

SCOPE OF WORK:

CURRENT OWNER OF AN EXISTING RESIDENTIAL BUILDING TO CHANGE USE TO COMMERCIAL, MAKE INTERIOR AND EXTERIOR RENOVATIONS TO ESTABLISH A NEW COMMERCIAL BUSINESS USE. INSTALLATION OF NEW BUILDING IN YARD.

- ALL MAJOR ITEMS OF WORK ARE LISTED OR SPECIFIED. ITEMS NOT LISTED OR SPECIFIED, BUT IMPLIED OR NOTED ON OTHER DRAWINGS, ARE HEREBY INCLUDED IN THE SCOPE OF WORK.
- NEW STRUCTURAL COMPONENTS, INSULATION AND FINISHES.
- NEW MILLWORK, ARCHITECTURAL WOOD WORK AND CABINETRY.
- NEW BATHROOM FIXTURES IN NEW LOCATIONS.
- NEW PLUMBING FIXTURES, FITTINGS, EQUIPMENT AND RELATED FINISHES.
- NEW WINDOWS AND ENTRY DOORS TO BE ENERGY COMPLIANT.
- MECHANICAL WORK TO INCLUDE SPLIT AIR SYSTEMS.
- NEW ELECTRICAL SERVICE AS REQUIRED.

GENERAL CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR FORMULATION, DOCUMENTING, AND CARRYING OUT SOIL EROSION AND SEDIMENTATION CONTROL PLANS WHICH SHALL INCLUDE PROVIDING AND MAINTAINING OF SWALES, DIVERSIONS AND FILTERS IN THE CONSTRUCTION AREA AND AROUND THE WORK SITE TO PREVENT SOIL EROSION AND SEDIMENTATION PROBLEMS.

2. CONNECTIONS- ALL NAILED CONNECTIONS TO COMPLY WITH THE FASTENER SCHEDULE TABLE 602.3(1) - 602.3(5) OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER SCHEDULE AND/OR MANUFACTURERS RECOMMENDED SPECIFICATIONS AND/OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER IS MORE STRINGENT UNLESS NOTED OTHERWISE.

3. WOOD CONNECTORS - ALL WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE CO. INC. OR ALTERNATE AS APPROVED BY THE ARCHITECT. ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE TYPE 316L STAINLESS STEEL. THE SUBSTITUTION OF SIMPSON ZMAX GALVANIZED (G135) CONNECTORS AND FASTENERS SHALL ONLY BE ALLOWED UPON BOTH SIMPSON'S AND THE LOCAL CONSTRUCTION CODE OFFICIAL'S APPROVAL BASED ON THE CONTRACTOR'S SUBMISSION OF THE SPECIFICATIONS OF THE PRESSURE TREATED WOOD TO BE USED IN THE PROJECT.

4. WALL BRACING - WALLS SHALL BE BRACED IN ACCORDANCE WITH R602.10. THE CONSTRUCTION OF BRACED WALL PANELS SHALL BE IN ACCORDANCE WITH R602.103, METHOD 3.

5. CUTTING AND NOTCHING: NO NOTCHING OF WOOD BEAMS, JOISTS, RAFTERS, OR STUDS IS ALLOWED UNLESS THE CUTTING OR NOTCHING COMPLIES WITH THE ALLOWED FIGURES R502.8, R602.6(10) & R602.6(2). IF TJI FLOOR JOISTS ARE USED, CUTTING AND NOTCHING IS ONLY ALLOWED PER THE MANUFACTURER'S RECOMMENDATIONS. CUTTING AND NOTCHING OF ENGINEERED LUMBER IS ALLOWED ONLY PER THE MANUFACTURER'S RECOMMENDATIONS.

6. WATER RESISTANT GYPSUM WALLBOARD: PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT WALLS AND CEILINGS OF BATHROOMS, POWDER ROOMS, AND LAUNDRY ROOMS.

7. EGRESS: BASEMENTS WITH HABITABLE SPACE AND EVERY BEDROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR DIRECTLY TO THE EXTERIOR APPROVED FOR EMERGENCY EGRESS AND RESCUE AS PER SECTION R310. THE UNITS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.

- SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.
- MINIMUM NET CLEAR OPENING OF 5.7 SF.
- MINIMUM NET CLEAR OPENING HEIGHT OF 24"
- MINIMUM NET CLEAR OPENING WIDTH OF 20"

8. FIRE AND DRAFT STOPPING: FIRE AND DRAFT STOP ALL DROPPED SOFFITS AND CEILINGS, AND ANY OTHER CONCEALED AREAS WHERE FIRE/DRAFT STOPPING IS REQUIRED BY CODE.

9. ROOF ICE PROTECTION: IN AREAS WHERE HE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25 DEGREES OR LESS PROVIDE AN ICE PROTECTION IN ACCORDANCE WITH SECTION R905.2.7.1 OR AS NOTED ON DRAWINGS.

10. DRAINAGE: SLOPE FINISH GRADE ADJACENT TO FOUNDATION (ALL SIDES OF DWELLING DOWN AND AWAY AT 1:12 PITCH FOR A MINIMUM DISTANCE F 8'-0" EXCEPT IN WELL-DRAINED GRAVEL OR SAND/GRAVEL MIXTURE SOILS. PROVIDE A DEDICATED FOUNDATION DRAINAGE SYSTEM AS PER CODE.

11. ROOF SHINGLES: ASPHALT/FIBERGLASS, STRIB SHINGLES SHALL HAVE MINIMUM OF (6) FASTENERS PER SHINGLE.

12. BONDING FOOTINGS: THE FOOTINGS SHALL BE BONDED IN ACCORDANCE WITH NEC 250-50 C REQUIRING THE ELECTRODE SYSTEM IN NEW CONSTRUCTION BE GROUNDED/BONDED TO THE FOOTING SYSTEM.

13. STAIRWAYS, LANDINGS & HANDRAILS SHALL CONFORM TO NJIRC SECTION R311.

14. GUARDS AT PORCHES, DECKS, BALCONIES, ETC, SHALL CONFORM TO NJIRC SECTION R312.

15. PROVIDE "GRASPABLE" HANDRAILS AT ALL STAIRS WITH THREE MORE RISERS. HANDRAILS SHALL BE 36" HIGH, MEASURED VERTICALLY ABOVE THE STAIR NOSING. CLEAR SPACE BETWEEN HANDRAILS AND WALLS (OR OTHER RAILINGS) SHALL BE 1 1/2" MINIMUM. HANDRAILS SHALL HAVE CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1 3/8" MINIMUM AND 2" MAXIMUM OR SHALL PROVIDE EQUIVALENT GRASPABILITY (PERIMETER DIMENSION OF 4" MINIMUM AND 5 1/2" MAXIMUM WITH LARGEST CROSS SECTION OF 2 1/2" MAXIMUM) HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.

DRAWING LIST:

ARCHITECTURAL:

A-001	NOTES, DWG LIST, SYMBOLS, BLOCK AND LOT INFO
DM-100	DEMOLITION PLANS, AND NOTES
A-100	PROPOSED PLANS, AND NOTES
A-200	PROPOSED EXTERIOR ELEVATIONS

LOT INFORMATION:

1. LOCATION	PAWS AND ANCHOR
1.1. OWNER	1505 CORLIES AVE., NEPTUNE NJ
1.2. LOCATION	Monmouth County
1.3. COUNTY	1105
1.4. BLOCK	5
1.5. LOT	
1.6. ZONING:	
1.7. PROPERTY CLASS	COMMERCIAL

CODE REFERENCES:

BUILDING TO BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING THE FOLLOWING:

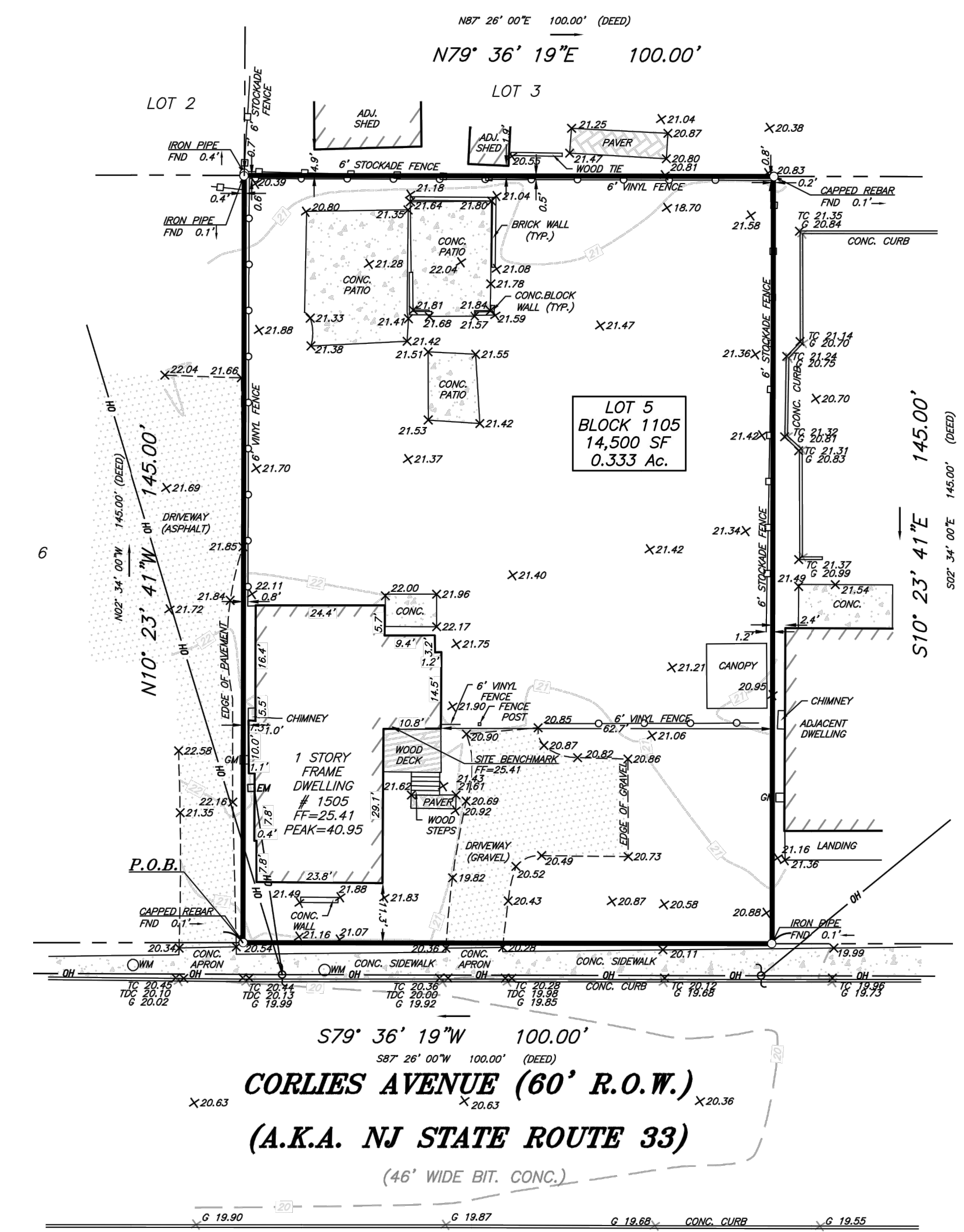
- N.J. UNIFORM CONSTRUCTION CODE (NJAC 5:23)
- N.J. ELEVATOR SUBCODE (NJAC 5:23-12)
- ASCE24-05 FLOOD RESISTANT DESIGN AND CONSTRUCTION
- INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITIONS (2015)
- INTERNATIONAL MECHANICAL CODE (2015)
- INTERNATIONAL ENERGY CONSERVATION CODE (2015)
- NATIONAL ELECTRICAL CODE NFPA70 (2014)
- NATIONAL STANDARD PLUMBING CODE (2009)
- INTERNATIONAL FUEL GAS CODE (2015)
- INTERNATIONAL FIRE CODE (2015)
- ICC/ANSI A117.1-2003 BARRIER FREE SUBCODE

FLOOD ZONE STATEMENT:

THIS PROJECT SITE IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.

PROJECT NOTES:

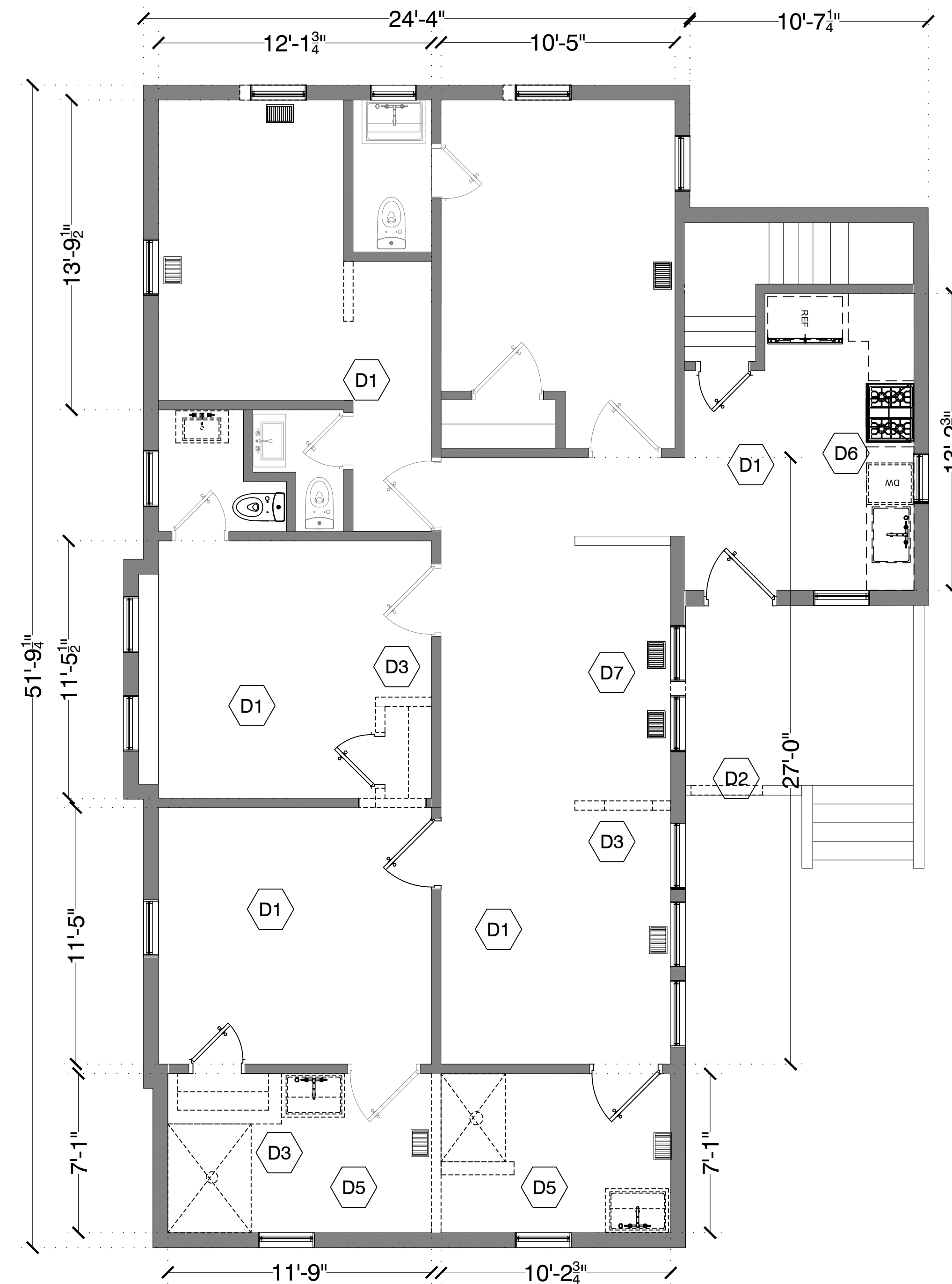
- WATER & SEWER: EXISTING WATER SERVICE TO BE USED.
- WEATHER BARRIER AND SIDING: ALL NEW EXTERIOR WALLS TO RECEIVE WEATHER BARRIER AND SIDING. WEATHER BARRIER SHALL BE BLUE SKIN WRAP (OR APPROVED EQUIVALENT), FLASHING, FLEX FLASHING, AND SEAM TAPE. SIDING SHALL BE VERTICAL HARDIE BOARD BOARD AND BATTEN. EXTERIOR FINISH ON EXPOSED FOUNDATION WALLS SHALL BE CEMENT PARGE, COORDINATION COLOR AND FINISH WITH ARCHITECT. INSTALL ALL WEATHER BARRIER AND SIDING PRODUCTS PER THE MANUFACTURERS RECOMMENDATIONS.
- STONE VENEER: (IF APPLICABLE) AT AREAS SHOWN AS STONE VENEER, PROVIDE CULTURED STONE AS SELECTED BY ARCHITECT AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
- ROOFING: GAF TIMBERLINE BIRCHWOOD SHINGLES
- EXTERIOR TRIM: AZEK
- SOFFITS: PROVIDE VENTED AZEK SOFFITS AT ALL OVERHANGS. PROVIDE AIR VENT BAFFLES IN ROOF RAFTERS, SEE FIRE RATED DETAIL AT SOFFITS CLOSE TO PROPERTY LINES.
- GUTTERS AND DOWNSPOUTS: ALUMINUM GUTTERS AND DOWNSPOUTS DRAIN AWAY FROM DWELLING.
- INSULATION: PROVIDE REQUIRED DRAFT STOP, FIRE STOP AND INSULATION BAFFLES AS NECESSARY. PROVIDE R VALUES IN WALLS AND ROOFS PER ENERGY CODE COMPLIANCE.
- INTERIOR DOORS: WOOD PAINTED 1 3/8" SOLID CORE DOORS. ALL INTERIOR DOORS SHALL AVE NOMINAL HEAD HEIGHT F 7'-6" UNLESS OTHERWISE NOTED.
- FINISH FLOORS: GARAGE FLOORING TO BE SEALED CONCRETE. SECOND FLOOR DWELLING TO BE 5" WHITE OAK T&G FLOORING. TILE IN BATHROOM.
- BUILT IN MILLWORK AND SHELVING: SOLID OAK STAINED PER ARCHITECTS SAMPLES.
- CLOSETS: AT ALL NEW COAT AND BEDROOM CLOSETS PROVIDE ROD(S) AND SHELVES AS SHOWN. AT ALL NEW PANTRY AND LINEN CLOSETS PROVIDE (5) SHELVES.
- INTERIOR PAINT: PREP AND PAINT ALL NEW FINISH CONSTRUCTION. ONE COAT BENJAMIN MOORE QUALITY PRIMER AND TWO FINISH COATS. COORDINATE COLORS WITH ARCHITECT.



