

MINOR SITE PLAN FOR

HOBBY LOBBY COMMERCIAL ADDITION

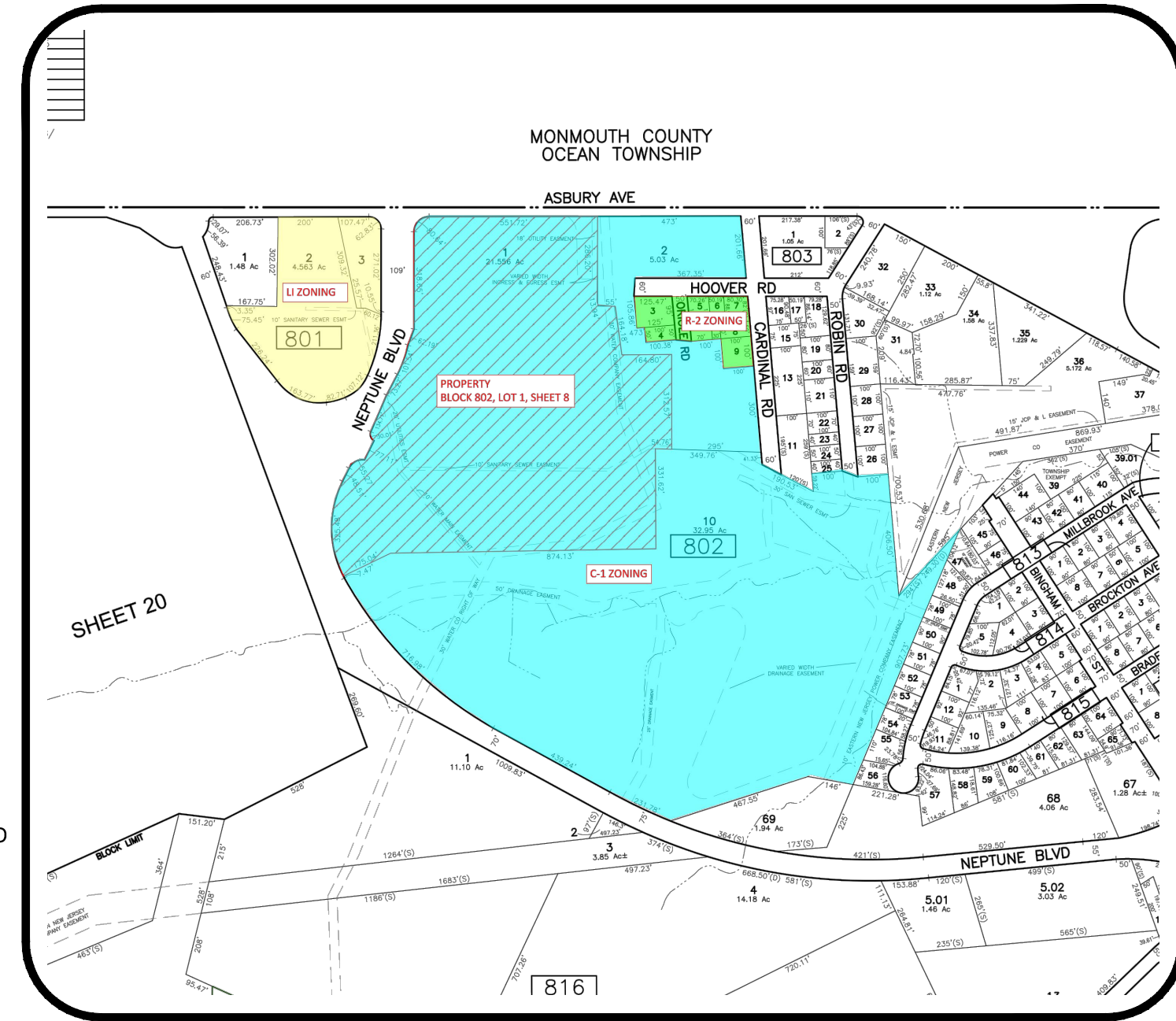
BLOCK 802, LOT 1, SHEET NO. 8, TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NEW JERSEY

EXISTING LEGEND:

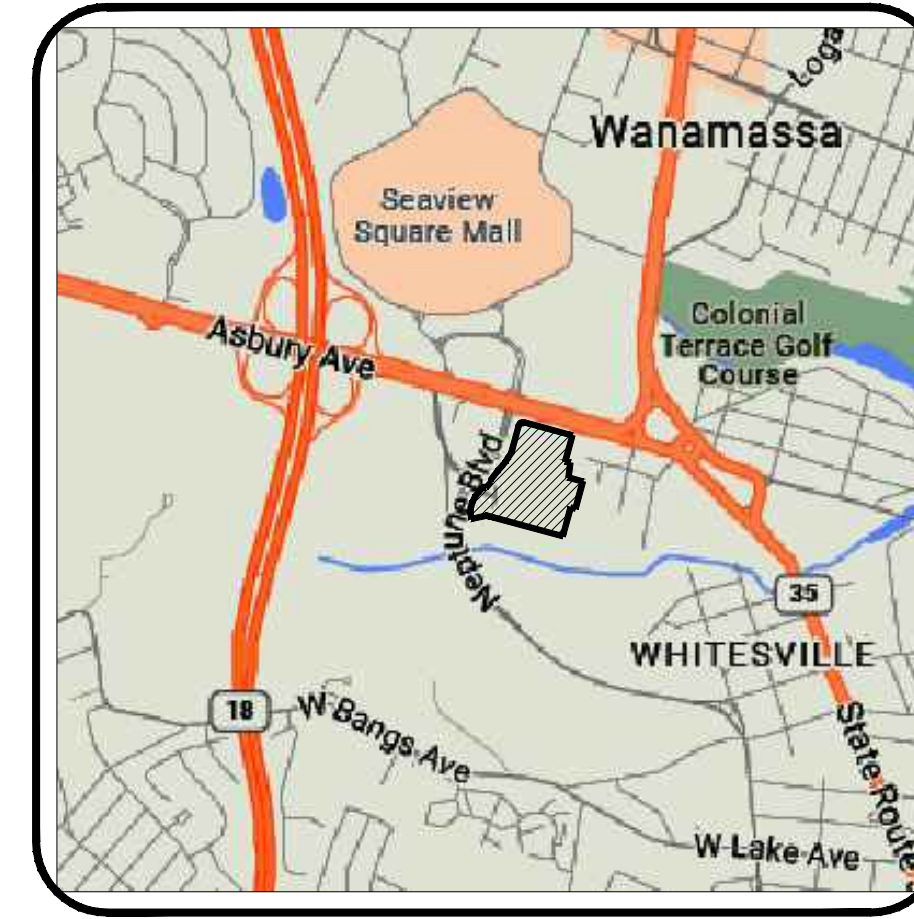
- EXISTING CONCRETE
- CONTOUR MAJOR
- CONTOUR MINOR
- PROPERTY LINE
- LIMITS OF DETAILED TOPOGRAPHY
- EXIST. BUILDING FOOTPRINT AT GROUND LEVEL & DOORWAY
- FENCE
- RAILING
- HYDRANT
- WATER VALVE
- GAS METER
- ELECTRIC METER
- BOLLARD LIGHT
- AREA LIGHT
- MANHOLE
- INLET
- FIRE DEPARTMENT CONNECTION
- TRAFFIC SIGNAL
- OVERHEAD WIRES
- UTILITY POLE
- GUY WIRE
- BOLLARD
- SIGN
- ACCESSIBLE PARKING SPACE
- TRAFFIC FLOW ARROW
- PARKING COUNT
- DENOTES OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
- WOODS LINE
- TREE & TRUNK SIZE

