

Table with columns: Item, Required / Allowable, Proposed, Regulation / Reference, Condition. Title: BLOCK 3903 PROPOSED LOT 12.01 ZONING TABLE. Includes sections for Land Use, Area, Bulk & Yard Requirements, Driveway, Parking & Loading Area Regulations, Landscaping & Buffering Regulations, Sidewalk Regulations, and Fence, Retaining Wall & Slope Regulations.

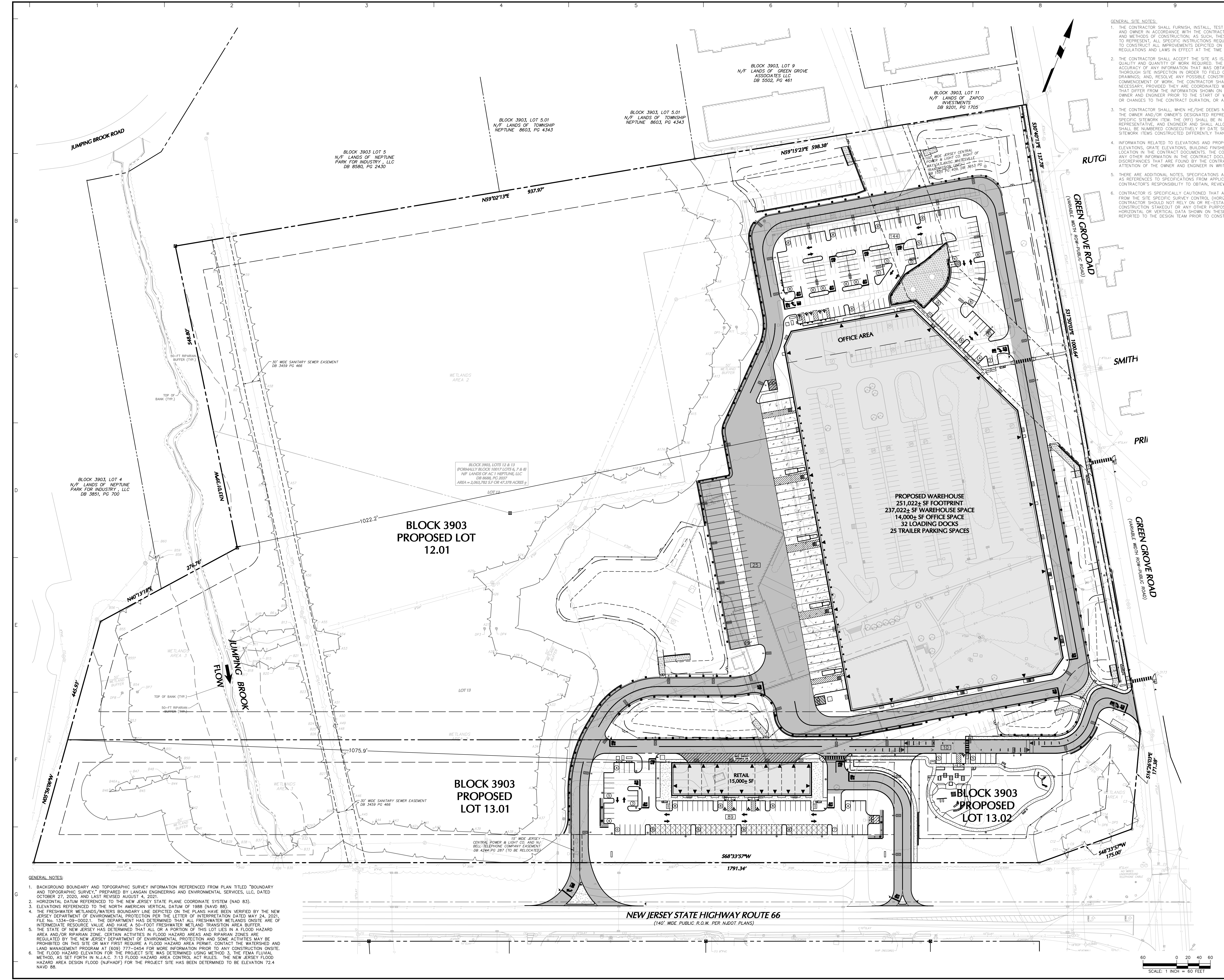
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Table with columns: Item, Required / Allowable, Proposed, Regulation / Reference, Condition. Title: BLOCK 3903 PROPOSED LOT 13.01 ZONING TABLE. Includes sections for Land Use, Area, Bulk & Yard Requirements, Driveway, Parking & Loading Area Regulations, Landscaping & Buffering Regulations, Sidewalk Regulations, and Fence, Retaining Wall & Slope Regulations.

Table with columns: Item, Required / Allowable, Proposed, Regulation / Reference, Condition. Title: BLOCK 3903 PROPOSED LOT 13.02 ZONING TABLE. Includes sections for Land Use, Area, Bulk & Yard Requirements, Driveway, Parking & Loading Area Regulations, Landscaping & Buffering Regulations, Sidewalk Regulations, and Fence, Retaining Wall & Slope Regulations.

