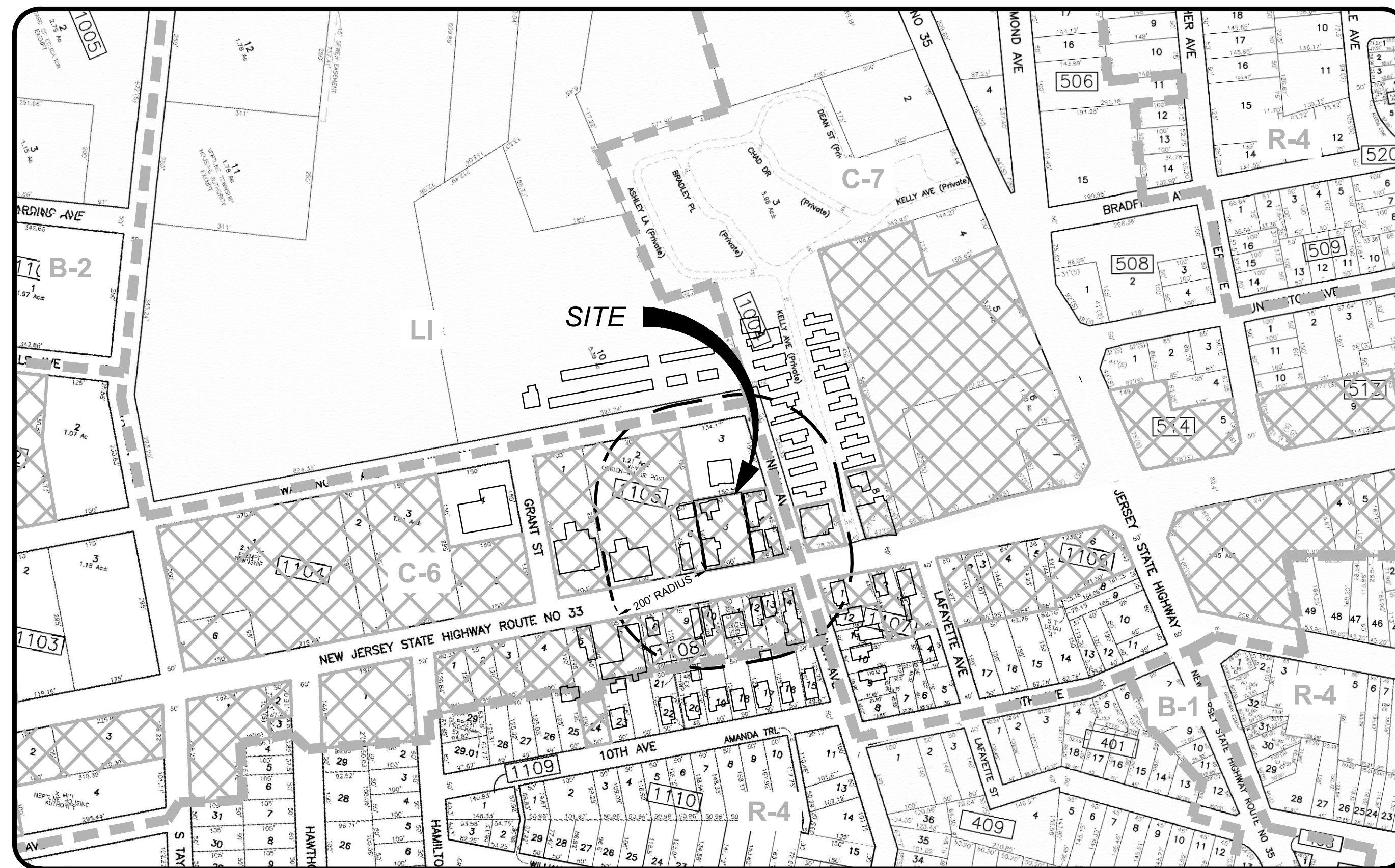


PRELIMINARY & FINAL MAJOR SITE PLAN FOR PAWS AND ANCHOR

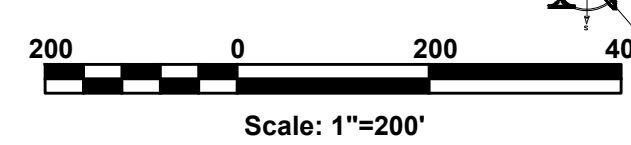
BLOCK 1105, LOT 5 TAX MAP SHEET #11 1505 CORLIES AVENUE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NJ

PROPERTY OWNERS WITHIN 200'

Block	Lot	Qualifier	Location	Owner	Owner Street	Owner City/State/Zip
1004	3		55 HIGHWAY 35	THIRD GARDEN PARK	29 KNAPP ST, PO BOX 4401	STAMFORD, CT 06907
1004	9		1423 CORLIES AVE	B.N.F. NJ	1423 CORLIES AVENUE	NEPTUNE, NJ 07753
1105	2		1511 CORLIES AVE	HAROLD DALEY POST NO 1333 VIEW OF US	1511 CORLIES AVENUE	NEPTUNE, NJ 07753
1105	3		5 N UNION AVE	BEAN, THEOPHILUS N & LESLIE	5 NORTH UNION AVENUE	NEPTUNE, NJ 07753
1105	4		1501 CORLIES AVE	BALDWIN REALTY, LLC	301 NEPTUNE BLVD	NEPTUNE, NJ 07753
1105	5		1505 CORLIES AVE	KIENWOLF PACK, LLC	710 BEACH AVENUE	BRADLEY BEACH, NJ 07720
1105	6		1507 CORLIES AVE	BERTHA, JOSEPH N	627 SPRUCE PLACE	BRIELLE, NJ 08730
1107	1		1422 CORLIES AVE	ANDREWS, CHRISTOPHER & SUSAN KNOUD	1422 CORLIES AVENUE	NEPTUNE, NJ 07753
1107	12		2 UNION AVE	BARON, JENNIFER A	310 LAKEWOOD ROAD	NEPTUNE, NJ 07753
1108	6		1516-1518 CORLIES AVENUE	5E ENTERPRISES, LLC	1 BROOK DRIVE	OCEAN, NJ 07712
1108	8		1514 CORLIES AVE	5E ENTERPRISES, LLC	1 BROOK DR	OCEAN, NJ 07712
1108	9		1510 CORLIES AVE	5E ENTERPRISES, LLC	1 BROOK DR	OCEAN, NJ 07712
1108	10		1508 CORLIES AVE	HILLSON, JAMES E	250 WOODROW LANE	PORT DEPOSIT, MD 21904
1108	11		1506 CORLIES AVE	AIDS RESOURCE FOUND FOR CHILD, INC	77 ACADEMY STREET	NEWARK, NJ 07102
1108	12		1504 CORLIES AVE	VELEZ, PABLO	80 AVONDALE AVE	NEPTUNE CITY, NJ 07753
1108	13		1502 CORLIES AVE	ETIENNE, DAVID & GABELITA	1502 CORLIES AVENUE	NEPTUNE, NJ 07753
1108	14		1500 CORLIES AVE	1500 CORLIES AVE CORP%LABARBERA MCM	1043 80TH STREET	BROOKLYN, NY 11228
1108	15		1503 10TH AVE	GONZALEZ, EDGAR L & ROGEL, REINA C	184 ROCKWELL AVENUE	LONG BRANCH, NJ 07740
1108	16		1505 10TH AVE	VELASQUEZ, FIDELINE & MARTINEZ, M	1505 10TH AVE	NEPTUNE, NJ 07753
1108	17		1507 10TH AVE	PACHECO, JOHN F	1507 10TH AVENUE	NEPTUNE, NJ 07753
1108	18		1509 10TH AVE	ORTIZ-LOPEZ, ANGEL & ANGEL	1509 10TH AVENUE	NEPTUNE, NJ 07753
1108	19		1511 10TH AVE	FOWLER, ELNETA R.	1511 TENTH AVENUE	NEPTUNE, NJ 07753
1108	21		10TH AVE	TOWNSHIP OF NEPTUNE	PO BOX 1125	NEPTUNE, NJ 07754



TAX MAP



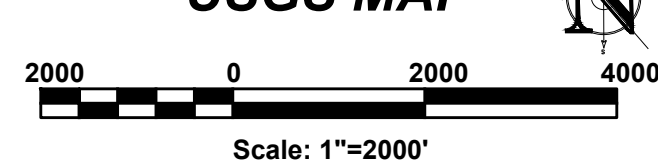
Scale: 1"=200'

ZONE

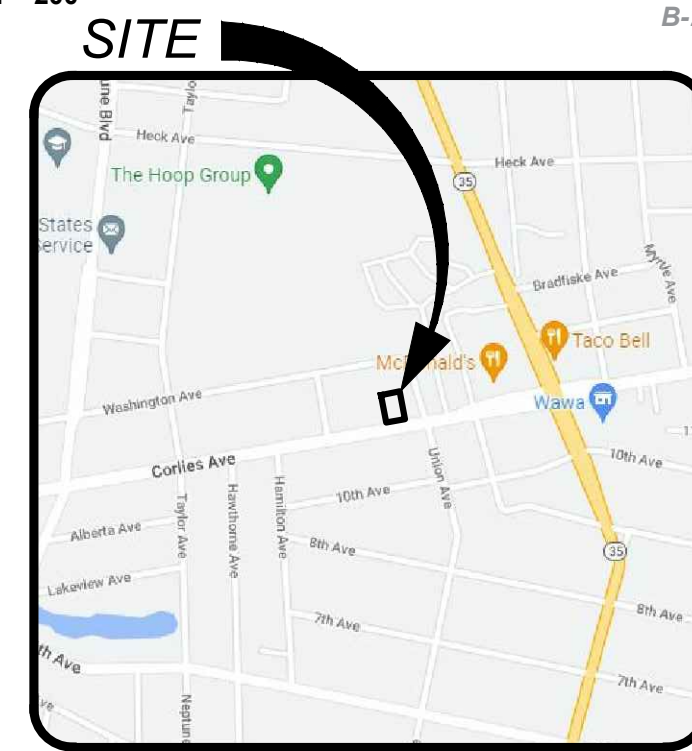
- C-6 = ROUTE 33E COMMERCIAL (HOSPITAL OVERLAY)
- C-7 = ROUTE 33S COMMERCIAL
- R-4 = MEDIUM DENSITY SINGLE-FAMILY RESIDENTIAL
- B-1 = TOWN COMMERCIAL
- B-2 = PROFESSIONAL OFFICE



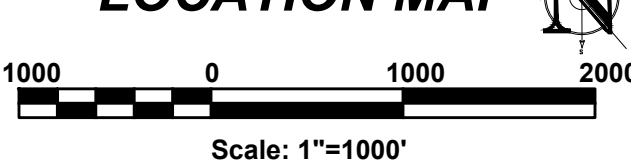
USGS MAP



Scale: 1"=2000'



LOCATION MAP



Scale: 1"=1000'

PLANNING BOARD APPROVAL

APPROVED BY THE TOWNSHIP OF NEPTUNE PLANNING BOARD	
BOARD CHAIRPERSON	DATE
ADMINISTRATIVE OFFICER	DATE
BOARD ENGINEER	DATE

SHEET #	TITLE SHEET	INITIAL RELEASE	REV. DATE
C100	TITLE SHEET	10/31/22	04/07/23
C101	PLAN NOTES	10/31/22	04/07/23
C300	SITE LAYOUT PLAN	10/31/22	04/07/23
C400	GRADING & UTILITIES PLAN	10/31/22	04/07/23
C600	LANDSCAPE & LIGHTING PLAN	10/31/22	04/07/23
C801	LANDSCAPE & LIGHTING NOTES & DETAILS	10/31/22	04/07/23
C800	CONSTRUCTION DETAILS	10/31/22	04/07/23
C801	CONSTRUCTION DETAILS	10/31/22	04/07/23
C900	SOIL EROSION & SEDIMENT CONTROL PLAN	10/31/22	04/07/23
C901	SESC NOTES & DETAILS	10/31/22	04/07/23

PROJECT INFORMATION

PROJECT NAME: PAWS AND ANCHOR
 PROJECT LOCATION: BLOCK 1105, LOT 5
 TAX MAP SHEET #11
 1505 CORLIES AVENUE
 TOWNSHIP OF NEPTUNE,
 MONMOUTH COUNTY, NJ
 OWNER / APPLICANT:
 KIENWOLF PACK LLC
 710 BEACH AVENUE
 BRADLEY BEACH, NJ 07720
 APPLICANT'S PROFESSIONALS
 ATTORNEY:
 GLENN J. WILLIAMS, ESQ.
 WILLIAMS, GRAFFEO & STERN LLC
 60 WASHINGTON STREET, SUITE 204
 MORRISTOWN, NJ 07960
 ARCHITECT:
 C.WALL ARCHITECTURE
 123 MESEROLE AVENUE
 BROOKLYN, NY 11222
 SURVEYOR:
 INSITE SURVEYING, LLC
 1955 ROUTE 34, SUITE 1A
 WALL, NJ 07719



CALL BEFORE YOU DIG!
 NJ ONE CALL...800-272-1000
 (at least 2 days prior to excavation)

ELECTRIC	RED
GAS/OIL	YELLOW
COMMUNICATION TV	ORANGE
WATER	BLUE
SEWER	BROWN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

Jason L. Fichter, PE, PP, CFM, CME
 PROFESSIONAL ENGINEER, PLANNER
 NJPE 43118 NJPP 5726 PAPE 81988
 DEPE 8813 NYPE 802285 CPE 23291
 NCFE 33336 DCPE 900682 COPE 38605

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

REVISIONS

Rev. #	Date	Comment
2	04/07/23	REV PER INCOMPLETENESS LETTER
1	02/27/23	REV FOR PB SUBMISSION
0	10/31/22	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: SGM
 DATE: 10/31/22 DRAWN BY: STC
 JOB #: 22-1905-01 CHECKED BY: JLF
 CAD ID: 22-1905-010
 NOT FOR CONSTRUCTION
 APPROVED BY:
 FOR CONSTRUCTION
 PLAN INFORMATION
 DRAWING TITLE:
PRELIMINARY & FINAL MAJOR SITE PLAN
 SHEET TITLE:
TITLE SHEET
 SHEET NO.:
C100

GENERAL NOTES

- 1. SUBJECT PROPERTY
TAX MAP 11, BLOCK 1105, LOT 5, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY
CENTER SITE COORDINATES 623,401 N 501,485 E.
2. PURPOSE OF THIS PLAN SET
THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL (SITE PLANS/SUBDIVISION) MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
3. SURVEY DATA
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY TOPOGRAPHIC & UTILITY SURVEY OF BLOCK 1105, LOT 5, 1505 CORLIES AVENUE", BEING DATED 01/30/22, LAST REVISED 02/03/22.
HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD83
4. BASE FLOOD ELEVATION
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP (FIRM), MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL #340250C0334G, DATED 06/15/22, THE SITE IS NOT LOCATED IN A FLOOD HAZARD AREA. FEMA MAPS REFERENCE THE NAVD88 VERTICAL DATUM.
5. ARCHITECTURAL INFORMATION
ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY C.WALL ARCHITECTURE, ENTITLED "PROPOSED ANNEX BUILDING", BEING DATED 03/23/22.
6. UNDERGROUND UTILITIES NOTIFICATION
FOR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
7. VERIFICATION OF UTILITIES
THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
8. SPECIFICATIONS
UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
9. CONSTRUCTION REQUIREMENTS
a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
11. CONSTRUCTION PERMITS/INSPECTIONS
CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL, AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, (WATER COMPANY/SEWER COMPANY), AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.
12. ADA COMPLIANCE
a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES, TITLE III.
b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.
13. STORMWATER POLLUTION PREVENTION PLAN
a. SOIL EROSION PLANS HAVE BEEN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJ6008823 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.
b. CONTRACTOR/DEVELOPER MUST PREPARE AND FOLLOW A STORMWATER POLLUTION PREVENTION PLAN FOR THE DURATION OF THE PROJECT.
14. OVERALL CONSTRUCTION DOCUMENTS
THIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.

SITE PREPARATION NOTES

- 1. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
a. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
b. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
c. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
d. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
e. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
f. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
g. A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNERS ENVIRONMENTAL CONSULTANT.
h. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISIONS. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO INSURE PUBLIC AND CONTRACTOR SAFETY.
i. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
2. IN ABSENCE OF SPECIFIC SPECIFICATION, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNERS GEOTECHNICAL ENGINEER.
3. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
4. USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
5. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
6. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
7. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
8. ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE DURING CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS, OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT.
10. ALL STREET APPURTENANCES (INCLUDING SIGNS, POLES, TREES & FENCING) WITHIN THE LIMITS SHOWN ARE TO BE REMOVED AND DISPOSED OFF-SITE UNLESS OTHERWISE NOTED.
11. EXISTING LIGHTING AND UTILITY POLE REMOVALS ARE TO BE PERFORMED BY THE APPROPRIATE UTILITY COMPANY.
12. ALL UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, FOUNDATIONS, VAULTS AND BUILDING FRAGMENTS ASSOCIATED WITH FORMER BUILDINGS, WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF SITE.
13. ALL STRUCTURES (CURBS, SIDEWALKS, PATIO, RETAINING WALL, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECTS BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE FACILITY.
14. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OFFSITE IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES, ORDINANCES, AND LAWS.

SITE LAYOUT NOTES

- 1. ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.
2. ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY.
3. ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
4. ALL SIDEWALK RAMPS MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS. ALL DETECTABLE WARNING STRIPS SHALL BE REPLACABLE WET-SET OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS ARE NOT PERMITTED UNLESS OTHERWISE.
5. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING.
6. ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
7. SIDEWALK/WALKWAY RISERS MUST BE GREATER THAN 4" AND LESS THAN 6".
8. SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
9. SEE ARCHITECT'S PLANS FOR BUILDING ELEVATIONS AND FLOOR PLANS.

GRADING NOTES

- 1. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.
2. ALL CURBS SHALL BE DERESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
3. ALL CURB INLETS TO USE 6" CASTING. TOP OF CASTING TO FOLLOW TOP OF CURB ELEVATIONS.
4. FOR ALL AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY, ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINE (PROWAG).
a. ALL WALKING SURFACES TO HAVE A MAXIMUM RUNNING SLOPE OF 1:20 (5%).
b. ALL WALKING SURFACES GREATER THAN 1:20 (5%) WILL REQUIRE HANDRAILS.
c. RAMP RUNS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:12 (8.3%).
d. ALL WALKING SURFACES TO HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
e. ALL CROSSWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 1:48 (2%).
5. ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
6. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.
7. FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
8. ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
9. ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.
10. ALL IMPORTED SOILS MUST BE CERTIFIED CLEAN FILL. IMPORTED SOILS SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL SUBSURFACE INVESTIGATION REPORT. ALL IMPORTED MATERIAL REQUIRES APPROVAL BY OWNER PRIOR TO PLACEMENT ONSITE.

SANITARY AND WATER NOTES

- 1. CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER AND WATER MAINS TO EXISTING SEWER AND WATER MAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY.
2. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
3. PROPOSED BUILDINGS SHALL BE SERVICED BY EXISTING POTABLE WATER AND SANITARY SEWER FROM THE N.T.S.A.
4. ALL SANITARY SEWER MAINS, SEWER LATERALS, AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH N.T.S.A AND NJDEP REQUIREMENTS. (T.V.D, PRESSURE RATED, AND MARKUP TESTED)
5. SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL WATER, SANITARY SEWER AND STORM SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PURCHASING.
6. ANY DAMAGE CAUSED TO THE SEWERAGE AUTHORITY'S SANITARY SEWER SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES (TO BE DETERMINED BY THE AUTHORITY) SHALL BE REPAIRED BY THE CONTRACTOR, AT THE COST OF THE CONTRACTOR AND TO THE AUTHORITY'S SATISFACTION.
7. PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE SANITARY SEWER SYSTEM SHALL BE SUBMITTED AND APPROVED.
8. PRIOR TO ACCEPTANCE, THE SANITARY SEWER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH N.T.S.A RULES AND REGULATIONS, AND WITNESSED AND APPROVED BY THE AUTHORITY ENGINEER.
9. REFER TO TECHNICAL SPECIFICATIONS FOR WATER AND SANITARY SEWER FOR MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.
10. ALL WATER MAINS, WATER SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED IN ACCORDANCE WITH (WATER COMPANY) AND NJDEP REQUIREMENTS.
11. ALL WATER SERVICES TO BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLUMBING SUBCODE PROMULGATED BY THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS PURSUANT TO THE STATE UNIFORM CONSTRUCTION CODE ACT (NJAC 5:23-3.15).
12. ALL NEW WATER MAINS SHALL BE LAID WITH A MINIMUM OF 4 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.
13. IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
14. UNLESS OTHERWISE INDICATED:
a. DIP WATER MAIN SHALL BE CLASS 53 CEMENT LINED DUCTILE IRON PIPE. (POLYETHYLENE ENCASEMENT)
b. SANITARY SEWER MAINS SHALL BE PVC SDR-35
15. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR FEET AND CAPPED.
16. GREASE TRAPS MUST BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE NATIONAL STANDARD PLUMBING CODE AND THE (MUNICIPAL AUTHORITY) BUILDING DEPT.
17. CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE OPENINGS IN EXISTING SEWERS TO RECEIVE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO THE PIPE.
18. SANITARY SEWER MAPPING CONTAINED REFERENCED FROM THE TOWNSHIP OF NEPTUNE ENTITLED "RECORD SEWER PLAN" SHEET 11

PUBLIC UTILITY NOTES

- 1. ALL PUBLIC UTILITY SERVICE CONNECTIONS TO BUILDINGS TO BE LOCATED UNDERGROUND.
2. ELECTRICAL, TELEPHONE, CATV AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND WITH STANDARDS ESTABLISHED BY THE SERVICING UTILITY COMPANY.
3. GAS AND ELECTRICAL SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND PROVIDED DESIGN BY (ELECTRIC/GAS COMPANY). THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO (ELECTRIC/GAS COMPANY) PROJECT ENGINEER AND THE PROJECT OWNER.
4. TELEPHONE AND CATV SERVICE CONDUIT AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF VERIZON AND COMCAST. THE CONTRACTOR MUST PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO VERIZON, COMCAST, PROJECT ENGINEER AND PROJECT OWNER.
5. CONTRACTOR SHALL MAINTAIN FIELD NOTES, PHOTOGRAPHS, AND REDEFINE PLANS CLEARLY RECORDING THE LOCATION OF ALL UNDERGROUND INSTALLATIONS. THESE RECORDS SHALL BE PROVIDED TO THE ENGINEER UPON REQUEST.

