT 23)

| DESCRIPTION | EXISTING | PROPOSED |
|-----------------------------|------------|------------|
| PRINCIPAL BUILDING | 2,670 S.F. | N.C. |
| LOT AREA | 6,072 S.F. | 5,911 S.F. |
| TOTAL BUILDING LOT COVERAGE | 44.0% | 45.2% |

IMPERVIOUS COVERAGE (LOT 23)

| DESCRIPTION | EXISTING | PROPOSED |
|-------------------------------|------------|------------|
| PRINCIPAL BUILDING + CHIM | 2,674 S.F. | N.C. |
| CONC. | 337 S.F. | N.C. |
| CONC. WALL | 21 S.F. | N.C. |
| IMPERVIOUS LOT COVERAGE | 3,032 S.F. | 3,032 S.F. |
| LOT AREA | 6,072 S.F. | 5,911 S.F. |
| TOTAL IMPERVIOUS LOT COVERAGE | 49.9% | 51.3% |

ZONE R-4 (LOT 22) REQUIREMENTS

| | REQUIRED | EXISTING | PROPOSED |
|-------------------------|------------|-------------|--------------|
| MIN. LOT AREA | 5,000 S.F. | 4,551 S.F.* | 4,085 S.F.** |
| MAX. DENSITY | 8.7 D/AC. | 9.6 D/AC.* | 10.6 D/AC.** |
| MIN. LOT WIDTH | 50 FT. | 47.71 FT.* | N.C. |
| MIN. LOT FRONTAGE | 50 FT. | 50.02 FT. | N.C. |
| MIN. LOT DEPTH | 100 FT. | 100.15 FT. | 90.99 FT.** |
| MIN. FRONT SETBACK | 20 FT. | 12.6 FT.* | N.C. |
| MIN. SIDE SETBACK: | | | |
| SINGLE | 5 FT. | 5.3 FT. | N.C. |
| COMBINED | 15 FT. | 16.7 FT. | N.C. |
| MIN. REAR SETBACK | 30 FT. | 56 FT. | 46.9 FT. |
| MAX. BUILDING COVERAGE | 50% | 24.3% | 26.8% |
| MAX. TOTAL LOT COVERAGE | 65% | 37.6% | 41.6% |
| MIN. IMPROVABLE AREA | | | |
| TOTAL | 1,200 S.F. | 1,749 S.F. | 1,450 S.F. |
| DIAMETER OF CIRCLE | 23 FT. | 33.98 FT. | 35.05 FT. |

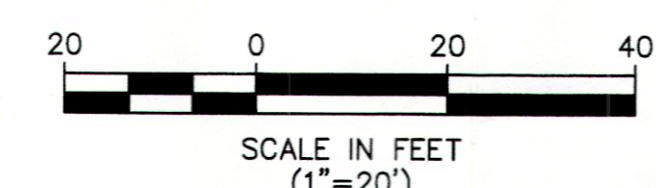
BUILDING COVERAGE (LOT 22)

| DESCRIPTION | EXISTING | PROPOSED |
|-----------------------------|------------|------------|
| DWELLING | 841 S.F. | N.C. |
| ADJ. DWELLING (LOT 24) | 11 S.F. | 0 S.F. |
| FRONT COV. PORCH | 209 S.F. | N.C. |
| SIDE COV. PORCH | 45 S.F. | N.C. |
| BUILDING LOT COVERAGE | 1,106 S.F. | 1,095 S.F. |
| LOT AREA | 4,551 S.F. | 4,085 S.F. |
| TOTAL BUILDING LOT COVERAGE | 24.3% | 26.8% |

IMPERVIOUS COVERAGE (LOT 22)

| DESCRIPTION | EXISTING | PROPOSED |
|-------------------------------|------------|------------|
| DWELLING + CHIM. | 843 S.F. | N.C. |
| ADJ. DWELLING (LOT 24) | 11 S.F. | 0 S.F. |
| FRONT COV. PORCH & STEPS | 223 S.F. | N.C. |
| SIDE COV. PORCH & STEPS | 60 S.F. | N.C. |
| BILCO | 17 S.F. | N.C. |
| CONC. | 479 S.F. | N.C. |
| CONC. WALL | 29 S.F. | N.C. |
| ASPHALT | 49 S.F. | N.C. |
| IMPERVIOUS LOT COVERAGE | 1,711 S.F. | 1,700 S.F. |
| LOT AREA | 4,551 S.F. | 4,085 S.F. |
| TOTAL IMPERVIOUS LOT COVERAGE | 37.6% | 41.6% |

