i	3501 STATE ZONING DISTRICT: BLOCK No. 3903,	LOT No. 12 & 13	REDEVELOPME	NT PLAN (SECTIO	NB)
ltem		Required / Allowable	Proposed	Regulation ¹ Reference	Con
Land Us	e:			_	
Principal	Use	General Warehousing	General Warehousing	Redevelopment Plan Section VIII	
Area, Bu	Ik & Yard Requirements:				
Min. Lot	Area (AC)	2.5 AC	37.59± AC	Redevelopment Plan Section VIII	
Max. Flo	or Area Ratio	1.0	0.31	Redevelopment Plan Section VIII	
Min. Lot	Width (FT)	500 FT	1,057.2 FT	Redevelopment Plan Section VIII	
Min. Lot	Frontage (FT)	500 FT	1,057.5 FT	Redevelopment Plan Section VIII	
Min. Lot	Depth (FT)	600 FT	1,522 FT	Redevelopment Plan Section VIII	
Min. Fro	nt Yard Building Setback (FT)	30 FT	110 FT	Redevelopment Plan Section VIII	
	e Yard Building Setback (FT)	50 FT	50.6 FT	Redevelopment Plan Section VIII Redevelopment Plan	
	nbined Side Yard Building Setback (FT)	50 FT	376.5 FT	Section VIII Redevelopment Plan	
	r Yard Building Setback (FT)	40 FT	1,022.2 FT	Section VIII Redevelopment Plan	
	Iding Coverage (%)	30%	15.3%	Section VIII Redevelopment Plan	
	Coverage (%)	65%	29.3%	Section VIII Redevelopment Plan	
	nber of Stories Iding Height ¹⁰ (FT)	3	1	Section VIII Redevelopment Plan	
	y, Parking & Loading Area Regulations	50 FT	45.3 FT	Section VIII	
	ax. Nonresidential Driveway Width (FT)	20 FT / 25 FT	N/A	Redevelopment Plan Section VIII	1
Min. / M	ax. Warehouse Driveway Width (FT)	35 FT / 80 FT	30 FT / 70 FT	Redevelopment Plan Section VIII	
Access F	Permitted Onto Green Grove Road	No	No	Redevelopment Plan Section VIII	
Min. Nor (FT)	residential Driveway Setback from Property Lines	5 FT	N/A	412.06.A	1
	ance of Driveway from Intersection of Two Streets	50 FT	N/A	412.06.B	1
Driveway	/ Shall Serve Use Other Than the Permitted Use on	No	No	412.06.D	
	Jpon Which the Driveway is Located	-			
	veway Grade (%) ree Walkway Shall be Provided to the Building from	6%	6%	505.B.5	
	ng Lot and Township Sidewalk	Yes	Yes	412.06.E	
	Entrance and Exit Provided for Nonresidential Use Area with More Than 25 Spaces	Yes	No	514.B.1	
	nber of Parking Spaces ³	142	144	412.17.D	
Provided	Parking for Nonresidential Use Allowed to Exceed n Requirements by More Than 20%	No	No	412.17.D 412.17.F	
	king Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	412.17.B	
	re Aisle Width (FT)	24 FT	24 FT	514.B.9	
	nt Yard Parking Setback ⁴ (FT) e & Rear Yard Parking Setback (FT)	30 FT	121.2 FT 159.8 FT	412.18 509.I.1	
	king and Driveway Setback from Nonresidential	10 FT	10 FT	514.B.3	
	Oriented to Front Toward a Parking Lot	No	No	521.B.2	
Min. Nur	nber of Loading Berths ⁵	16	32	412.12.A	
Min. Loa	ding Space Size (FT x FT)	15 FT x 60 FT	13.5 FT x 60 FT	412.12.B	
Min. Trai	ler Parking Space Size (FT x FT)	12 FT x 60 FT	12 FT x 60 FT	514.B.8.(j)	
	ping & Buffering Regulations fer Zone for Loading Areas Adjacent to Residential			Redevelopment Plan	
Zones (F		70 FT	N/A	Section VIII	1
	ding Area Buffer Area Width ¹² (FT)	10 FT 10 FT	121.2 FT 79.9 FT	503.B.1 503.C.1	
Min. Utili	ty Equipment Buffer Area Width ¹² (FT)	3 FT	68.0 FT	503.D.1	
Parking L	ot Buffer in Side and Rear Yards	6 FT Evergreens @ 3 FT O.C.	6 FT Evergreens @ 3 FT O.C.	509.I.1.(a)	
Parking L	ot Buffer in Front Yard	Evergreen & Deciduous Hedge with Shade	Evergreen & Deciduous Hedge with Shade Trees @	509.I.1.(b)	
Min % I	andscaping of Interior Parking Lot Area	Trees @ 30 FT O.C. 5%	30 FT O.C. 11.1%	509.1.4.	
	nber of Parking Lot Shade Trees	1 per 5 Parking Spaces	1 per 5 Parking Spaces	509.1.4.	
Diamono Parking E	-Shaped Tree Islands Utilized Between Head-to-Head	Yes	No	509.I.4.(a)	
	of Diamond-Shaped Tree Islands (SF)	36 SF	0 SF	509.I.4.(a)	
Min. Wic	th of Landscape Strip at End of Parking Row (FT)	4 FT	2 FT	509.I.4.(b)	
Max. Nu	mber of Parking Spaces Without Landscape Island	8	8	Redevelopment Plan Section VIII	
Min. Lan	dscape Island Width (FT)	7 FT	9 FT	509.I.4.(c)	
	ewalk Width Adjacent to Landscape Island Strips	4 FT	N/A	509.I.4.(d)	1
have Lov	arking Landscape Islands Not Planted with Trees to v-Growing Evergreen Shrubs	Yes	Yes	509.I.4.(f)	
Proposed		Yes	Yes	509.M	
	th Enclosure Buffer Width ¹² (FT)	10 FT	61.6 FT	515.A.1	
	sh Enclosure Wall Height (FT) sh Enclosure Evergreen Screen Height (FT)	6 FT 4 FT	6 FT 4 FT	515.A.1 515.A.1	
	closure Permitted with Building Setbacks	No	No	515.A.2	
	ee Setback from Curbline (FT)	15 FT	15 FT	523.A	
	et Tree Spacing for Large Street Trees (FT) et Tree Spacing for Medium Street Trees (FT)	35 FT 30 FT	35 FT N/A	523.B 523.B	1
	k Regulations				·'
Min. Side	ewalk Width for Warehouse Uses (FT)	5 FT	5 FT	Redevelopment Plan Section VIII	
Intersect		Yes	Yes	Redevelopment Plan Section VIII	
	s Required on Both Sides of Roads for Nonresidential	Yes	Yes	519.B.1	
Right-of-		Yes	Yes	519.B.2	
Public Ac Right-of-	ccess Easement for Sidewalk Not Within the Nay	Yes	Yes	519.B.3	
	back of Street Furniture from the Curbline (FT)	4 FT	10.0 FT	519.B.3.(a)	
	ar Passageway in Front of Street Furniture (FT) nternal Sidewalk Links Between Development and	7.5 FT	6 FT	519.B.3.(a)	
Streets	Access Easements for Pedestrian Links	Yes	Yes	519.B.3.(b) 519.B.3.(b)	
Sidewalk	s Less Than 6 FT in Width to Provide 6 FT Width for				
	gth Every 200 FT for Handicap Passage	Yes 10% of Total Required	Yes	519.B.6	
Min. Nur	nber of Bicycle Parking Spaces	Parking up to 100 Spaces + 2% Thereafter	15	519.C	
Fence P	etaining Wall & Slope Regulations	(11)			
Max. %	Disturbance of Total Lot Area Consisting of 15%-25%	30%	39.8%	421.D.1.(a)	
	of Critical Slopes (>25%) During Construction	No	Yes	421.D.1.(b)	
Permitte Max. Are	d a of Disturbance of Critical Slope Areas (>25%	0 SF	13,964 SF	421.D.1.(b) 421.D.2	
	ding Results in Net Increase of Total Steep Slope	0 SF No	No	421.D.2 421.E.2.(a)	
Areas or		4 FT	4 FT	421.E.2.(a) 412.07.B.1.(b).(i)	
Max. Fer	nce Height More than 15 FT from R.O.W. and in Side Yards (FT)	6 FT	4 FT	412.07.B.1.(b).(j) / 412.07.B.2.(b)	
	ards (FT) Ik Fence Permitted in Front Yard	No	No	412.07.B.2.(c)	
Max. Ret	aining Wall Height (FT)	8 FT	10.0 FT	421.G.1	
Max Bot	aining Wall Height in Front Yard Setback (FT)	4 FT	7.6 FT	421.G.1	