GENERAL LANDSCAPE NOTES

- 1. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
2. AN AGRONOMIC SOILS REPORT SHALL BE PREPARED BY THE OWNER AND FURNISHED TO THE CONTRACTOR, AND ALL RECOMMENDATIONS FROM SUCH REPORT SHALL BE INCORPORATED BY THE CONTRACTOR INTO INSTALLATION OF ALL PLANTING AREAS.
3. QUANTITIES SHOWN IN PLANT LISTS ARE FOR CONVENIENCE ONLY. PLANS SHALL GOVERN.
4. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED OF ANY DISCREPANCIES IN PLANT LOCATIONS OR INSUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
5. ALL TREE AND SHRUB MATERIAL SPECIFIED MUST MEET STANDARD INDUSTRY SPECIFICATIONS FOR THE CONTAINER SIZE INDICATED. DOWNSIZING OR SUBSTITUTION OF PLANT MATERIAL WITHOUT PRIOR APPROVAL OF UNDERSIGNED WILL NOT BE ALLOWED.
6. ALL LANDSCAPE AREAS SHALL BE GRADED TO A SMOOTH EVEN SURFACE PRIOR TO ANY PLANT INSTALLATION. ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
7. TREES SHALL NOT BE PLANTED CLOSER THAN FOUR (4) FEET FROM ANY WALKWAY OR PUBLIC SIDEWALK EXCEPT WHERE TREE WELLS OR PARKWAYS ARE PROVIDED IN THE SIDEWALK AREA. ALL TREES PLANTED WITHIN FIVE (5) FEET OF WALKS OR PUBLIC UTILITIES SHALL RECEIVE DEEP ROOT BARRIERS
8. TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD, WHENEVER FEASIBLE. TREES SHOULD BE PLANTED AT A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE UNDERSIGNED FOR DECISION ON PLACEMENT.
9. ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 3" MIN. THK. MULCH AT BASE OF TRUNK.
10. GROUNDCOVER TYPE SHOWN SHALL BE PLANTED IN ALL SHRUB AREAS AS SPECIFIED ON PLANS. GROUNDCOVER SHALL BE PLANTED AT 18" ON-CENTER UNIFORM TRIANGULAR SPACING, AND SHALL BE CONTINUOUS UNDER ALL TREE AND SHRUB MASSES AS SHOWN ON PLAN.
11. MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
12. REFER TO PLANTING DETAILS SHEET FOR ADDITIONAL INFORMATION.
13. ALL TURF AREAS ARE TO BE SODDED WITH AN APPROVED GRASS MIXTURE.
14. ALL TURF AREAS AND PLANTING AREAS ARE TO IRRIGATED. THE CONTRACTOR IS TO PROVIDE A DETAILED IRRIGATION PLAN AND GAIN TOWNSHIP APPROVAL PRIOR TO INSTALLATION.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A 1-YEAR PERIOD FROM THE RELEASE OF THE PERFORMANCE BOND. THE CONTRACTOR, AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEE PERIOD.
16. SEE LANDSCAPING NOTES AND DETAIL SHEET FOR ADDITIONAL PLANTING NOTES.

LANDSCAPE NOTES

- 1. PLANTING SIZES
DECIDUOUS TREES SHALL HAVE A MINIMUM CALIPER OF THREE (3) INCHES AT TIME OF PLANTING. EVERGREEN TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT AT TIME OF PLANTING. LOW-GROWING EVERGREEN SHRUBS SHALL BE A MINIMUM OF TWO AND ONE-HALF (2 1/2) FEET IN HEIGHT AT TIME OF PLANTING. SIZE OF OTHER PLANTINGS SHALL DEPEND ON SETTING AND TYPE OF PLANT MATERIAL.
2. STREET TREES
STREET TREES SHALL BE EVENLY SPACED ALONG THE STREET 15 FEET BEHIND THE CURBLINE. STREET TREES SHALL BE PLANTED AT A MINIMUM INTERVAL OF 30 TO 35 FEET ALONG ALL STREETS. ALL STREET TREES SHALL HAVE A MINIMUM CALIPER OF 3-1/2" AT THE TIME OF PLANTING. STREET TREES SHALL BE SUBSTANTIALLY UNIFORM IN SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED IN ACCORDANCE WITH THE NEPTUNE TOWNSHIP ENGINEERING STANDARDS. PROVISION SHALL BE MADE BY THE DEVELOPER FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. DEAD OR DYING TREES SHALL BE REPLACED BY THE DEVELOPER DURING THE NEXT SUITABLE PLANTING SEASON.

PROJECT INFORMATION

PROJECT NAME:

PAWS AND ANCHOR

PROJECT LOCATION:

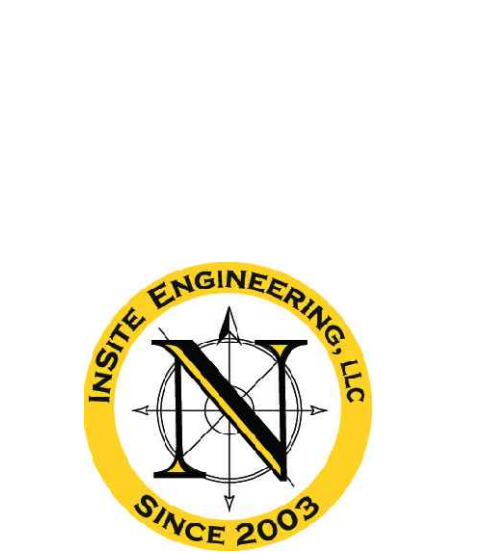
BLOCK 1105, LOT 5
TAX MAP SHEET #11
1505 CORLIES AVENUE
TOWNSHIP OF NEPTUNE,
MONMOUTH COUNTY, NJ

OWNER / APPLICANT:

KIENWOLF PACK LLC
719 BEACH AVENUE
BRADLEY BEACH, NJ 07720

APPLICANT'S PROFESSIONALS

ATTORNEY:
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WILLIAMS, GRAFFEO & STERN LLC
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MORRISTOWN, NJ 07960
ARCHITECT:
C.WALL ARCHITECTURE
123 MESEROLE AVENUE
BROOKLYN, NY 11222
SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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Table with 2 columns: Utility Type and Color. Includes Electric (Red), Gas/Oil (Yellow), Communication/TV (Orange), Water (Blue), Temp Survey Markings (Magenta), Proposed Excavation (White).



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LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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JASON E. FIGHTER, PE, PP, CFM, CME
PROFESSIONAL ENGINEER, PLANNER
NJPE 43118 NJPP 5726 PAPE 61988
DCPE 3615 NJPE 802285 CTPE 23291
NCPE 3336 DCPE 900682 COPE 36605

REVISIONS

Table with 3 columns: Rev #, Date, Comment. Contains revision history for the drawing.

2 04/07/23 REV PER INCOMPLETENESS LETTER
1 02/27/23 REV FOR PB SUBMISSION
0 10/31/22 INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: SGM
DATE: 10/31/22 DRAWN BY: STC

JOB # 22-1905-01 CHECKED BY: JLF
CAD ID: 22-1905-010

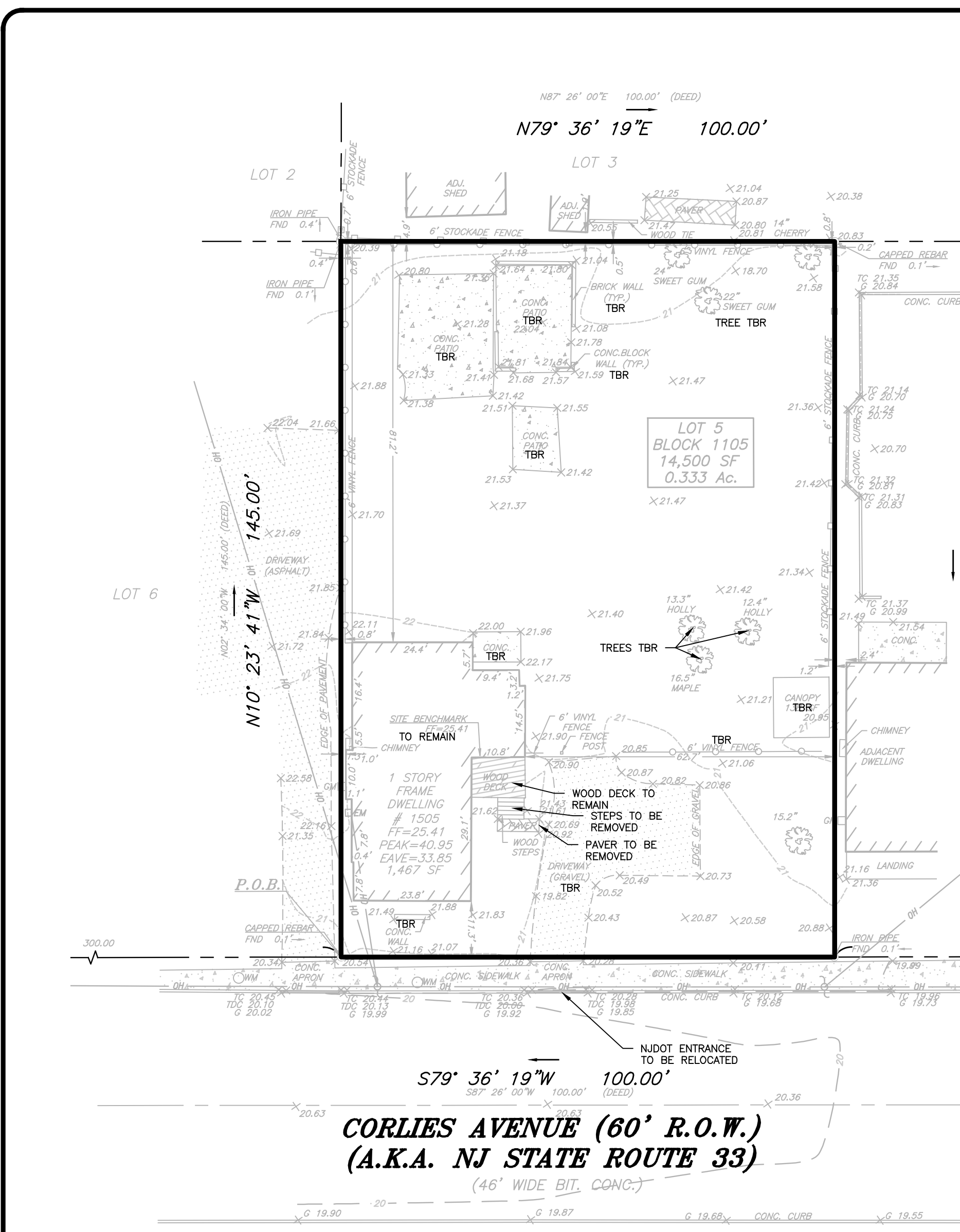
NOT FOR CONSTRUCTION APPROVED BY:

FOR CONSTRUCTION PLAN INFORMATION

DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

SHEET TITLE: PLAN NOTES

SHEET NO.: C101

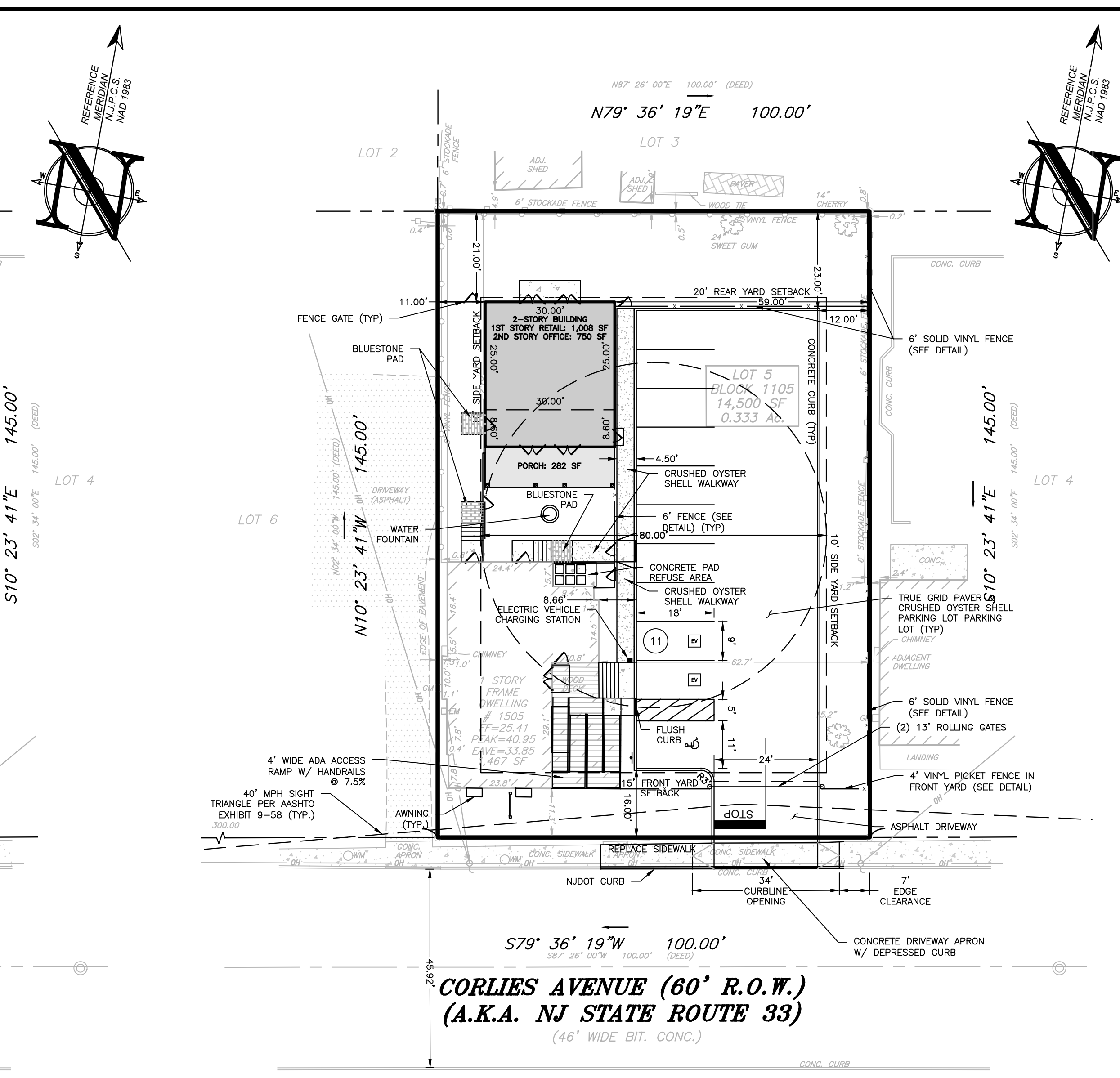
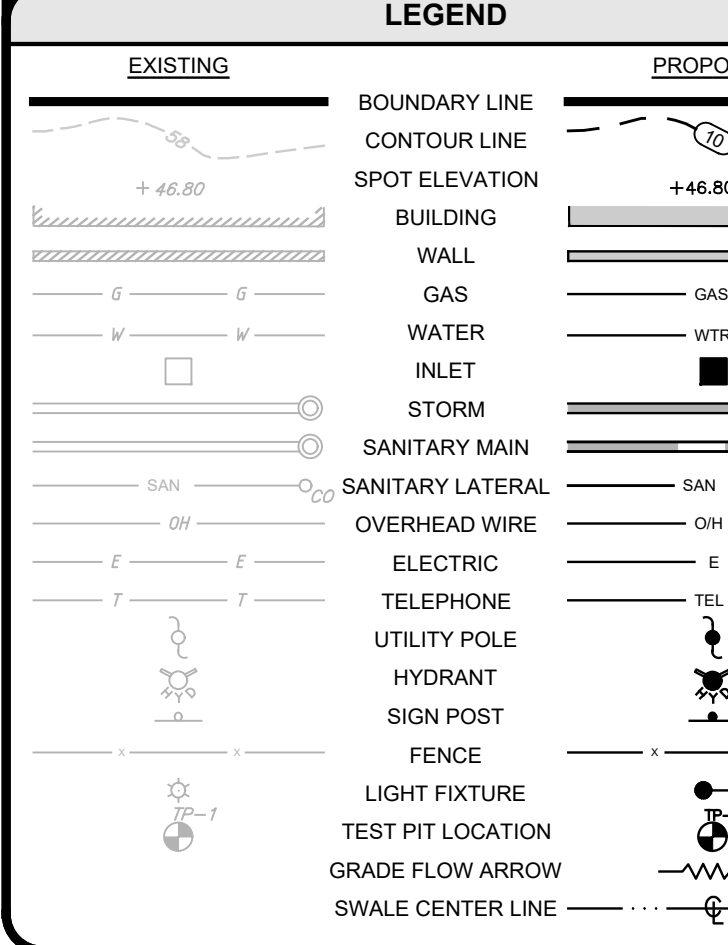
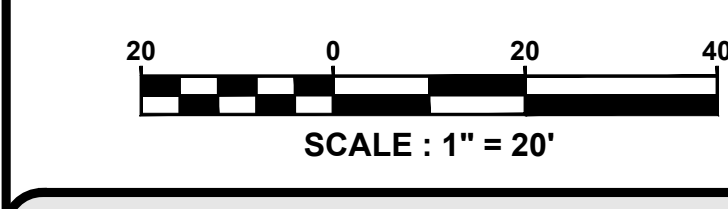


**CORLIES AVENUE (60' R.O.W.)
(A.K.A. NJ STATE ROUTE 33)**
(46' WIDE BIT. CONC.)

EXISTING CONDITIONS PLAN

TREES TO BE REMOVED			TREES TO BE REPLACED		
CALIPER SIZE (INCHES)	NUMBER OF TREES TO BE REMOVED	REMOVAL MULTIPLIER	NUMBER OF REPLACEMENT TREES	CALIPER	NO (N)
GREATER THAN 6" & UP TO 12"	0	1	0	2 - 2.5"	
GREATER THAN 12" & UP TO 18"	3	3	9	2 - 2.5"	
GREATER THAN 18" & UP TO 24"	1	6	6	3"	
GREATER THAN 24"	0	8	0	3"	
TOTAL			15		

- TREE REMOVAL & REPLACEMENT NOTES**
- NO PERSON SHALL REMOVE OR DESTROY OR CAUSE TO BE OR ALLOW TO BE REMOVED OR DESTROYED ANY TREE WITHOUT FIRST OBTAINING A TREE REMOVAL PERMIT. TREE REMOVAL PERMITS SHALL BE ISSUED BY THE ZONING OFFICER OR DESIGNEE. A PERMIT IS REQUIRED FOR THE REMOVAL OF ALL TREES OF FOUR (4) INCH CALIPER OR LARGER.
 - A TREE REMOVAL PERMIT HAS BEEN PREPARED AS PART OF THIS APPLICATION.
 - REFER TO SHEET C600 FOR TREE REPLACEMENT PLAN.



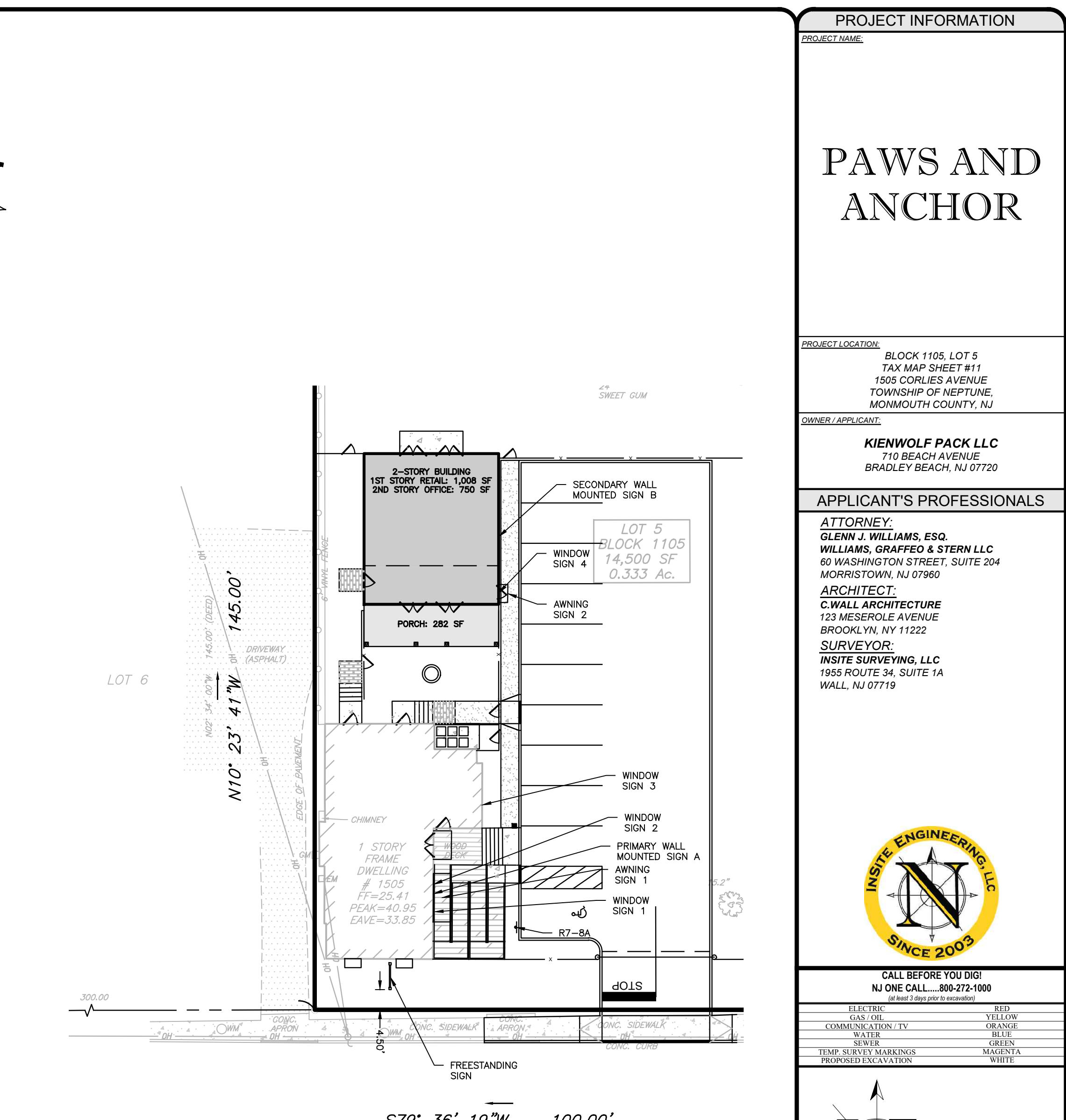
**CORLIES AVENUE (60' R.O.W.)
(A.K.A. NJ STATE ROUTE 33)**
(46' WIDE BIT. CONC.)