Table with columns: Date, Description, No. Title: REVISIONS. Includes a signature and date stamp for John Cote, dated 6/13/2024.

Project information for 3501 STATE ROUTE 66 REDEVELOPMENT. Includes project title, location (MONMOUTH COUNTY, NEW JERSEY), drawing title (ALTERNATE ZONING TABLES), project number (100775002), date (JUNE 13, 2024), and drawing number (EX04).




- GENERAL SITE NOTES:**
1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS. CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY. PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
 3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
 4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
 5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
 6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHALL NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL, BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/ROW	---
BUILDING LINE	▬
SETBACK LINE	- - -
CURB LINE	▬
ADA ACCESSIBLE RAMP	▬
ADA SYMBOL	♿
TRAFFIC SIGN	Ⓢ
SIGN DESIGNATION	Ⓢ
PARKING ROW COUNT	Ⓢ
PARKING COUNT	Ⓢ
SUB-TOTAL	Ⓢ
DIRECTION ARROW	→
STOP BAR	▬
RETAINING WALL	▬
FENCE	▬
GUIDE RAIL	▬
CROSSWALK (STRIPING)	▬
CONCRETE SIDEWALK	▬
MANHOLE	⊙
CATCH BASIN	⊙
FIRE HYDRANT	⊙
LIGHT POLE	⊙
TREE	⊙

PAVEMENT LEGEND	
HEAVY-DUTY ASPHALT PAVEMENT	▬
STANDARD-DUTY ASPHALT PAVEMENT	▬
HEAVY-DUTY CONCRETE PAVEMENT	▬

Date	Description	No.
REVISIONS		



6/13/2024
 SIGNATURE: *John Cote* DATE SIGNED
 JOHN COTE
 PROFESSIONAL ENGINEER NJ Lic. No. 246E03705800

LANGAN

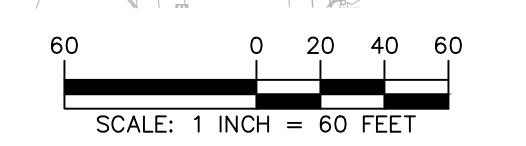
Langan Engineering and Environmental Services, LLC
 300 Kimball Drive
 Parsippany, NJ 07054
 T: 973.560.4900 F: 973.560.4901 www.langan.com
 NJ Certificate of Authorization No. 246A27896409