PROPOSED LEGEND:

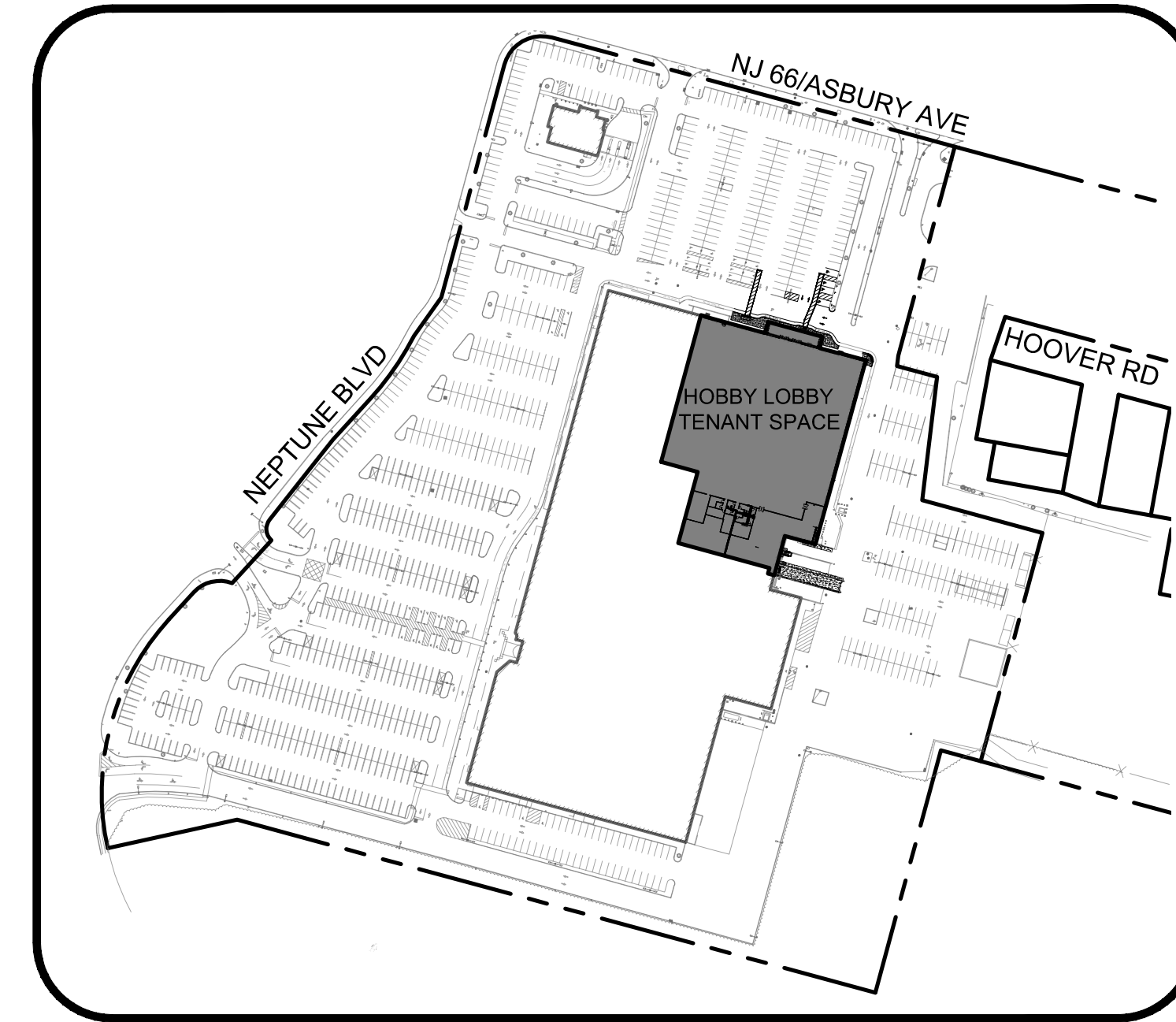
- CONCRETE
- CONTOUR MAJOR
- CONTOUR MINOR
- CURB
- SIGN



ZONING MAP
SCALE: 1" = 500'



VICINITY MAP
N.T.S.



SITE MAP
SCALE: 1" = 200'

EXISTING ABBREVIATIONS

AL	AREA LIGHT
ATM	AUTOMATED TELLER MACHINE
BBC	BELGIAN BLOCK CURB
BL	BLUE LINE
BS	BLUE STRIPING
CLF	CHAIN LINK FENCE
CN	CLEANOUT
CONC	CONCRETE
DC	DEPRESSED CURB/CONCRETE
DWP	DETECTABLE WARNING PAD
EB	ELECTRIC BOX
ELEC	ELECTRIC
EM	ELECTRIC METER
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
FDC	FIRE DEPARTMENT CONNECTION
FN	FENCE
GM	GAS METER
GW	GUY WIRE
HD	HYDRANT
LSA	LANDSCAPED AREA
MC	METAL COVER
MF	METAL FENCE
MH	MANHOLE
MP	METAL POST
MR	METAL RAILING
PT	PNEUMATIC TUBE
PRF	POST & RAIL FENCE
SB	STOP BAR
SF	STOCKADE FENCE
TEMP	TEMPORARY
TRANS	TRANSFORMER
TS	TRAFFIC SIGNAL
TSC	TRAFFIC SIGNAL COVER
TYP	TYPICAL
UB	UTILITY BOX
UP	UTILITY POLE
WL	WHITE LINE
WM	WATER METER
WS	WHITE STRIPING
YL	YELLOW LINE
YS	YELLOW STRIPING

PROPOSED ABBREVIATIONS

(AB)	AS-BUILT
AC	ASPHALT CONCRETE
DTL OR DTL	DETAIL OR DETAILS
EL	ELEVATION
EX	EXISTING
FFE	FINISH FLOOR ELEVATION
FG	FINISH GRADE
IE	INVERT ELEVATION
S= OR @X.X%	SLOPE
STA	STATION
STD	STANDARD
TC	TOP OF CURB
R	RIGHT
L	LEFT
LF	LINEAR FEET
SF	SQUARE FEET
SY	SQUARE YARDS
CY	CUBIC YARDS