SITE LAYOUT PLAN

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED	COMPLIES
SCHED. B	MIN. LOT AREA (SF)	15,000	14,500 (0.333 AC)	(N)	NO (N)
SCHED. B	MIN. LOT WIDTH (FT)	100	100	NO CHANGE	YES
SCHED. B	MIN. LOT FRONTAGE (FT)	100	100	NO CHANGE	YES
SCHED. B	MIN. LOT DEPTH (FT)	100	145	NO CHANGE	YES
SCHED. B	MIN. FRONT YARD SETBACK (FT)	15	11.3	NO CHANGE	NO (N)
SCHED. B	MIN. REAR YARD SETBACK (FT)	20	81.2	NO CHANGE	YES
SCHED. B	MIN. SIDE YARD SETBACK (ONE SIDE (FT))	0/10	1	NO CHANGE	YES
SCHED. B	BOTH SIDES (FT)	2/5	63.7	NO CHANGE	YES
SCHED. B	MAX. BUILDING HEIGHT (STORIES)	48	15.64	NO CHANGE	YES
SCHED. B	ACCESSORY BUILDING	3	1	NO CHANGE	YES
SCHED. B	MIN. FRONT YARD SETBACK (FT)	15	N/A	98	YES
SCHED. B	MIN. REAR YARD SETBACK (FT)	20	N/A	21	YES
SCHED. B	MIN. SIDE YARD SETBACK (ONE SIDE (FT))	0/10	N/A	11	YES
SCHED. B	BOTH SIDES (FT)	2/5	N/A	70	YES
SCHED. B	MAX. BUILDING HEIGHT (STORIES)	48	N/A	24.75	YES
SCHED. B	MAX. BUILDING HEIGHT (FT)	3	N/A	2	YES
SCHED. B	MIN. BUILDING COVERAGE (%)	35	11.1	19.01	YES
SCHED. B	MAX. TOTAL LOT COVERAGE (%)	80	24.5	61.28	YES
SCHED. B	MIN. IMPROVABLE AREA (SF)	7,200	8,800	NO CHANGE	YES
SCHED. B	MIN. IMPROVABLE AREA DIAMETER OF CIRCLE (FEET)	55	80	NO CHANGE	YES
SCHED. B	MAX. FLOOR AREA RATIO	0.6	0.11	0.22	YES

ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
412.17.B	STALL SIZE (FT)	9 X 18	9 X 18	YES
412.18	PARKING PROHIBITED IN FRONT SETBACK	OUTSIDE FRONT SETBACK	OUTSIDE FRONT SETBACK	YES
TABLE 4.2	NUMBER OF PARKING SPACES	2,475 SF / 250 = 9.9 SPACES	11 SPACES	YES
TABLE 4.2	RETAIL & SERVICES: 1 PER 250 SF OF GFA	750 SF / 300 = 2.5 SPACES	11 SPACES	YES
TABLE 4.2	OFFICE: 1 PER 300 SF OF GFA	12 - 10% EV = 10.8 (1)	TOTAL = 11 SPACES	YES
PL 2021 c171	MIN. MAKE-READY ELECTRIC VEHICLE SPACES (<50 OFF-STREET SPACES)	1	2	YES
514.9	MIN. AISLE WIDTH (PERPENDICULAR PARKING) (FT)	24	24	YES
TABLE 5.2	MIN. NON-RESIDENTIAL DRIVEWAY WIDTH (TWO WAY) (FT)	20	24	YES
TABLE 5.2	MAX. NON-RESIDENTIAL DRIVEWAY WIDTH (TWO WAY) (FT)	24	24	YES
411.04.E	MIN. FRONT YARD SETBACK (FT)	15	16	YES
509.1.1	MIN. SIDE YARD PARKING LOT SETBACK (FT)	10	12	YES
509.1.1	MIN. REAR YARD PARKING LOT SETBACK (FT)	10	23	YES
514.B.3	MIN. PARKING SETBACK TO BUILDING (FT)	10	8.66	NO (N)
TABLE 4.1	MIN. COMMERCIAL LOADING BERTHS (UP TO 10,000 SF)	0	0	YES
(N) EXISTING NON-COMFORMITY	(I) IMPROVED CONDITION	N/A - NOT APPLICABLE		
(E) EXISTING VARIANCE	(X) VARIANCE / NON-COMFORMITY ELIMINATED	N/S - NOT SPECIFIED		
(V) PROPOSED VARIANCE	(W) PROPOSED WAIVER	N/A - NOT APPLICABLE		
(I) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THIS OFFICE				
(J) PER P.L. 2021, C.171, § 3.e. A PARKING SPACE PREPARED WITH EVSE OR MAKE-READY EQUIPMENT SHALL COUNT AS AT LEAST TWO PARKING SPACES FOR THE PURPOSE OF COMPLYING WITH A MINIMUM PARKING SPACE REQUIREMENT. THIS SHALL RESULT IN A REDUCTION OF NO MORE THAN 10% OF THE TOTAL REQUIRED PARKING.				

SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES
3.c.	MINIMUM NUMBER OF MAKE-READY (MR) PARKING SPACES	0	2	YES
25 OR FEWER	25 OR FEWER OFF-STREET PARKING SPACES	TOTAL = 12.4 = 12 SPACES	11 SPACES	YES
3.e.	EV OR MAKE-READY COUNTS AS TWO PARKING SPACES FOR UP TO 10% REDUCTION OF THE TOTAL REQUIRED SPACES	TOTAL = 12.4 = 10.8	11 SPACES	YES



SIGN LOCATION PLAN

ORD SECTION	STANDARD	REQUIRED	PROPOSED	COMPLIES	
416.07.A	FREE STANDING SIGN	1	1	YES	
416.07.A.5	MAX. SIGN AREA (SF)	89.5 (1)	19.63	YES	
416.07.A.6	MIN. SETBACK (FT)	3/4 OF THE SIGN HEIGHT = 75 x 0.6 = 4.5	4.5	YES	
416.07.A.7	MAX. HEIGHT (FT) (< 150 SF)	15	6	YES	
416.07.B.1.A	PRIMARY WALL MOUNTED SIGN	34.9	34.03	YES	
416.07.B.1.B	MAX. MOUNTING HEIGHT (FT)	8' & NOT TO EXTEND 2' ABOVE ROOF LINE	>8' & LESS THAN ROOF (W)	NO (N)	
416.07.B.1.C	MAX. QUANTITY	(2)	1	NO (N)	
416.07.B.1.D	MAX. HORIZONTAL DIMENSION (FT)	21.83 (75% OF WALL FACE)	8.17	YES	
416.07.B.1.E	MAX. PROJECTION (FT)	1	TO COMPLY	YES	
416.07.B.3.A	SECONDARY WALL MOUNTED SIGN	17.5 (50% PRIM. BLDG SIGN)	TO COMPLY	YES	
416.07.B.3.A	ALLOWABLE LOCATION	SIDE OR REAR FACADE	TO COMPLY	YES	
416.07.F.4	PERMANENT WINDOW SIGN	MAX. QUANTITY	1 PER WINDOW	YES	
416.07.F.3	MAX. SIGN AREA (SF)	35% OF WINDOW AREA (3)	0.39	YES	
416.07.F.3	WINDOW SIGN 1	9.5 SF x 0.35 = 3.33	0.45	YES	
416.07.F.3	WINDOW SIGN 2	9.5 SF x 0.35 = 3.33	0.43	YES	
416.07.F.3	WINDOW SIGN 3	7.8 SF x 0.35 = 2.73	1.23	YES	
416.07.F.3	WINDOW SIGN 4	8.0 SF x 0.35 = 2.80		YES	
416.07.C.1	MAX. QUANTITY	2 PER AWNING	1 PER AWNING	YES	
416.07.C.2	MAX. SIGN FACE VERTICAL DIMENSION (FT)	1.5	0.34	YES	
416.07.C.3	MAX. LETTER NUMBER CHARACTER IMAGE HEIGHT (INCH)	10	3.75	YES	
416.07.C.4	MAX. LETTER NUMBER CHARACTER IMAGE WIDTH (INCH)	1	TO COMPLY	YES	
416.07.C.5	MAX. NUMBER OF COLORS USED	2	2	YES	
416.07.C.6	ALLOWABLE AWNING LOCATION	FIRST-STORY ONLY	FIRST-STORY ONLY	YES	
416.07.C.7	MIN. AWNING HEIGHT (FT)	8	2	YES	
416.07.C.8	MAX. AWNING HORIZONTAL PROJECTION (FT)	5	4	YES	
416.07.C.9	MAX. AWNING VERTICAL PROJECTION (FT)	4	1.34	YES	
416.07.C.11	MAX. HORIZONTAL SIGN DIMENSION (FT)	HORIZONTAL PROJECTION	6.5	YES	
416.07.C.11	MAX. HORIZONTAL SIGN DIMENSION (FT)	LESSER OF 15 FT OR 60% OF THE AWNING	10.77 FT x 0.6 = 6.5 FT	YES	
416.07.C.7	AWNING 2	MIN. AWNING HEIGHT (FT)	8	2	YES
416.07.C.8	MAX. AWNING HORIZONTAL PROJECTION (FT)	5	4	YES	
416.07.C.9	MAX. AWNING VERTICAL PROJECTION (FT)	4	1.34	YES	
416.07.C.11	MAX. HORIZONTAL SIGN DIMENSION (FT)	LESSER OF 15 FT OR 60% OF THE AWNING	2.4	YES	

PROJECT INFORMATION

PROJECT NAME: PAWS AND ANCHOR

PROJECT LOCATION: BLOCK 1105, LOT 5, TAX MAP SHEET #11, 1508 CORLIES AVENUE, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NJ

OWNER/APPLICANT: KIENWOLF PACK LLC, 710 BEACH AVENUE, BRADLEY BEACH, NJ 07720

APPLICANT'S PROFESSIONALS:

ATTORNEY: GLENN J. WILLIAMS, ESQ., WILLIAMS, GRAFFEO & STERN LLC, 60 WASHINGTON STREET, SUITE 204, MORRISTOWN, NJ 07960

ARCHITECT: C.WALL ARCHITECTURE, 123 MESEROLE AVENUE, BROOKLYN, NY 11222

SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

INSITE ENGINEERING, LLC
SINCE 2003

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UTILITY MARKING: X-MARKING

INSITE ENGINEERING, LLC
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CERTIFICATE OF AUTHORIZATION: 24GA28083200
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LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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Jason F. Tall
MASON E. FIGHTER, PE, PP, CFM, CME
PROFESSIONAL ENGINEER, PLANNER
NJEPE 18118 NYPE 6726 PAPE 61668
DEPE 3813 NYPE 802295 CPE 23291
NCPE 33336 DCPPE 900682 COPE 36605

REVISIONS

REV.#	DATE	COMMENTS
1	10/31/22	REV PER INCOMPLETE LETTER
2	10/27/23	REV FOR SUBMISSION
0	10/27/23	INITIAL RELEASE

SCALE: 1" = 20' DESIGNED BY: SGM
DATE: 10/31/22 DRAWN BY: STC
JOB #: 22-1905-01 CHECKED BY: JLF
CAD ID: 22-1905-010

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APPROVED BY:

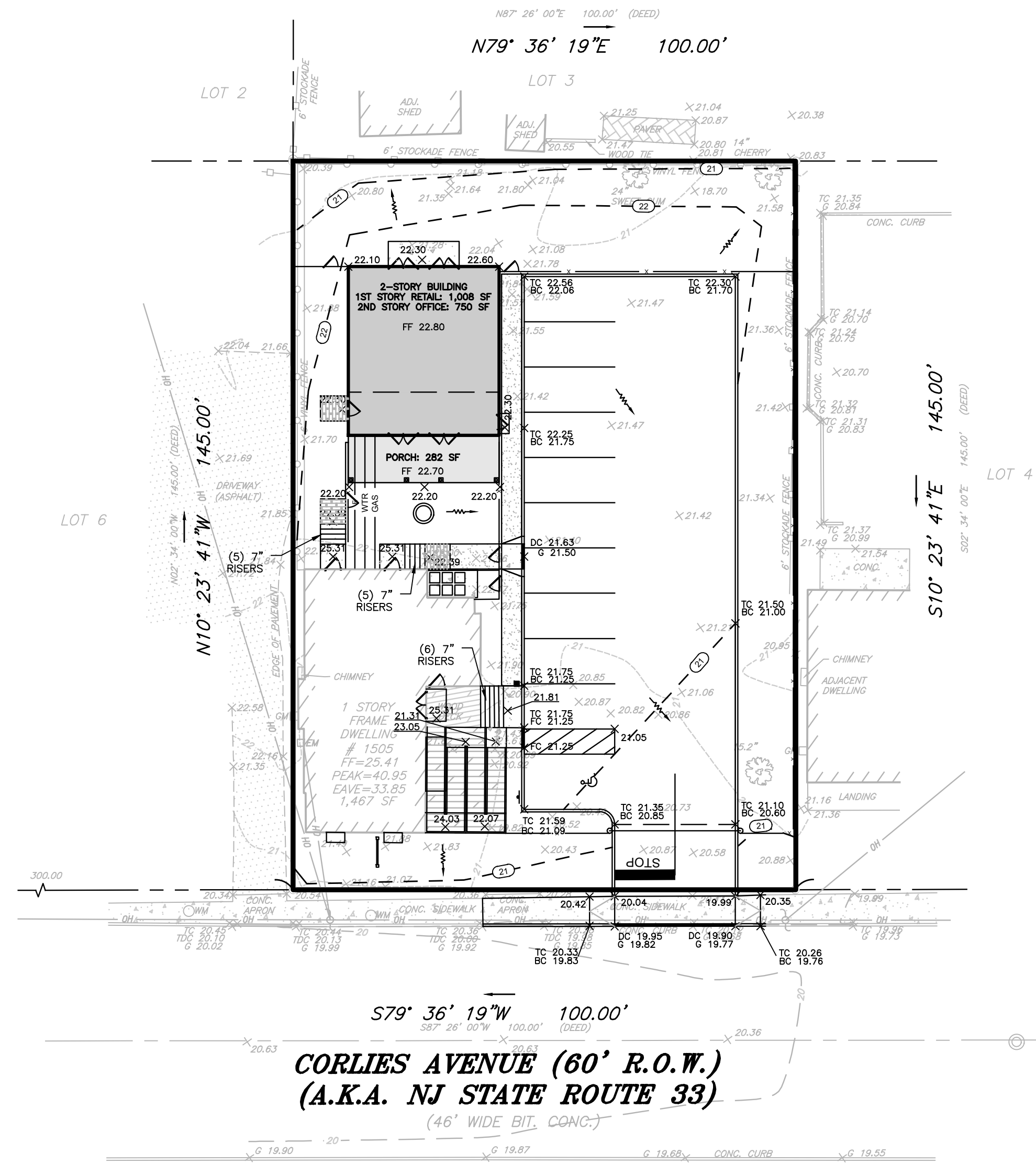
PLAN INFORMATION

BRANDING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN

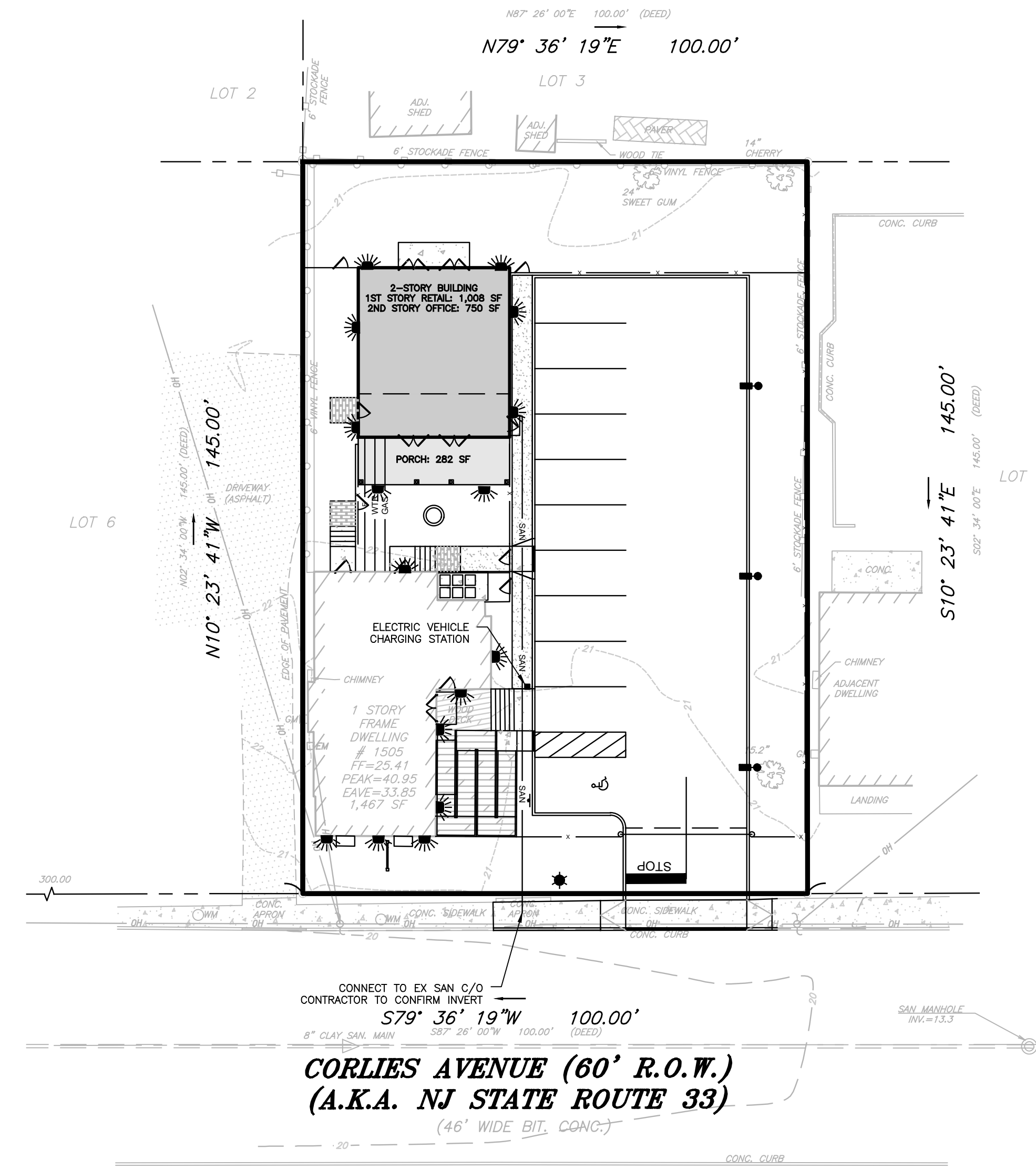
SHEET TITLE: SITE LAYOUT PLAN

SHEET NO.: C300

File: X:\Job\1905 - Plans and Annotations\22-1905-01 - 1508 Corlies Avenue, Neptune, NJ\22190501000\W04 - Site Plan.dwg -> C300 Site Plan.dwg
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GRADING PLAN

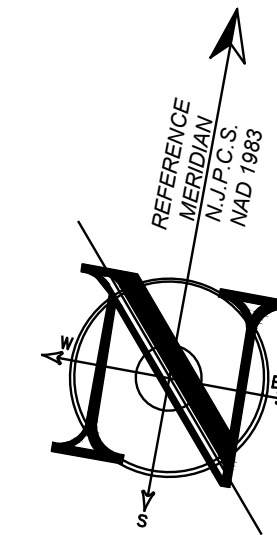


UTILITIES PLAN



LEGEND

EXISTING	PROPOSED
(---) BOUNDARY LINE	(---) BOUNDARY LINE
(---) CONTOUR LINE	(---) CONTOUR LINE
(---) SPOT ELEVATION	(---) SPOT ELEVATION
(---) BUILDING	(---) BUILDING
(---) WALL	(---) WALL
(---) GAS	(---) GAS
(---) WATER	(---) WATER
(---) INLET	(---) INLET
(---) STORM	(---) STORM
(---) SANITARY MAIN	(---) SANITARY MAIN
(---) SANITARY LATERAL	(---) SANITARY LATERAL
(---) OVERHEAD WIRE	(---) OVERHEAD WIRE
(---) ELECTRIC	(---) ELECTRIC
(---) TELEPHONE	(---) TELEPHONE
(---) UTILITY POLE	(---) UTILITY POLE
(---) HYDRANT	(---) HYDRANT
(---) SIGN POST	(---) SIGN POST
(---) FENCE	(---) FENCE
(---) LIGHT FIXTURE	(---) LIGHT FIXTURE
(---) TEST PIT LOCATION	(---) TEST PIT LOCATION
(---) GRADE FLOW ARROW	(---) GRADE FLOW ARROW
(---) SWALE CENTER LINE	(---) SWALE CENTER LINE



PROJECT INFORMATION

PROJECT NAME: PAWS AND ANCHOR
 PROJECT LOCATION: BLOCK 1105, LOT 5, TAX MAP SHEET #11, 1505 CORLIES AVENUE, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NJ
 OWNER/APPLICANT: KIENWOLF PACK LLC, 710 BEACH AVENUE, BRADLEY BEACH, NJ 07720

ATTORNEY: GLENN J. WILLIAMS, ESQ., WILLIAMS, GRAFFEO & STERN LLC, 60 WASHINGTON STREET, SUITE 204, MORRISTOWN, NJ 07960
 ARCHITECT: C.WALL ARCHITECTURE, 123 MESEROLE AVENUE, BROOKLYN, NY 11222
 SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

APPLICANT'S PROFESSIONALS

INSITE ENGINEERING, LLC
 SINCE 2003
 CALL BEFORE YOU DIG
 NJ ONE CALL: 800-272-1000
 (NJ One Call Excavation Services)

UTILITY	COLOR
ELECTRIC	RED
GAS	YELLOW
COMMUNICATION	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP. SERVICE MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

INSITE Engineering • Surveying • Planning

CERTIFICATE OF AUTHORIZATION: 24GA28083200
 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
 732-531-7100 (Ph) 732-531-7344 (Fax)
 InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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Jason L. Fichter
JASON L. FICHTER, PE, PP, CFM, CME
 PROFESSIONAL ENGINEER, PLANNER
 NJPE 43118, NUPP 5726, PAPE 81068
 DEPE 3813, NYPE 802295, CTPPE 23291
 NCPPE 33336, DCPE 900682, COPE 38605

REVISIONS

REV.#	DATE	DESCRIPTION
2	04/07/23	REV PER INCOMPLETE LETTER
1	02/21/23	REV FOR PER SUBMISSION
0	10/31/22	INITIAL RELEASE

SCALE: 1"=20'
 DATE: 10/31/22
 JOB #: 22-1905-01
 CAD ID: 22-1905-01r0

APPROVED BY: [Signature]
 FOR CONSTRUCTION

PLAN INFORMATION
 DRAWING TITLE: PRELIMINARY & FINAL MAJOR SITE PLAN
 SHEET TITLE: GRADING & UTILITIES PLAN
 SHEET NO.: C400

File: X:\Jobs\1905 - Paws and Anchor\22-1905-01 - 1505 Corlies Avenue, Neptune, NJ\22190501\CD\SitePlan.dwg - Site Planning - 10/31/22 - C400 Grading & Utilities Plan
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GENERAL SITE PLANTING

THE OWNER SHALL HAVE A SOIL ANALYSIS MADE AFTER COMPLETION OF THE ROUGH GRADING. THE CONTRACTOR SHALL INCORPORATE ALL SOIL AMENDMENTS AND FERTILIZERS DESCRIBED HEREIN. THE SOIL PREPARATION SPECIFIED BELOW SHALL BE ADJUSTED ACCORDING TO THE ANALYSIS, FOLLOWING APPROVAL FROM THE UNDERSIGNED.