SURVEY;NTS, REFERENCE ONLY

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Reference North

NOTES, LOT INFO, SITE PLAN, SCOPE OF WORK,
Date: NOV 4, 2022
Scale: NTS
Drawing:
A-001



LEGEND:

- EXISTING CONSTRUCTION
- DEMOLISHED PARTITIONS

KEY NOTES:

- D1 INTERIOR FLOOR TO REMAIN.
- D2 REMOVE DECK FOR NEW RAMP INSTALL
- D3 REMOVE NON LOAD BEARING WALLS.
- D4 REMOVE CASEWORK.
- D5 REMOVE ALL BATHROOM FIXTURES, FINISHES AND CAP SERVICES FOR NEW REPLACEMENT FIXTURES.
- D6 REMOVE ALL KITCHEN FIXTURES, FINISHES AND CAP SERVICES
- D7 REMOVE WINDOWS FOR NEW ENTRY DOOR INSTALL

DEMOLITION:

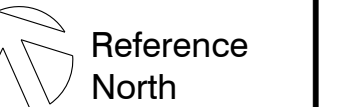
1. CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION FOR THE DURATION OF THE PROJECT AND, PRIOR TO THE START OF DEMOLITION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED ON DEMOLITION DRAWINGS.
3. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS, DISCARDED MATERIALS, AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE. REMOVAL SHALL BE DONE AT TIMES AND IN A MANNER FULLY APPROVED BY THE TOWN OF NEPTUNE TOWNSHIP, NJ, ANY OTHER GOVERNMENT AGENCIES, AND ACCORDING TO OWNERS POLICIES AND RULES.
4. THE CONTRACTOR SHALL BE FAMILIAR WITH AND PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE NEW JERSEY BUILDING CODE - 'SITE SAFETY PLAN'.
5. FOR CONTRACTORS INFORMATION, THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON DEMOLITION DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE, AND MANNER OF DEMOLITION REQUIRED.
6. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE MUST BE SCHEDULED WITH OWNER AND PERFORMED DURING HOURS PERMITTED. THE DELIVERY, HANDLING, AND INSTALLATION OF MATERIALS AND EQUIPMENT, AND THE REMOVAL OF DEBRIS, MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
7. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB. IF, IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS, LOSES, OR DISRUPTS ANY CONDITION WHICH IS TO REMAIN, TO BE STORED, OR TO BE REUSED, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH WORK WITH SAME TO ORIGINAL OR BETTER CONDITION AT NO COST TO THE OWNER.
8. DO NOT REMOVE ANYTHING SUSPECTED TO CONTAIN ASBESTOS OR OTHER HAZARDOUS MATERIALS. ADVISE OWNER AND BUILDING MANAGEMENT IF SUCH MATERIALS ARE ENCOUNTERED. COORDINATE DEMOLITION WITH REMOVAL OF SUCH MATERIALS.
9. CONTRACTOR TO PROVIDE CONSTRUCTION FENCE AROUND DEMOLITION SITE.
10. REMOVE ALL EXISTING CEILINGS AND LIGHT FIXTURES IN THE INDICATED AREAS U.O.N.. ALL CONDUIT AND WIRING TO BE REMOVED.
11. REMOVE ALL EXISTING ELECTRICAL OUTLETS, RACEWAYS, WIRING, AND CONDUIT BACK TO POWER PANEL. REMOVE ALL EXISTING TELEPHONE EQUIPMENT INCLUDING PANELS AND WIRING AS INDICATED..
11. REMOVE ALL MILLWORK/WALL FIXTURES AND ASSOCIATED OUTLETS, WIRING, AND CONDUIT BACK TO WALL AS REQUIRED. REMOVE ALL MOLDINGS, HOOKS, BRACKETS, AND ALL OTHER MISCELLANEOUS ITEMS FROM ALL SURFACES OF REMAINING CONDITIONS.
12. ALL EXTERIOR WINDOWS AND WINDOW WALLS TO BE CAREFULLY REMOVED.
13. ALL EXTERIOR WALLS AND CORRIDOR WALLS TO BE REMOVED IN STAGES AND WETTED DOWN TO MINIMIZE DUST TO NEIGHBORING BUILDINGS.
14. CONTRACTOR SHALL PROVIDE, WITH FENCE OR BARRICADE, SAFE AREAS AROUND EXISTING FLOOR OPENINGS.
15. CONTRACTOR TO REVIEW FOOTING AND SLAB WITH ARCHITECT PRIOR TO REMOVAL.
18. THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED TO THAT INDICATED ON THE DRAWINGS, BUT SHALL ALSO INCLUDE ANY AND ALL WORK THAT MAY BE REQUIRED TO FACILITATE THE EXECUTION OF THE NEW WORK SHOWN ON THE DRAWINGS.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING OF EXISTING WORK AS REQUIRED.
20. CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM THE SITE AS SOON AS POSSIBLE.
21. CONTRACTOR SHALL, AFTER COMPLETION OF DEMOLITION WORK, LEAVE PREMISES NEAT AND ORDERLY.
22. CONTRACTOR SHALL PROPERLY REMOVE, RELOCATE, DISCONNECT, CAP ALL PIPING, CONDUIT, WIRING AND OTHER OBSTRUCTIONS UNCOVERED DURING DEMOLITION WORK.
23. CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ENCOUNTERED AFFECTING THE NEW WORK.

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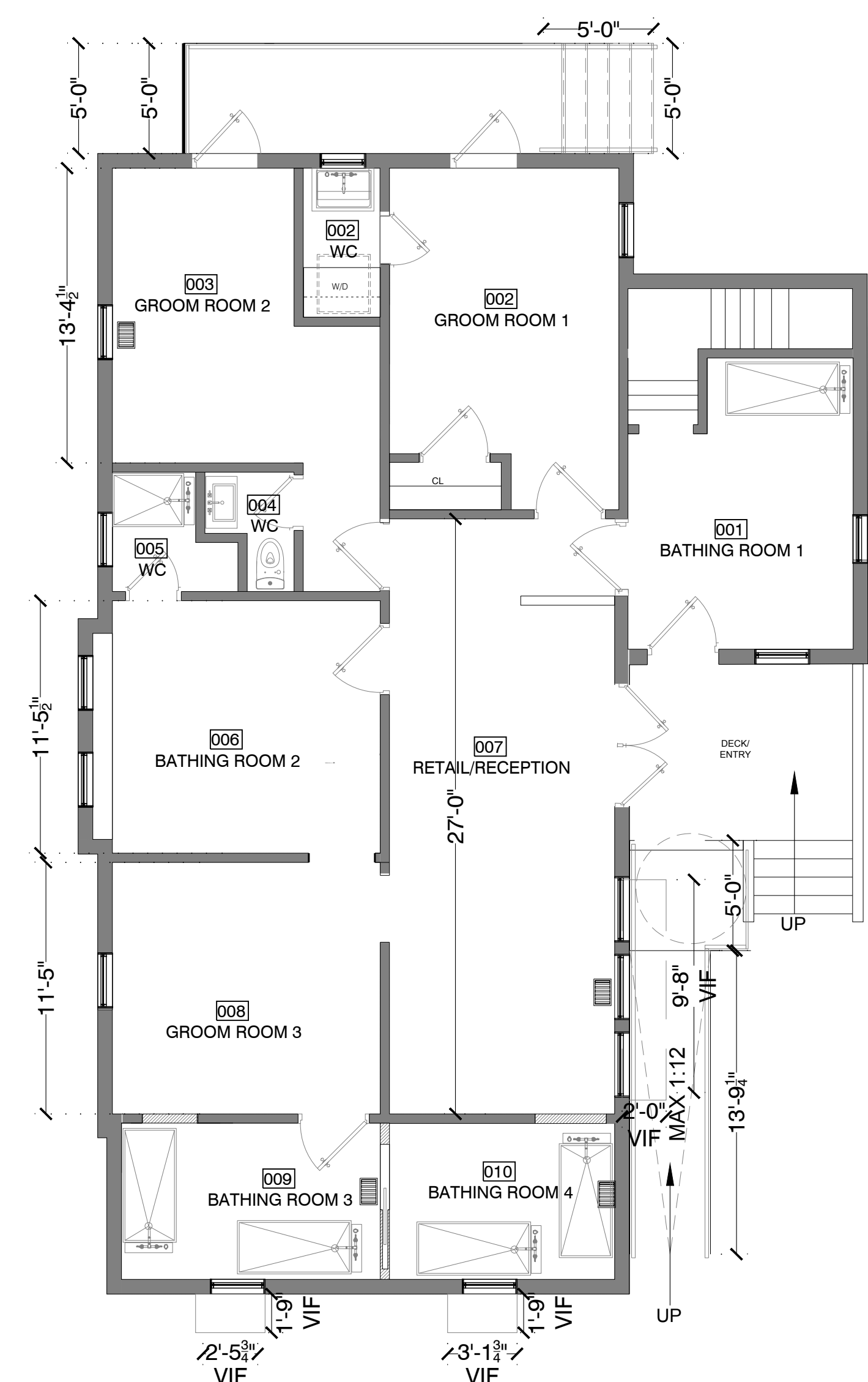