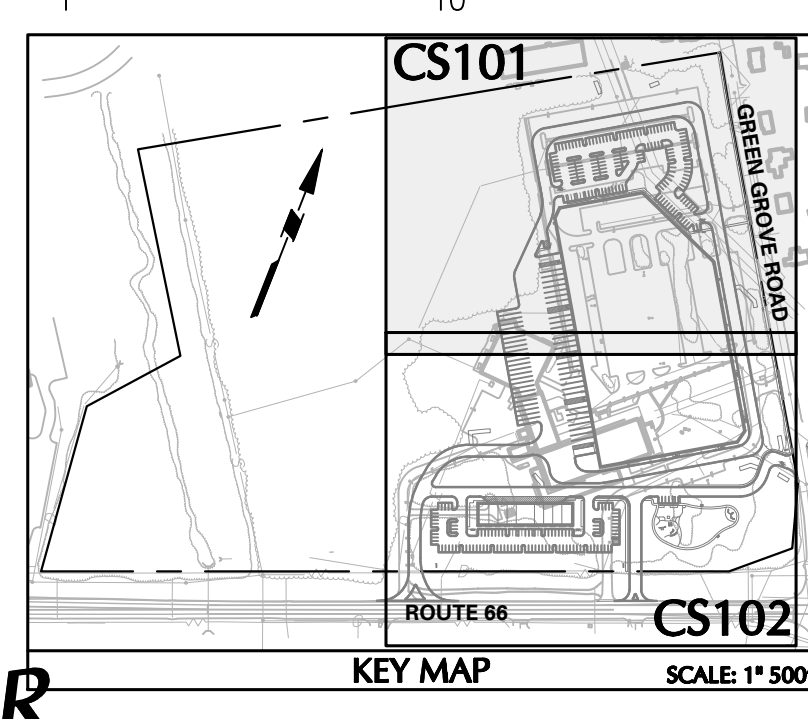
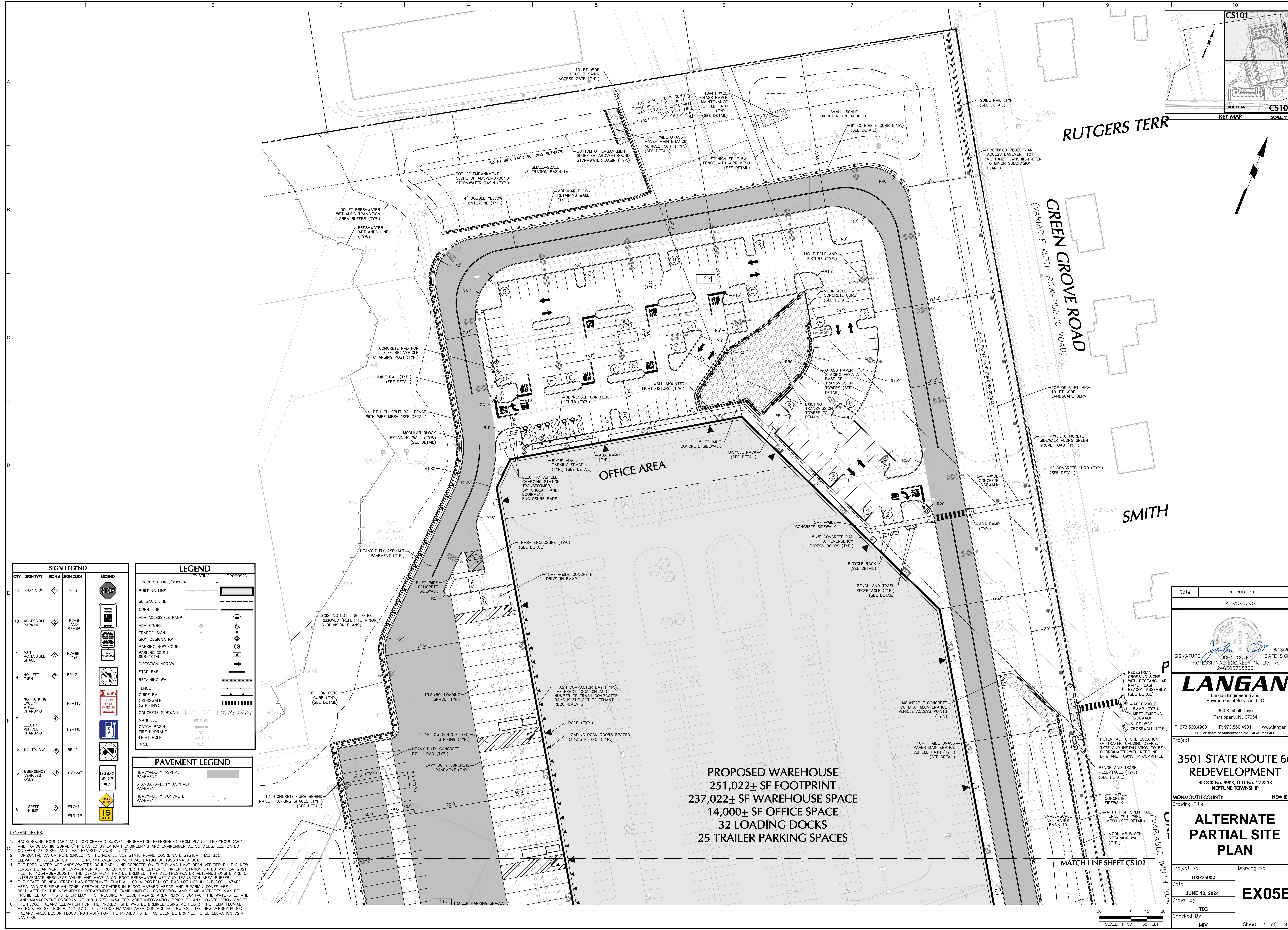
Project: **3501 STATE ROUTE 66 REDEVELOPMENT**
 BLOCK No. 3903, LOT No. 12 & 13
 NEPTUNE TOWNSHIP
 MONMOUTH COUNTY NEW JERSEY

ALTERNATE OVERALL SITE PLAN

Project No. 100775002	Drawing No. EX05A
Date: JUNE 13, 2024	Drawn By: TEG
Checked By: MV	Sheet 1 of 3

- GENERAL NOTES:**
1. BACKGROUND BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION REFERENCED FROM PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY" PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC, DATED OCTOBER 27, 2020, AND LAST REVISED AUGUST 4, 2021.
 2. HORIZONTAL DATUM REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD 83).
 3. ELEVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 4. THE FRESHWATER WETLANDS/WATERS BOUNDARY LINE DEPICTED ON THE PLANS HAVE BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION PER THE LETTER OF INTERPRETATION DATED MAY 24, 2021, FILE NO. 1334-09-0002.1. THE DEPARTMENT HAS DETERMINED THAT ALL FRESHWATER WETLANDS ON-SITE ARE OF INTERMEDIATE RESOURCE VALUE AND HAVE A 50-FOOT FRESHWATER WETLAND TRANSITION AREA BUFFER.
 5. THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS LOT LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONTACT THE WATERSHED AND LAND MANAGEMENT PROGRAM AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON-SITE.
 6. THE FLOOD HAZARD ELEVATION FOR THE PROJECT SITE WAS DETERMINED USING METHOD 3, THE FEMA FLUVIAL METHOD, AS SET FORTH IN N.J.A.C. 7:13 FLOOD HAZARD AREA CONTROL ACT RULES. THE NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD (NFHAD) FOR THE PROJECT SITE HAS BEEN DETERMINED TO BE ELEVATION 72.4 NAVD 88.