A. WEED CONTROL FOR LAWN, SHRUB & GROUND COVER AREAS (EXCEPT SLOPES)

- REMOVE ALL EXISTING WEEDS FROM SURFACE AND DISPOSE OFFSITE.
- IRRIGATION IS TO BE INSTALLED WHERE NOTED ON PLAN ACCORDING TO SHOP DRAWINGS.
- FERTILIZE ALL SHRUB/GROUND COVER AREAS. APPLY 10LBS. OF 16-20-0 COMMERCIAL FERTILIZER PER 1,000 SQ. FT. OR AS DIRECTED BY SOILS REPORT.
- WATER ALL SHRUB/GROUND COVER AREAS FOR THREE (3) WEEKS TO GERMINATE WEED SEEDS. APPLY WATER AT LOW RATE TO AVOID EROSION.
- LICENSED APPLICATOR SHALL APPLY SYSTEMIC WEED KILLER TO ALL PLANTING AREAS PER MANUFACTURER'S SPECIFICATIONS.

B. TOPSOIL PRESERVATION

TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGARDED SURFACES. AT LEAST THREE (3) INCHES OF EVEN COVER SHALL BE PROVIDED TO ALL DISTRIBUTED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING. IF EXCESS TOPSOIL REMAINS, THE THICKNESS SHALL BE INCREASED. IF ADDITIONAL IS REQUIRED, THE DEVELOPER SHALL PROVIDE IT. REMOVAL OF EXCESS TOPSOIL SHALL ONLY BE PERMITTED IN ACCORDANCE WITH A PLAN APPROVED BY THE MUNICIPAL AGENCY.

C. SOIL PREPARATION & FINAL GRADING

- ALL STUMPS AND OTHER TREE PARTS, LITTER, BRUSH, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
- ROUGH GRADE: SITE TO BE RECEIVED BY LANDSCAPE CONTRACTOR, TO WITHIN 1/10 FOOT PLUS OR MINUS, BY OWNER BASED UPON GRADING PLAN.
- FINAL GRADE: FINAL GRADE TO CONSIST OF GRADING, RAKING AND HAND WORK NECESSARY TO ACHIEVE DESIRED CONTOUR AND FLOW LINE PATTERNS RESULTING IN EVENLY FINISHED SURFACES FREE OF DEBRIS AND LITTER.
- SPREAD OVER ALL LAWN, SHRUB AND GROUND COVER AREAS, AMENDMENTS AND FERTILIZER PRESCRIBED IN SOILS REPORT. THOROUGHLY MIX INTO SOIL TO DEPTH OF 6" OR MORE AND FINE GRADE. CONTRACTOR TO IMPORT SOIL NECESSARY TO ATTAIN DESIGN GRADES AND BERMS. ALL IMPORTED SOIL SHALL BE FREE OF WEEDS AND DEBRIS AND HAVE BALANCED PH, SMOOTH AND EVEN GRADING FOR PROPER DRAINAGE. FINAL GRADE SHALL BE 1" BELOW WALKTOP OF CURB, REMOVE FROM THE SITE ALL STONES OVER 2" IN SIZE.

D. PLANTING

PLANT TREES SHRUBS AND GROUND COVER AS CALLED FOR WHERE INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET.

- GROUND COVER - FLATS AND/OR CUTTINGS:
 - ALL PLANT MATERIALS SPECIFIED AS PLUGS OR FLAT STOCK ON PLANTING PLAN SHALL REMAIN IN THE FLATS UNTIL TIME OF TRANSPLANTING. THE FLAT SOIL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT SOIL DOES NOT FALL APART WHEN LIFTING PLANT FROM FLAT. GROUND COVER PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE OR DURING PLANTING. ROOTS SHALL NOT BE EXPOSED TO THE AIR EXCEPT WHILE ACTUALLY BEING PLANTED. WILTED PLANTS WILL NOT BE ACCEPTED. AT THE TIME OF PLANTING, THE SOIL AROUND EACH PLANT SHALL BE FIRMED SUFFICIENTLY TO FORCE OUT AIR POCKETS. PLANTS TO BE PLANTED IN TRIANGULAR SPACING AS SPECIFIED O.C. (ON CENTER). ALL CUTTINGS SHALL BE MINIMUM OF 6" LONG. WATER IMMEDIATELY AFTER EACH PLANTING UNTIL ONE INCH OF WATER PENETRATION IS OBTAINED. CARE SHALL BE EXERCISED AT ALL TIMES TO PROTECT THE PLANTS AFTER PLANTING. ANY DAMAGE TO PLANTS BY TRAMPING OR OTHER OPERATIONS OF THIS CONTRACT SHALL BE REPAIRED IMMEDIATELY.
- SHRUBS:
 - PLANT ALL CONTAINER GROWN PLANTS IN PLANTING PITS AS DIRECTED ON TREE AND SHRUB PLANTING AND STAKING DETAIL. THOROUGHLY MIX BACKFILL ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL. CONTRACTOR SHALL CONSTRUCT BASINS AROUND ALL TREES; BASINS SHALL NOT EXCEED TOP OF ROOT BALL CROWN.
- TREES:
 - ALL TREES SHALL HAVE A CALIPER OF TWO AND ONE-HALF (2 1/2) INCHES OR SPECIFIED CALIPER IN PLANTING SCHEDULE AND THEY SHALL BE NURSERY GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE, AND HAVE STRAIGHT TRUNKS. TREES SHALL BE PROPERLY PLANTED AND STAKED ACCORDING TO TREE AND SHRUB PLANTING AND STAKING/EVERGREEN PLANTING & STAKING DETAIL AND PROVISION MADE BY THE APPLICANT FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. THE APPLICANT SHALL REPLACE DEAD OR DYING TREES DURING THE NEXT PLANTING SEASON.
 - TOP DRESSING: TOP DRESS ALL GROUND COVER AND SHRUB AREAS WITH 2" THICK LAYER OF OGC (ORGANIC GROUND COVER) AS SPECIFIED ON PLANTING PLAN.

E. SOD

- AREAS SHALL HAVE A SMOOTH CONTINUAL GRADE BETWEEN EXISTING OF FIXED CONTROLS, SUCH AS: WALKS, CURBS, CATCH BASINS, ROLL, SCARIFY, RAKE AND LEVEL AS NECESSARY TO OBTAIN TRUE, EVEN SOIL STRUCTURE.
- APPLY FERTILIZERS AS SPECIFIED BY SOIL ANALYSIS TO DEPTH OF 6".
- SOD SHALL BE INSTALLED THE SAME DAY AS IT IS DELIVERED. SOD SHALL NOT BE LEFT ON PALLETS IN THE HOT SUN. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO SOD NOT INSTALLED ON DAY OF DELIVERY.
- UNROLL SOD CAREFULLY AND PLACE IN STAGGERED PATTERN OF STRIPS. SOD SHALL BE INSTALLED AGAINST ADJACENT STRIPS TO ELIMINATE JOINTS AND EDGES.
- FOLLOWING INSTALLATION, SOD SHALL BE IRRIGATED THOROUGHLY TO PROVIDE MOISTURE PENETRATION TO AT LEAST 6" INTO PREPARED SOIL. ALL SOD SHALL BE HANDLED AND LAID IN A HIGH STANDARD OF WORKSHIP MANNER. ALL ENDS, JOINTS, AND CUTS SHALL FIT TIGHTLY SO THAT THERE ARE NO VOIDS. THE FINAL APPEARANCE SHALL BE ONE OF A CONTINUOUS LAWN. SECTIONS OF SOD LESS THAN 18" LONG OR 8" WIDE SHALL NOT BE USED.
- NO SOD AREA WILL BE ACCEPTED UNTIL APPROVED BY AUTHORITY HAVING JURISDICTION OR THE UNDERSIGNED, AS REQUIRED.

GENERAL SLOPE PLANTING

A. PLANTING PREPARATION

- SLOPE TEXTURING
 - CUT SLOPES: THESE SURFACES SHALL BE ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
 - FILL SLOPES: THESE SURFACES SHALL BE COMPACTED AND ALSO ROUGHENED IN A HORIZONTAL DIRECTION FOLLOWING THE CONTOUR OF THE SLOPE. THE ROUGHENED TEXTURE SHALL BE MADE BY HAND RAKING OR SIMILAR MECHANICAL MEANS.
- WEED ERADICATION
 - MANUALLY REMOVE EXISTING VEGETATION WHERE NOTED ON PLAN AND DISPOSE OFFSITE.
 - FERTILIZE ALL PLANTING AREAS BASED UPON SOIL ANALYSIS. BEGIN WATERING PROCESS TO ACTIVATE FERTILIZER AND ADDITIVE CHEMICALS.
 - WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF TWO (2) CONSECUTIVE WEEKS. THE UNDERSIGNED SHALL APPROVE SPECIFIC WATERING DURATION AND FREQUENCY DESIGNED TO GERMINATE ALL RESIDUAL WEED SEEDS.
 - IF PERENNIAL WEEDS APPEAR, DISCONTINUE WATERING PROCESS FOR TWO (2) DAYS, THEN APPLY RECOMMENDED HERBICIDE BY LICENSED APPLICATOR IF ANNUAL WEEDS APPEAR, USE STRAIGHT CONTACT HERBICIDE AS PER THE LICENSED APPLICATOR'S RECOMMENDATIONS. NO WATER SHALL BE APPLIED FOR A MINIMUM OF FOUR (4) DAYS FOLLOWING APPLICATION CONTACT WEED KILLER.
 - ALLOW SUFFICIENT PERIOD OF TIME TO INSURE THAT ALL WEEDS ARE DEAD.
 - WATER ALL PLANTING AREAS THOROUGHLY FOR A PERIOD OF THREE (3) WEEKS. A SHORTER WATERING PERIOD MAY BE PERMISSIBLE AT THE DISCRETION OF THE UNDERSIGNED AND/OR THE PEST CONTROL ADVISOR. DISCONTINUE WATERING FOR ONE (1) DAY PRIOR TO THE SECOND APPLICATION OF THE HERBICIDE. RE-APPLY A STRAIGHT CONTACT WEED KILLER, AS PER THE PEST CONTROL ADVISOR'S RECOMMENDATIONS. FOR EFFECTIVE WEED ERADICATION, ALLOW A MINIMUM OF FOUR (4) DAYS WITHOUT IRRIGATION.
 - REMOVE ALL DESICCATED WEEDS FROM SLOPES.

B. PLANTING

PLANT TREES AND SHRUBS AS INDICATED ON PLANTING PLAN AND AS DETAILED ON PLANTING DETAIL SHEET. SUBSTITUTIONS OF PLANTS WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING BY THE UNDERSIGNED. INSTALL ALL CONTAINER GROWN PLANTS ACCORDING TO TREE AND SHRUB PLANTING AND STAKING DETAIL, THOROUGHLY MIX THE SPECIFIED MATERIALS FOUND IN THE SOIL ANALYSIS AND THOSE SPECIFIED IN THE PLANTING DETAIL SHEET WITH THE SITE SOIL PRIOR TO BACKFILLING OF PLANTING PITS.

GENERAL LANDSCAPING NOTES

A. CLEANUP

AFTER ALL INSTALLATION OPERATIONS HAVE BEEN COMPLETED, REMOVE ALL RUBBISH, EXCESS SOIL, EMPTY PLANT CONTAINERS AND TRASH FROM THE SITE DAILY. ALL SCARS, RUTS AND OTHER MARKS IN THE AREA CAUSED BY THIS WORK SHALL BE REPAIRED AND THE GROUND LEFT IN A NEAT, ORDERLY CONDITION. LEAVE SITE IN BROOM-CLEAN CONDITION AT THE END OF EACH DAY.

B. MAINTENANCE

- DURING INSTALLATION, THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF LABORERS AND ADEQUATE EQUIPMENT TO PERFORM THE WORK HEREIN SPECIFIED. PLANT MAINTENANCE SHALL CONSIST OF WATERING, WEEDING, CARING OF PLANTS, INCLUDING GROUND COVERS, SHRUBS, VINES AND TREES, EDGING AND MOWING LAWNS, FERTILIZING, CONTROL OF PESTS AND DISEASES, AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT. UPON COMPLETION OF EACH AREA, THE CONTRACTOR, THE OWNER, THE UNDERSIGNED, AND THE MAINTENANCE REPRESENTATIVE SHALL CONDUCT AN INSPECTION OF COMPLETED AREA. AT THIS TIME, A LIST OF CORRECTIONS, IF ANY, SHALL BE MADE. ALL CORRECTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- AFTER ALL WORK HAS BEEN COMPLETED, INSPECTED AND ACCEPTED, ALL AREAS WILL BE MAINTAINED FOR A PERIOD OF NINETY (90) CALENDAR DAYS OR AS LONG AS NECESSARY TO ESTABLISH THRIVING TREES, SHRUBS, TURF AND GROUND COVER WITHOUT BARE SPOTS.
- KEEP ALL AREAS WEED-FREE, ADEQUATELY WATERED AND NEATLY CULTIVATED FOR THE NINETY (90) PERIOD. REMOVE ALL DEBRIS FROM SITE AND KEEP THE ENTIRE SITE BROOM-CLEAN. TURF AREAS ARE TO BE MOWED WEEKLY.
- RE-SEED ALL BARE SPOTS IN TURF AREAS AT TWO (2) WEEK INTERVALS AND MAINTAIN UNTIL AN EVEN STAND OF TURF IS OBTAINED. RE-SEED ALL SLOPE AREAS THAT FAIL TO GERMINATE EVENLY. REPAIR ALL ERODED SURFACES AT NO COST TO THE OWNER.
- DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY. DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED WITH TOPSOIL, LEVELED AND REPLANTED.
- THE PROJECT SHALL BE SO CARED FOR THAT A NEAT, CLEAN CONDITION WILL BE PRESENTED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE UNDERSIGNED. THE LANDSCAPE CONTRACTOR SHALL BE EXPECTED TO MAKE A MINIMUM OF ONE (1) VISIT PER WEEK FOR MAINTENANCE PURPOSES DURING THE MAINTENANCE PERIOD (90 DAYS).
- AT THE END OF THE MAINTENANCE PERIOD, ALL AREAS THAT HAVE BEEN PLANTED SHALL BE FERTILIZED WITH COMMERCIAL FERTILIZER. ANALYSIS AND DATE OF APPLICATION SHALL BE PER THE SOILS REPORT.
- THE CONTRACTOR SHALL REQUEST A FINAL SITE VISIT SEVEN (7) DAYS PRIOR TO THE END OF THE MAINTENANCE PERIOD (90 DAYS). THIS REQUEST SHALL BE WRITTEN AND DIRECTED TO THE OWNER AND THE UNDERSIGNED. UPON WRITTEN ACCEPTANCE OF THE PROJECT BY THE OWNER AND THE UNDERSIGNED, THE CONTRACTOR SHALL BE RELIEVED OF ANY FURTHER MAINTENANCE.

C. GUARANTEE

ALL TURF, GROUND COVER AND SHRUBS SHALL BE GUARANTEED TO LIVE AND GROW THROUGH THE FIRST GROWING SEASON. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR. THE CONTRACTOR AT NO COST TO THE OWNER, SHALL REPLACE ANY MATERIAL THAT FAILS TO GROW THROUGH THE SPECIFIED MAINTENANCE AND GUARANTEED.

D. INSPECTION DURING CONSTRUCTION

- OBSERVATION VISITS SPECIFIED HEREIN SHALL BE MADE BY THE UNDERSIGNED OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL REQUEST OBSERVATION AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF THE TIME THAT THE OBSERVATION IS REQUESTED. A
- OBSERVATION VISITS ARE SUGGESTED FOR THE FOLLOWING PARTS OF THE WORK:
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 - WHEN TREES ARE SPOTTED FOR PLANTING, BUT PRIOR TO WHEN PLANTING HOLES ARE EXCAVATED.
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E. VERIFICATION OF DIMENSIONS

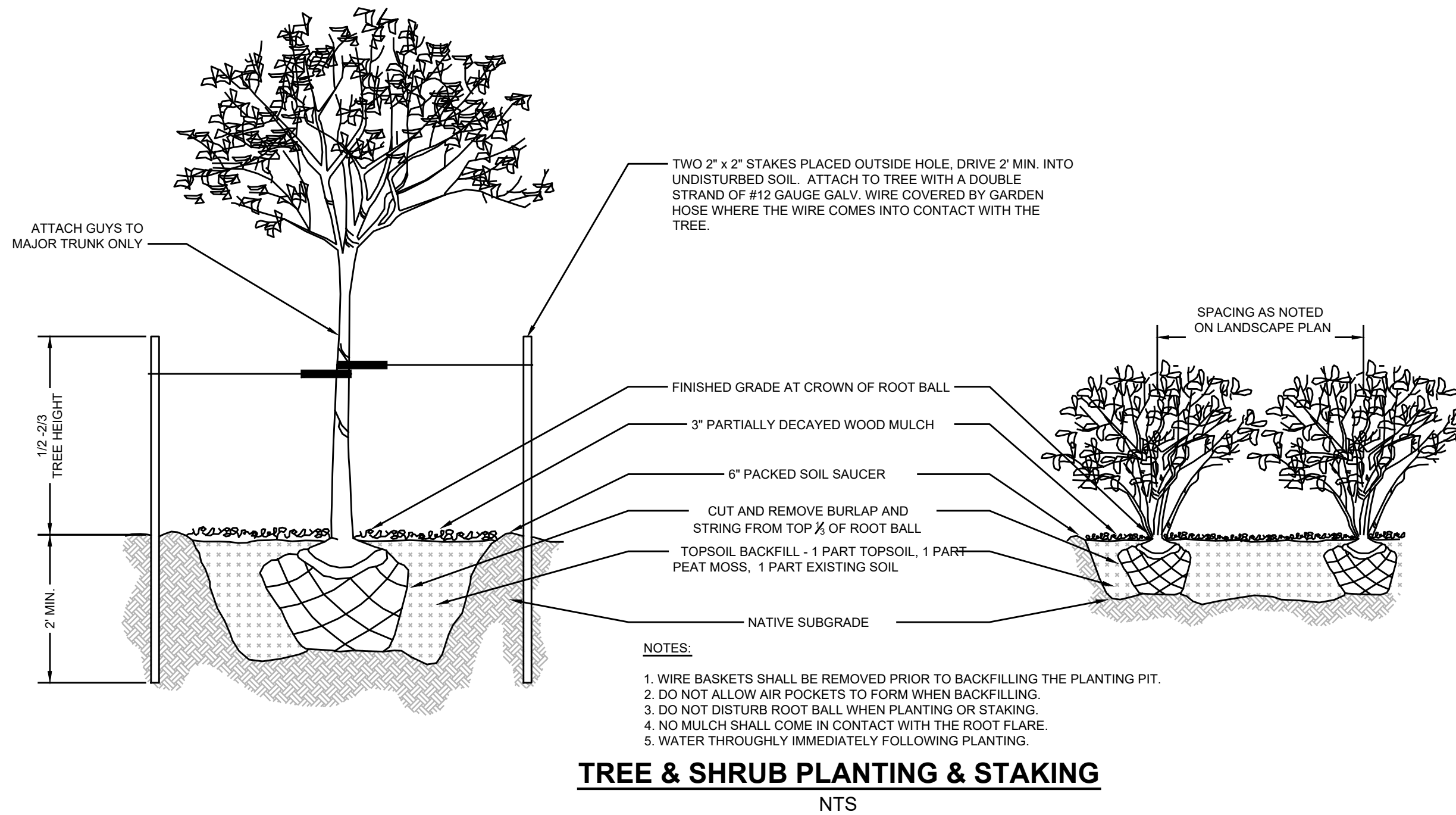
ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY THE UNDERSIGNED.

F. UTILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE UNDERSIGNED TO ARRANGE FOR RELOCATIONS OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.

G. EXISTING TREES

CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.



TREE & SHRUB PLANTING & STAKING
NTS

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 - WRITTEN ACCEPTANCE OF THE PROJECT TO RELEASE THE CONTRACTOR FROM FURTHER MAINTENANCE SHALL OCCUR AFTER FINAL OBSERVATION WITH THE OWNER OR HIS REPRESENTATIVE AT THE END OF THE MAINTENANCE PERIOD.

E. VERIFICATION OF DIMENSIONS

ALL SCALED DIMENSIONS ARE APPROXIMATE. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY NOTIFY THE UNDERSIGNED OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS AND ACTUAL CONDITIONS. NO WORK SHALL BE DONE IN ANY AREA WHERE THERE IS SUCH A DISCREPANCY UNTIL APPROVAL FOR SAME HAS BEEN GIVEN BY THE UNDERSIGNED.

F. UTILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH LINES AND PLANT LOCATIONS. PROMPTLY NOTIFY THE UNDERSIGNED TO ARRANGE FOR RELOCATIONS OR PLANTING LOCATIONS. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR, AT HIS OWN EXPENSE, MAKING ANY AND ALL REPAIRS FOR DAMAGES RESULTING FROM HIS WORK.

G. EXISTING TREES

CONTRACTOR IS TO TAKE CARE IN PRESERVING ANY EXISTING TREES GREATER THAN OR EQUAL TO 6" ON THE SITE. DAMAGE OR LOSS OF THESE TREES WILL RESULT IN REPLACEMENT OF EQUAL SIZE BY THE LANDSCAPE CONTRACTOR.