DEMOLITION PLAN

Date: NOV 4, 2022

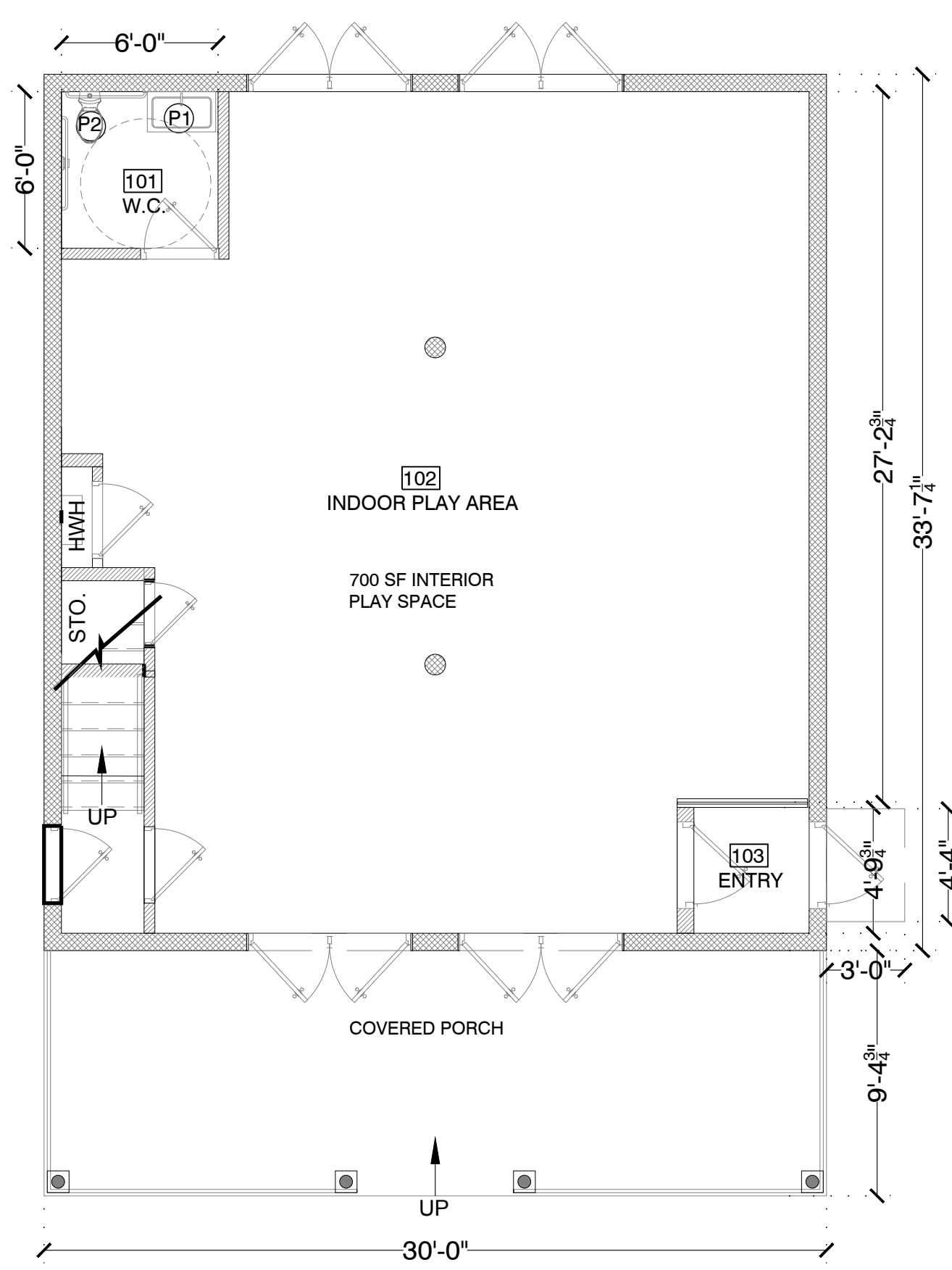
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Drawing:
DM-100

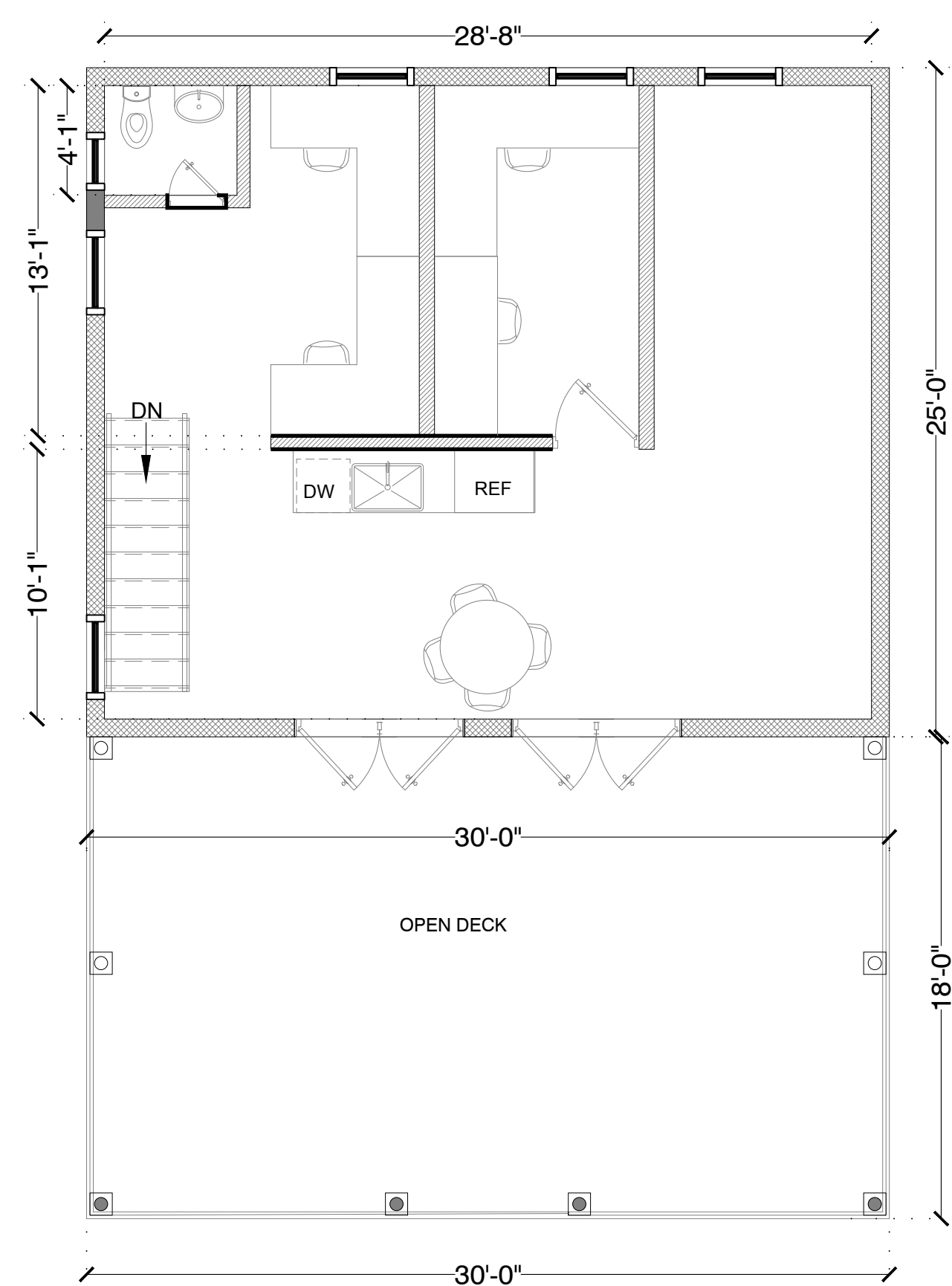


3 PROPOSED FIRST FLOOR FRONT BUILDING

2 PROPOSED SECOND FLOOR REAR BUILDING



1 PROPOSED FIRST FLOOR REAR BUILDING



2 PROPOSED SECOND FLOOR REAR BUILDING

LEGEND:

- EXISTING CONSTRUCTION
- NEW INTERIOR PARTITIONS
- NEW EXTERIOR WALL
- CABINetry, BUILT-IN CLOSETS
- SOFFIT / DROP CEILING LINE
- ROOM TAG
- STRUCTURAL GRID LINE
- DETAIL REFERENCE - DETAIL XX ON SHEET AX.XX
- SECTION MARKER - SECTION XX ON SHEET AX.XX
- ELEVATION MARKER - ELEVATION XX ON SHEET AX.XX
- ELEVATION DATUM
- SPOT ELEVATION
- DOOR TYPE / NUMBER
- WALL/FLR./CLG. FINISH
- EQUIPMENT TAG
- PLUMBING TAG
- HARDWIRED, SMOKE/CARBON MONOXIDE DETECTOR.