SIGN LEGEND			
QTY.	SIGN TYPE	SIGN #	LEGEND
15	STOP SIGN	R1-1	
10	ACCESSIBLE PARKING	R7-8 AND R7-8P	
4	VAN ACCESSIBLE SPACE	R7-8P 12'x6'	
4	NO LEFT TURN	R3-2	
8	NO PARKING EXCEPT WHILE CHARGING	R7-113	
2	ELECTRIC VEHICLE CHARGING	D9-11b	
2	NO TRUCKS	R5-2	
2	EMERGENCY VEHICLES ONLY	18'x24'	
8	SPEED HUMP	W17-1	
		W13-1P	

LEGEND	
EXISTING	PROPOSED

PAVEMENT LEGEND	
	HEAVY-DUTY ASPHALT PAVEMENT
	STANDARD-DUTY ASPHALT PAVEMENT
	HEAVY-DUTY CONCRETE PAVEMENT

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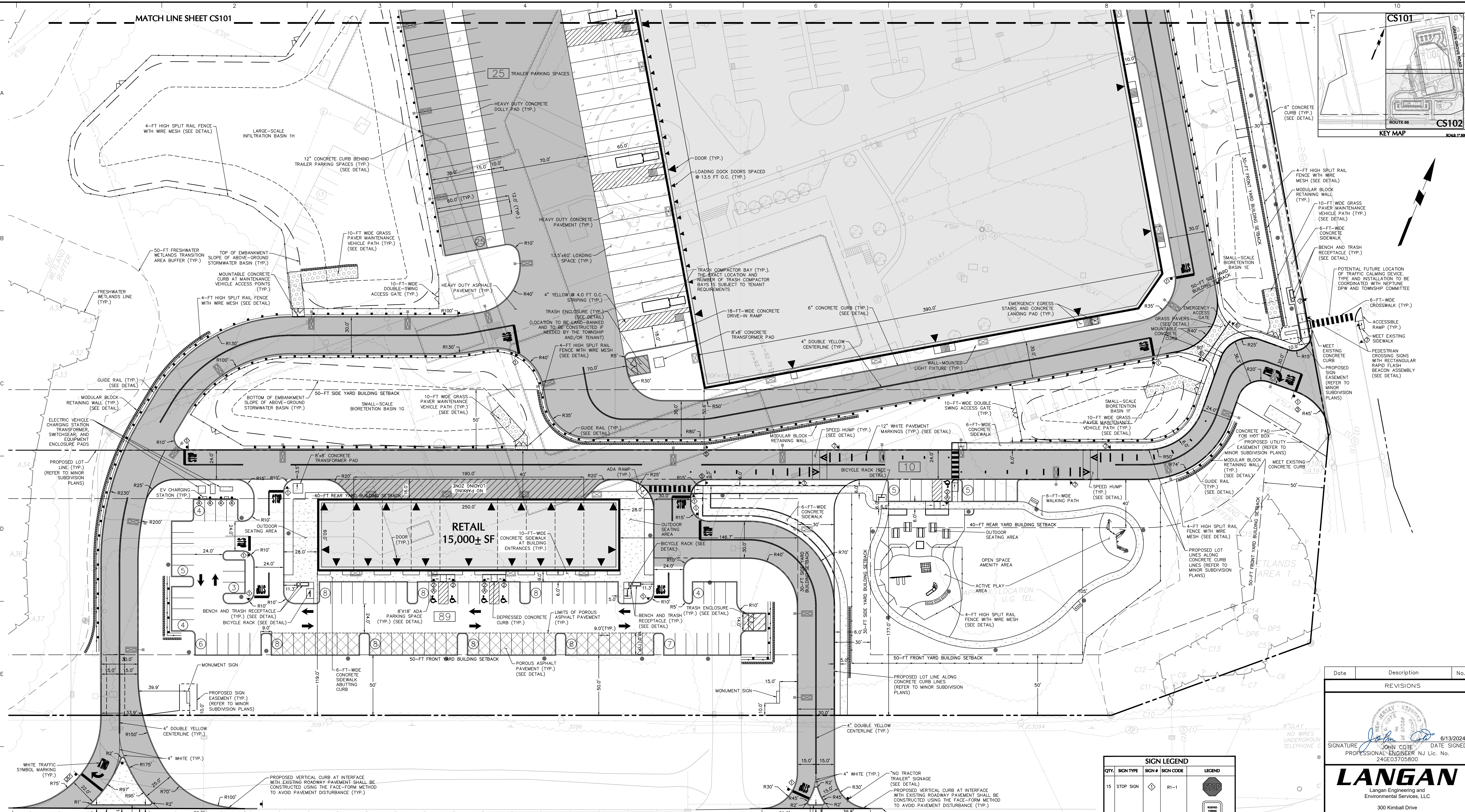
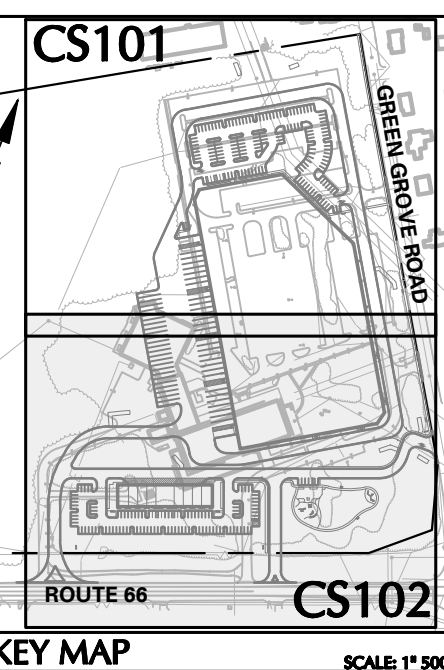
Date	Description	No.
REVISIONS		