A850SRLED OLD TOWN SERIES



EPA 1.21(lf)
WEIGHT 43 LBS
7 YEAR WARRANTY
Lumen Range 2,380 to 14,110
Life Span L70 MINIMUM 100,000 HOURS
UL LISTED
CLICK FOR FAQ'S
RATED IP66
JOB NAME
FITTURE TYPE
MEMO

BUILD A PART NUMBER																	
ORDERING EXAMPLE: 2A-A850SRLED-5P-16L40T5-MDL014-A-PEC-FHD/480PM/4212FP4/GFF/BKT																	
Mounting Config	Fixture	Filter	LED	CCT	Distribution Type	Driver	Lens	Option Control Receptacle	Option Control	Option Fuse	Option Ring	Option GFI	Option Term. Block	Option House Side Shield	Arm Size Axis Spec Sheets	Pole Size Pole Spec Sheets	Finish
• IW	• 2A	• 3A90	• 1AM														
• PT	• 2A90	• 3APT	• 2AM														
• TA	• 2APT	• 4A	• 450PB														
• IAPT	• 3A	• 4APT															

Mounting Configuration

- IW - In Wall
- PT - Post Top
- TA - Arm Mount
- IAPT - In Wall Arm Mount
- W - Wall Mount
- PT - Post Top
- A - Arm Mount
- AM - Arm Mid-Mount
- PB - Pole Base

Fixture

• A850SRLED

Filter

- 5P - 990'
- 73 - 992'
- 74 - 993'
- 990' - 994'
- 992' - 994'
- 994' - 997'
- 0L3
- B04
- 0L4
- B05
- 588
- C2097²

LED

- 32L - 24L
- 16L
- 12L

CCT - Color Temperature (K)

- 27(00)
- 30(00)
- 40(00)
- 50(00)

Distribution Type

- T2
- T3
- T4
- T5

Driver

- MDL018¹ (120V-277V, 180mA)
- MDH018¹ (347V-480V, 180mA)
- MDL016¹ (120V-277V, 160mA)
- MDH016¹ (347V-480V, 160mA)
- MDL014¹ (120V-277V, 140mA)
- MDH014¹ (347V-480V, 140mA)
- MDL008¹ (120V-277V, 80mA)
- MDH008¹ (347V-480V, 80mA)

- ¹24L system only
- ²32L system only
- ³24L, 48L or DL system only
- ⁴DL system only

Lens

- A (Acrylic)
- P (Polycarbonate)

Options

- R77 - 7-Pin Control Receptacle Only
- RSR7 - Roof Mounted 7-Pin Control Receptacle Only

Specifications

Fixture

The luminaire shall be 16" diameter and 40-1/2"; The acorn shall be supplied with a cast aluminum finial and a solid, cast aluminum roof which includes optimized heat sinks to provide maximum life and performance for the LED light sources. The acorn shall be sealed to the cast aluminum roof to provide a moisture-free and bug-free optics chamber for the LED light sources and Rated IP66. The Luminaire shall be UL listed in US and Canada.

Filter - Standard

The filter shall be heavy wall cast aluminum, 360 die cast alloy for high tensile strength. It shall have an 8-1/2" inside diameter opening to attach to the 8" neck of the acorn globe. When ordered with a Sternberg aluminum pole, the filter shall be welded to the pole top or tenon for safety and to ensure the fixture will be plumb, secure and level over the life of the installation. The filter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly.

900 Series Utility Fitter Option

The fitter shall be heavy wall cast aluminum, 360 die cast alloy for high tensile strength. It shall have a 9-1/4" inside diameter opening to attach to the 8" neck of the acorn globe. It shall have a hinged, tool-less entry door that provides open access to all of the components. The 900 series shall have an optional terminal block for ease of wiring, an optional Twist-Lock Photocontrol receptacle, an optional single GFCI outlet for auxiliary power needs. The top mounted ballast mounting plate shall be cast aluminum and provide tool-less removal from the housing using 2 finger latches. When ordered with a Sternberg aluminum pole, the fitter shall be set screwed to the pole top or tenon. The fitter shall have a one-piece ring bug gasket to resist insect penetration into lamp assembly. When supplied with GFI receptacle a hole will be provided for cord and plug installation with the access door closed. When cord and plug is not in use a filler plug will be provided and shall be tethered to the fitter for easy recovery and installation.

Custom Finishes¹

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured



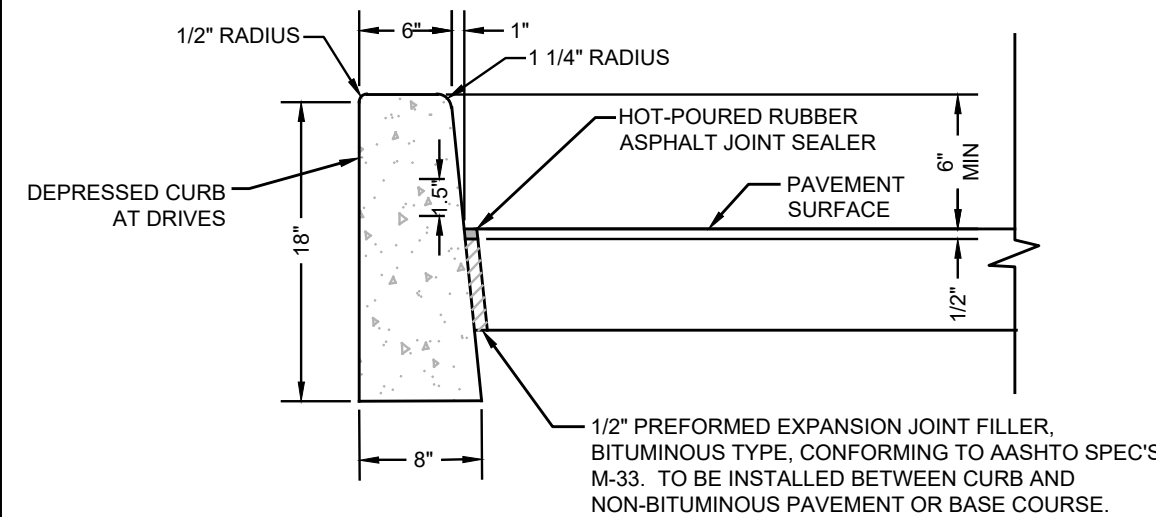
800-621-3376
555 Lawrence Ave., Roselle, IL 60172
info@sternberglighting.com
www.sternberglighting.com

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GEORGETOWN

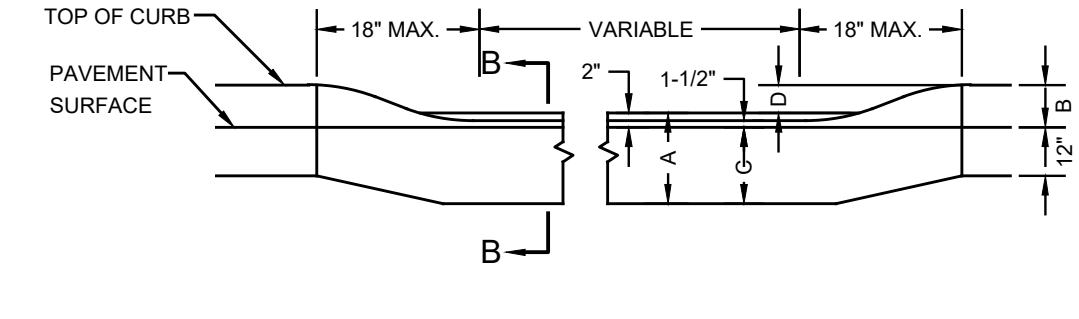


GEORGETOWN LIGHT POST FOR OLD TOWN SERIES LIGHTS (STERNBERG VINTAGE LIGHTING CATALOG)
NTS



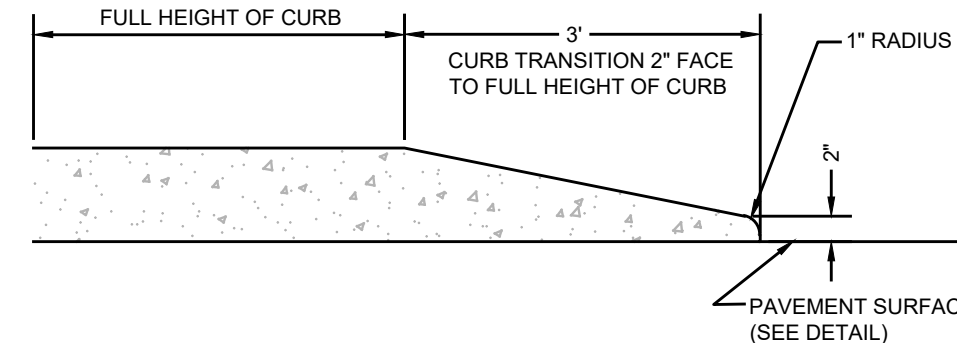
- NOTES:**
- CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINED).
 - TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
 - DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.
 - WIDTH OF JOINT FILLER STRIP EQUAL TO THE THICKNESS OF THE PAVEMENT LESS 1/2".

CONCRETE VERTICAL CURB
NTS

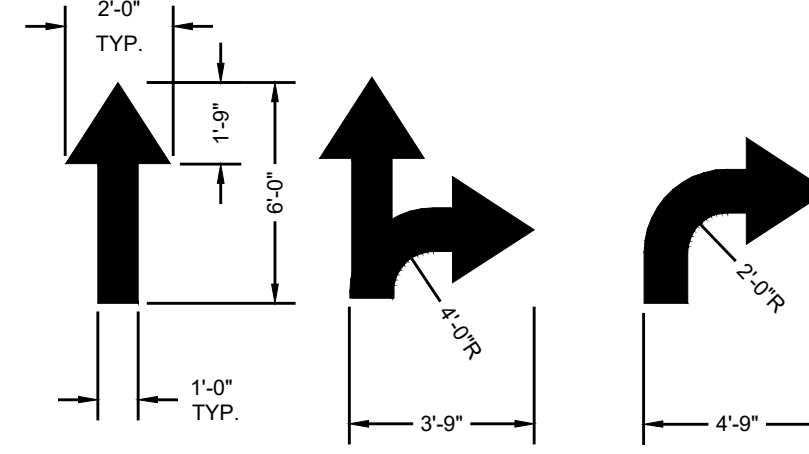


CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D
9"x10"	18"	4"	14"	2"
9"x18"	18"	6"	16"	4"

METHOD OF DEPRESSING CURBS AT DRIVEWAYS
NTS

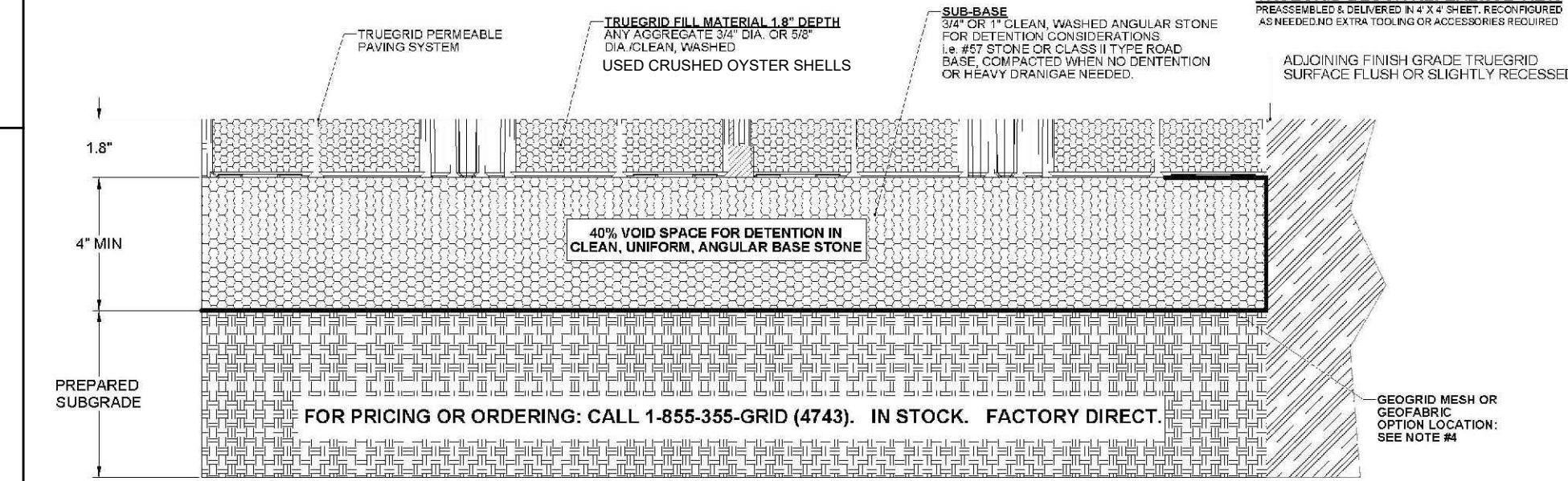


TRANSITION CONCRETE CURB
NTS

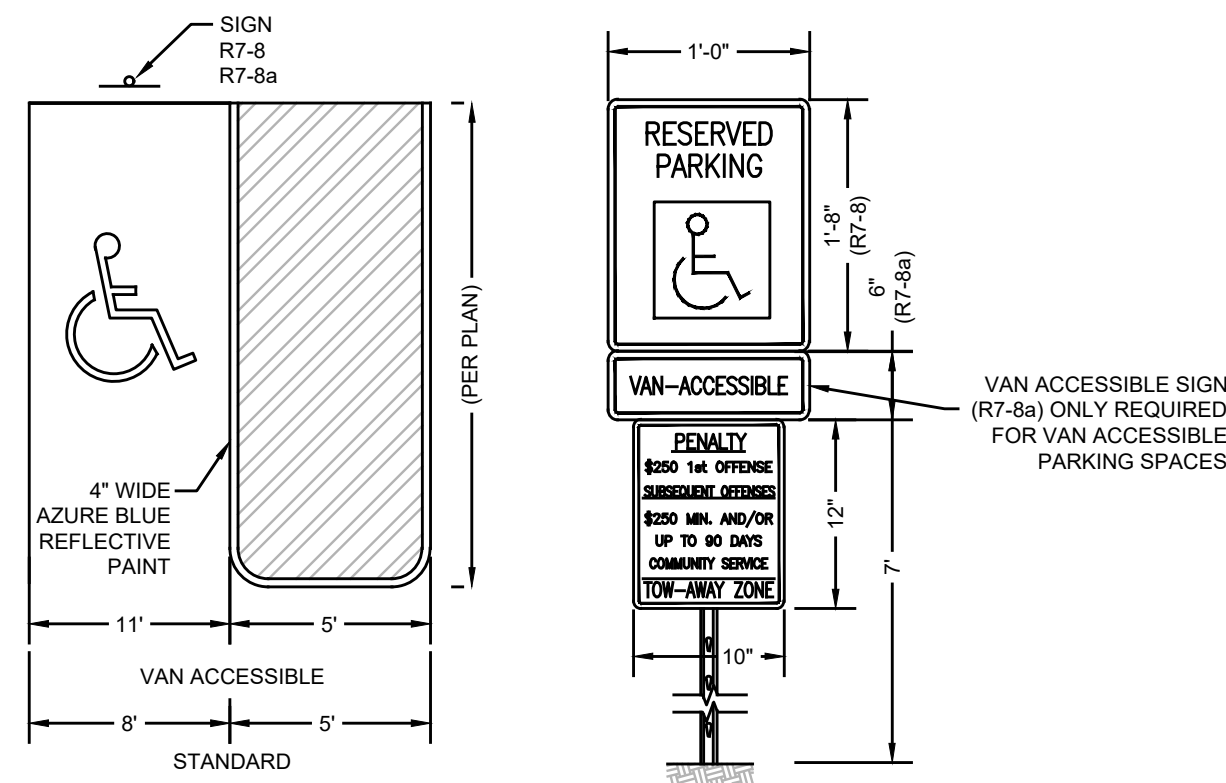


PAINTED TRAFFIC ARROWS
NTS

- TRUEGRID PAVER PARKING LOT**
NTS
- SUB-BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
 - TRUEGRID PRO PLUS PRODUCTS DESIGNED FOR LOAD CAPACITIES OF 120,000 LBS PER SQ. FT. TRUEGRID PRODUCTS STRENGTHEN WITH FILL MATERIAL.
 - TRUEGRID PRO PLUS PRODUCTS ARE SUFFICIENTLY RATED FOR H-20 AND H-20D LOADING AND GREATER.
 - GEOGRID MESH OR GEOFABRIC MAY BE REQUIRED BETWEEN SUB-GRADE & SUB-BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS.
 - INCREASE SUB-BASE DEPTH FOR INCREASED STORM WATER DETENTION.
 - NO STAKING NECESSARY WITH TRUEGRID PRO PLUS WHEN SLOPE IS BELOW 10 DEGREES. ASSESS PROJECT, AS NEEDED.
 - FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS.
 - THIS CROSS SECTION IS FOR INFORMATION ONLY.



TRUEGRID PAVER PARKING LOT
NTS



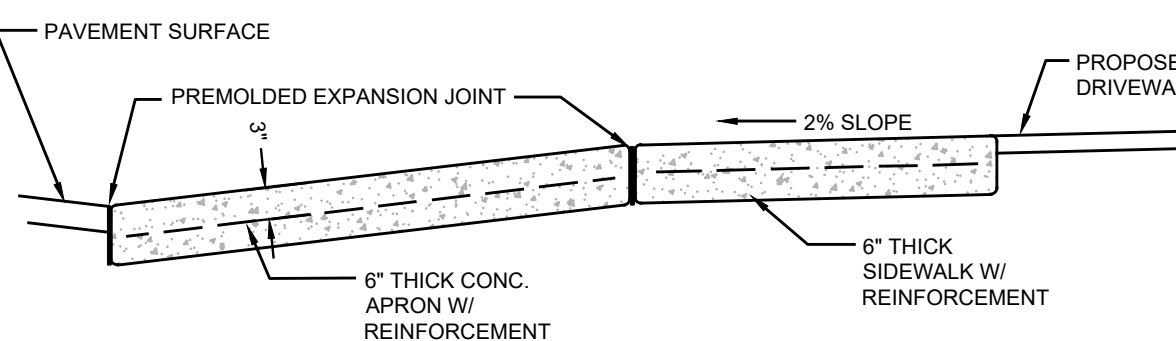
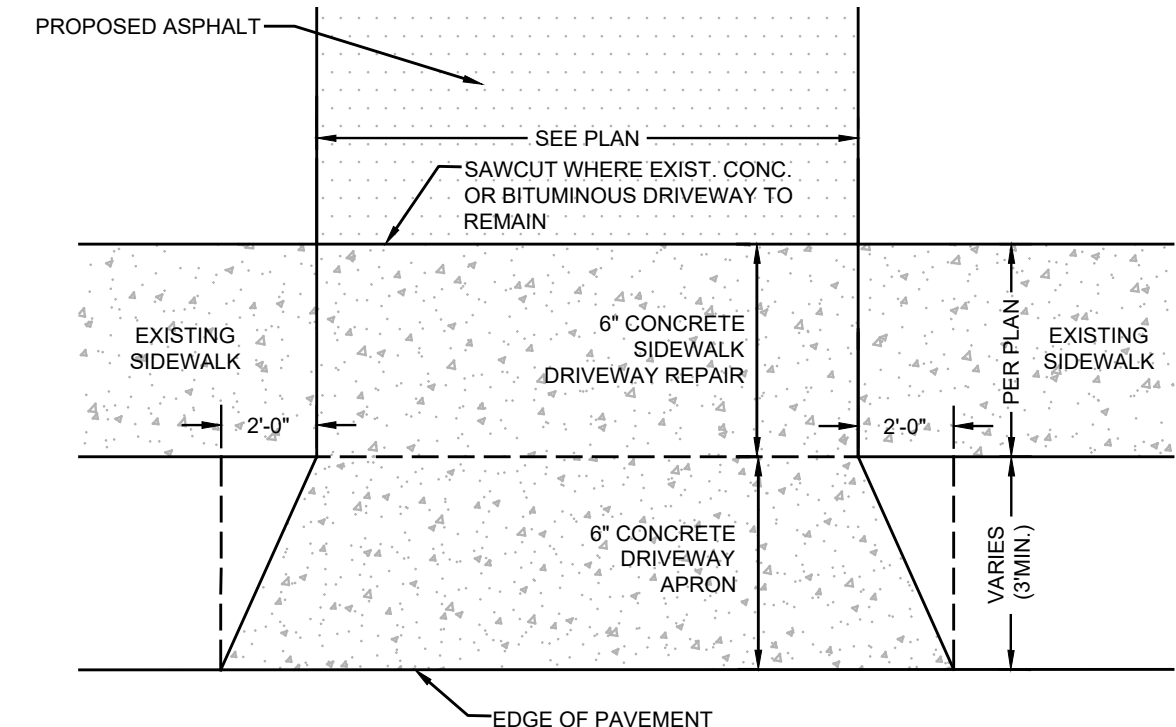
ACCESSIBLE PARKING STALL
NTS

GENERAL NOTES:

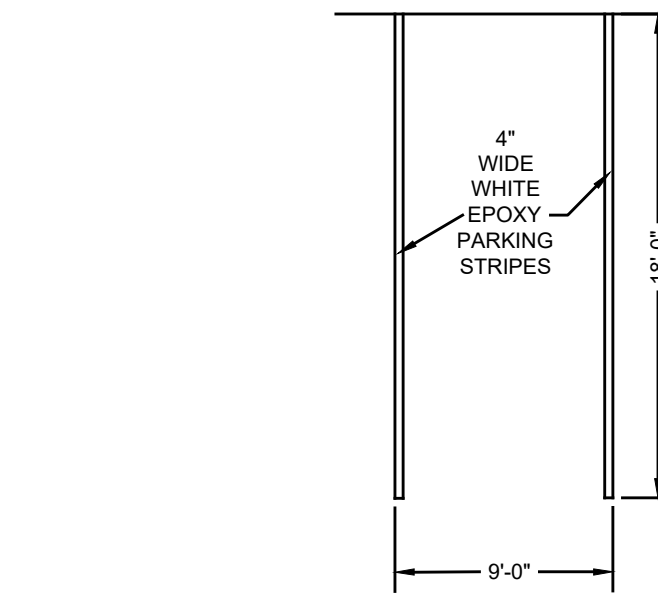
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE.
- CURB (DROPPED CURB) GUTTERLINE SHALL BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS, EXCEPT THAT CURB RAMP TYPE 6 SHALL BE A MINIMUM OF 5 FEET.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, THE SIDEWALK CURB RAMP DELINEATION (SHADED AREA) SHALL BE SAFETY RED IN COLOR ON 70% COLOR CONTRAST FOR OTHER SURFACES SUCH AS CONCRETE OR BRICK.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF THE SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPES 1 THROUGH 4.
- DIMENSIONS SHOWN ON THE TABLES ARE FOR 4, 6, OR 8 INCH CURB HEIGHTS, WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON THE CROSS SLOPES SHOWN.
- ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

ADA ACCESSIBLE SIDEWALK AND CURB RAMPS
NTS

- NOTES:**
- ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B".
 - PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
 - PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6-W2.9XW2.9 AT DRIVEWAY APRONS.