			-	
BLOCK 3903 PROF 3501 STAT	POSED LOT 12 E ROUTE 66 REDE		TABLE	
ZONING DISTRICT: BLOCK No. 3903			NT PLAN (SECTIO	NB)
Item	Required / Allowable	Proposed	Regulation ¹ Reference	Condition
Lighting & Signage Regulations				
Max. Light Fixture Mounting Height (FT)	14 FT	20 FT	412.11	v
Decorative Lamppost Height (FT)	10 FT to 12 FT	12 FT	521.B.4	С
Decorative Lamppost Spacing Along Street Lines (FT)	40 FT to 60 FT	60 FT	521.B.4	С
Decorative Lamppost Spacing Along Interior Walkways (FT)	30 FT to 40 FT	N/A	521.B.4	N/A
Signage	See Note 11	See Note 11	Redevelopment Plan Section VIII	С
Abbreviations: V - Variance W - Waiver	C - Compliance	NC - Existing Nonconf	omity N/A - Not Applica	bla
Notes:				
 A 70 foot buffering zone, which may include detention basi residential zones. For office uses, a minimum of 1 parking space per 300 squ parking space per 2,500 square feet of gross floor area shall b office space, which requires 47 parking spaces, and includes a The total number of required parking spaces is 142. No parking shall be located in a required front yard per Sect 5. For light industrial and warehouse uses with a total floor are plus 1 for each additional 20,000 square feet. Chain link fences are prohibited in front yards in all zone dis 7. The project exceeds the criteria for maximum disturbance a percent or greater). (a) The total soil disturbance in the critica disturbance of vegetation in the critical slope area of the lot is in the critical slope area of the lot is no greater than twenty-fix diameter at point of measurement greater than eighteen (18) essential to a reasonable use of property. The maximum size of wall mounted signs for single-tenant sign is mounted on, whichever is less, per Section 416.07.B.1 Businesses that have a side or rear building façade front on exceed 50% of the area of the primary building sign, per Sect building and a public street. Building height is defined as the vertical distance from fini in Section 201. As the finished grade around the perimeter of grade measurements taken approximately every 50 feet. Bas EL. 100.04. The finished floor elevation of the proposed ware average finished grade. The vertical distance from the finishe building height has been calculated to be 45.3 feet. Redevelopment Plan Signage section states "Permitted Sic Committee." 	are feet of gross floor area e provided. The proposed approximately 237,022 squ ion 514.B.2. tricts per 412.07.B.1.(c). reas listed under Section 4 l slope area of the lot is no no greater than twenty-fiv e (25) square feet; (d) The nches; and, (e) The applica structures is 48 square feet. (a). a parking lot or secondary on 416.07.B.3.(a). This pro- shed grade to the top of the the proposed warehouse ed on these parameters, th house building is EL. 102.(d floor elevation to the hig	shall be provided. For development includes are feet of warehouse are feet, the number of 421.D.2. for disturbance or greater than one (1) or e (25) square feet; (c) T construction does not ant must demonstrate the et, or 1.2 square feet for street frontage may he ovision shall not apply we he highest roof beams of building varies, an aver he average finished gra 20, representing a verti-	warehouse uses, a minimu approximately 14,000 squar space, which requires 95 p f loading berths that shall be e of critical slope areas (slop ubic yard; (b) The total area "he increase in impervious g include the removal of any that the proposed slope dist or each lineal foot of wall fac ave a secondary wall-mount where a parking lot is locate on a flat roof, per the definit rage has been calculated, w ide was calculated to be ap cal distance of 1.96 feet co	Im of 1 re feet of arking space e provided is of removal o ground cover tree, having a turbance is ce that the ted sign not t ad between a cion provided ith finished proximately mpared to
	tem requiring buffering to			pment
12. Buffer widths are considered to be the distance from the i BLOCK 3903 PR 3501 ST	OPOSED LOT ATE ROUTE 66 RE	the nearest property lir 13.01 ZONIN DEVELOPMENT	IG TABLE	
12. Buffer widths are considered to be the distance from the i BLOCK 3903 PR 3501 ST ZONING DISTRICT: BLOCK No. 39	OPOSED LOT ATE ROUTE 66 RE 03, LOT No. 12 &	the nearest property lir 13.01 ZONIN DEVELOPMENT 13 REDEVELOPI	IG TABLE MENT PLAN (SECT	ION A)
12. Buffer widths are considered to be the distance from the i BLOCK 3903 PR 3501 ST ZONING DISTRICT: BLOCK No. 39	OPOSED LOT ATE ROUTE 66 RE	the nearest property lir 13.01 ZONIN DEVELOPMENT	IG TABLE	ION A)
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12. Buffer widths are considered to be the distance from the i BLOCK 3903 PR 3501 ST/ 3501 ST/ ZONING DISTRICT: BLOCK No. 39 Item Land Use: Principal Use Accessory Use Area, Bulk & Yard Requirements: Min. Lot Area (AC) Max. Floor Area Ratio Min. Lot Width (FT)	OPOSED LOT ATE ROUTE 66 REI 03, LOT No. 12 & 1 Required / Allowable Retail Stores Parking for Principal Use 2.5 AC 0.8 500 FT 500 FT 600 FT 500 FT 30 FT 60 FT 30 % 65% 2 40 FT 84,900 SF	Time intervent	Anticipation Regulation Reference 404.04.B 404.04.B 404.04.B 404.04.D 404.04.E 0rdinance No. 16-20 ⁴ 404.04.E 404.04.E	ION A) Cond
12. Buffer widths are considered to be the distance from the i BLOCK 3903 PR 3501 ST/ ZONING DISTRICT: BLOCK No. 39 Item Land Use: Principal Use Accessory Use Accessory Use Area, Bulk & Yard Requirements: Min. Lot Area (AC) Max. Floor Area Ratio Min. Lot Area (AC) Min. Lot Vidth (FT) Min. Lot Popth (FT) Min. Lot Depth (FT) Min. Front Yard Building Setback (FT) Min. Side Yard Building Setback (FT) Min. Rear Yard Building Setback (FT) Min. Rear Yard Building Setback (FT) Max. Building Coverage (%) Max. Number of Stories Max. Building Height (FT) Min. Improvable Lot Area (SF) Min. M.1.A. Diameter of Circle (SF) Driveway, Parking & Loading Area Regulations Min. / Max. Nonresidential Driveway Width (FT) Min. Nonresidential Driveway Setback from Property Lines (F	OPOSED LOT ATE ROUTE 66 REI 03, LOT No. 12 & T Required / Allowable Retail Stores Parking for Principal Use 2.5 AC 0.8 500 FT 600 FT 500 FT 600 FT 30 FT 60 FT 30 % 65% 2 40 FT 30% 65% 2 40 FT 84,900 SF 189 FT 20 FT / 24 FT	the nearest property lin 13.01 ZONIN DEVELOPMENT 13 REDEVELOP Proposed Retail Stores Parking for Principal Use 7.97 AC 0.10 1,548.7 FT 1,562.6 FT 219 FT 119 FT 146.7 FT 1,222.6 FT 40 FT 4.3% 28.2% 1 26.3 FT 91,555 SF 159 FT	Anticipation Regulation Reference 404.04.B 404.04.B 404.04.B 404.04.C 404.04.E 0rdinance No. 16-20 ⁴ 404.04.E 404.04.E	ION A) Cond
12. Buffer widths are considered to be the distance from the i BLOCK 3903 PR 3501 ST/ ZONING DISTRICT: BLOCK No. 39 Item Land Use: Principal Use Accessory Use Area, Bulk & Yard Requirements: Min. Lot Area (AC) Max. Floor Area Ratio Min. Lot Vidth (FT) Min. Lot Frontage (FT) Min. Lot Frontage (FT) Min. Side Yard Building Setback (FT) Min. Side Yard Building Setback (FT) Min. Side Yard Building Setback (FT) Min. Rear Yard Building Setback (FT) Max. Building Coverage (%) Max. Number of Stories Max. Building Height (FT) Min. Improvable Lot Area (SF) Min. M.1.A. Diameter of Circle (SF) Driveway, Parking & Loading Area Regulations	OPOSED LOT ATE ROUTE 66 REI 03, LOT No. 12 & T Required / Allowable Retail Stores Parking for Principal Use 2.5 AC 0.8 500 FT 600 FT 500 FT 600 FT 30 FT 60 FT 30 % 65% 2 40 FT 30% 65% 2 40 FT 84,900 SF 189 FT 20 FT / 24 FT	the nearest property lin 13.01 ZONIN DEVELOPMENT 13 REDEVELOP Proposed Retail Stores Parking for Principal Use 7.97 AC 0.10 1,548.7 FT 1,562.6 FT 219 FT 119 FT 146.7 FT 1,222.6 FT 40 FT 4.3% 28.2% 1 26.3 FT 91,555 SF 159 FT 24 FT / 36.3 FT	Anno G TABLE VENT PLAN (SECT Regulation ¹ Reference 404.04.B 404.04.B 404.04.B 404.04.E Ordinance No. 16-20 ⁴ 404.04.E 404.	