SIGNATURE: *John Cote* DATE SIGNED: 6/13/2024
 PROFESSIONAL ENGINEER NJ Lic. No. 246E03705800

LANGAN
 Langan Engineering and Environmental Services, LLC
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 Parsippany, NJ 07054
 T: 973.560.4900 F: 973.560.4901 www.langan.com
 NJ Certificate of Authorization No. 246A27896403

3501 STATE ROUTE 66 REDEVELOPMENT
 BLOCK No. 3903, LOT No. 12 & 13
 NEPTUNE TOWNSHIP
 MONMOUTH COUNTY NEW JERSEY
 Drawing Title

ALTERNATE PARTIAL SITE PLAN	
Project No.	Drawing No.
100775002	EX05B
Date	
JUNE 13, 2024	
Drawn By	
TEG	
Checked By	
MV	
Sheet	2 of 3



NEW JERSEY STATE HIGHWAY ROUTE 66 (140' WIDE PUBLIC R.O.W. PER NJDOT PLANS)

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PAVEMENT LEGEND

HEAVY-DUTY ASPHALT PAVEMENT	[Symbol]
STANDARD-DUTY ASPHALT PAVEMENT	[Symbol]
HEAVY-DUTY CONCRETE PAVEMENT	[Symbol]

LEGEND

EXISTING	PROPOSED
PROPERTY LINE/ROW BUILDING LINE	[Symbol]
SETBACK LINE	[Symbol]
CURB LINE	[Symbol]
ADA ACCESSIBLE RAMP	[Symbol]
ADA SYMBOL	[Symbol]
TRAFFIC SIGN	[Symbol]
SIGN DESIGNATION	[Symbol]
PARKING ROW COUNT	[Symbol]
PARKING COUNT SUB-TOTAL	[Symbol]
DIRECTION ARROW	[Symbol]
STOP BAR	[Symbol]
RETAINING WALL	[Symbol]
FENCE	[Symbol]
GUIDE RAIL	[Symbol]
CROSSWALK (STRIPING)	[Symbol]
CONCRETE SIDEWALK	[Symbol]
MANHOLE	[Symbol]
CATCH BASIN	[Symbol]
FIRE HYDRANT	[Symbol]
LIGHT POLE	[Symbol]
TREE	[Symbol]

SIGN LEGEND

QTY.	SIGN TYPE	SIGN #	SIGN CODE	LEGEND
15	STOP SIGN	R1-1	[Symbol]	[Symbol]
10	ACCESSIBLE PARKING	R7-8 AND R7-8P	[Symbol]	[Symbol]
4	VAN ACCESSIBLE SPACE	R7-8P 12'x6'	[Symbol]	[Symbol]
4	NO LEFT TURN	R3-2	[Symbol]	[Symbol]
8	NO PARKING EXCEPT WHILE CHARGING	R7-113	[Symbol]	[Symbol]
8	ELECTRIC VEHICLE CHARGING	D9-11b	[Symbol]	[Symbol]
2	NO TRUCKS	R5-2	[Symbol]	[Symbol]
2	EMERGENCY VEHICLES ONLY	18'x24'	[Symbol]	[Symbol]
8	SPEED HUMP	W7-1 AND W13-1P	[Symbol]	[Symbol]