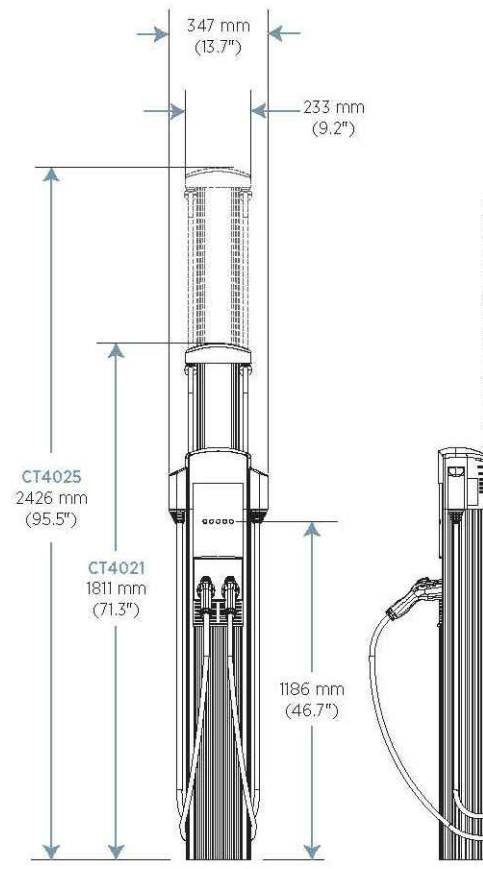
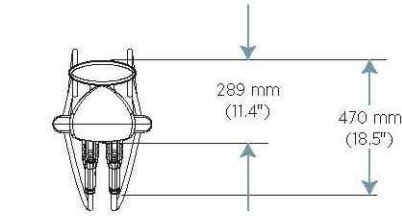
DRIVEWAY APRON
NTS



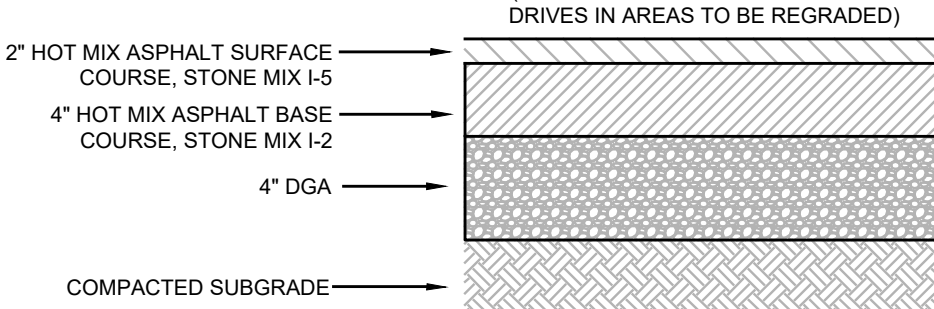
PARKING STRIPING
NTS

PRODUCT INFORMATION:

MANUFACTURER: CHARGEPOINT
PHONE: 408-841-4500
MODEL: CT4021
DUAL CHARGING STATION
WWW.CHARGEPOINT.COM

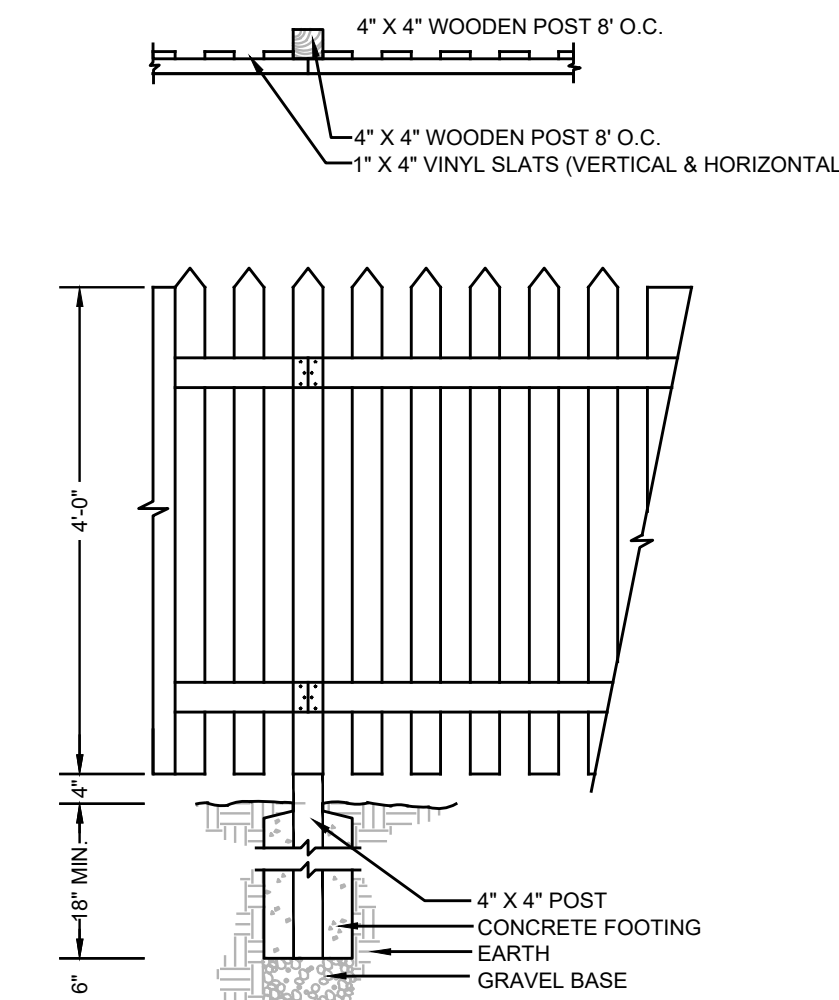


FREE STANDING ELECTRIC VEHICLE CHARGING STATION
NTS

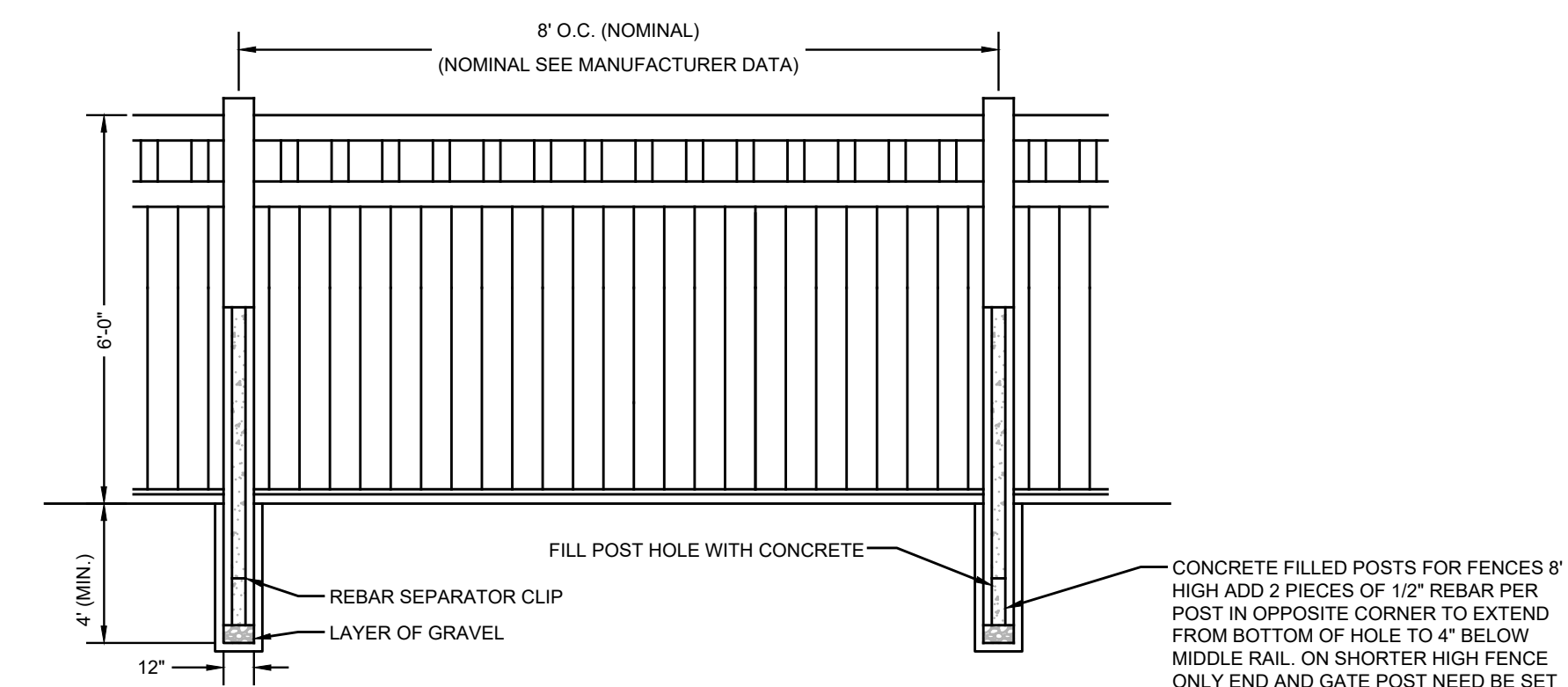


MATERIALS FOR ASPHALT SURFACE SHALL CONFORM TO SECTION 404.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION). MATERIALS FOR ASPHALT BASE SHALL CONFORM TO SECTIONS 301.02 AND 304.02 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

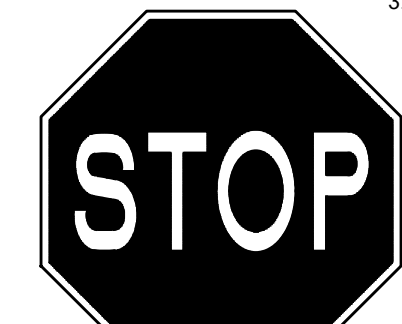
PAVEMENT SECTION
NTS



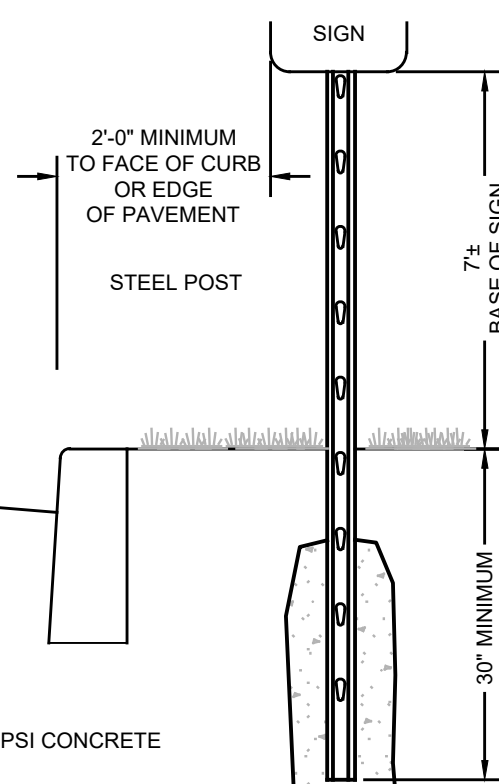
4' PICKET FENCE
NTS



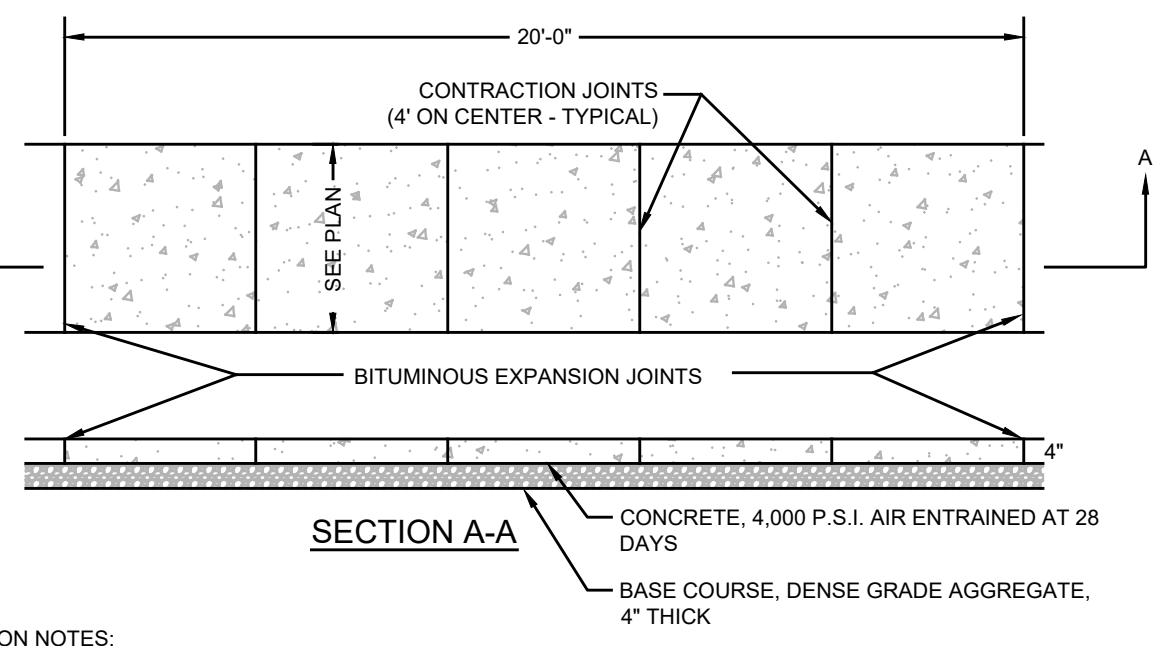
6' SOLID VINYL FENCE WITH CLOSED TOP PICKET
NTS



STOP SIGN (R1-1)
N.T.S.



SIGN POST
NTS



CONCRETE SIDEWALK
NTS

- CONSTRUCTION NOTES:**
- SUBGRADE SHALL BE WELL DRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
 - THE SIDEWALK SHALL BE FINISHED WITH A WOOD FLOAT FOLLOWED BY BRUSHING WITH A WET SOFT HAIR BRUSH.
 - A FULL DEPTH TRANSVERSE EXPANSION JOINT IS TO BE CUT EVERY 20 LINEAR FEET. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK, WHICH SHALL BE FLUSH WITH THE TOP. A FALSE TRANSVERSE JOINT IS TO BE CUT EVERY 4 LINEAR FEET.
 - WHERE SIDEWALK ADJOINS A CURB OR OTHER STRUCTURE, A 1/2" PREFORMED JOINT FILLER SHALL BE INSTALLED.
 - SEE DRIVEWAY APRON AND CURB SECTION DETAIL FOR SPECIFICATIONS OF SIDEWALK WHEN CROSSING A DRIVEWAY.
 - DRIVE APRONS AND SIDEWALKS AT DRIVE APRONS SHALL HAVE A MINIMUM THICKNESS OF SIX (6) INCHES AND THEY SHALL HAVE WELDED WIRE FABRIC REINFORCEMENT MAT NOT LESS THAN #6 X #6 ON A 6 INCH BY 6 INCH GRID PATTERN.

PROJECT INFORMATION

PROJECT NAME: PAWS AND ANCHOR

PAWS AND ANCHOR

PROJECT LOCATION: BLOCK 1105, LOT 5
TAX MAP SHEET #11
1505 CORLIES AVENUE
TOWNSHIP OF NEPTUNE,
MONMOUTH COUNTY, NJ

OWNER/APPLICANT:
KIENWOLF PACK LLC
710 BEACH AVENUE
BRADLEY BEACH, NJ 07720

APPLICANT'S PROFESSIONALS

ATTORNEY:
GLENN J. WILLIAMS, ESQ.
WILLIAMS, GRAFFEO & STERN LLC
60 WASHINGTON STREET, SUITE 204
MORRISTOWN, NJ 07960

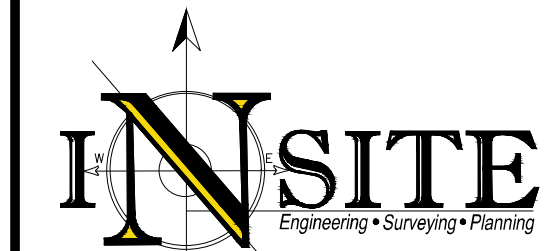
ARCHITECT:
C.WALL ARCHITECTURE
123 MESSEROLE AVENUE
BROOKLYN, NY 11222

SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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ELECTRICAL	RED
CAN-OR COMMUNICATION TV	YELLOW
WATER	ORANGE
SEWER	GREEN
TEMP SURVEY MARKING	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

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Jason L. Fichter, PE, PP, CFM, CME
JASON L. FICHTER, PE, PP, CFM, CME
PROFESSIONAL ENGINEER, PLANNER
NYPE 3318 NYPPE ST26 PAPE 1948
DEPE 3813 NYPE 802295 CTPPE 23291
NCPPE 33336 DCPPE 900682 COPE 36605

REVISIONS

REV #	DATE	DESCRIPTION
2	04/07/23	REV PER INCOMPLETE LETTER
1	02/27/23	REV FOR PB SUBMISSION
0	10/21/22	INITIAL RELEASE

SCALE: AS SHOWN DESIGNED BY: SGM
DATE: 10/31/22 DRAWN BY: STC
JOB #: 22-1905-01 CHECKED BY: JLF
CAD ID: 22-1905-010

NOT FOR CONSTRUCTION
FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

CONSTRUCTION DETAILS

SHEET NO. C800

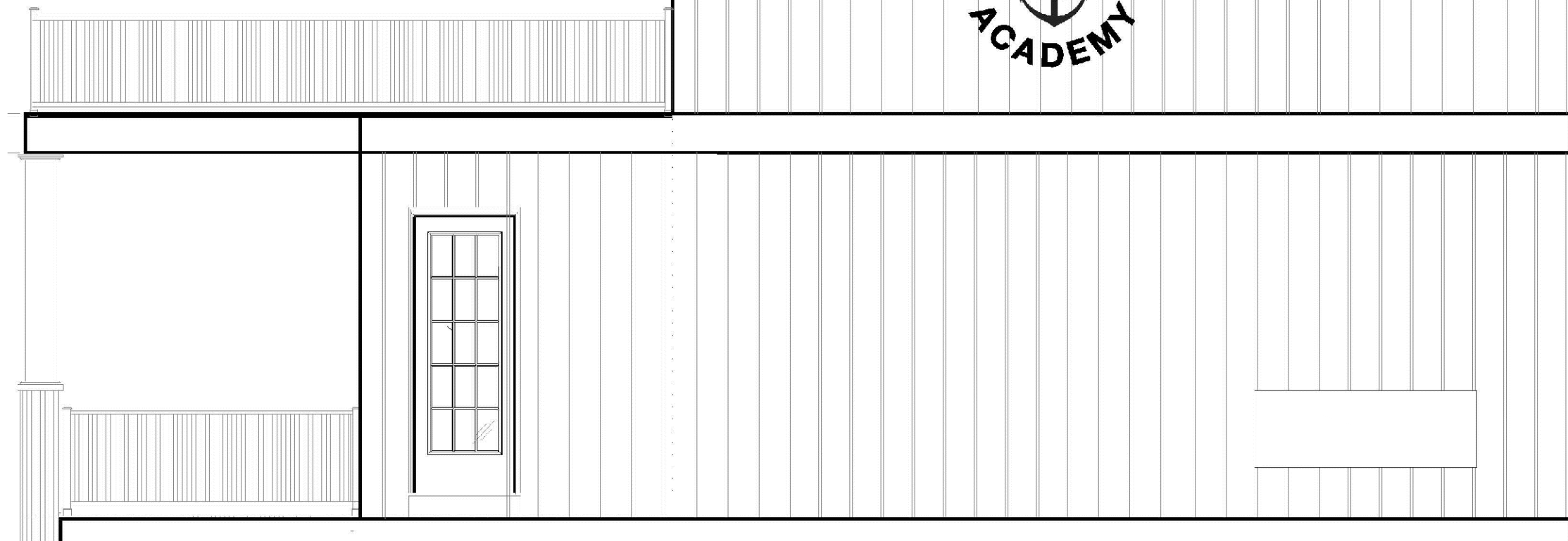
C800

File: X:\Jobs\1905_Paws and Anchor\22-1905-01 - 1905 Corlies Avenue, Neptune, NJ\22-1905-01\DWG\SitePlan.dwg - Details.dwg -> C800 Construction Details Copyright 2022, InSite Engineering, LLC. All Rights Reserved.

individual letters and "Anchor" logo
in a circular installation pattern.
Diameter = 56" (17.11 sqft)

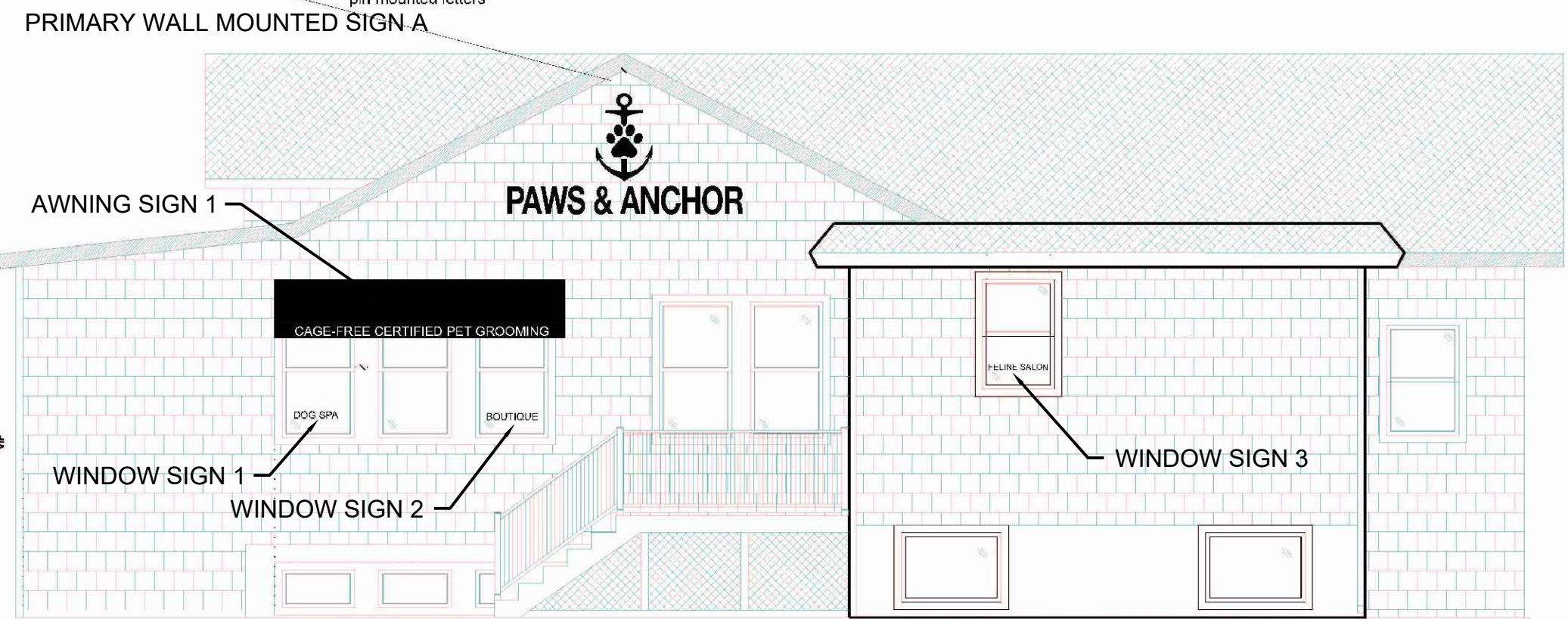
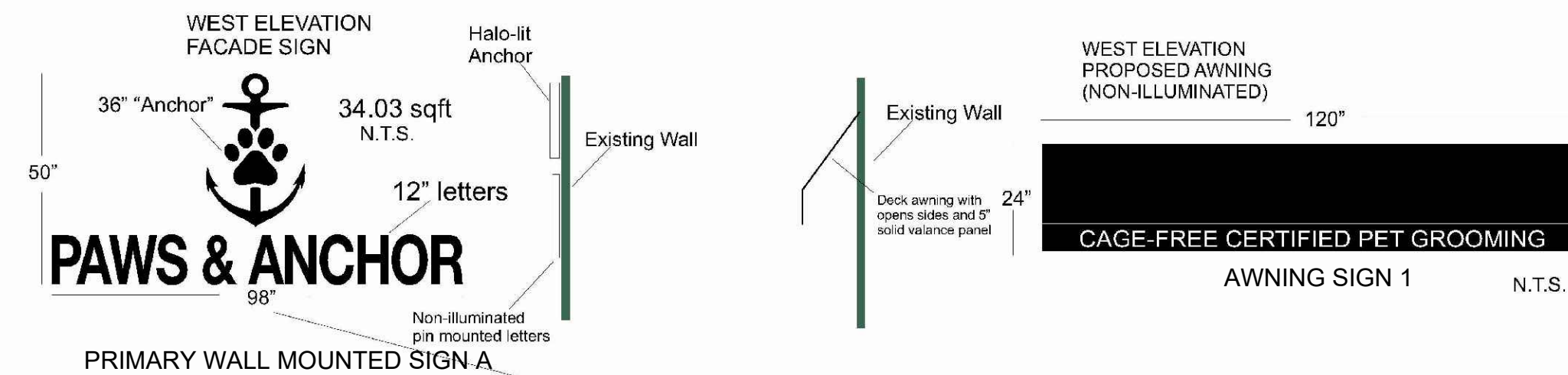


N.T.S.