BLOCK 3903 PROPOSED LOT 13.01 ZONING TABLE 3501 STATE ROUTE 66 REDEVELOPMENT ZONING DISTRICT: BLOCK No. 3903, LOT No. 12 & 13 REDEVELOPMENT PLAN (SECTION A)						
em	Required / Allowable	Proposed	Regulation ¹ Reference	Condition		
and Use:						
rincipal Use	Retail Stores	Retail Stores	404.04.B	С		
ccessory Use	Parking for Principal Use	Parking for Principal Use	404.04.D	С		
rea, Bulk & Yard Requirements:		036				
lin. Lot Area (AC)	2.5 AC	7.97 AC	404.04.E	С		
lax. Floor Area Ratio	0.8	0.10	Ordinance No. 16-20 ⁴	С		
lin. Lot Width (FT)	500 FT	1,548.7 FT	404.04.E	С		
lin. Lot Frontage (FT) lin. Lot Depth (FT)	500 FT	1,562.6 FT	404.04.E	C		
lin. Front Yard Building Setback (FT)	600 FT 50 FT	219 FT 119 FT	404.04.E 404.04.E	v с		
lin. Side Yard Building Setback (FT)	30 FT	146.7 FT	404.04.E	C		
lin. Combined Side Yard Building Setback (FT)	60 FT	1,222.6 FT	404.04.E	С		
lin. Rear Yard Building Setback (FT)	40 FT	40 FT	404.04.E	С		
lax. Building Coverage (%)	30%	4.3%	404.04.E	С		
lax. Lot Coverage (%)	65%	28.2%	404.04.E	С		
lax. Number of Stories	2	1	404.04.E	C		
lax. Building Height (FT) lin. Improvable Lot Area (SF)	40 FT 84,900 SF	26.3 FT 91,555 SF	404.04.E 404.04.E	С		
lin. M.I.A. Diameter of Circle (SF)	189 FT	159 FT	404.04.E	v		
riveway, Parking & Loading Area Regulations						
lin. / Max. Nonresidential Driveway Width (FT)	20 FT / 24 FT	24 FT / 36.3 FT	505.B.4	W		
lin. Nonresidential Driveway Setback from Property Lines (FT)	5 FT	0 FT	412.06.A	v		
lin. Distance of Driveway from Intersection of Two Streets	50 FT	247 FT	412.06.B	С		
riveway Shall Serve Use Other Than the Permitted Use on	No	Yes	412.06.D	v		
ne Lot Upon Which the Driveway is Located lax. Driveway Grade (%)	6%	6%	505.B.5	С		
arrier-Free Walkway Shall be Provided to the Building from ne Parking Lot and Township Sidewalk	Yes	Yes	412.06.E	С		
eparate Entrance and Exit Provided for Nonresidential Use arking Area with More Than 25 Spaces	Yes	No	514.B.1	w		
lin. Number of Parking Spaces	60	89	412.17.D ²	С		
rovided Parking for Nonresidential Use Allowed to Exceed linimum Requirements by More Than 20%	No	Yes	412.17.F	v		
lin. Parking Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	412.17.B	С		
lin. Drive Aisle Width (FT)	24 FT	24 FT	514.B.9	С		
lin. Front Yard Parking Setback ³ (FT)	50 FT	50 FT	412.18	С		
lin. Side & Rear Yard Parking Setback (FT) lin. Parking and Driveway Setback from Nonresidential	10 FT	41 FT	509.I.1	C		
uildings (FT) uilding Oriented to Front Toward a Parking Lot	10 FT No	9 FT Yes	514.B.3 521.B.2	w		
lin. Number of Loading Berths	1	1	412.12.A	C		
lin. Loading Space Size (FT x FT)	15 FT x 45 FT	16 FT x 190 FT	412.12.B	C		
andscaping & Buffering Regulations				-		
lin. Parking Lot Buffer Area Width ⁹ (FT)	10 FT	50 FT	503.B.1	С		
lin. Loading Area Buffer Area Width ⁹ (FT)	10 FT	24 FT	503.C.1	С		
lin. Utility Equipment Buffer Area Width ⁹ (FT)	3 FT	27.5 FT	503.D.1	С		
arking Lot Buffer in Side and Rear Yards	6 FT Evergreens @3 FT O.C.	6 FT Evergreens @3 FT O.C.	509.I.1.(a)	С		
arking Lot Buffer in Front Yard	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	509.I.1.(b)	С		
lin. % Landscaping of Interior Parking Lot Area	5%	15.0%	509.1.4.	С		
lin. Number of Parking Lot Shade Trees	1 per 5 Parking Spaces	1 per 5 Parking Spaces	509.1.4.	С		
iamond-Shaped Tree Islands Utilized Between Head-to-Head arking Bays	Yes	N/A	509.I.4.(a)	N/A		
lin. Size of Diamond-Shaped Tree Islands (SF)	36 SF	N/A	509.I.4.(a)	N/A		
in. Width of Landscape Strip at End of Parking Row (FT)	4 FT	4 FT	509.I.4.(b)	С		
lax. Number of Parking Spaces Without Landscape Island	8	8	509.I.4.(c)	С		
lin. Landscape Island Width (FT)	7 FT	9 FT	509.1.4.(c)	С		
in. Sidewalk Width Adjacent to Landscape Island Strips			509.1.4.(d)	N/A		
terior Parking Landscape Islands Not Planted with Trees to	4 FT	N/A				
ave Low-Growing Evergreen Shrubs enches and Trash Receptacles Located Adjacent to Proposed	Yes	Yes	509.I.4.(f) 509.M	С		
se lin. Trash Enclosure Buffer Width (FT)	4 FT	4 FT	515.A.1	C		
lin. Trash Enclosure Wall Height (FT)	6 FT	6 FT	515.A.1	C		
lin. Trash Enclosure Evergreen Screen Height (FT)	4 FT	4 FT	515.A.1	С		
rash Enclosure Permitted within Building Setbacks	No	No	515.A.2	С		
treet Tree Setback from Curbline (FT)	15 FT	N/A	523.A	N/A		
lin. Street Tree Spacing for Large Street Trees (FT)	35 FT	N/A	523.B	N/A		
lin. Street Tree Spacing for Medium Street Trees (FT)	30 FT	N/A	523.B	N/A		