- NOTES:**
- THIS MAP IS NOT A SURVEY.
 - THE PURPOSE OF THIS MAP IS FOR OBTAINING A MINOR SUBDIVISION APPROVAL TO SUBDIVIDE THE EXISTING PROPERTY INTO TWO LOTS.
 - BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A CERTAIN PLAN ENTITLED "SURVEY OF PROPERTY, LOTS 22 & 23, BLOCK 617, TOWNSHIP OF NEPTUNE, COUNTY OF MONMOUTH, NEW JERSEY," PREPARED BY MORGAN ENGINEERING & SURVEYING, LLC, DATED 1/6/23.
 - PER THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF GIS' NJ-GEOWEB INTERACTIVE MAPPING APPLICATION, WETLANDS DO NOT APPEAR TO EXIST ON THE SUBJECT PROPERTY.
 - PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON CURRENT FIRM MAP #3402500334G, DATED 6/15/2022.
 - PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN ON PRELIMINARY FIRM MAP #3402500334H, DATED 1/31/2014.
 - THIS PROPERTY LOCATED WITHIN THE R-4 ZONE.
 - ERROR OF CLOSURE DOES NOT EXCEED 1:10,000.



LEGEND

| EXISTING FEATURES | PROPOSED FEATURES |
|------------------------------|------------------------------|
| EXIST. TREE LINE | PROP. TREE LINE |
| EXIST. UTILITY POLE | PROP. WATER LATERAL |
| EXIST. GUY | PROP. WATER VALVE |
| EXIST. FIRE HYDRANT | PROP. SANITARY SEWER LATERAL |
| EXIST. INLET | PROP. SANITARY CLEANOUT |
| EXIST. SIGN | PROP. GAS LINE |
| EXIST. SANITARY MANHOLE | PROP. LIMIT OF DISTURBANCE |
| EXIST. WATER LINE | PROP. SILT FENCE |
| EXIST. SANITARY LINE | PROP. CONTOUR |
| EXIST. CONTOUR | PROP. SPOT ELEVATION |
| EXIST. SPOT ELEVATION | PROP. SURFACE FLOW DIRECTION |
| EXIST. TOP/BOTTOM CURB GRADE | PROP. TOP/BOTTOM CURB GRADE |

CERTIFICATE OF AUTHORIZATION: 24GA28228800

P.O. BOX 5232
TOMS RIVER, N.J. 08754
TEL: 732-270-9690
FAX: 732-270-9691

MORGAN
engineering & surveying
www.morganengineeringllc.com

DAVID J. VON STEENBURG
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 34500

| REV | DATE | DESCRIPTION | BY |
|-----|--------|----------------------------------|-----|
| 1 | 6/9/23 | ADDED LOT 24 TO SUBDIVISION PLAN | DAP |

MINOR SUBDIVISION
TAX MAP SHEET 6 (DECEMBER 2013)
#421 & #401 DRUMMOND AVENUE, &
#1805 STRATFORD AVENUE
LOTS 22, 23, & 24 (0.293± AC.) BLOCK 617
TOWNSHIP OF NEPTUNE
COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=20' Drawn By: DAP Date: 4/28/23 JOB #: E23-00208 CAD File #: MINORSUB Sheet #: 1 of 1

PREPARED FOR: STEVE MARAVELIAS
LOTS 22, 23, & 24, BLOCK 617 OWNER SIGNATURE

I/WE HEREBY CERTIFY THAT I/WE ARE THE RECORD HOLDERS OF TITLE TO THE LANDS DELINEATED ON THIS MAP AND APPROVE THE FILING THEREOF.

SWORN AND SUBSCRIBED TO BEFORE ME THIS _____ DAY OF _____

NOTARY PUBLIC OF NEW JERSEY
MY COMMISSION EXPIRES _____

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 1/6/23 MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "MAP FILING LAW" AND THAT THE CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.

6/9/23
DATE

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW", RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

TOWNSHIP ENGINEER _____ DATE _____

CLASSIFIED AND APPROVED AS A MINOR SUBDIVISION BY THE NEPTUNE TOWNSHIP PLANNING BOARD ON _____

CHAIRMAN _____ DATE _____

ATTEST: _____

SECRETARY _____ DATE _____

THIS PLAT (OR DEED DESCRIBING THIS SUBDIVISION) MUST BE FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON OR BEFORE WHICH DATE IS 190 DAYS AFTER APPROVAL AS A MINOR SUBDIVISION BY THE LACEY TOWNSHIP PLANNING BOARD.



FILE