SECONDARY WALL MOUNTED SIGN B

NTS



Valance copy(white)
CAGE-FREE CERTIFIED PET GROOMING (size =3.75" x 104.5")
Copy for (3) 33" x 55" windows(white)
DOG SPA(3" x18.5")
BOUTIQUE(3" x 21.5")
FELINE SALON(2.5" x 24.5") N.T.S.

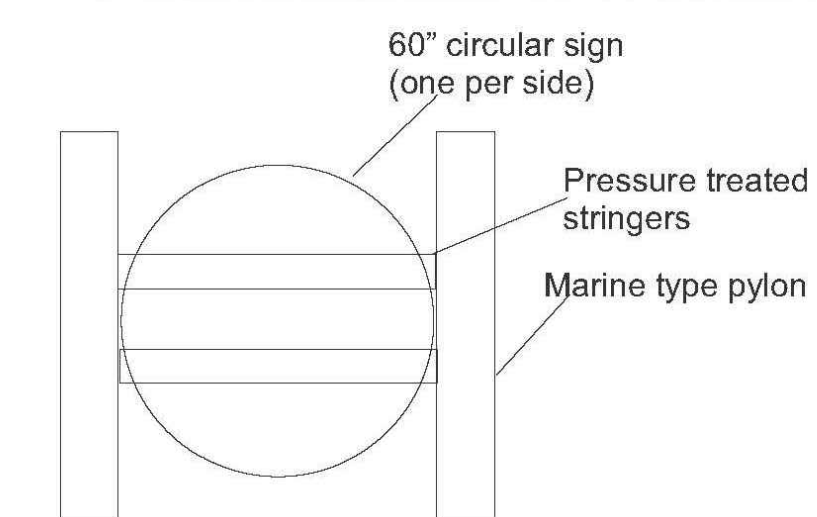
WEST FACADE SIGNAGE
NTS

1505 Corlies Ave
Freestanding sign

area 19.63 sqft



two (qty2) 60" circular signs
mounted to each side of
"Nautical Look" pylon structure



FREESTANDING ID SIGN
NTS

PROJECT INFORMATION

PROJECT NAME:
PAWS AND ANCHOR

PROJECT LOCATION:
BLOCK 1105, LOT 5
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MONMOUTH COUNTY, NJ

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BRADLEY BEACH, NJ 07720

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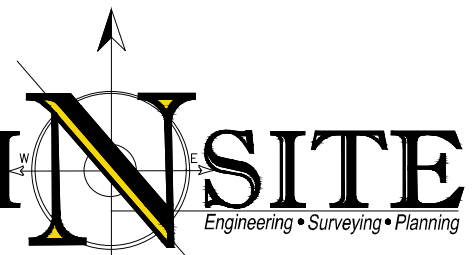
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BROOKLYN, NY 11222

SURVEYOR:
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WALL, NJ 07719



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COMMUNICATION / TV	ORANGE
WATER	BLUE
SEWER	GREEN
TEMP SURVEY MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE



InSite Engineering, LLC
CERTIFICATE OF AUTHORIZATION: 24GA28083200
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-531-7100 (Ph) 732-531-7344 (Fax)
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA,
DELAWARE, CONNECTICUT, NORTH CAROLINA,
COLORADO, & DISTRICT OF COLUMBIA

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Jason L. Fichter, P.E., P.P., C.F.M., C.M.E.
PROFESSIONAL ENGINEER, PLANNER
NJPE 43118 NJPP 5726 PAPE 61968
DEPE 3813 NYPE 802295 CTPE 23291
NCPE 33336 DCPE 900682 COPE 36605

REVISIONS

REV #	DATE	COMMENT
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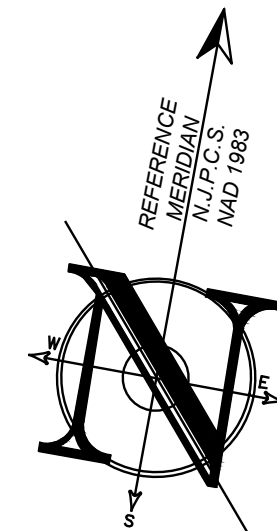
PLAN INFORMATION

DRAWING TITLE:
**PRELIMINARY & FINAL
MAJOR SITE PLAN**

SHEET TITLE:
**CONSTRUCTION
DETAILS**

SHEET NO.:
C801

File: N:\Projects\1905 - Paws and Anchor\02-2023-01 - 1505 Corlies Avenue, Neptune, NJ\21180501.DWG (July 07 - Detailing) -> 0801 Construction Details
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BRADLEY BEACH, NJ 07720

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MORRISTOWN, NJ 07960
ARCHITECT:
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123 MESEROLE AVENUE
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SURVEYOR:
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1955 ROUTE 34, SUITE 1A
WALL, NJ 07719

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COMMUNICATION	ORANGE
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SEWER	GREEN
TEMP. SERT. MARKINGS	MAGENTA
PROPOSED EXCAVATION	WHITE

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DEPE 3813 NYPE 802295 CTPPE 23291
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REVISIONS

REV.#	DATE	COMMENT
2	04/07/23	REV PER INCOMPLETENESS LETTER
1	02/21/23	REV FOR PER SUBMISSION
0	10/31/22	INITIAL RELEASE

SCALE: 1"=20'
DATE: 10/31/22
JOB #: 22-1905-01
CAD ID: 22-1905-01r0

DESIGNED BY: SGM
DRAWN BY: STC
CHECKED BY: JLF

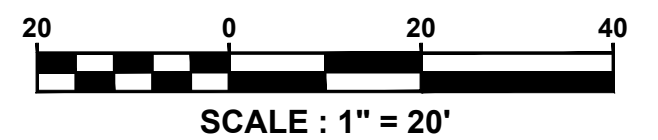
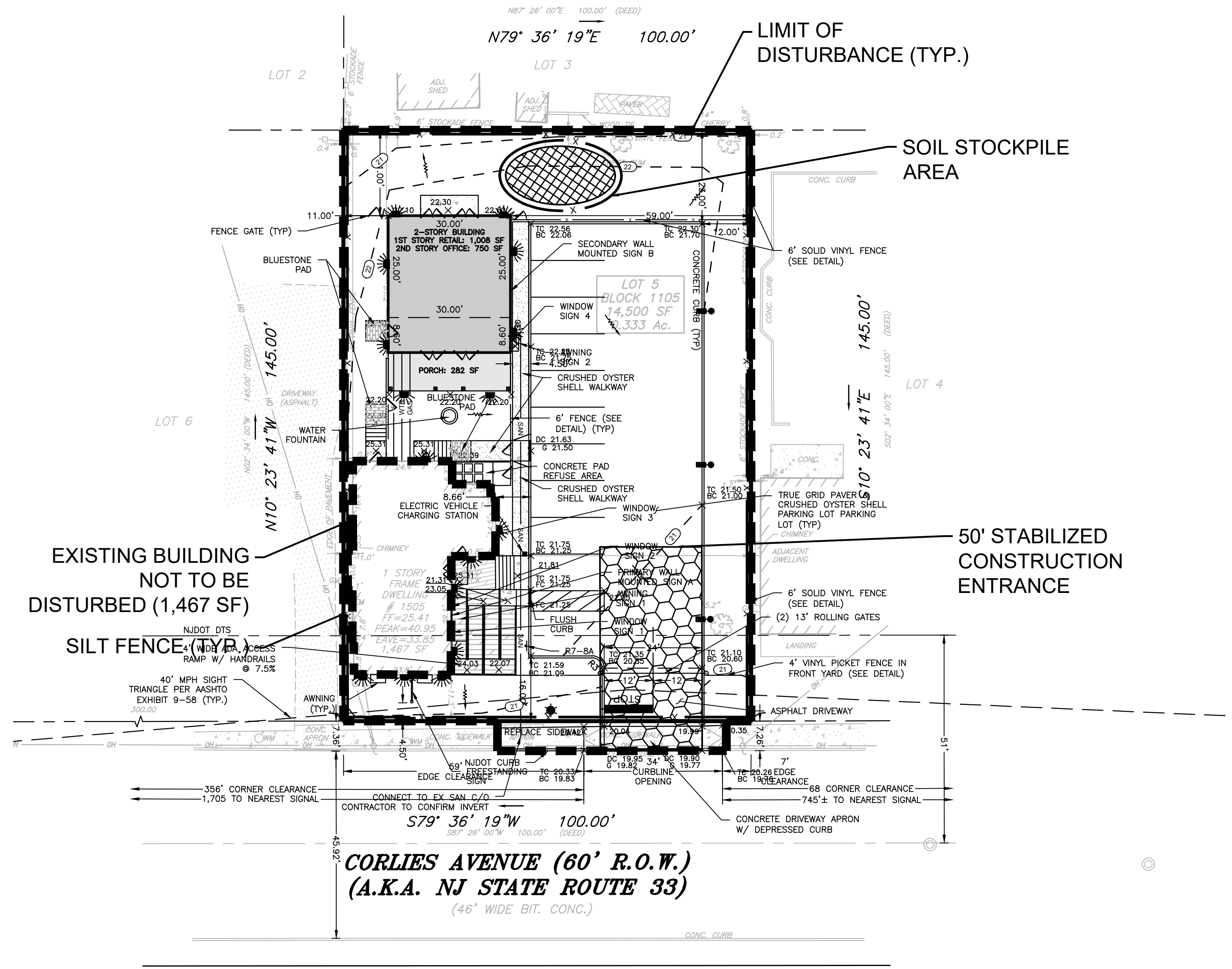
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PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NO.: C900



LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	BOUNDARY LINE
CONTOUR LINE	CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
BUILDING	BUILDING
WALL	WALL
GAS	GAS
WATER	WATER
INLET	INLET
STORM	STORM
SANITARY MAIN	SANITARY MAIN
SANITARY LATERAL	SANITARY LATERAL
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UTILITY POLE	UTILITY POLE
HYDRANT	HYDRANT
SIGN POST	SIGN POST
FENCE	FENCE
LIGHT FIXTURE	LIGHT FIXTURE
TEST PIT LOCATION	TEST PIT LOCATION
GRADE FLOW ARROW	GRADE FLOW ARROW
SWALE CENTER LINE	SWALE CENTER LINE

SOIL RESTORATION EXEMPTION

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN AN AREA OF 'URBAN REDEVELOPMENT' AND IS CONSIDERED 'PREVIOUSLY DEVELOPED' AS DEFINED BY THE NJDEP. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND REGRADING (REVISED 2017), THE SITE IS EXEMPT FROM SOIL RESTORATION REQUIREMENTS.

SOIL EROSION LEGEND

LIMIT OF DISTURBANCE	STABILIZED CONSTRUCTION ENTRANCE
SILT FENCE	RIP-RAP APRON, SCOUR HOLE
INLET PROTECTION	SOIL RESTORATION AREA
PROPOSED TREE PROTECTION	
SOIL COMPACTION TEST LOCATION	

CONSTRUCTION / SPPP NOTE

THIS PLAN WAS PREPARED TO ADDRESS THE SOIL EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT THE TIME OF DESIGN ONLY. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT ARE TO BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR THE SITE CONTRACTOR.

PLEASE NOTE - THIS PLAN IS NOT TO BE USED FOR SITE CONSTRUCTION.

TOTAL LIMIT OF DISTURBANCE = 0.309 AC.

File: X:\Jobs\1900 - Paws and Anchor\22-1905-01 - 1505 Corlies Avenue, Neptune, NJ\2219050100\DWG\900 - SDC.dwg, --> C900 Soil Erosion & Sediment Control Plan
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SOIL EROSION AND SEDIMENT CONTROL NOTES

- THE FRESH SOIL CONTROL SHALL BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY SOIL DISTURBING ACTIVITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL EROSION IS ESTABLISHED.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- N.J.S.A. 4:24-39 ET. SEQ. REQUIRES THAT NO CERTIFICATES OF OCCUPANCY BE ISSUED BEFORE THE DISTRICT DETERMINES THAT A PROJECT OR PORTION THEREOF IS IN FULL COMPLIANCE WITH THE CERTIFIED PLAN AND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY AND A REPORT OF COMPLIANCE HAS BEEN ISSUED. UPON WRITTEN REQUEST FROM THE APPLICANT, THE DISTRICT MAY ISSUE A REPORT OF COMPLIANCE WITH CONDITIONS ON A LOT-BY-LOT OR SECTION-BY-SECTION BASIS, PROVIDED THAT THE PROJECT OR PORTION THEREOF IS IN SATISFACTORY COMPLIANCE WITH THE REQUIREMENTS OF DEVELOPMENT AND TEMPORARY MEASURES FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN IMPLEMENTED, INCLUDING PROVISIONS FOR STABILIZATION AND SITE WORK.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SIXTY (60) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH AN EQUIVALENT MATERIAL, AT A RATE OF 2 TO 2 1/2 TONS PER ACRE, ACCORDING TO STATE STANDARD FOR STABILIZATION WITH MULCH ONLY.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STOCKPILES, STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AND A MULCH ANCHOR, IN ACCORDANCE WITH STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OF THE PRELIMINARY GRADING.
- THE STANDARD FOR STABILIZED CONSTRUCTION REQUIRES THE INSTALLATION OF A PAD OF CLEAN CRUSHED STONE AT POINTS WHERE TRAFFIC WILL BE ACCESSING THE CONSTRUCTION SITE. AFTER INTERIOR ROADWAYS ARE PAVED, INDIVIDUAL LOTS REQUIRE A STABILIZED CONSTRUCTION ENTRANCE CONSISTING OF ONE INCH TO TWO INCH (1" - 2") STONE FOR A MINIMUM LENGTH OF TEN FEET (10) EQUAL TO THE LOT ENTRANCE WIDTH WITH ALL OTHER ACCESS POINTS SHALL BE BLOCKED OFF.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS WILL BE REMOVED IMMEDIATELY.
- PERMANENT VEGETATION IS TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING.
- AT THE TIME THAT SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT FOR VEGETATIVE COVER SHALL BE REMOVED OR TREATED IN SUCH A MANNER THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDES SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS/ACRE (OR 450 LBS/1,000 SQ FT OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12" OF SETTLED SOIL WITH A PH OF 5 OR MORE, OR 24" WHERE TREES OR SHRUBS ARE TO BE PLANTED.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRACING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED AS REQUIRED BY THE STANDARD FOR DUST CONTROL.
- STOCKPILE LOCATIONS ESTABLISHED IN THE FIELD SHALL BE PLACED WITHIN THE LIMIT OF DISTURBANCE ACCORDING TO THE CERTIFIED PLAN. STAGING AND STOCKPILES NOT LOCATED WITHIN THE LIMIT OF DISTURBANCE WILL REQUIRE CERTIFICATION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN. CERTIFICATION OF A NEW SOIL EROSION AND SEDIMENT CONTROL PLAN MAY BE REQUIRED FOR AN AREA GREATER THAN 500 SQUARE FEET (SEE SECTION 4.3 FOR MORE INFORMATION).
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #6.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION**
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
- SEEDBED PREPARATION**
 - APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - INSPECT SEEDBEDS JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN ACCORDANCE WITH THE ABOVE.
 - SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.
- SEEDING**
 - TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 2, PAGE 7-3.
*SEEDING DATES: 2/15-5/1 AND 8/15-10/15
 - CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTRIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTRIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4.4 MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING IS USED FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- MULCHING**

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DETERMINED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

 - A STRAW OR HAY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 3 TONS PER ACRE TO 90 POUNDS PER 1,000 SQUARE FEET, EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
 - APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
 - ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
 - PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS: STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRIMPER (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 2 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE, NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 - LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY OR STRAW MULCH.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL, AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR IMPED EROSION OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL, NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION**
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
 - IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING.
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 6 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- SEEDBED PREPARATION**
 - UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS CO-OPERATIVE EXTENSION OFFICES (HTTP://NAJES.RUTGERS.EDU/COJUNTY). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
 - WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - HIGH ACID PRODUCING SOILS SHALL HAVE A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.
- SEEDING**
 - SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

SEED MIXTURE	PLANTING RATE LBS/1,000 SQUARE FEET
HARD FESCUE AND/OR STRONG CREEPING RED FESCUE	1 (45)
PERENNIAL RYEGRASS	1 (45)
KENTUCKY BLUEGRASS	1 (45)

ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14
*OPTIMAL SEEDING DATES: 8/15-10/30
*SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED

- SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDBED AREA AND MOWED ONCE.
- WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES. GENERALLY 85°F AND ABOVE. SEE TABLE 4.3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
- COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 85°F. MANY GRASSES BECOME DORMANT AT 60°F. SEE TABLE 4.3 MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES.
- CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTRIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDER OR CULTRIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4.4 MULCHING BELOW) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

- MULCHING**

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DETERMINED COMPLIANCE WITH THIS MULCHING REQUIREMENT.