3501 STATE ROUTE 66 REDEVELOPMENT ZONING DISTRICT: BLOCK No. 3903, LOT No. 12 & 13 REDEVELOPMENT PLAN (SECTION A)						
tem	Required / Allowable	Proposed	Regulation ¹ Reference	Condition		
Sidewalk Regulations						
Sidewalks Required on Both Sides of Roads for Nonresidential Development	Yes	No	519.B.1	w		
Private Walkway Access to Public Sidewalk in the Right-of-Way	Yes	Yes	519.B.2	С		
Public Access Easement for Sidewalk Not Within the	Yes	Yes	519.B.3	C		
Right-of-Way						
Max. Setback of Street Furniture from the Curbline (FT)	4 FT	11.3 FT	519.B.3.(a)	W		
Ain. Clear Passageway in Front of Street Furniture (FT)	7.5 FT	6 FT	519.B.3.(a)	W		
Provide Internal Sidewalk Links Between Development and Streets	Yes	Yes	519.B.3.(b)	С		
Provide Access Easements for Pedestrian Links	Yes	Yes	519.B.3.(b)	С		
Ainimum Sidewalk Widths for Retail Development: Along Non-Residential Streets Separated from the Curb by						
it Least 5 Feet	6 FT	N/A	519.B.7.(a)	N/A		
Along Non-Residential Streets Adjacent to Curb	8 FT	N/A	519.B.7.(b)	N/A		
Between Main Building Entrance and Parking	10 FT	9 FT	519.B.7.(c)	W		
Where Vehicles Overhang the Sidewalk Within Parking Areas	6 FT	6 FT	519.B.7.(d) 519.B.7.(e)	C C		
Vithin Parking Areas Between Buildings	4 FT 6 FT	5 FT N/A	519.B.7.(e) 519.B.7.(f)	N/A		
Sidewalks Less Than 6 FT in Width to Provide 6 FT Width for 6						
T Length Every 200 FT for Handicap Passage	Yes	N/A	519.B.6	С		
/lin. Number of Bicycle Parking Spaces	10% of Total Required Parking up to 100 Spaces + 2% Thereafter (6)	10	519.C	С		
ence, Retaining Wall & Slope Regulations						
Max. % Disturbance of Total Lot Area Consisting of 15%-25% Slopes	30%	64.4%	421.D.1.(a)	v		
Creation of Critical Slopes (>25%) During Construction	No	Yes	421.D.1.(b)	v		
Nax. Area of Disturbance of Critical Slope Areas (>25%	0 SF	12,533 SF	421.D.2	v		
Slopes) ⁵ Final Grading Results in Net Increase of Total Steep Slope	No	No	421.E.2.(a)	С		
Areas on the Lot Aax. Fence Height Within 15 FT of R.O.W. (FT)	4 FT	N/A	412.07.B.1.(b).(i)	N/A		
Max. Fence Height Writin 13 FT of 1.0.W. (17) Max. Fence Height More than 15 FT from R.O.W. and in Side	4 F1	4 FT	412.07.B.1.(b).(j) /	C		
or Rear Yards (FT) Chain Link Fence Permitted / Located in Front Yard	No	4 FT No	412.07.B.2.(b) 412.07.B.2.(c)	с С		
Aax. Retaining Wall Height (FT)	8 FT	5.1 FT	412.07.B.2.(c) 421.G.1	с С		
Max. Retaining Wall Height in Front Yard Setback (FT)	4 FT	4.5 FT	421.G.1	v		
Nax. Combined Retaining Wall and Safety Fence Height (FT)	12 FT	9.1 FT	421.G.4	С		
Ain. Retaining Wall Setback from Property Lines (FT)	Height of Retaining Wall	0 FT	421.H.1	v		
ighting & Signage Regulations	1					
Лах. Light Fixture Mounting Height (FT)	14 FT	14 FT	412.11	С		
Decorative Lamppost Height (FT)	10 FT to 12 FT	12 FT	521.B.4	С		
Decorative Lamppost Spacing Along Street Lines (FT)	40 FT to 60 FT	N/A	521.B.4	N/A		
Decorative Lamppost Spacing Along Interior Walkways (FT)	30 FT to 40 FT	N/A	521.B.4	N/A		
Nethod of Sign Illumination	Floodlighted,	Spotlighted, Internal	416.03.A	С		
Base of Freestanding Sign Shall Be Landscaped	Spotlighted, Internal Yes	Yes	416.03.B	C		
reestanding Sign Requirements:				-		
Max. Size (SF)	120 SF (400 SF if combined) each face	≤ 120 SF (400 SF if combined) each face	416.07.A.1 & 5	С		
Max. Height (FT)	15 FT	≤ 15 FT	416.07.A.7	С		
Max. Quantity Per Lot	2	2	416.07.A.1	С		
Min. Setback from Property Lines (FT)	3/4 Sign Height	3/4 Sign Height	416.07.A.6	С		
Max. Horizontal Dimension (FT) Vall Mounted Sign Requirements for Multi-Tenant Retail	10 FT	≤ 10 FT	416.07.A.2.(e)	С		
Structures:						
Quantity	1 per Tenant	1 per Tenant	416.07.B.2.(a)	С		
Max. Vertical Sign Dimension (FT)	3 FT	≤ 3 FT	416.07.B.2.(b)	C		
Max. Horizontal Sign Dimension (FT) Max. Area of Sign ⁷ (SF)	16 FT	≤ 16 FT	416.07.B.2.(c)	C		
	48 SF	≤ 48 FT	416.07.B.2.(d)	C		
Mounting Height of Sign to Exceed Height of Ground Floor	No 50% of Area of Primary	No ≤ 50% of Area of	416.07.B.2.(e)	С		
Aax. Area of Secondary Wall Mounted Signs ⁸ (SF)	Wall Sign	Primary Wall Sign	416.07.B.3.(a)	С		
Abbreviations:						