PROPERTY OWNERS WITHIN 200' OF BLOCK 802, LOT 1, BOOK NO. 8

BLOCK/LOT	OWNER'S NAME
801/2	PUBLIC STORAGE, INC. NJ-25718
801/3	RANEFRO, LLC
802/1	NEPTUNE PLAZA SHOPPING CENTER, LLC
802/2	NEPTUNE CIRCLE HOLDINGS I, LLC
802/3	MATTHEW LORING
802/4	LANCE HENRICKSON
802/5	VICTORIA A. PONCIO & TIMOTHY BROWNE
802/6	SCOTT M. LARKIN
802/8	SHAWN & RACHEL WESTON
802/9	KAREN F. MASON
802/10	NEPTUNE BLVD DEVELOPMENT GROUP, LLC
2001/1	18 NEPTUNE ASSOCIATES, LLC (DANA BEHAR)

SHEET LIST INDEX

SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C050	EXISTING CONDITIONS, DEMO & ESC PLAN
C100	OVERALL SITE PLAN
C101	SITE PLAN
C200	GRADING PLAN
A1.0A	PARTIAL ARCHITECTURAL FLOOR PLAN
A1.0B	PARTIAL ARCHITECTURAL FLOOR PLAN
A2.0	ELEVATIONS
A3.0	ELEVATIONS

PROJECT LOCATION:

2200-2250 ASBURY AVENUE (A.K.A. NJSH ROUTE 66)
NEPTUNE CITY, NJ 07753
TOWNSHIP OF NEPTUNE
COUNTY OF MONMOUTH
LATITUDE = 40.225902
LONGITUDE = -74.042192

PROJECT DESCRIPTION

BLOCK 802, LOT 1, ZONE C-1
(TOWNSHIP OF NEPTUNE TAX MAP)
ACREAGE = 21,555 (938,984 SF)
N/F LANDS OF NEPTUNE PLAZA SHOPPING CENTER
D.B. OR-8794, PG. 8334
MONMOUTH COUNTY
TOWNSHIP OF NEPTUNE, NEW JERSEY

VERTICAL BENCHMARK

ELEVATIONS ARE BASED UPON NAVD 88
BENCHMARK 13-T-7, PID DM7188

SURVEYOR

GALLAS SURVEYING GROUP
2865 US ROUTE 1
NORTH BRUNSWICK, NJ 08902
CONTACT: DAVID HINSON, PLS
PHONE: 732.422.6700
EMAIL: DHINSON@GALLASSURVEY.COM

OWNER

NEPTUNE PLAZA SHOPPING CENTER, LLC
6 PROSPECT STREET, SUITE 2A
MIDLAND PARK, NJ 07432
CONTACT: JOHN AZARIAN
PHONE: 203.444.9888
EMAIL: JAZARIAN@AZARIANGROUP.COM

APPLICANT

HOBBY LOBBY, INC.
7707 SW 44TH STREET
OKLAHOMA CITY, OK 73179
CONTACT: TRAVIS GODDBEER
PHONE: 405.518.6051
EMAIL: TRAVIS.GODDBEER@HOBBYLOBBY.COM

CONTACT PERSON

ATWELL, LLC.
1250 EAST DIEHL ROAD, SUITE 300
NAPERVILLE, IL 60563
CONTACT: KERI WILLIAMS, PE, CFM
PHONE: 630.577.0800
EMAIL: K.WILLIAMS@ATWELL-GROUP.COM

CIVIL ENGINEERING

ATWELL, LLC.
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
CONTACT: EDWIN HAM, PE
PHONE: 248.447.2000
EMAIL: EHAM@ATWELL-GROUP.COM

ARCHITECTURE

SGA DESIGN GROUP
1437 S. BOULDER AVENUE, SUITE 550
TULSA, OK 74119
CONTACT: JEFF DALTON
PHONE: 918.587.8600
EMAIL: JEFFD@SGADESIGNGROUP.COM

PLANNING

ATWELL, LLC
9755 SW BARNES ROAD, SUITE 150
PORTLAND, OR 97225
CONTACT: KEVIN APPERSON, RLA
PHONE: 971.334.8964
EMAIL: KAPPERSON@ATWELL-GROUP.COM



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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866.850.4200 www.atwell-group.com
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PORTLAND, OR 97225
248.447.2000