 - A STRAW OR HAY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
 - APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
 - ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.
 - PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRIMPER (MULCH ANCHORING TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE, NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 - LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR HAY, HAY OR STRAW MULCH.
 - APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
 - USE ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL, AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR IMPED EROSION OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE. SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
 - SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

CONSTRUCTION SEQUENCE

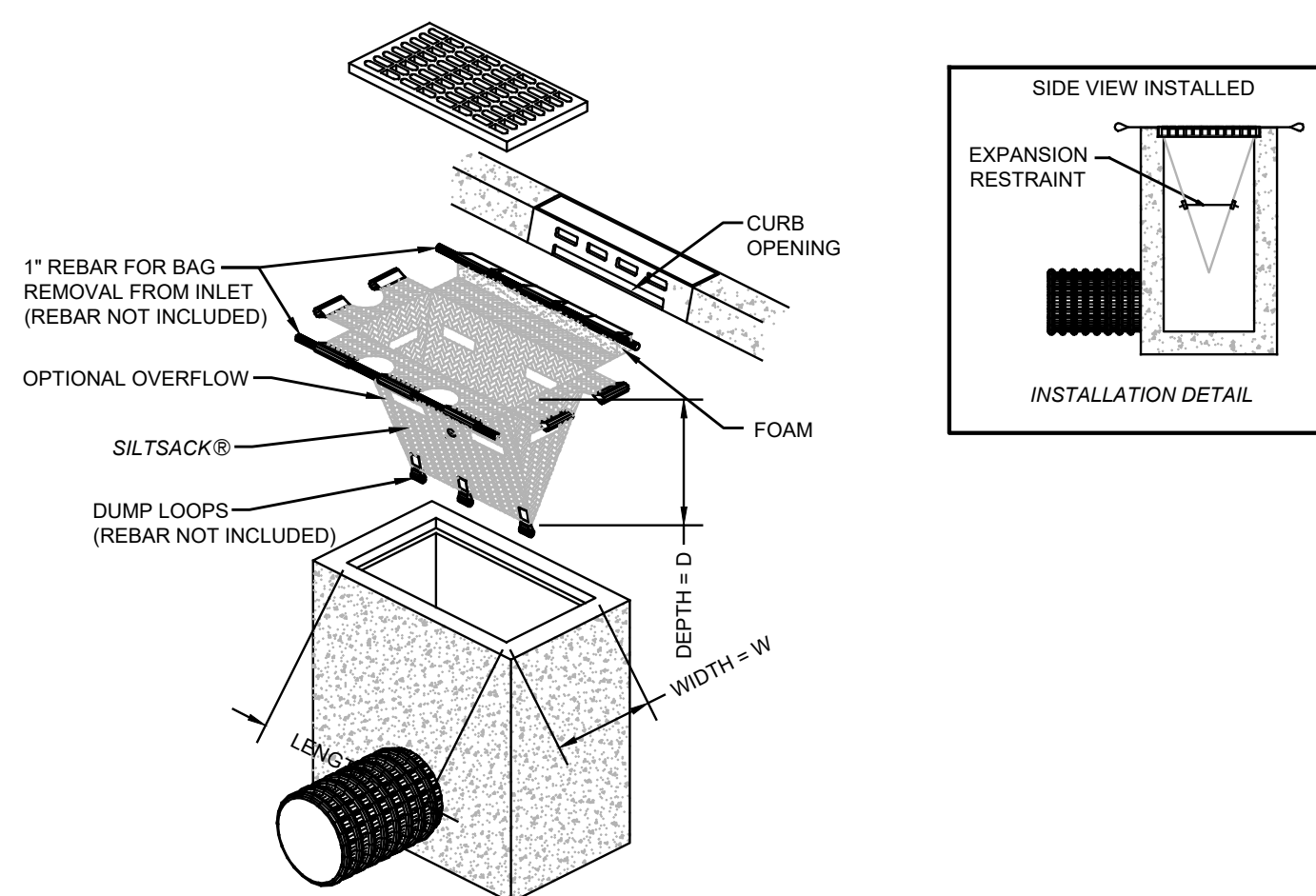
EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE IN THE FALL OF 2022 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS: PHASE DURATION

PHASE	DURATION
1. INSTALL TEMPORARY SOIL EROSION FACILITIES (CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, INSTALL SILT FENCE, INSTALL TREE PROTECTION FENCING)	IMMEDIATELY
2. SITE DEMOLITION	1 WEEK
3. ROUGH CLEARING AND GRADING	2 WEEKS
4. TEMPORARY SEEDING	IMMEDIATELY
5. UTILITY INSTALLATION	2 WEEKS
6. INSTALL INLET PROTECTION	IMMEDIATELY
7. FINAL EXCAVATION	1 WEEK
8. CURB AND SIDEWALK CONSTRUCTION	1 WEEK
9. PAVEMENT SUB-BASE	1 WEEK
10. CONSTRUCTION OF BUILDING(S)	9 MONTHS
11. MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSLY
12. PRELIMINARY INSTALLATION OF LANDSCAPING	1 WEEK
13. FINAL PAVEMENT COURSE	1 WEEK
14. FINAL CONSTRUCTION/STABILIZATION OF SITE	1 WEEK

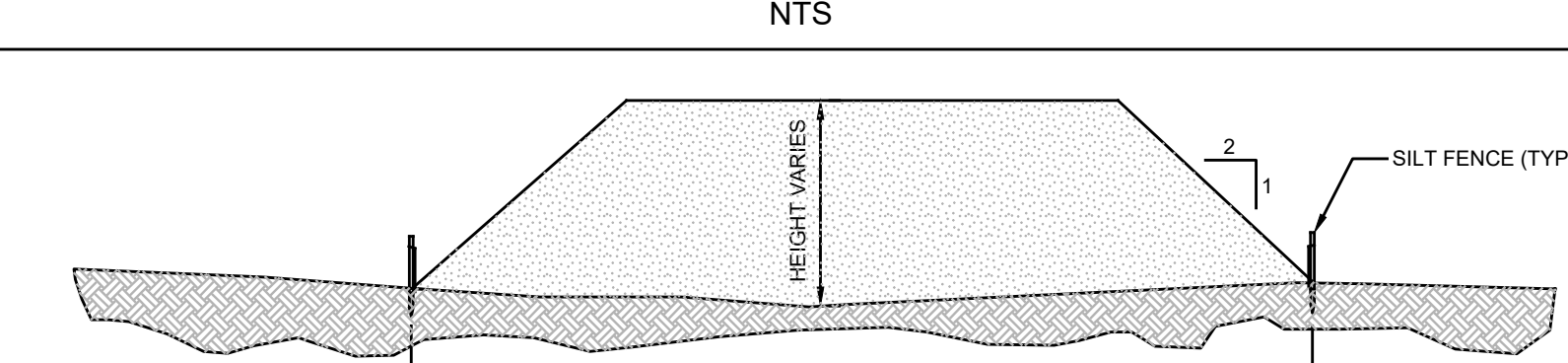
*TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE NO. 1 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES.

NOTES:
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED AND CERTIFICATES OF OCCUPANCY ARE ISSUED.
THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR.
THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY, OR AT MINIMUM, BY THE END OF EACH WORK DAY.
DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM CHLORIDE.
STEEP SLOPES SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.)

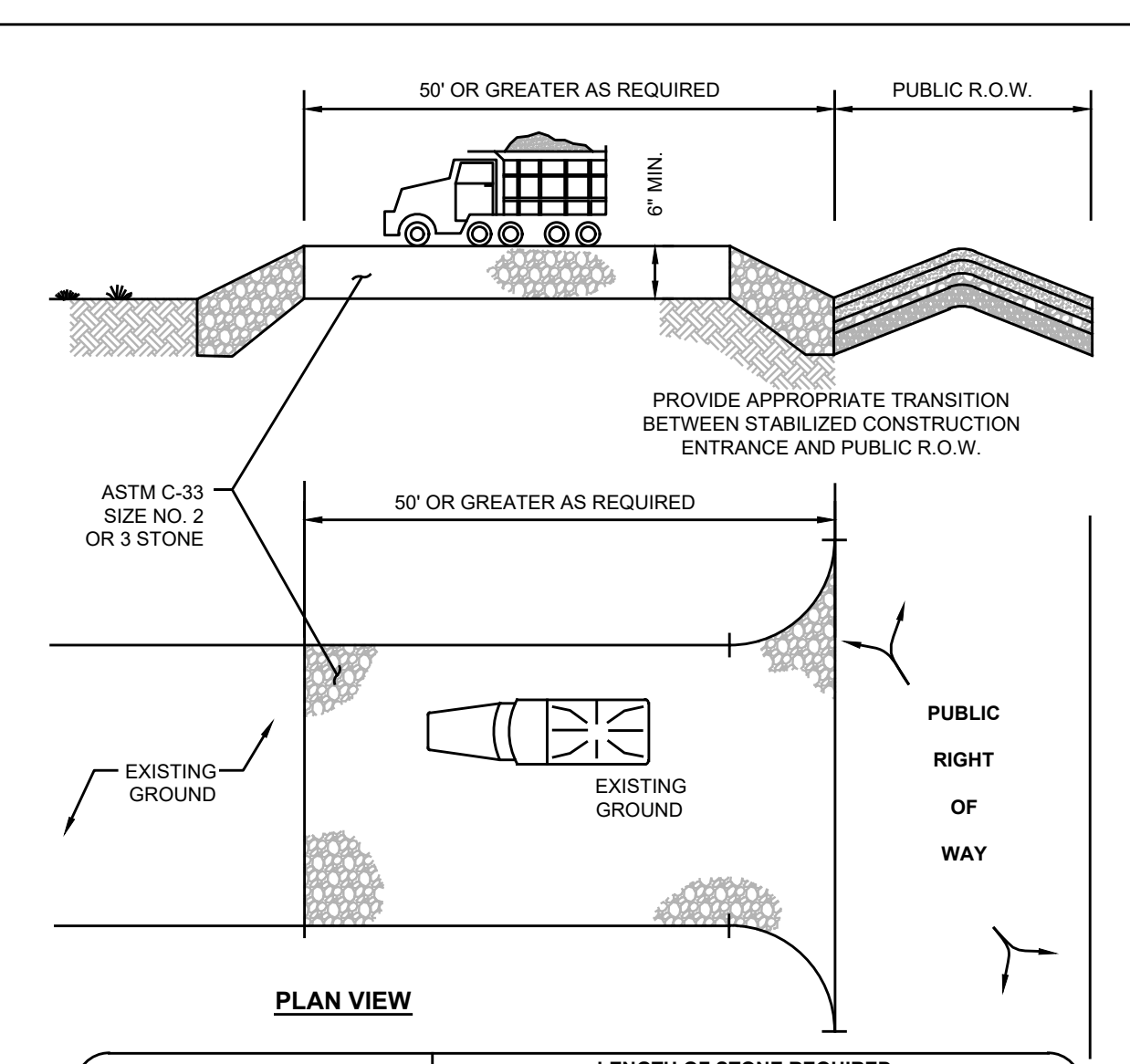
ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.



INLET PROTECTION DETAIL
NTS

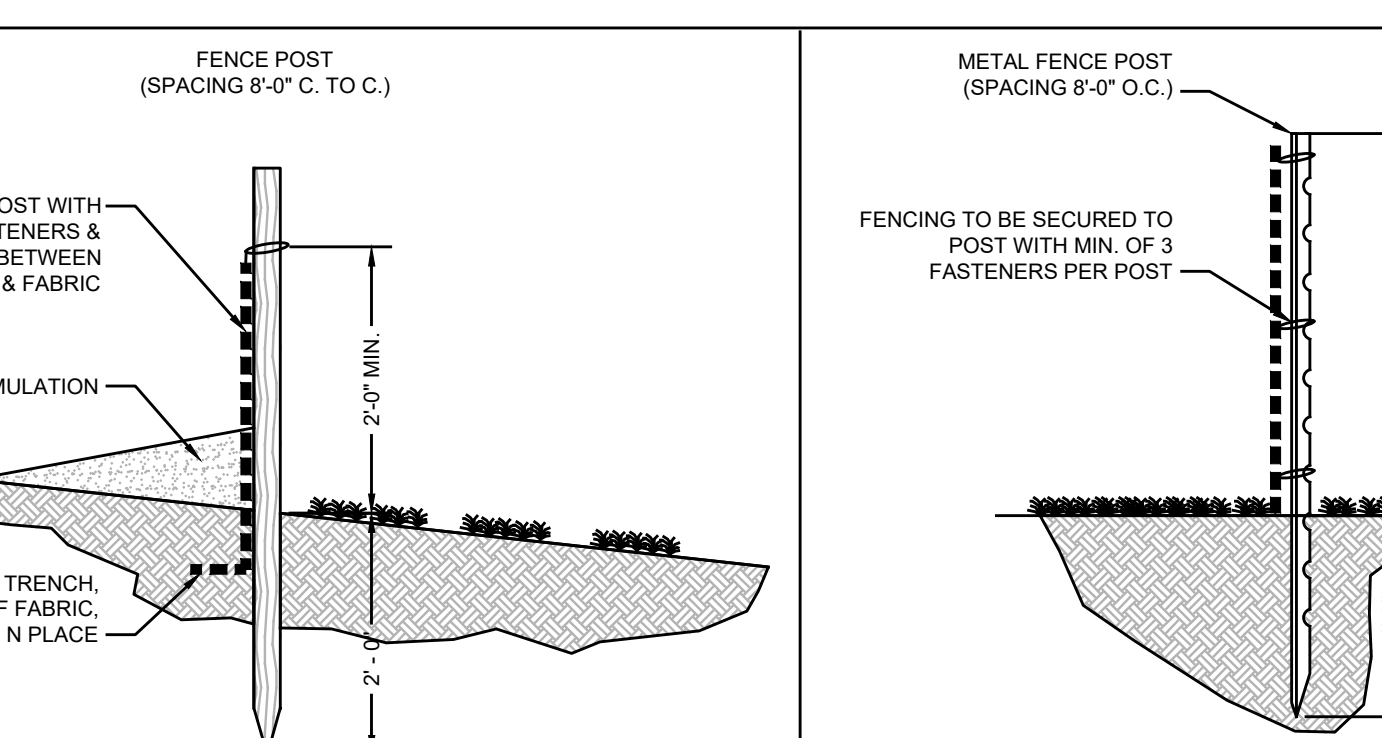


SECTION THROUGH SOIL STOCKPILE (TYP.)
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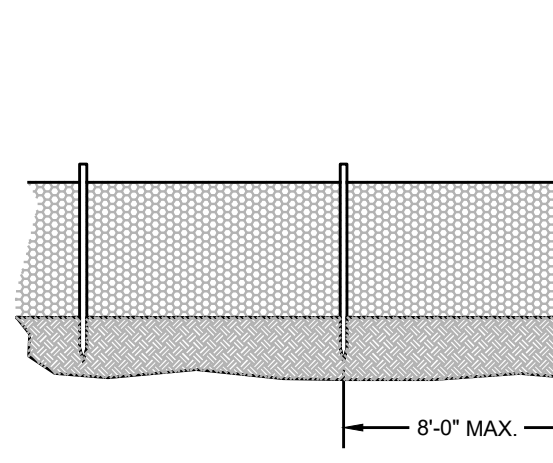


STABILIZED CONSTRUCTION ENTRANCE
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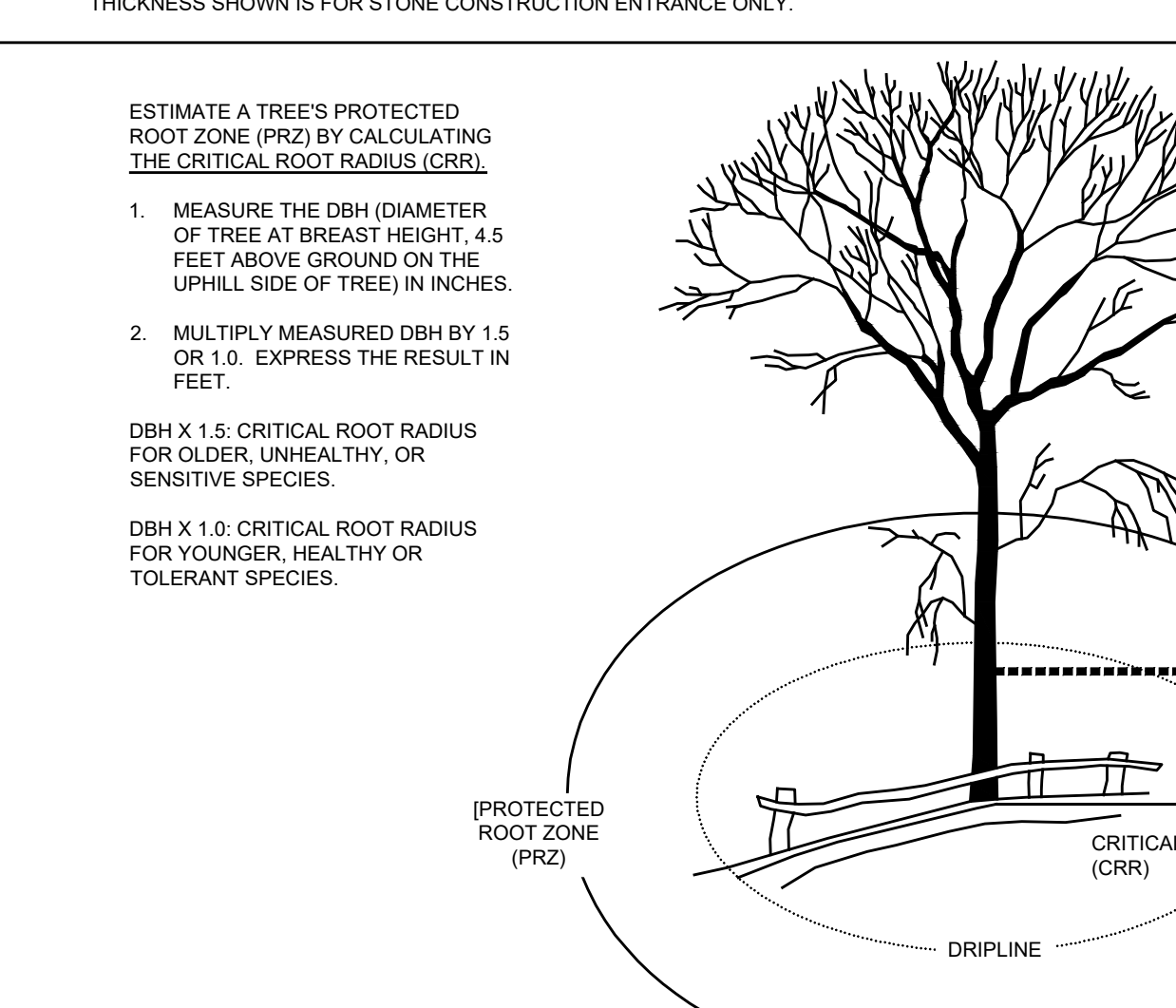
- AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.
- NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.



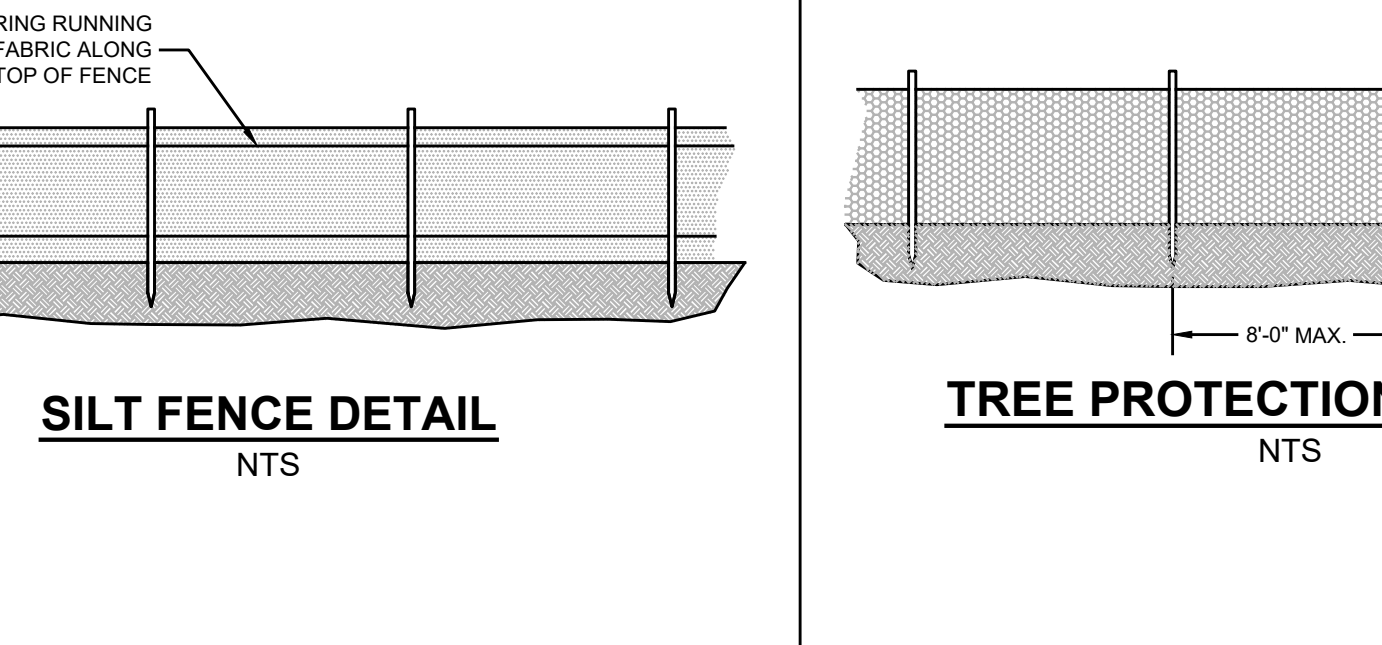
SILT FENCE DETAIL
NTS



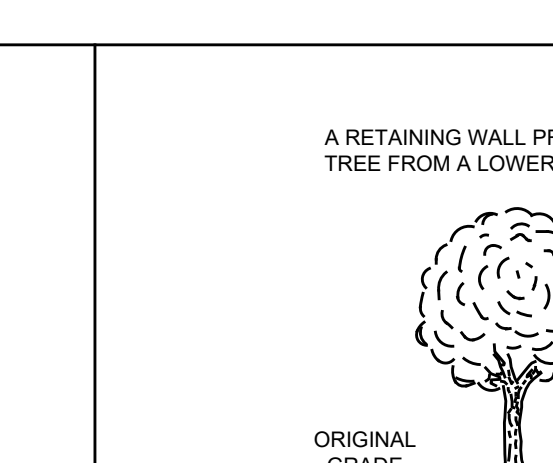
TREE PROTECTION FENCING
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TREE ROOT PROTECTION
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TREE PROTECTION (FILL AREAS)
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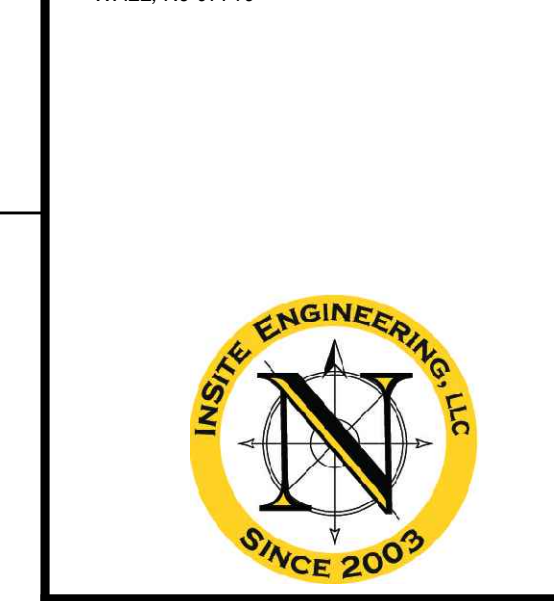


TREE PROTECTION (CUT AREAS)
NTS

PROJECT INFORMATION

PROJECT NAME:
PROJECT LOCATION: BLOCK 1105, LOT 5
TAX MAP SHEET #11
1505 CORLIES AVENUE
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NJ
OWNER/APPLICANT:
KIENWOLF PACK LLC
710 BEACH AVENUE
BRADLEY BEACH, NJ 07720

APPLICANTS' PROFESSIONALS
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123 MESSEURLE AVENUE
BRADLEY BEACH, NJ 07722
SURVEYOR:
INSITE SURVEYING, LLC
1955 ROUTE 34, SUITE 1A
WALL, NJ 07719



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JASON L. FIGHTER, P.E., P.P., C.F.M., C.M.E.
PROFESSIONAL ENGINEER, PLANNER
N.J.P.E. #118 N.J.P.P. #278 P.A.P.E. #196
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REVISIONS
NOV # DATE COMMENT

DATE: 10/31/22 DRAWN BY: STC
JOB #: 22-1905-01 CHECKED BY: JLF
CAD ID: 22-1905-010
NOT FOR CONSTRUCTION APPROVED BY:
FOR CONSTRUCTION

PRELIMINARY & FINAL MAJOR SITE PLAN
SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL DETAILS
SHEET NO. C901