KEYNOTES:

- 1 NEW EXTERIOR WALLS- SEE A600 FOR INSULATION PROPERTIES
- 2 PROVIDE 1 HOUR RATED SOFFIT AND WALLS AT PROPERTY LINES
- 3 ANDERSEN A SERIES WINDOWS AND DOORS TO BE ENERGY COMPLIANT
- 4 NEW INTERIOR STAIRS
- 5 NEW DECK

PROJECT NOTES:

1. WATER & SEWER: EXISTING WATER SERVICE TO BE USED.
2. WEATHER BARRIER AND SIDING: ALL NEW EXTERIOR WALLS TO RECEIVE WEATHER BARRIER AND SIDING. WEATHER BARRIER SHALL BE BLUE SKIN WRAP (OR APPROVED EQUIVALENT), FLASHING, FLEX FLASHING, AND SEAM TAPE. SIDING SHALL BE VERTICAL HARDIE BOARD BOARD AND BATTEN. EXTERIOR FINISH ON EXPOSED FOUNDATION WALLS SHALL BE CEMENT PARGE, COORDINATION COLOR AND FINISH WITH ARCHITECT. INSTALL ALL WEATHER BARRIER AND SIDING PRODUCTS PER THE MANUFACTURERS RECOMMENDATIONS.
3. STONE VENEER: (IF APPLICABLE) AT AREAS SHOWN AS STONE VENEER. PROVIDE CULTURED STONE AS SELECTED BY ARCHITECT AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
4. ROOFING: GAF TIMBERLINE BIRCHWOOD SHINGLES
5. EXTERIOR TRIM: AZEK .
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8. INSULATION: PROVIDE REQUIRED DRAFT STOP, FIRE STOP AND INSULATION BAFFLES AS NECESSARY. PROVIDE R VALUES IN WALLS AND ROOFS PER ENERGY CODE COMPLIANCE .
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13. INTERIOR PAINT: PREP AND PAINT ALL NEW FINISH CONSTRUCTION. ONE COAT BENJAMIN MOORE QUALITY PRIMER AND TWO FINISH COATS. COORDINATE COLORS WITH ARCHITECT.
14. INSPECTION OF EXISTING CONDITIONS AND CONSULTATION FROM BUILDING SUPERINTENDENT HAS BEEN PERFORMED. THE PROPOSED ALTERATION WILL NOT CAUSE DAMAGE TO, OR DISRUPTION OR RELOCATION TO ANY STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO SLABS, BEAMS, COLUMNS, PLUMBING RISERS, INTERCOM RISERS, ELECTRICAL RISERS AND OR VENTILATION DUCTS/CHASES. IN THE EVENT OF UNEXPECTED CONDITIONS THAT MAY BE UNCOVERED AND/OR IF THE ALTERATION PLANS MUST BE MODIFIED IN ANY WAY, THE APARTMENT OWNER AND/OR CONTRACTOR WILL NOTIFY BUILDING MANAGEMENT PRIOR TO PROCEEDING. IF SIGNIFICANT ALTERATIONS TO THE APPROVED AND PERMITTED PLANS ARE REQUIRED AND THEY ARE PRESENTED AND APPROVED THROUGH MANAGEMENT, THE DOB PERMITS SHALL BE AMENDED THROUGH A POST APPROVAL AMENDMENT PROCESS AND NO MODIFIED WORK WILL COMMENCE UNTIL THE PAA IS APPROVED.
15. NO CHANNELING OF THE STRUCTURAL BEAMS, CEILINGS, COLUMNS, FLOORS, FIRE RATED CHASES AND WALLS WILL BE ALLOWED. THIS INCLUDES BUT IS NOT LIMITED TO ALL ELECTRICAL, PLUMBING AND HVAC LINES CONDUITS AND DUCTS.
16. ALL EXISTING THROUGH SLAB, WALL AND PARTY WALL PENETRATIONS MUST BE SEALED TOP AND BOTTOM WOTH APPROVED FIRE STOP SEALANT THAT WILL PREVENT DUST, SOUND AND ODOR INFILTRATION, RODENT ACCESS AND FIRE TRANSMISSION INTO SURROUNDING APARTMENTS AND BUILDING SPACES/CHASES. FIRE RATED CHASE WALLS ENCLOSURES AND FIRE STOPPING MIST REMAIN IN PLACE UNTIL ACTUAL PROPOSED WORK IS APPROVED AND IMPLEMENTED. THESE AREAS CANNOT BE LEFT OPEN OR UNPROTECTED OVERNIGHT. DUST PROTECTION AGAINST TRANSFER OF NOISE AND DIST AS WELL AS FUMES MUST BE IMPLEMENTED IMMEDIATELY UPON OPENING. ANY NEW WORK CANNOT LOWER EXISTING FIRE RATING.
17. ALL PROPOSED WORK IS CODE COMPLIANT AND WILL NOT AFFECT ANY BUILDING SYSTEMS, SURROUNDING APARTMENTS AND WILL BE PROPERLY PERMITTED AND SIGNED OFF.
18. ALL CAULKING WILL BE BASF MASTERSEAL NP100 .
19. THERE ARE NO THROUGH WALL PENETRATIONS PROPOSED AT THIS TIME.
20. THERE ARE NO MODIFICATIONS TO HUNG CEILINGS.
21. NO NEW WOOD FLOORING IS PROPOSED, AND ALL NEW FLOOR TILE WILL HAVE A SOUND PROOFING AND WATER PROOFING MATERIAL.
22. THE EXISTING ELECTRICAL PANEL WILL REMAIN, AND A NEW SUB PANEL WILL BE INSTALLED FOR NEW DISTRIBUTION.
23. ALL WET AREA WILL UTILIZE CEMENT BOARD INSTALLATION. ONLY METAL STUDS AND FIRE RATED WOOD DOOR STIFFENERS WILL BE USED. ALL PARTY WALL AND/OR CHASE WALLS WILL BE PROPERLY SOUND, AND FIRE STUFFED WITH SEALANT. ALL OUTLETS ALONG PARTY AND/OR CEILING WALLS WILL HAVE SOUND PROOF HOUSING AND/OR GASKETING.
24. MOLD RESISTANT DRY WALL WILL BE USED. CEMENT BOARD WALL WILL BE USED IN KITCHEN AND BATHROOM.
25. NO EXTERIOR WORK IS PROPOSED.
26. VIBRATION ISOLATION PADS MUST BE USED IN ANY SLIDING OR POCKET DOORS WHERE MOUNTINGS COME IN CONTACT WITH FLOOR OR CEILING.
27. LOW, OR NO, VOC PAINTS OR FINISHING MATERIAL WILL BE USED.
28. CHECK VALVES/BACKFLOW PREVENTERS WILL BE INSTALLED ON EVERY FAUCET, DISHWASHER, AND SHOWER BODY. ALL BATHROOM SINKS WILL HAVE OVERFLOW DRAIN.
29. ALL BRANCH LINES WILL BE REPLACED BACK TO RISER. ALL RISERS CAN BE INSPECTED BY RESIDENT MANAGER. ALL BRANCH LINES WILL BE EQUIPPED WITH SHUT OFF AND CHECK VALVES LOCATED OUTSIDE THE WALL OR IN A FIRE RATED ACCESS PANEL. SEE THE NOTES ON PLANS.
30. AIR GAP/HAMMER ARRESTORS WILL BE PROVIDED AFTER ALL CHECK VALVES.
31. ANY EXPOSED FEED PIPING WILL BE INSULATED, AND CAN BE INSPECTED BY THE RESIDENT MANAGER PRIOR TO CLOSING.
32. FIRE RATED ACCESS DOORS WILL BE INSTALLED AT VALVES.
33. THERE IS NO GARBAGE DISPOSAL PROPOSED.
34. NO WALL MOUNTED TOILETS ARE PROPOSED.
35. NO PARTY WALLS WILL BE RECONSTRUCTED.
36. SEE P-100 PLAN FOR RISER AND NEW PLUMBING INFORMATION.
37. SEE A-100 FOR DRAFT CURTAIN AREA. RANGE HOOD IS RECIRCULATING TYPE.
38. THE RANGE IS RELOCATED, AND WILL BE PIPED AFTER EXISTING TERMINATION. A NEW VALVE WILL BE PLACED AT EXISTING TERMINATION AND LOOPED OVER TO WHERE NEW LOCATION IS NOTED. ALL GAS LINE PROCEDURES AND INSPECTIONS WILL BE UPHELD.
39. THE REFRIGERATOR IS NOT GOING TO HAVE AN ICE MAKER.
40. NO WASHER OR DRYER IS PROPOSED.
41. ALL EXISTING VENTS WILL REMAIN FUNCTIONAL.
42. NEGATIVE AIR MACHINES WILL BE USED WHERE AND WHEN REQUIRED.
43. THE OWNER AND CONTRACTOR WILL ABATE ASBESTOS PROPERLY IF ANY IS FOUND.
44. NO NOISE CREATING TOOLS WILL BE USED OTHER THAN STANDARD SAWS AND DRILLS. NO SIGNS WILL BE PLACED ON THE WINDOWS OR DOORS.
45. ALL PLUMBING AND ELECTRICAL WORK WILL BE COMPLETED BY A LICENSED NY STATE AND CITY PROFESSIONAL.
46. THE ARCHITECT HAS BEEN TO THE SITE AND TAKEN PHOTOGRAPHS OF ADJOINING SPACES AND CELLAR MECHANICAL ROOMS.
47. THE INSPECTIONS AS SCHEDULED ARE APPROPRIATE AND WARRANTED: AFTER DEMOLITION COMPLETION, PLUMBING INSULATION, FLOOR SOUNDPROOFING AND WATERPROOFING, PLUMBING, SHOWER PLAN AND FINAL.