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1. Zoning regulations and design standards referenced from Block No. 3903, Lot No. 12 & 13 Redevelopment Plan, adopted December 2021. The redevelopment plan splits the subject project site into Section A (the site frontage along Route 66) and Section B (the remaining portion of the site). Per the Redevelopment Plan, the bulk requirements for Section A shall be governed by the existing requirements set forth with C-1 Planned Commercial Development Zone District and the H-S Hospital Support Zone Overlay, while the bulk requirements for Section B shall be governed by the requirements set forth within the Redevelopment Plan. Please note that portions of the development design have been governed by the process associated with the adoption of a Redevelopment Agreement for the project site.

2. For retail sales uses, a minimum of 1 parking space per 250 square feet of gross floor area shall be provided per Section 412.17.D.

3. No parking shall be located in a required front yard per Section 412.18. 4. Per Ordinance No. 16-20, the maximum building area floor ratio shall be 0.8, and shall be calculated utlizing effective land area. 5. The project exceeds the criteria for maximum disturbance areas listed under Section 421.D.2. for disturbance of critical slope areas (slopes of 25 percent or greater). The criteria that would allow for the disturbance of critical slope areas are: (a) The total soil disturbance in the critical slope area of the lot is no greater than one (1) cubic yard; (b) The total area of removal or disturbance of vegetation in the critical slope area of the lot is no greater than twenty-five (25) square feet; (c) The increase in impervious ground cover in the critical slope area of the lot is no greater than twenty-five (25) square feet; (d) The construction does not include the removal of any tree, having a diameter at point of measurement greater than eighteen (18) inches; and, (e) The applicant must demonstrate that the proposed slope disturbance is essential to a reasonable use of property.

6. The minimum number of loading spaces for commercial uses with a total floor area from 10,001 to 23,999 square feet is 1 per Section 412.12.A. 7. The maximum size of wall mounted signs for multi-tenant retail structures is 48 square feet, or 1.2 square feet for each lineal foot of wall face that the sign is mounted on, whichever is less, per Section 416.07.B.2.(d).

8. Businesses that have a side or rear building façade front on a parking lot or secondary street frontage may have a secondary wall-mounted sign not to exceed 50% of the area of the primary building sign, per Section 416.07.B.3.(a). This provision shall not apply where a parking lot is located between a building and a public street. 9. Buffer widths are considered to be the distance from the item requiring buffering to the nearest property line.

	ROUTE 66 REDE	-		NI A 1
ZONING DISTRICT: BLOCK No. 3903,	Required / Allowable	Proposed	Regulation ¹ Reference	Condition ⁶
and Use:				ļ
rincipal Use	Public Park	Public Park	404.04.B	N/A
ccessory Use	Parking for Principal Use	Parking for Principal Use	404.04.D	N/A
rea, Bulk & Yard Requirements:				
lin. Lot Area (AC)	2.5 AC	1.82 AC	404.04.E	N/A
1ax. Floor Area Ratio	0.8	N/A	Ordinance No. 16-20 ⁴	N/A
lin. Lot Width (FT)	500 FT	366.1 FT	404.04.E	N/A
1in. Lot Frontage (FT)	500 FT	403.7 FT	404.04.E	N/A
lin. Lot Depth (FT)	600 FT	195.0 FT	404.04.E	N/A
lin. Front Yard Building Setback (FT)	50 FT	N/A	404.04.E	N/A
lin. Side Yard Building Setback (FT) lin. Combined Side Yard Building Setback (FT)	30 FT	N/A N/A	404.04.E	N/A N/A
lin. Rear Yard Building Setback (FT)	60 FT 40 FT	N/A	404.04.E	N/A N/A
lax. Building Coverage (%)	30%	N/A	404.04.L 404.04.E	N/A
lax. Lot Coverage (%)	65%	6.9%	404.04.E	N/A
lax. Number of Stories	2	N/A	404.04.E	N/A
ax. Building Height (FT)	40 FT	N/A	404.04.E	N/A
lin. Improvable Lot Area (SF)	84,900 SF	34,610 SF	404.04.E	N/A
in. M.I.A. Diameter of Circle (SF)	189 FT	135 FT	404.04.E	N/A
riveway, Parking & Loading Area Regulations	·			
arrier-Free Walkway Shall be Provided to the Use from the arking Lot and Township Sidewalk	Yes	Yes	412.06.E	N/A
lin. Number of Parking Spaces	N/A	10	412.17.D ²	N/A
lin. Parking Space Size (FT x FT)	9 FT x 18 FT	9 FT x 18 FT	412.17.B	N/A
lin. Front Yard Parking Setback ³ (FT)	50 FT	177 FT	412.18	N/A
lin. Side & Rear Yard Parking Setback (FT)	10 FT	0 FT	509.1.1	N/A
andscaping & Buffering Regulations				
lin. Parking Lot Buffer Area Width (FT)	10 FT	0 FT	503.B.1	N/A
arking Lot Buffer in Side and Rear Yards	6 FT Evergreens @3 FT O.C.	No	509.I.1.(a)	N/A
arking Lot Buffer in Front Yard	Evergreen & Deciduous Hedge with Shade Trees @ 30 FT O.C.	N/A	509.I.1.(b)	N/A
treet Tree Setback from Curbline (FT)	15 FT	N/A	523.A	N/A
Iin. Street Tree Spacing for Large Street Trees (FT)	35 FT	N/A	523.B	N/A
Iin. Street Tree Spacing for Medium Street Trees (FT)	30 FT	N/A	523.B	N/A
idewalk Regulations				
idewalks Required / Provided on Both Sides of Roads for onresidential Development	Yes	N/A	519.B.1	N/A
rivate Walkway Access to Public Sidewalk in the	Yes	Yes	519.B.2	N/A
ight-of-Way ublic Access Easement for Sidewalk Not Within the	tes	res	519.B.Z	N/A
ight-of-Way	Yes	Yes	519.B.3	N/A
lax. Setback of Street Furniture from the Curbline (FT)	4 FT	N/A	519.B.3.(a)	N/A
lin. Clear Passageway in Front of Street Furniture (FT)	7.5 FT	N/A	519.B.3.(a)	N/A
rovide Internal Sidewalk Links Between Development and treets	Yes	Yes	519.B.3.(b)	N/A
rovide Access Easements for Pedestrian Links	Yes	Yes	519.B.3.(b)	N/A
idewalks Less Than 6 FT in Width to Provide 6 FT Width for	Yes	N/A	519.B.6	N/A
FT Length Every 200 FT for Handicap Passage	10% of Total Required Parking up to 100	5	519.C	N/A
	Spaces + 2% Thereafter (1)	5	010.0	14/7
ence, Retaining Wall & Slope Regulations				
1ax. % Disturbance of Total Lot Area Consisting of 15%-25% lopes	30%	18.9%	421.D.1.(a)	N/A
reation of Critical Slopes (>25%) During Construction	No	Yes	421.D.1.(b)	N/A
ermitted lax. Area of Disturbance of Critical Slope Areas (>25%	0 SF	0 SF	421.D.2	N/A
lopes) ⁵ nal Grading Results in Net Increase of Total Steep Slope				
reas on the Lot	No	Yes	421.E.2.(a)	N/A
1ax. Fence Height Within 15 FT of R.O.W. (FT)	4 FT	N/A	412.07.B.1.(b).(i)	N/A
lax. Fence Height More than 15 FT from R.O.W. and in Side r Rear Yards (FT)	6 FT	4 FT	412.07.B.1.(b).(j) / 412.07.B.2.(b)	N/A
hain Link Fence Permitted / Located in Front Yard	No	Yes	412.07.B.2.(c)	N/A
lax. Retaining Wall Height (FT)	8 FT	6.7 FT	421.G.1	N/A
lax. Retaining Wall Height in Front Yard Setback (FT)	4 FT	N/A	421.G.1	N/A
lax. Combined Retaining Wall and Safety Fence Height (FT)	12 FT	10.7 FT	421.G.4	N/A
lin. Retaining Wall Setback from Property Lines (FT)	Height of Retaining Wall (6.7 FT)	5 FT	421.H.1	N/A
ghting & Signage Regulations	· ·			<u>ı</u>
lax. Light Fixture Mounting Height (FT)	14 FT	14 FT	412.11	N/A
ecorative Lamppost Height (FT)	10 FT to 12 FT	12 FT	521.B.4	N/A
ecorative Lamppost Spacing Along Street Lines (FT)	40 FT to 60 FT	N/A	521.B.4	N/A
ecorative Lamppost Spacing Along Interior Walkways (FT)	30 FT to 40 FT	> 40 FT	521.B.4	N/A
	C - Compliance	NC - Existing Nonconf	omity N/A - Not Applica	able
 Variance W - Waiver Jotes: Zoning regulations and design standards referenced from BI edevelopment plan splits the subject project site into Section he Redevelopment Plan, the bulk requirements for Section A Development Zone District and the H-S Hospital Support Zone 	ock No. 3903, Lot No. 12 A (the site frontage along shall be governed by the c	& 13 Redevelopment F Route 66) and Section existing requirements s equirements for Section	Plan, adopted December 20 B (the remaining portion of set forth with C-1 Planned C	21. The the site). P Commercial