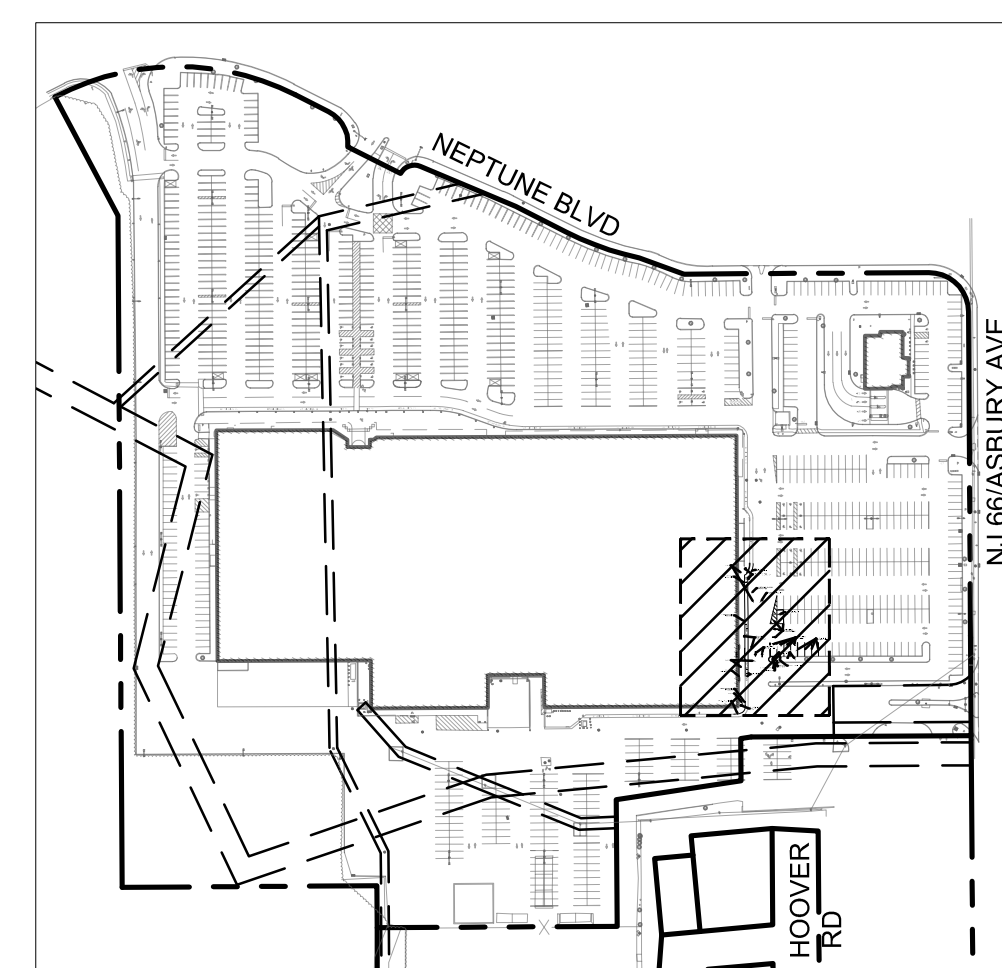
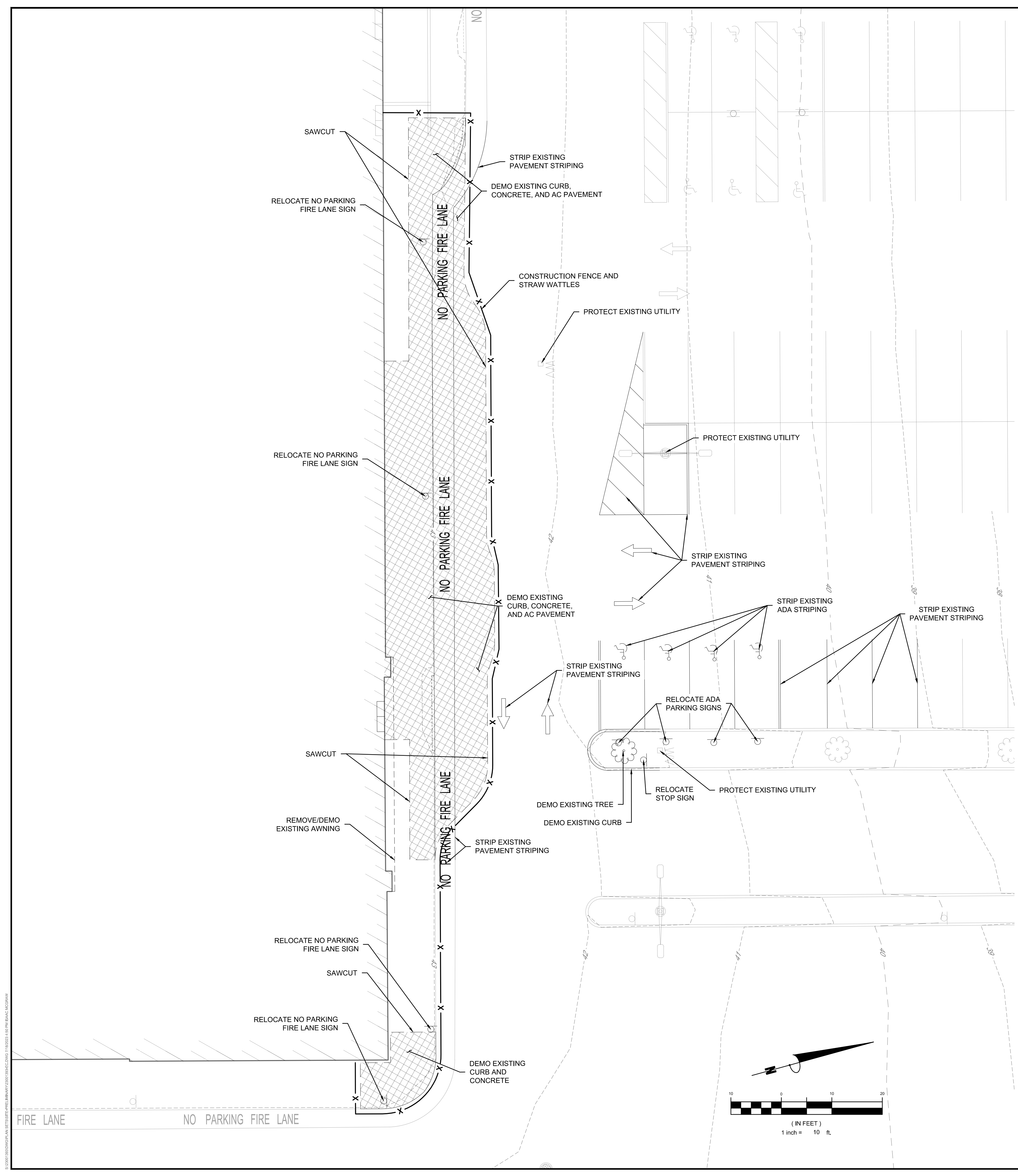
HOBBY LOBBY, INC.	7707 SW 44TH STREET OKLAHOMA CITY, OK 73179
	405.518.6051
	TRAVIS GODDBEER

HOBBY LOBBY, INC.	HOBBY LOBBY COMMERCIAL ADDITION BLOCK 802, LOT 1, SHEET NO. 8, TOWNSHIP OF NEPTUNE MINOR SITE PLAN
	COVER SHEET

DATE	JULY 18, 2023
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REVISIONS

DR.	SIM	CH.	BLB
	P.M.		BRADY BERRY
JOB	23001393		
SHEET NO.	C001		



GENERAL DEMOLITION NOTES:

1. DISCONNECT AND DECOMMISSION ALL UTILITY SERVICES PRIOR TO REMOVING STRUCTURES IF APPLICABLE.
2. CONTRACTOR IS RESPONSIBLE FOR ALL REMOVAL AND DISPOSAL OF ALL DEBRIS AT APPROVED DUMP SITES.
3. ABATEMENT, IF NECESSARY, IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. DECOMMISSION EXISTING WELLS AND/OR SEPTIC TANKS (IF INDICATED OR DISCOVERED) PER LOCAL AND STATE REQUIREMENTS.
5. BASE EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO BEGINNING ANY DEMOLITION WORK.
6. DUST AND EROSION CONTROL TO BE CONTROLLED PER THE APPROVED EROSION CONTROL PLAN.