GENERAL BUILDING NOTES:

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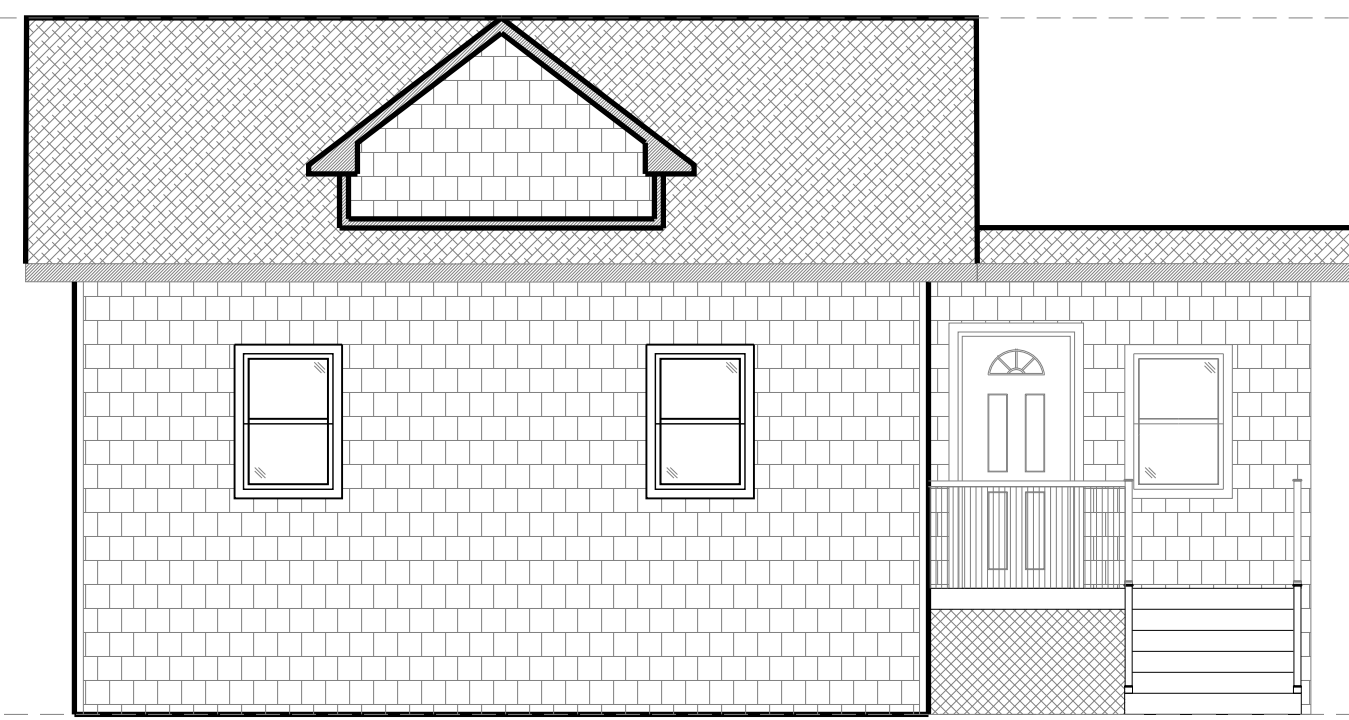
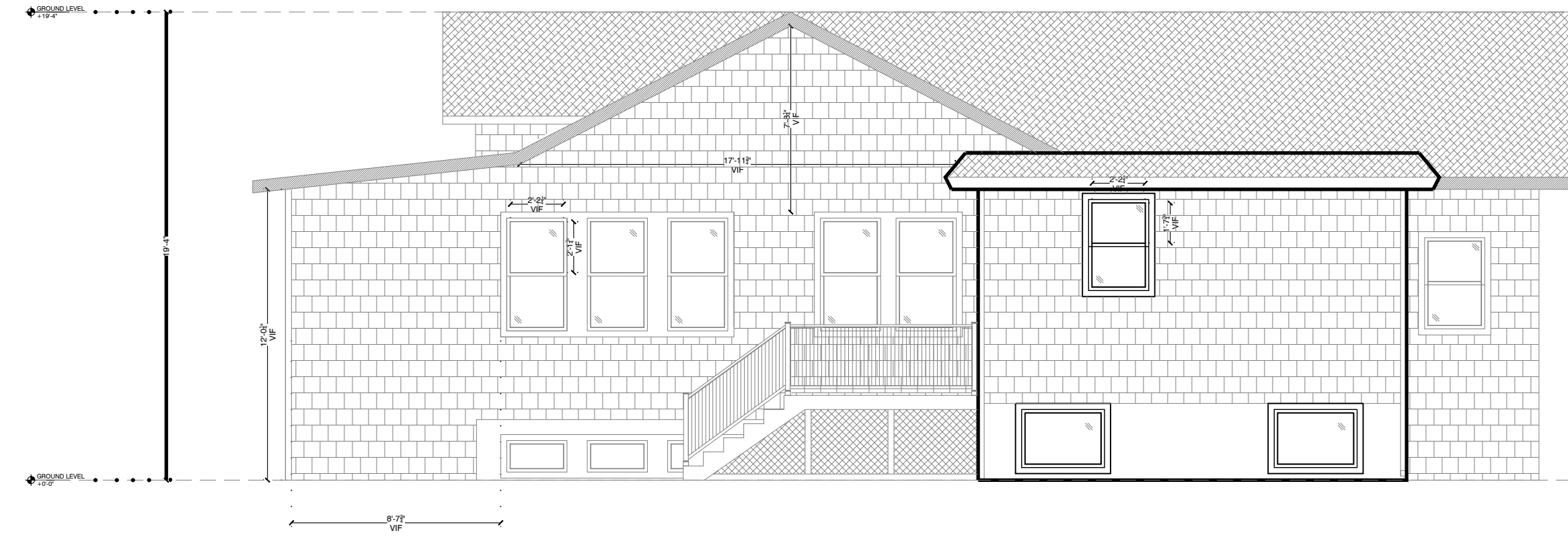


PROPOSED FLOOR PLAN

Date: NOV 4, 2022

Scale: 3/16" = 1'-0"