associated with the adoption of a Redevelopment Agreement for the project site. 2. Section 412.17.D. does not list Public Park in the list of off-street parking requirements. Total of 5 parking spaces are proposed.

3. No parking shall be located in a required front yard per Section 412.18.

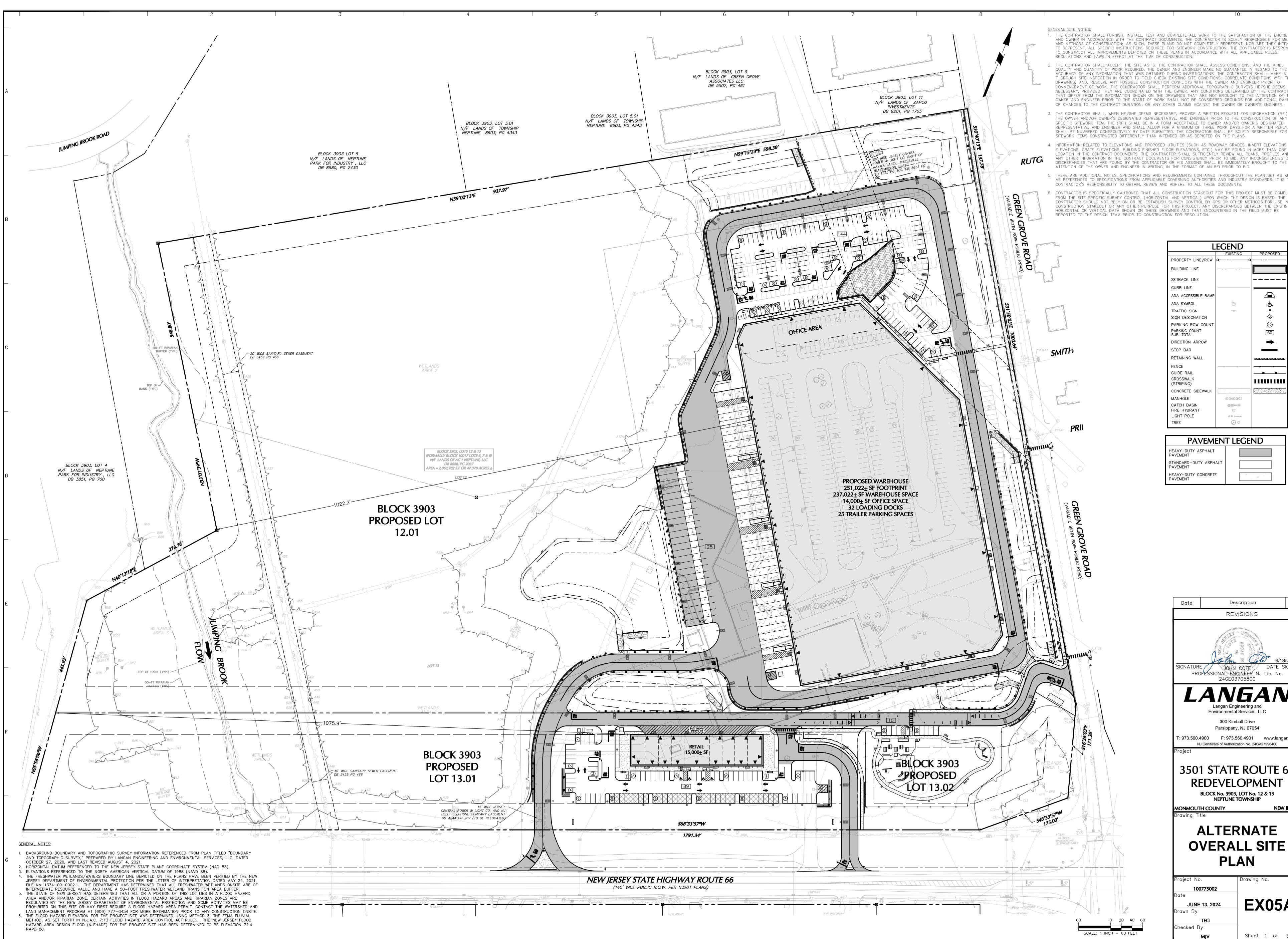
4. Per Ordinance No. 16-20, the maximum building area floor ratio shall be 0.8, and shall be calculated utlizing effective land area. 5. The project exceeds the criteria for maximum disturbance areas listed under Section 421.D.2. for disturbance of critical slope areas (slopes of 25 percent or greater). The criteria that would allow for the disturbance of critical slope areas are: (a) The total soil disturbance in the critical slope area of the lot is no greater than one (1) cubic yard; (b) The total area of removal or disturbance of vegetation in the critical slope area of the lot is no greater than twenty-five (25) square feet; (c) The increase in impervious ground cover in the critical slope area of the lot is no greater than twenty-five (25) square feet; (d) The construction does not include the removal of any tree, having a diameter at point of measurement greater than eighteen (18) inches and, (e) The applicant must demonstrate that the proposed slope disturbance is essential to a reasonable use of property.