REVISIONS

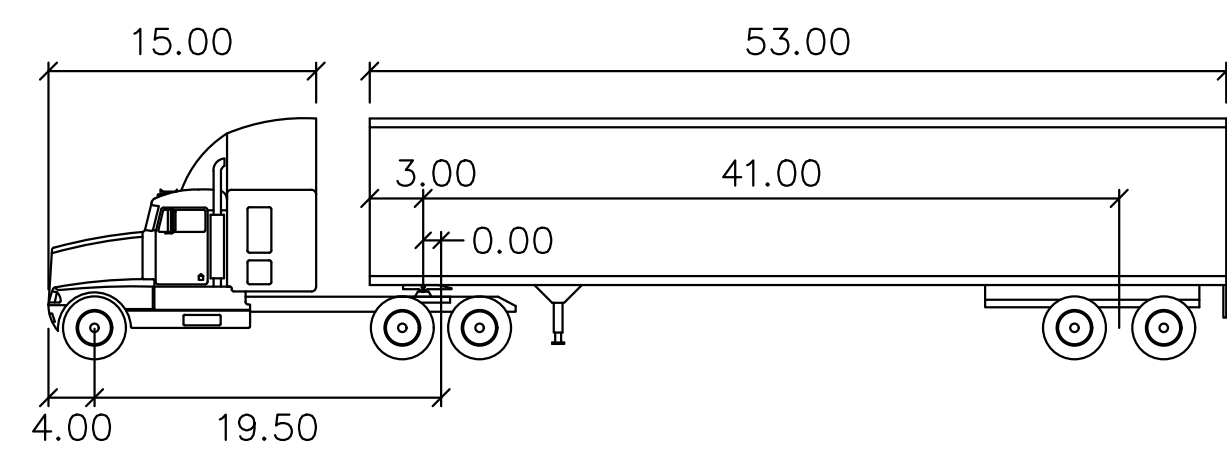
Date	Description	No.
6/13/2024	DATE SIGNED	

LANGAN
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Parlissippany, NJ 07054
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NJ Certificate of Authorization No. 24G03705800

3501 STATE ROUTE 66 REDEVELOPMENT
BLOCK No. 3903, LOT No. 12 & 13
NEPTUNE TOWNSHIP
MONMOUTH COUNTY NEW JERSEY

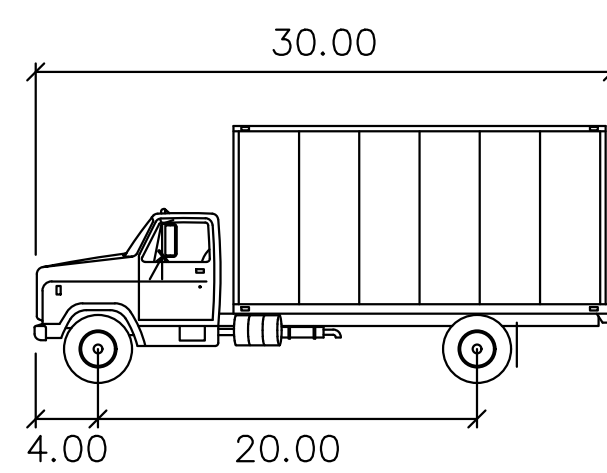
ALTERNATE PARTIAL SITE PLAN

Project No. 100775002
Drawing No. EX05C
Date: JUNE 13, 2024
Drawn By: TEG
Checked By: MV
Sheet 3 of 3



WB-67 (NJ TITLE 39)

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.4
Articulating Angle	: 70.0



SU-30

feet	
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

LOCK 3903 LOT 5
LANDS OF NEPTUNE
FOR INDUSTRY, LLC
DB 8580, PG 2430

BLOCK 3903, LOT 5.01
N/F LANDS OF TOWNSHIP
NEPTUNE 8603, PG 4343

BLOCK 3903, LOT 5.01
N/F LANDS OF TOWNSHIP
NEPTUNE 8603, PG 4343

BLOCK 3903, LOT 9
N/F LANDS OF GREEN GROVE
ASSOCIATES LLC
DB 5502, PG 461

BLOCK 3903, LOT 11
N/F LANDS OF ZAPCO
INVESTMENTS
DB 9201, PG 1705

100' WIDE JERSEY CENTRAL
POWER & LIGHT CO. RIGHT OF
WAY (ATLANTIC WHITEVILLE
TRANSITION LINE)
BB 1225 PG 408 DR
DL

- GENERAL NOTES:
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LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/ROW	---
BUILDING LINE	---
SETBACK LINE	---
CURB LINE	---
ADA ACCESSIBLE RAMP	---
ADA SYMBOL	---
TRAFFIC SIGN	---
SIGN DESIGNATION	---
PARKING ROW COUNT	---
PARKING COUNT	---
SUB-TOTAL	---
DIRECTION ARROW	---
STOP BAR	---
RETAINING WALL	---
FENCE	---
GUIDE RAIL	---
CROSSWALK (STRIPING)	---
CONCRETE SIDEWALK	---
MANHOLE	---
CATCH BASIN	---
FIRE HYDRANT	---
LIGHT POLE	---
TREE	---

PROPOSED WAREHOUSE
251,022± SF FOOTPRINT
237,022± SF WAREHOUSE SPACE
14,000± SF OFFICE SPACE
32 LOADING DOCKS
25 TRAILER PARKING SPACES

RETAIL
15,000± SF

NEW JERSEY STATE HIGHWAY ROUTE 66
(140' WIDE PUBLIC R.O.W. PER NJDOT PLANS)

RUTGERS TERRACE

GREEN GROVE ROAD
(VARIABLE WIDTH ROW-PUBLIC ROAD)

SMITH LANE

PRINCETON AVE.