Drawing:
A-100

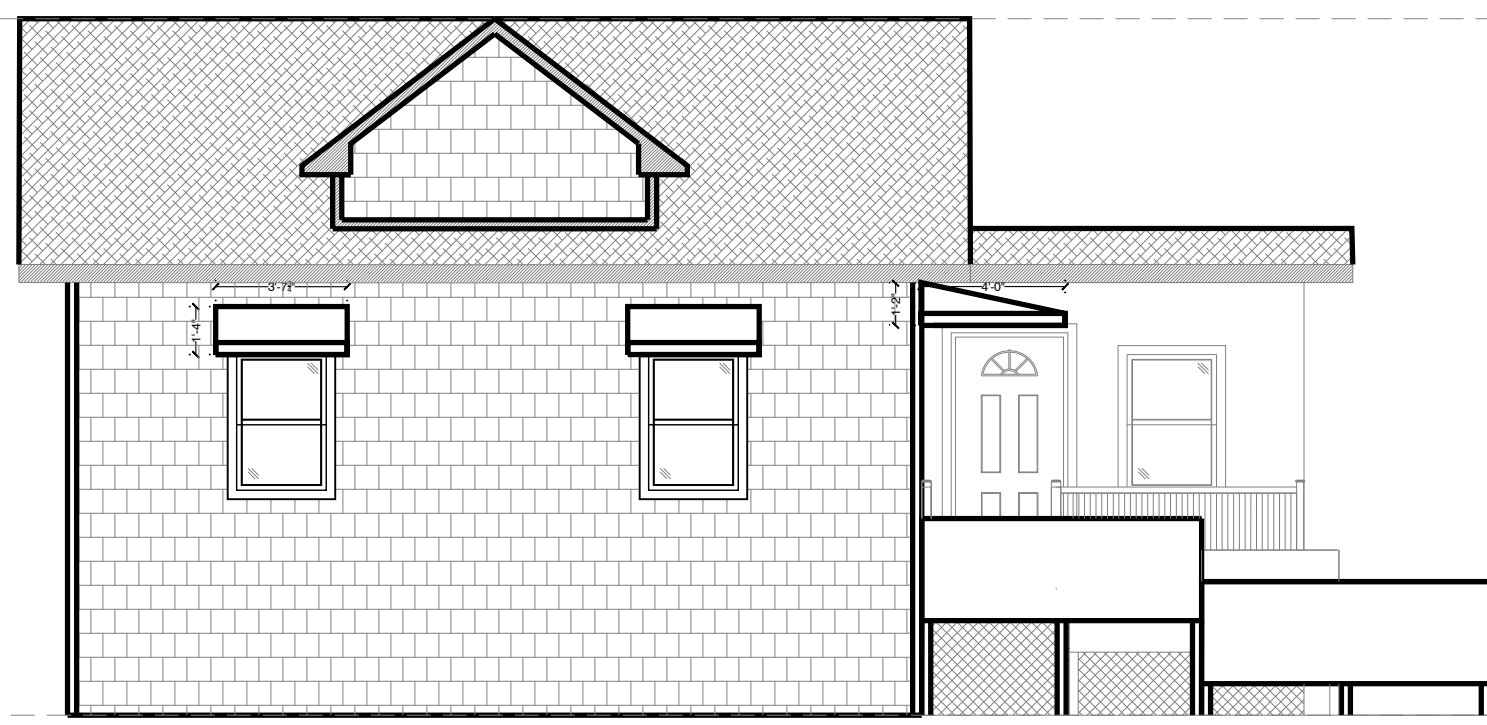


PROPOSED ELEVATIONS



1 EXISTING FRONT BUILDING EAST EXTERIOR ELEVATION

2 EXISTING FRONT BUILDING SOUTH EXTERIOR ELEVATION



1505 Coralies Ave.
Freestanding sign

60"

area 19.63 sqft

two (2) 60" circular signs mounted to each side of "Nautical Look" pylon structure