6. In accordance with Section 103 of the Land Development Ordinance, any Township owned use, either existing or proposed, shall not be subject to the provisions of the Land Development Ordinance.

		Brainet No. 100775003
	Description	No.
PROFESSIONAL 24GE LANGA Langan E Environmen 300 K Parsipp	Engineering and htal Services, LLC (imball Drive any, NJ 07054	
NJ Certificate of Auth Project 3501 STAT REDEVE BLOCK No. 39 NEPTUN MONMOUTH COUNTY Drawing Title	LOPME 03, LOT No. 12 & NE TOWNSHIP	TE 66 NT 13 NEW JERSEY
Project No. 100775002 Date JUNE 13, 2024 Drawn By SM Checked By MJV	Drawing Nc	(04

Date: 6/13/2024 Time: 12:55 User: mvitello Style Table: Langan.stb Layout: GI101 Document Code: 100775002-0301-GI001-0102

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10 1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT 3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR 4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE 5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING LEGEND EXISTING PROPOSED BUILDING LINE SETBACK LINE _ _ _ _ _ _ CURB LINE ADA ACCESSIBLE RAMP ADA SYMBOL 6 TRAFFIC SIGN ____ \Diamond SIGN DESIGNATION PARKING ROW COUNT (10) PARKING COUNT SUB-TOTAL 50 DIRECTION ARROW \rightarrow STOP BAR RETAINING WALL FENCE — x — x — — GUIDE RAIL . . CROSSWALK (STRIPING) CONCRETE SIDEWALK MANHOLE DSEWO CATCH BASIN FIRE HYDRANT LIGHT POLE **☆* ----** $\bigcirc \bigcirc$