811
Know what's below.
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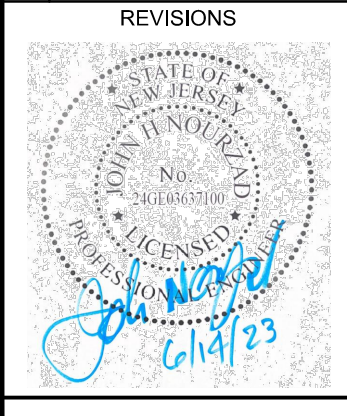
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866.850.4200 www.atwell-group.com
9755 SW BARNES ROAD, SUITE 150
PORTLAND, OR 97225
248.447.2000

CLIENT	HOBBY LOBBY, INC.
ADDRESS	7707 SW 44TH STREET OKLAHOMA CITY, OK 73179
PHONE	405.516.6051
CONTACT	TRAVIS GODBEER

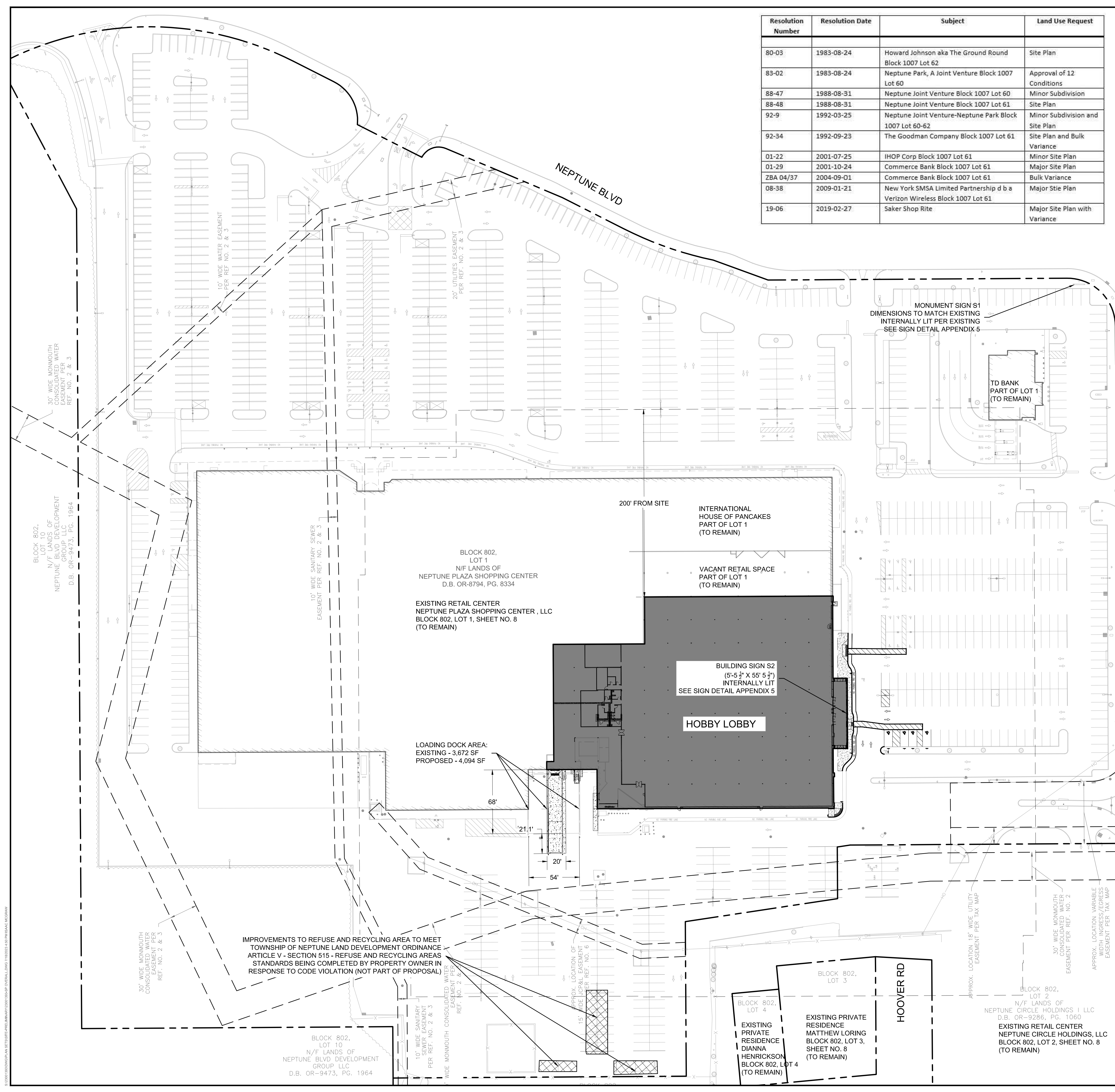
HOBBY LOBBY, INC.
HOBBY LOBBY COMMERCIAL ADDITION
2200 NJ 66, NEPTUNE CITY, NJ 07753
BLOCK 802, LOT 1, TOWNSHIP OF NEPTUNE
MINOR SITE PLAN
EXISTING CONDITIONS, DEMO, & ESC PLAN

DATE JULY 18, 2023

NO.	REVISIONS



DR.	SIM	CH.	BLB
P.M. BRADY BERRY			
JOB 23001393			
SHEET NO. C050			



Resolution Number	Resolution Date	Subject	Land Use Request
80-03	1983-08-24	Howard Johnson aka The Ground Round Block 1007 Lot 62	Site Plan
83-02	1983-08-24	Neptune Park, A Joint Venture Block 1007 Lot 60	Approval of 12 Conditions
88-47	1988-08-31	Neptune Joint Venture Block 1007 Lot 60	Minor Subdivision
88-48	1988-08-31	Neptune Joint Venture Block 1007 Lot 61	Site Plan
92-9	1992-03-25	Neptune Joint Venture-Neptune Park Block 1007 Lot 60-62	Minor Subdivision and Site Plan
92-34	1992-09-23	The Goodman Company Block 1007 Lot 61	Site Plan and Bulk Variance
01-22	2001-07-25	IHOP Corp Block 1007 Lot 61	Minor Site Plan
01-29	2001-10-24	Commerce Bank Block 1007 Lot 61	Major Site Plan
ZBA 04/37	2004-09-01	Commerce Bank Block 1007 Lot 61	Bulk Variance
08-38	2009-01-21	New York SMSA Limited Partnership d b a Verizon Wireless Block 1007 Lot 61	Major Site Plan
19-06	2019-02-27	Saker Shop Rite	Major Site Plan with Variance