GREEN GROVE ROAD
(VARIABLE WIDTH ROW-PUBLIC ROAD)

JUMPING BROOK
FLOW

BLOCK 3903, LOTS 12 & 13
FORMERLY BLOCK 18017 LOTS 6, 7 & 8
N/F LANDS OF AC 1 NEPTUNE, LLC
DB 8646, PG 2517
AREA = 2,063,792 SF OR 47.379 ACRES ±

30" WIDE SANITARY SEWER EASEMENT
DB 3459 PG 466

CENTRAL POWER & LIGHT CO. AND N.J.
BELL TELEPHONE COMPANY EASEMENT
DB 4244 PG 287 (TO BE RELOCATED)

Date	Description	No.
REVISIONS		

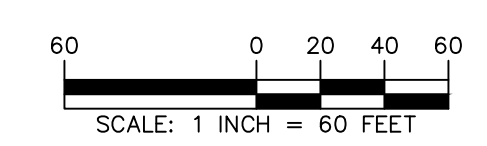
6/13/2024
SIGNATURE: JOHN COTE DATE SIGNED
PROFESSIONAL ENGINEER NJ Lic. No. 246E03705800

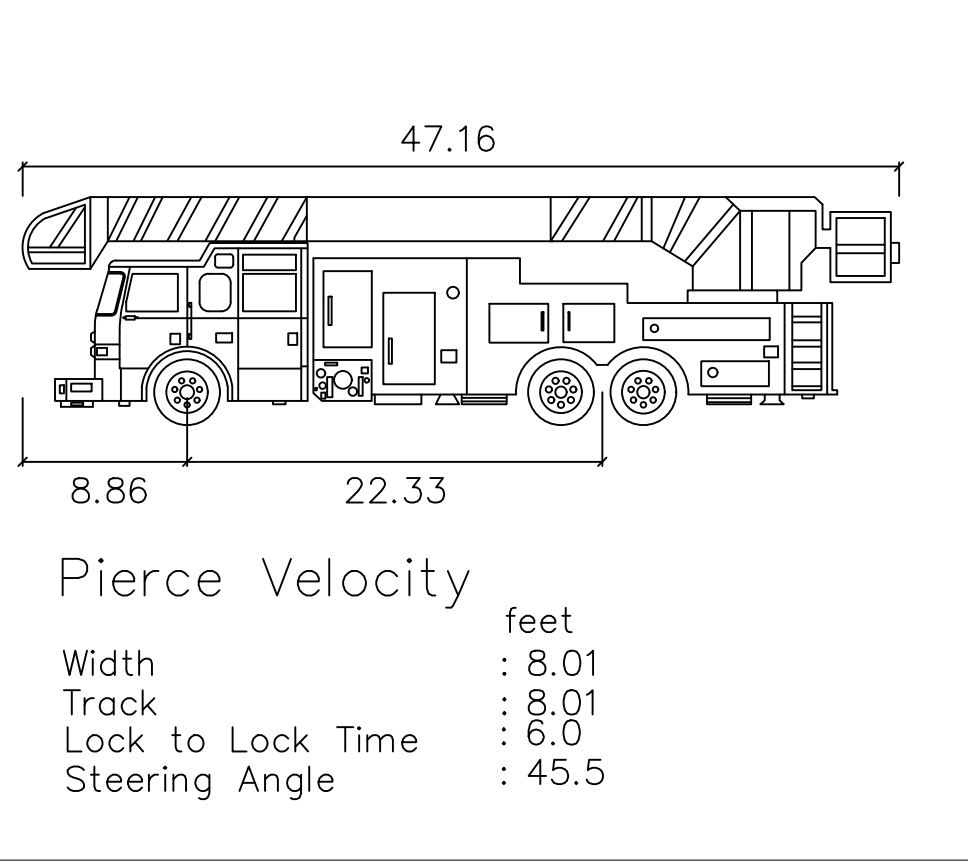
LANGAN
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300 Kimball Drive
Parsippany, NJ 07054
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NJ Certificate of Authorization No. 246A27896400

Project
3501 STATE ROUTE 66 REDEVELOPMENT
BLOCK No. 3903, LOT No. 12 & 13
NEPTUNE TOWNSHIP
MONMOUTH COUNTY NEW JERSEY

Drawing Title
ALTERNATE TRUCK CIRCULATION PLAN

Project No. 100775002	Drawing No. EX06
Date JUNE 13, 2024	Checked By TEG
Drawn By TEG	Sheet 1 of 1
Checked By MIV	





BLOCK 3903 LOT 5
N/F LANDS OF NEPTUNE
PARK FOR INDUSTRY, LLC
DB 8580, PG 2430

BLOCK 3903, LOT 5.01
N/F LANDS OF TOWNSHIP
NEPTUNE 8603, PG 4343

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N/F LANDS OF TOWNSHIP
NEPTUNE 8603, PG 4343