> **PAVEMENT LEGEND** HEAVY-DUTY ASPHALT PAVEMENT STANDARD-DUTY ASPHALT PAVEMENT HEAVY-DUTY CONCRETE PAVEMENT

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		Langan Engineering and Environmental Services, LLC				
		300 Kimball Drive Parsippany, NJ 07054				
171.38	T: 973.560.4900 NJ Cert	F: 973.560.4901 w tificate of Authorization No. 24GA279	ww.langan.com ⁹⁶⁴⁰⁰			
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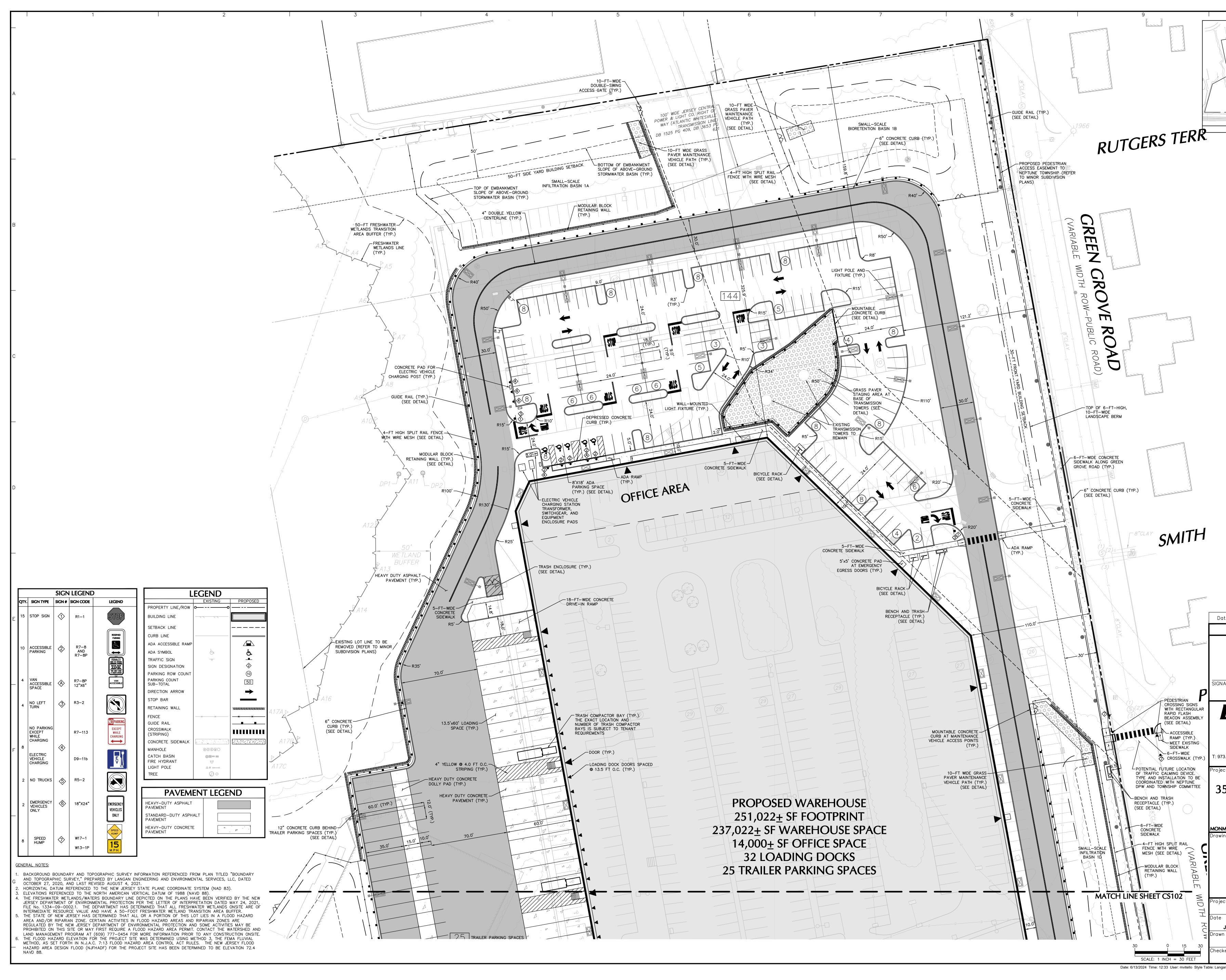
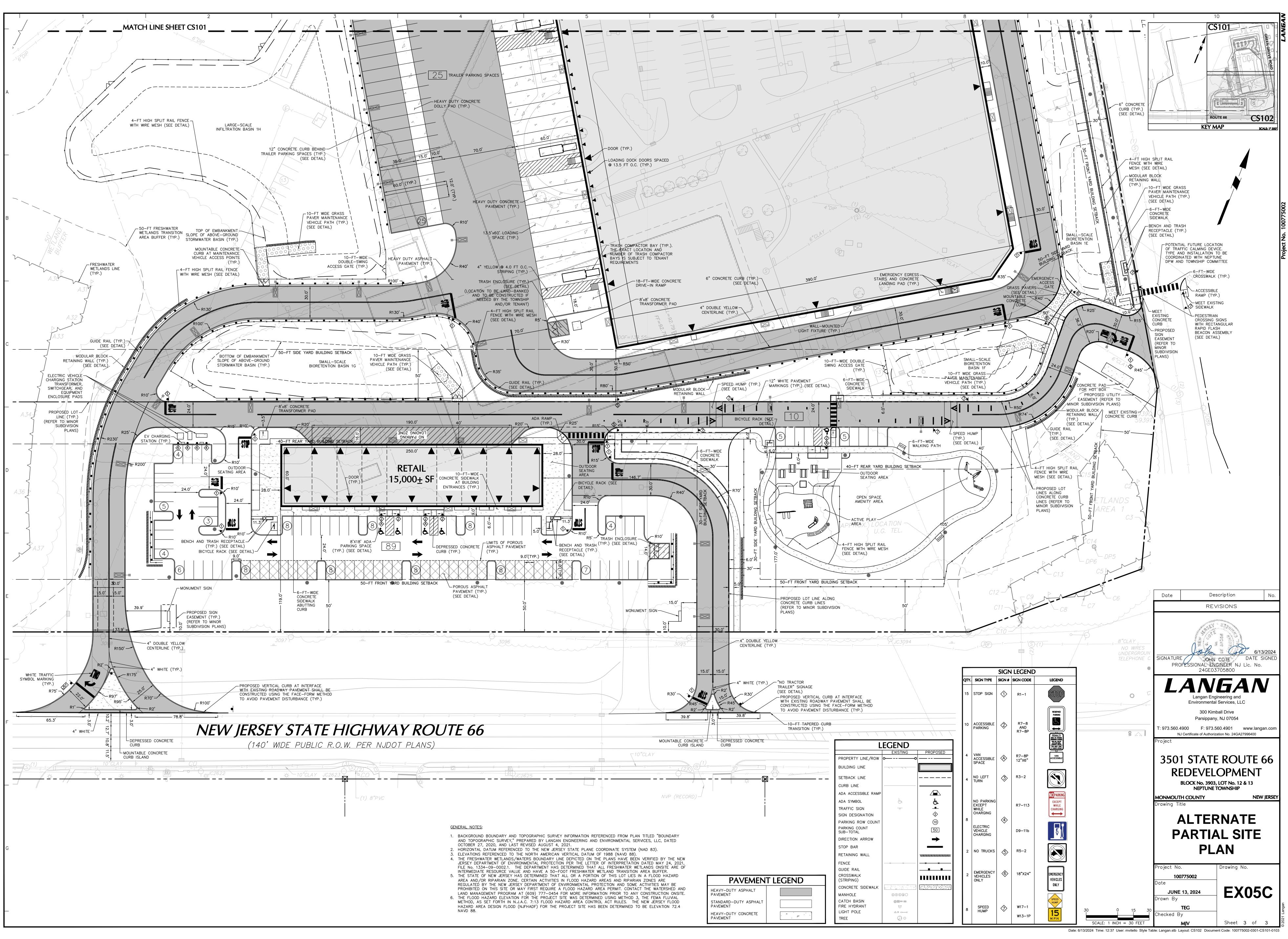
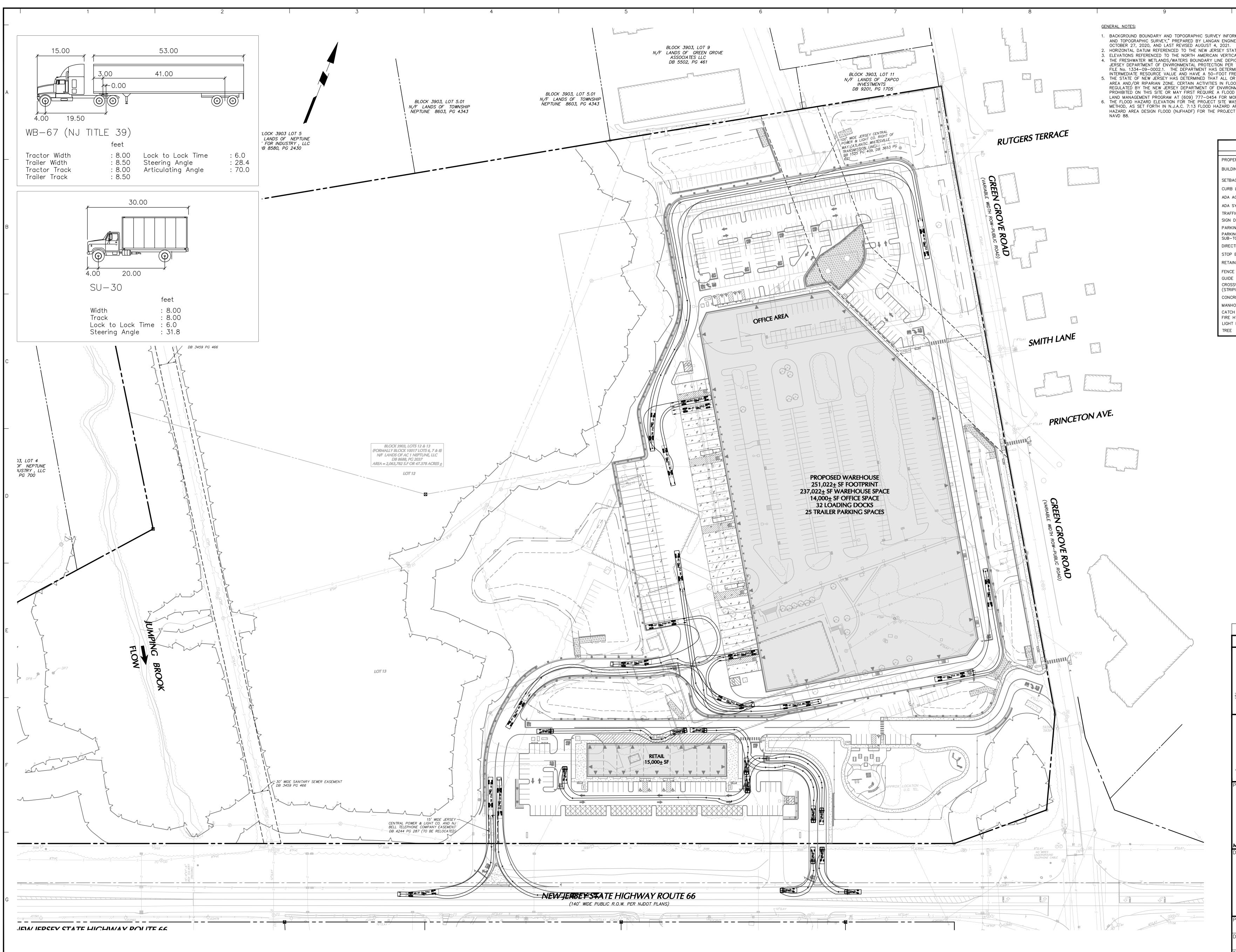


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REVISIONS 6/13/2024 SIGNATURE JOHN COTE DATE SIGNED PROFESSIONAL ENGINEER NJ Lic. No. 24GE03705800 LANGEAN Langan Engineering and Environmental Services, LLC 300 Kimball Drive	
Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ Certificate of Authorization No. 24GA27996400 Project 3501 STATE ROUTE 666 REDEVELOPMENT BLOCK No. 3903, LOT No. 12 & 13 NEPTUNE TOWNSHIP MONMOUTH COUNTY NEW JERSEY Drawing Title	
ALTERNATE PARTIAL SITE PLAN	
Project No. 100775002 Date JUNE 13, 2024 Drawn By TEG Checked By	© 2021 Langan





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 Sheet 1 of 1
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