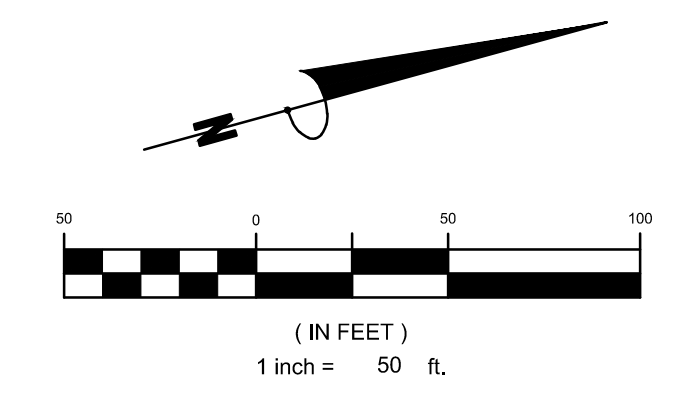
REQUIRED	REQUIRED and/or PERMITTED	EXISTING	PROPOSED
Minimum lot area	2.5 Acres	21.555 Ac	21.555 Ac
Maximum density	N/A	N/A	N/A
Maximum FAR	0.6	.243	.243
Minimum lot width	500 Ft.	603.1 Ft.	603.1 Ft.
Minimum lot frontage	500 Ft.	1,859.1 Ft.	1,859.1 Ft.
Minimum lot depth	600 Ft.	1,107 Ft.	1,107 Ft.
Minimum front yard setback	50 Ft.	Plaza 210.7 Ft. (West Side - along Neptune Blvd.) Bank 76.9 Ft. (West Side - along Neptune Blvd.)	Plaza 210.7 Ft. (West Side - along Neptune Blvd.) Bank 76.9 Ft. (West Side - along Neptune Blvd.)
Minimum side yard setback	30 Ft.	Plaza 303.4 Ft. (North side - along Hwy 66) Bank 77.5 Ft. (North side - along Hwy 66)	Plaza 288.6 Ft. (North side - along Hwy 66) Bank 77.5 Ft. (North side - along Hwy 66)
Minimum Combined side yard setback	60 Ft.	126.3 Ft. (South Side - Private Development)	126.3 Ft. (South Side - Private Development)
Minimum rear yard setback	40 Ft.	41.7 Ft. (East Side - Private Development)	41.7 Ft. (East Side - Private Development)
Maximum percent building cover	30 %	24.3%	24.3%
Maximum percent lot cover	60 %	85.2%	85.2%
Maximum number of stories	2	1	1
Maximum building height	40 Ft.	22-28 Ft	32'-7"
Minimum improvable lot area	84,900	697,411 Sf.	697,411 Sf.
Minimum improvable area-Diameter of circle (feet)	189 Ft.	379 Ft	379 Ft
Off-street parking spaces	1 Space/250 SF of GFA or 914 Stalls Minimum	1,027 - Overall	1,024 - Overall
Loading spaces	3 berths for >40K of GFA Hobby Lobby Only	3	3
Signs	48 SF	Unknown	262.5 SF

- GENERAL SITE NOTES:**
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ELECTRONIC FILES WILL BE PROVIDED TO CONTRACTOR FOR SITE LAYOUT UPON REQUEST.
 - THE CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING FOR ALL SITE WORK, INCLUDING BUT NOT LIMITED TO GRADING, PAVING, CURBS, UTILITIES, SITE ELECTRICAL, ETC.
 - SEE ARCHITECTURAL DRAWINGS FOR CONCRETE SCORING PATTERN AND FINISH AND STRUCTURAL INFORMATION.
 - SURVEY CONDUCTED BY GALLAS SURVEYING GROUP ON MAY 10, 2023. SEE "SURVEY NOTES" ON THIS SHEET FOR MORE INFORMATION.

- SURVEY NOTES:**
- PROPERTY KNOWN AND DESIGNATED AS BLOCK 802, LOT 1, BOOK NO. 8, ON THE OFFICIAL TAX MAP FOR THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY, DATED: 2021.
 - AREA: 938,980 S.F. OR 21.5560 AC.
 - LOCATION OF UNDERGROUND UTILITIES WITHIN THE SPECIFIED LIMITS OF DETAILED TOPOGRAPHY ARE BASED ON PRIOR UTILITY MARK-OUTS. ABOVE-GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT AND IS SUBJECT TO THE COVENANTS, RESTRICTIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - ELEVATIONS ARE BASED UPON NAVD 88. (BENCHMARK 13-T-7, PID DM7188)
 - BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NO. 34025C0331F, EFFECTIVE DATE: 9-25-2009, OBTAINED FROM FEMA NFHL WEB SERVICE ON 04-05-2023.
 - THE LOCATION AND EXTENTS OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.
 - ALL CURBING IS CONCRETE UNLESS OTHERWISE NOTED.
 - A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, C.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1(D).

- REFERENCES:**
- COLONIAL TERRACE, SUBDIVISION OF PLOT 2, SECTION 1, NEPTUNE TOWNSHIP, MONMOUTH COUNTY NEW JERSEY, PREPARED BY NIART ROGERS, COPIED BY W.K. POTTER, C.E. & SURVEYOR, DATED: 07-10-1952, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 07-29-1952, CASE NO. 10-25.
 - MAJOR SUBDIVISION MAP FOR NEPTUNE PARK, SITUATE IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY ACKERMAN-NEY ASSOCIATES, DATED 02-28-1977, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 05-27-1977, CASE NO. 145-27.
 - SKETCH PLAT OF MINOR SUBDIVISION, NEPTUNE PARK, SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY ABINGTON-NEY ASSOCIATES, DATED 10-03-1978, LAST REVISED 11-09-1979, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 12-14-1979, CASE NO. 164-18.
 - MINOR SUBDIVISION PREPARED FOR NEPTUNE PARK, SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY ABINGTON-NEY ASSOCIATES, DATED 01-19-1988, LAST REVISED 12-18-1988, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 01-03-1989, CASE NO. 229-28.
 - ALTA/ACSM LAND TITLE SURVEY OF LOT 61, BLOCK 1007, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY SCHOOR DEPALMA, DATED 06-30-2005, LAST REVISED 09-26-2005.
 - BOUNDARY AND TOPOGRAPHIC SURVEY FOR SAKER SHOPRITE NEPTUNE, BLOCK 802, LOT 1, NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY MASER CONSULTING, P.A., DATED 03-19-2018.
 - AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR SAKER SHOPRITES, INC., SHOPRITE NEPTUNE, BLOCK 802, LOT 1, NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY MASER CONSULTING, P.A., DATED 07-13-2018, LAST REVISED 03-28-2019.

NJ 66/ASBURY AVE (OCEAN TOWNSHIP)



Know what's below. Call before you dig.

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9755 SW BARNES ROAD, SUITE 150
PORTLAND, OR 97225
248.447.2000

CLIENT: HOBBY LOBBY, INC.
7707 SW 44TH STREET
OKLAHOMA CITY, OK 73179
405.516.6051
TRAVIS GODBEER

HOBBY LOBBY, INC.
HOBBY LOBBY COMMERCIAL ADDITION
2200 NJ 66, NEPTUNE CITY, NJ 07753
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MINOR SITE PLAN
OVERALL SITE & SIGNING PLAN