BLOCK 3903, LOT 9
N/F LANDS OF GREEN GROVE
ASSOCIATES, LLC
DB 5502, PG 461

BLOCK 3903, LOT 11
N/F LANDS OF ZAPCO
INVESTMENTS
DB 9201, PG 1705

100' WIDE JERSEY CENTRAL
POWER & LIGHT CO. RIGHT OF
WAY (ATLANTEAN WHITEVILLE
TRANSMISSION LINES)
DB 1525 PG 459, 459 363 PG
681

30' WIDE SANITARY SEWER EASEMENT
DB 3459 PG 466

BLOCK 3903, LOTS 12 & 13
(FORMERLY BLOCK 10017 LOTS 6, 7 & 8)
N/F LANDS OF A.C.I. NEPTUNE, LLC
DB 8688, PG 2037
AREA = 2,063,792 S.F. OR 47.378 ACRES ±

LOT 12

LOT 13

30' WIDE SANITARY SEWER EASEMENT
DB 3459 PG 466

15' WIDE JERSEY
CENTRAL POWER & LIGHT CO. AND NJ
BELL TELEPHONE COMPANY EASEMENT
DB 4244 PG 287 (TO BE RELOCATED)

NEW JERSEY STATE HIGHWAY ROUTE 66
(140' WIDE PUBLIC R.O.W. PER NJDOT PLANS)

- GENERAL NOTES:**
- BACKGROUND BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION REFERENCED FROM PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY," PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC, DATED OCTOBER 27, 2020, AND LAST REVISED AUGUST 4, 2021.
 - HORIZONTAL DATUM REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM (NAD 83).
 - ELEVATIONS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - THE FRESHWATER WETLANDS/WATERS BOUNDARY LINE DEPICTED ON THE PLANS HAVE BEEN VERIFIED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION PER THE LETTER OF INTERPRETATION DATED MAY 24, 2021, FILE NO. 1334-09-00021. THE DEPARTMENT HAS DETERMINED THAT ALL FRESHWATER WETLANDS ON-SITE ARE OF INTERMEDIATE RESOURCE VALUE AND HAVE A 50-FOOT FRESHWATER WETLAND TRANSITION AREA BUFFER.
 - THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS LOT LIES IN A FLOOD HAZARD AREA AND/OR RIPARIAN ZONE. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONTACT THE WATERSHED AND LAND MANAGEMENT PROGRAM AT (609) 777-0454 FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON-SITE.
 - THE FLOOD HAZARD ELEVATION FOR THE PROJECT SITE WAS DETERMINED USING METHOD 3, THE FEMA FLUVIAL METHOD, AS SET FORTH IN N.J.A.C. 7:13 FLOOD HAZARD AREA CONTROL ACT RULES. THE NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD (NJHADP) FOR THE PROJECT SITE HAS BEEN DETERMINED TO BE ELEVATION 72.4 NAVD 88.

LEGEND	
EXISTING	PROPOSED
PROPERTY LINE/ROW	---
BUILDING LINE	▬
SETBACK LINE	- - -
CURB LINE	▬
ADA ACCESSIBLE RAMP	♿
ADA SYMBOL	♿
TRAFFIC SIGN	Ⓢ
SIGN DESIGNATION	Ⓢ
PARKING ROW COUNT	Ⓢ
PARKING COUNT	Ⓢ
SUB-TOTAL	Ⓢ
DIRECTION ARROW	➔
STOP BAR	▬
RETAINING WALL	▬
FENCE	▬
GUIDE RAIL	▬
CROSSWALK (STRIPING)	▬
CONCRETE SIDEWALK	▬
MANHOLE	⊙
CATCH BASIN	⊙
FIRE HYDRANT	⊙
LIGHT POLE	⊙
TREE	⊙

PROPOSED WAREHOUSE
251,022± SF FOOTPRINT
237,022± SF WAREHOUSE SPACE
14,000± SF OFFICE SPACE
32 LOADING DOCKS
25 TRAILER PARKING SPACES

RETAIL
15,000± SF

OFFICE AREA

RUTGERS TERRACE

GREEN GROVE ROAD
(VARIABLE WIDTH ROW-PUBLIC ROAD)

SMITH LANE

PRINCETON AVE.

GREEN GROVE ROAD
(VARIABLE WIDTH ROW-PUBLIC ROAD)

JUMPING BROOK
FLOW

Date	Description	No.
REVISIONS		

6/13/2024
SIGNATURE: *John Cote* JOHN COTE DATE SIGNED
PROFESSIONAL ENGINEER NJ Lic. No. 246E03705800

LANGAN
Langan Engineering and Environmental Services, LLC
300 Kimball Drive Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ Certificate of Authorization No. 246A27896403

Project
3501 STATE ROUTE 66 REDEVELOPMENT
BLOCK No. 3903, LOT No. 12 & 13
NEPTUNE TOWNSHIP
MONMOUTH COUNTY NEW JERSEY

Drawing Title
ALTERNATE FIRE TRUCK CIRCULATION PLAN

Project No. 100775002	Drawing No. EX07
Date JUNE 13, 2024	
Drawn By TEG	
Checked By MIV	