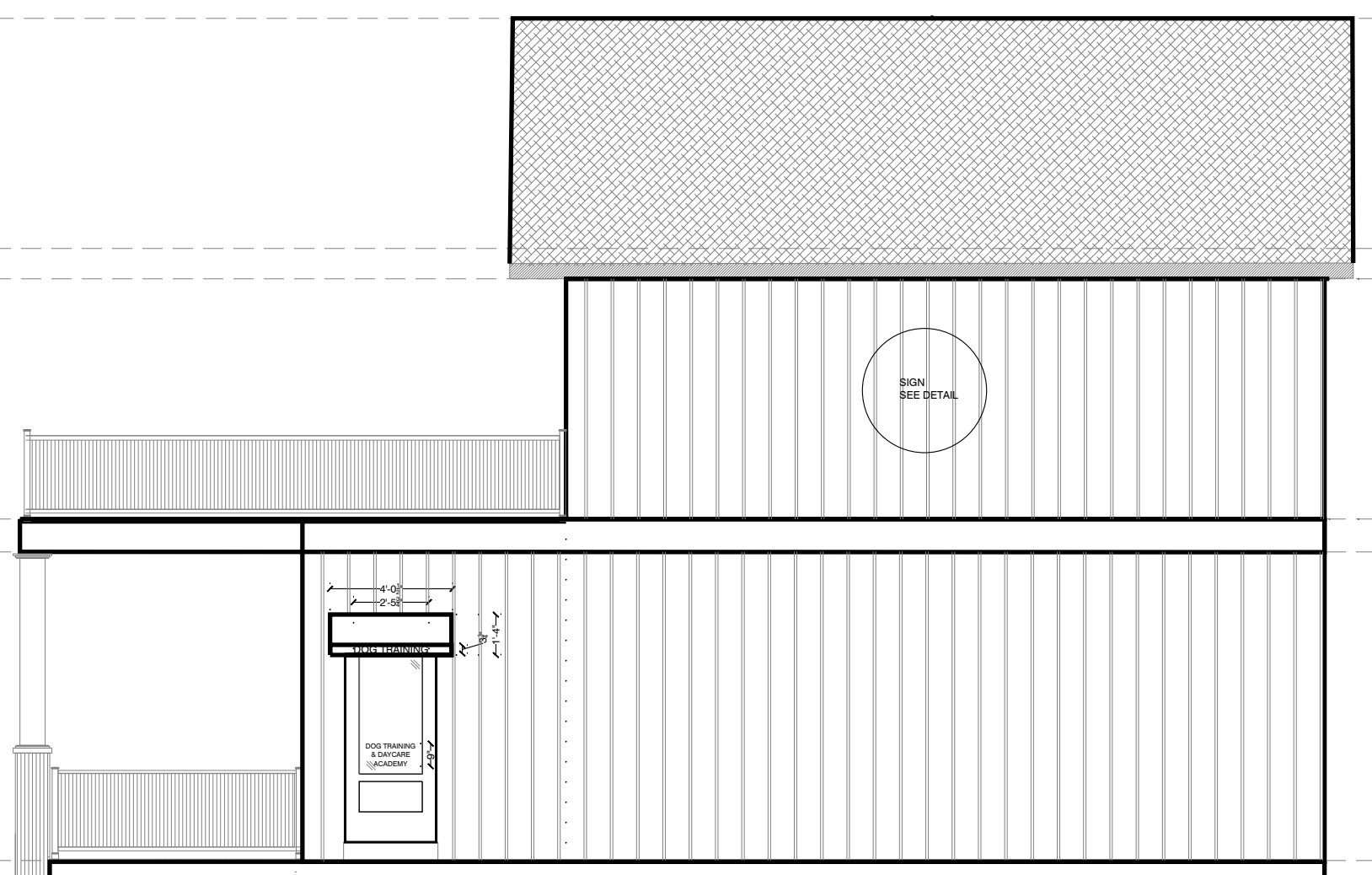
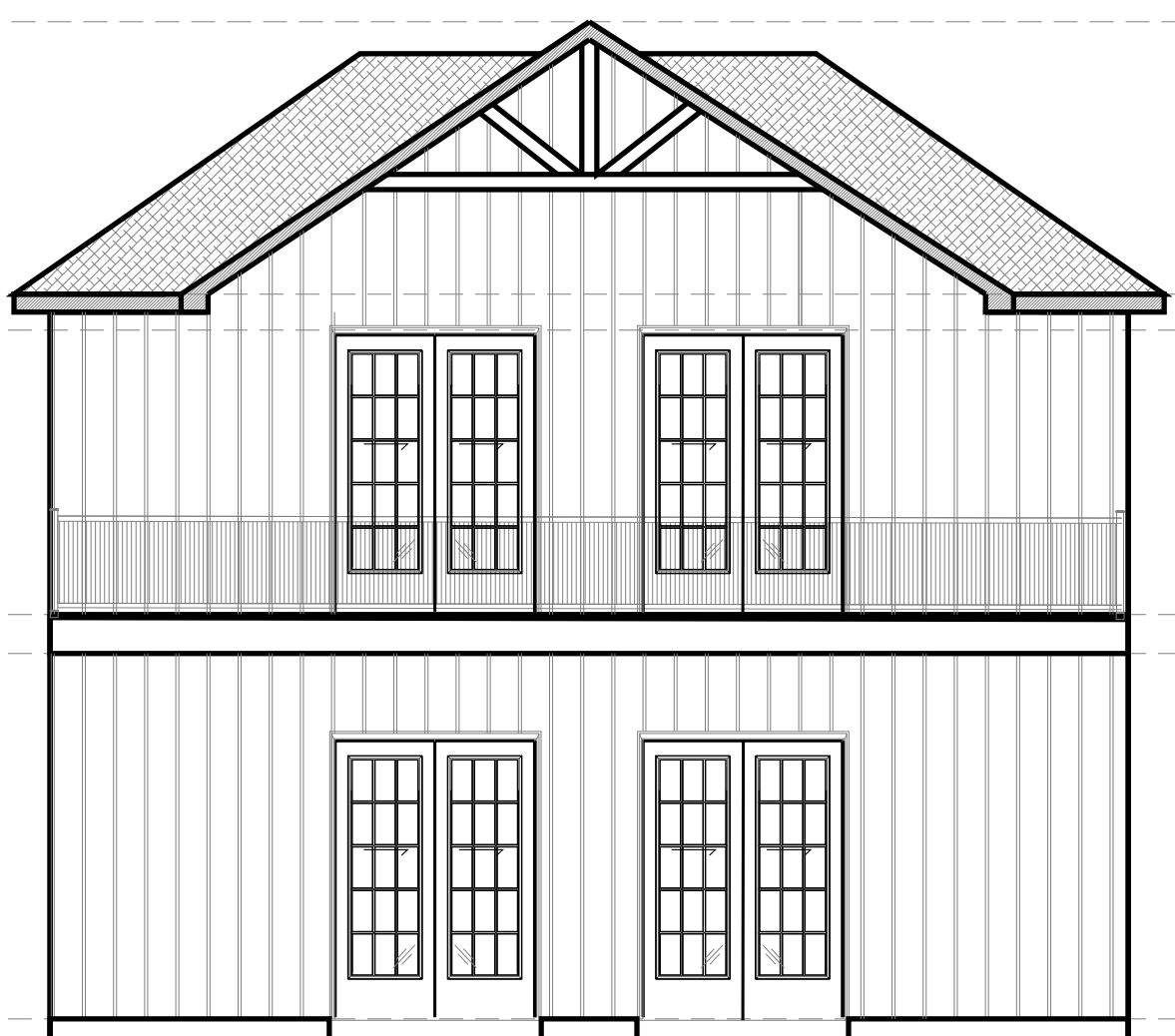
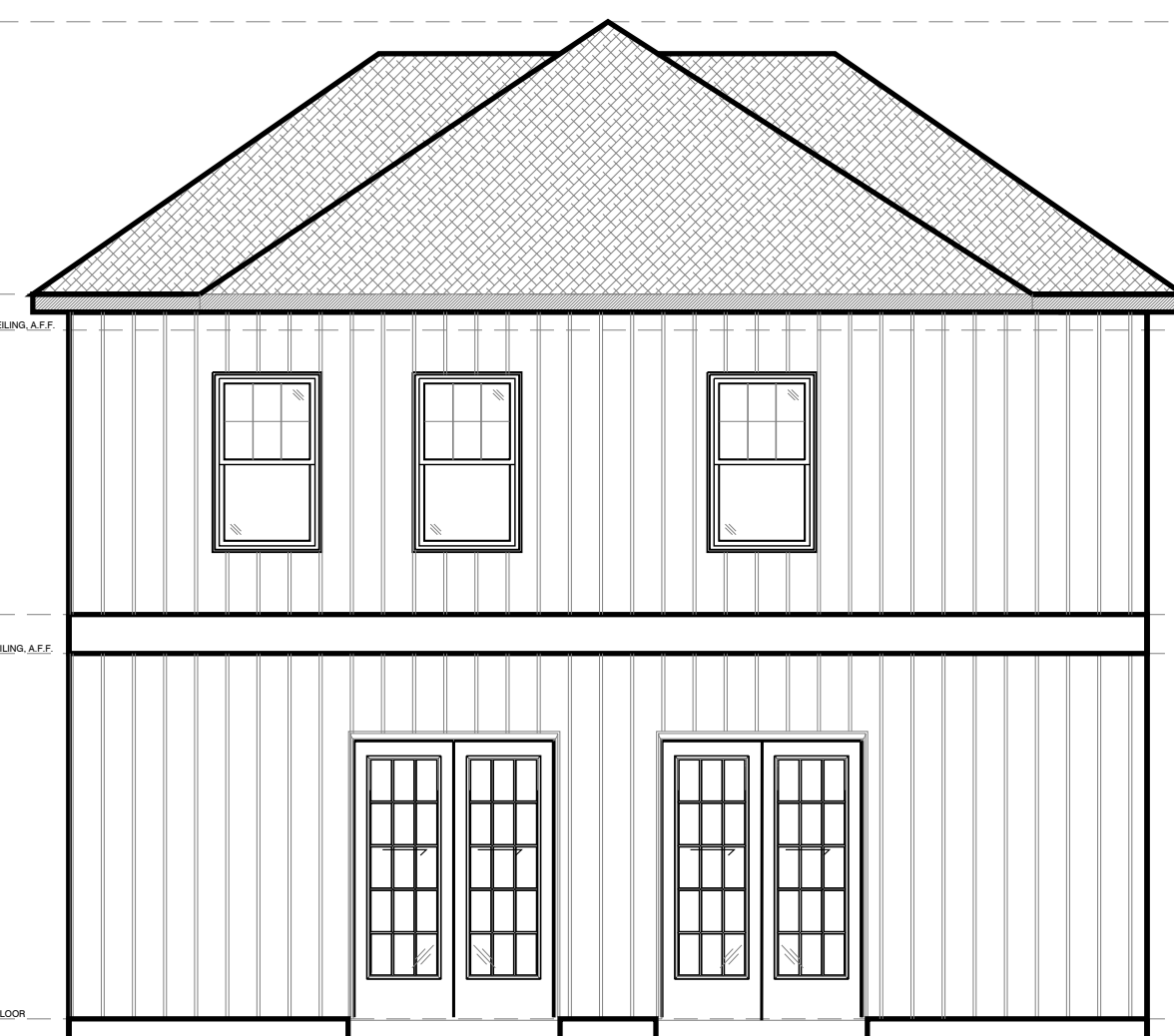
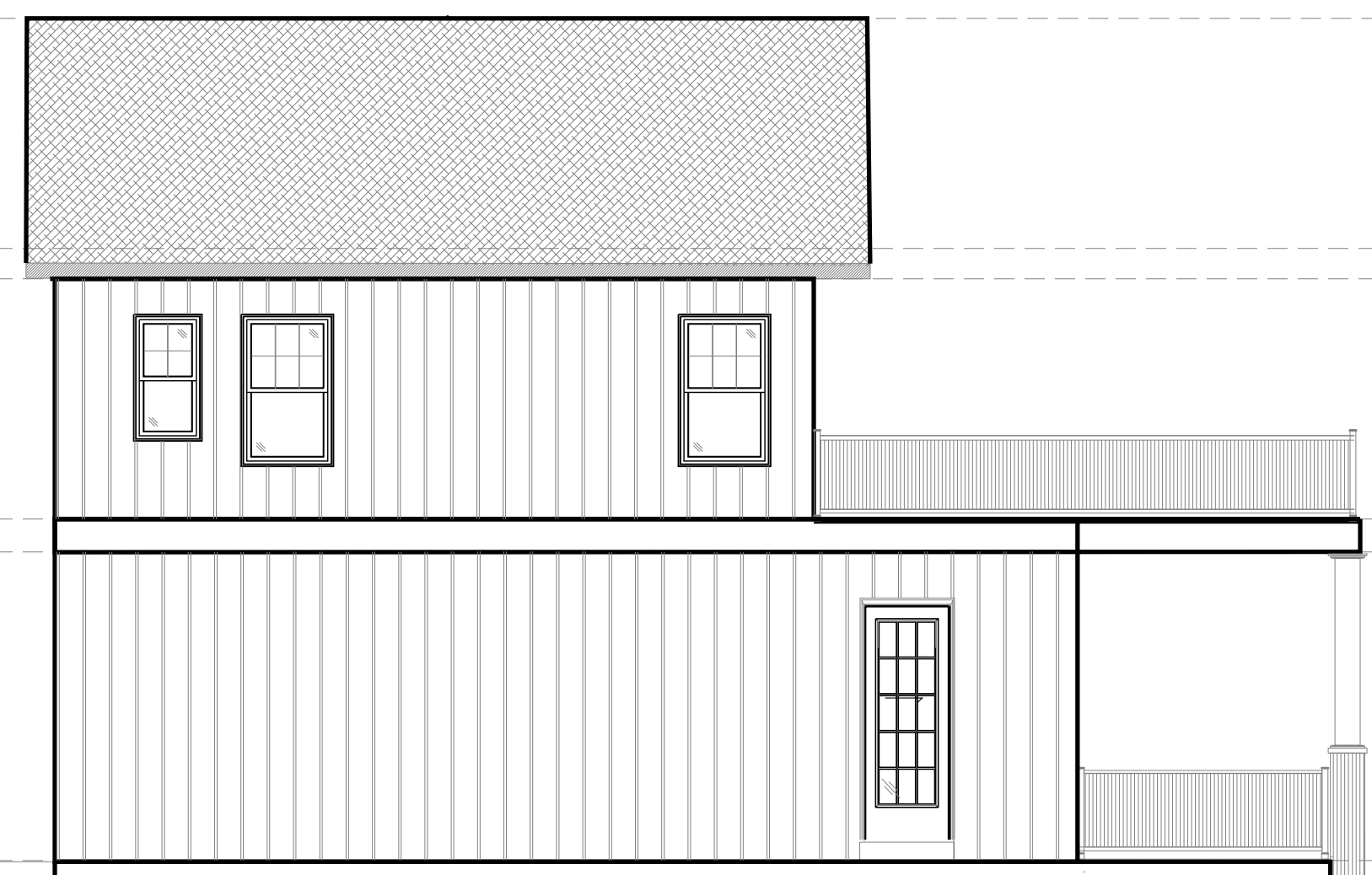
60" circular sign (one per side)

Pressure treated stringers
Marine type pylon

3 PROPOSED FRONT BUILDING EAST EXTERIOR ELEVATION

4 PROPOSED FRONT BUILDING SOUTH EXTERIOR ELEVATION

5 SIGN DETAIL



WEST FACADE

NORTH FACADE

SOUTH FACADE

EAST FACADE

2 EXISTING EAST EXTERIOR ELEVATION

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Reference North

EXISTING EXTERIOR ELEVATIONS

Date: NOV 4, 2022

Scale: 3/16" = 1'-0"

Drawing:

A-200