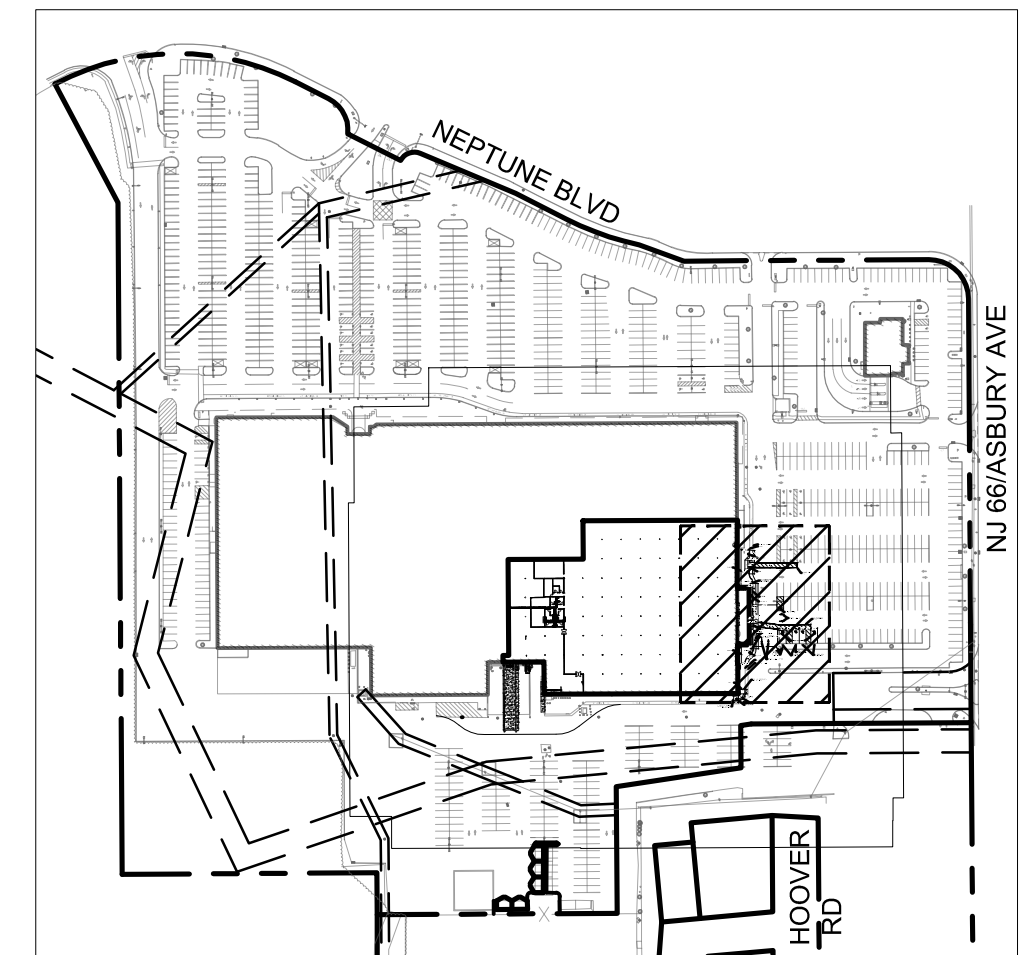
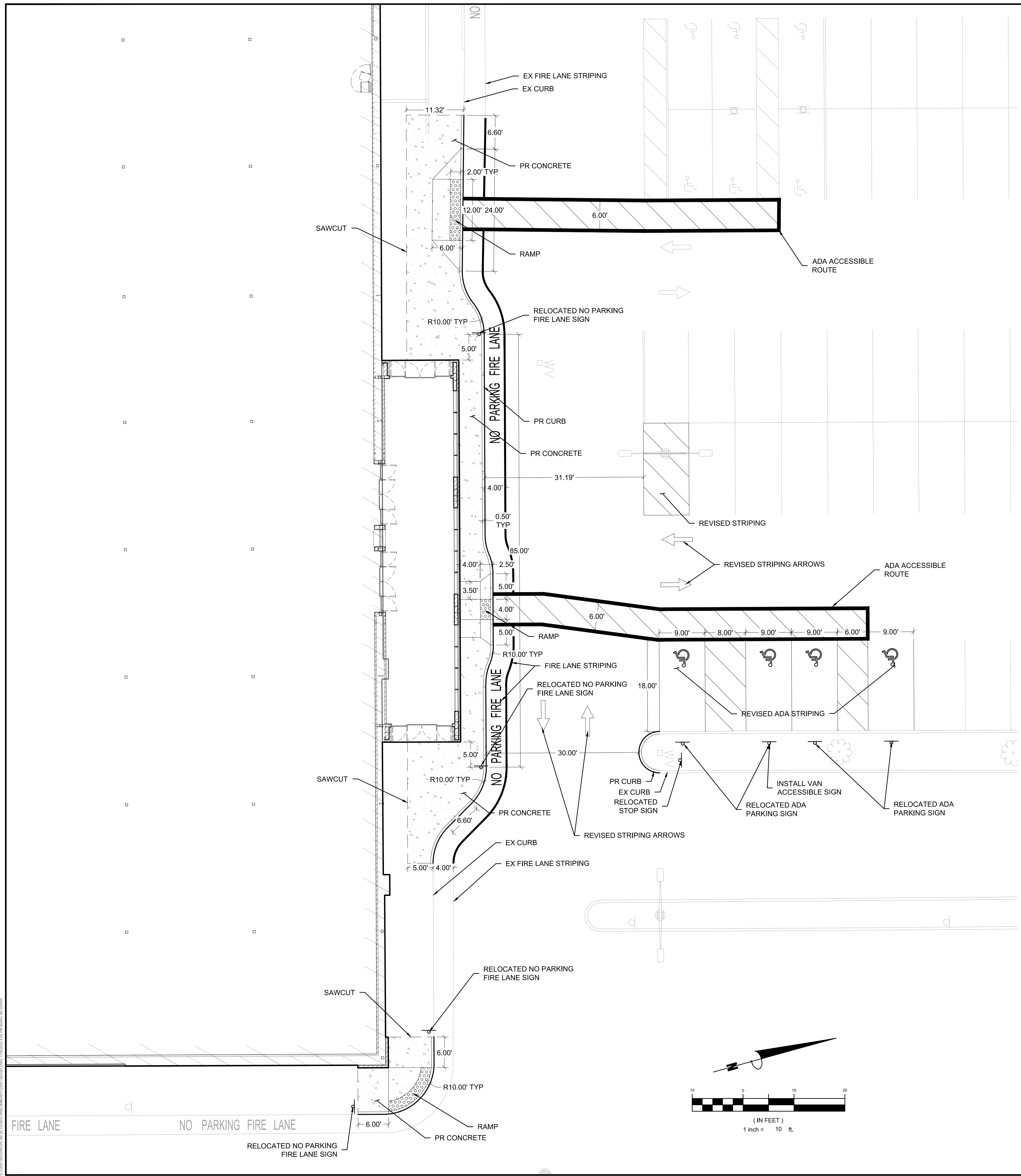
DATE: JULY 18, 2023

REVISIONS

DR. SIM CH. BLB
P.M. BRADY BERRY

JOB: 23001393
SHEET NO.: C100

CAD FILE: 23001393-SP-OVERALL.DWG



GENERAL SITE NOTES:

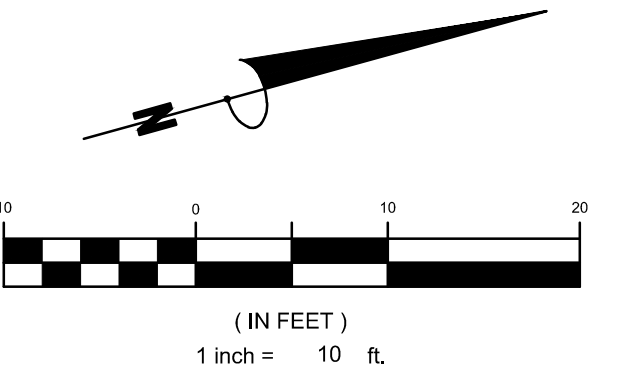
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4. SEE ARCHITECTURAL DRAWINGS FOR CONCRETE SCORING PATTERN AND FINISH AND STRUCTURAL INFORMATION.
5. SURVEY CONDUCTED BY GALLAS SURVEYING GROUP ON MAY 10, 2023. SEE "SURVEY NOTES" ON THIS SHEET FOR MORE INFORMATION.

SURVEY NOTES:

- NOTES:
1. PROPERTY KNOWN AND DESIGNATED AS BLOCK 802, LOT 1 ON THE OFFICIAL TAX MAP FOR THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY, DATED: DECEMBER, 2013.
 2. AREA: 938,980 S.F. OR 21.5560 AC.
 3. LOCATION OF UNDERGROUND UTILITIES WITHIN THE SPECIFIED LIMITS OF DETAILED TOPOGRAPHY ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
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 9. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, C.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1(D).

REFERENCES:

1. COLONIAL TERRACE, SUBDIVISION OF PLOT 2, SECTION 1, NEPTUNE TOWNSHIP, MONMOUTH COUNTY NEW JERSEY, PREPARED BY NIART ROGERS, COPIED BY W.K. POTTER, C.E. & SURVEYOR, DATED: 07-10-1952, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 07-29-1952, CASE NO. 10-25.
2. MAJOR SUBDIVISION MAP FOR NEPTUNE PARK, SITUATE IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY ACKERMAN-NEY ASSOCIATES, DATED 02-28-1977, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 05-27-1977, CASE NO. 145-27.
3. SKETCH PLAT OF MINOR SUBDIVISION, NEPTUNE PARK, SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY ABBINGTON-NEY ASSOCIATES, DATED 10-03-1978, LAST REVISED 11-09-1979, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 12-14-1979, CASE NO. 164-18.
4. MINOR SUBDIVISION PREPARED FOR NEPTUNE PARK, SITUATED IN NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY ABBINGTON-NEY ASSOCIATES, DATED 01-19-1988, LAST REVISED 12-18-1988, FILED IN THE MONMOUTH COUNTY CLERKS OFFICE ON 01-03-1989, CASE NO. 229-28.
5. ALTA/ACSM LAND TITLE SURVEY OF LOT 61, BLOCK 1007, TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY SCHOOR DEPALMA, DATED 06-30-2005, LAST REVISED 09-26-2005.
6. BOUNDARY AND TOPOGRAPHIC SURVEY FOR SAKER SHOPRITE NEPTUNE, BLOCK 802, LOT 1, NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY MASER CONSULTING, P.A., DATED 03-19-2018.
7. AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR SAKER SHOPRITES, INC., SHOPRITE NEPTUNE, BLOCK 802, LOT 1, NEPTUNE TOWNSHIP, MONMOUTH COUNTY, NEW JERSEY, PREPARED BY MASER CONSULTING, P.A., DATED 07-13-2018, LAST REVISED 03-28-2019.



811
Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

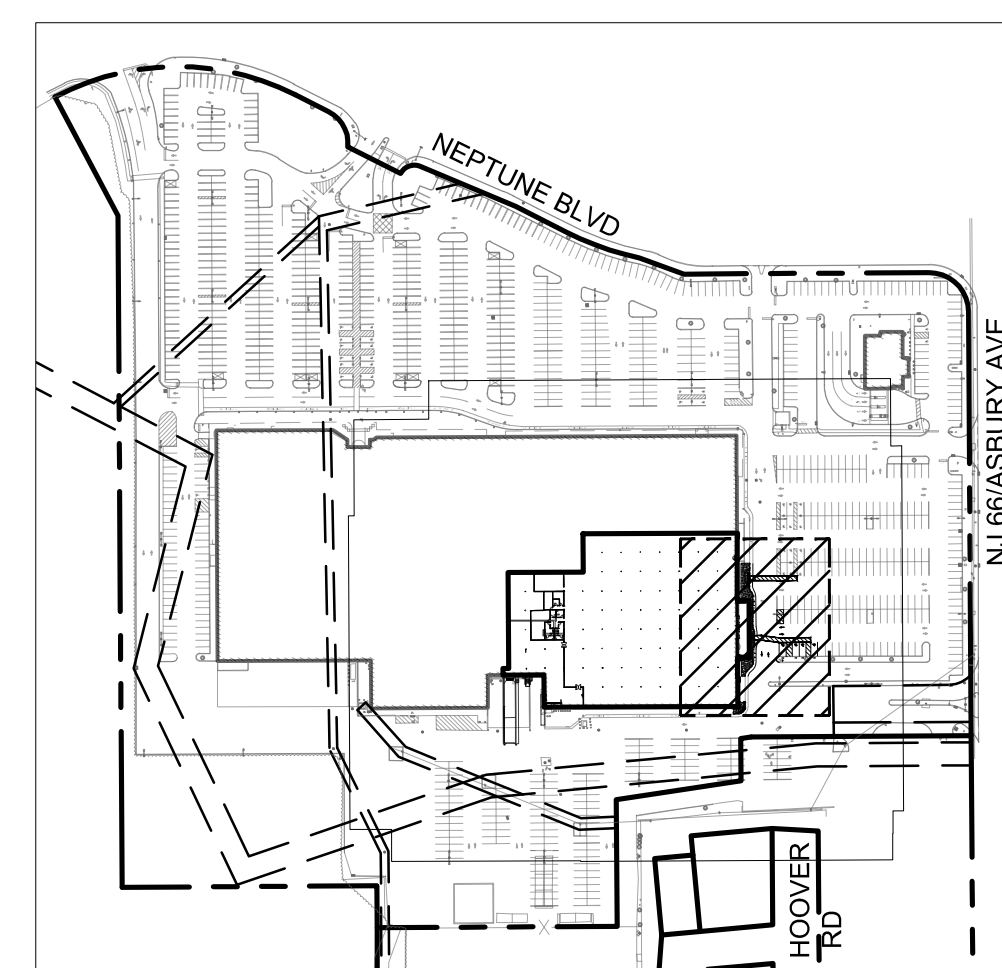
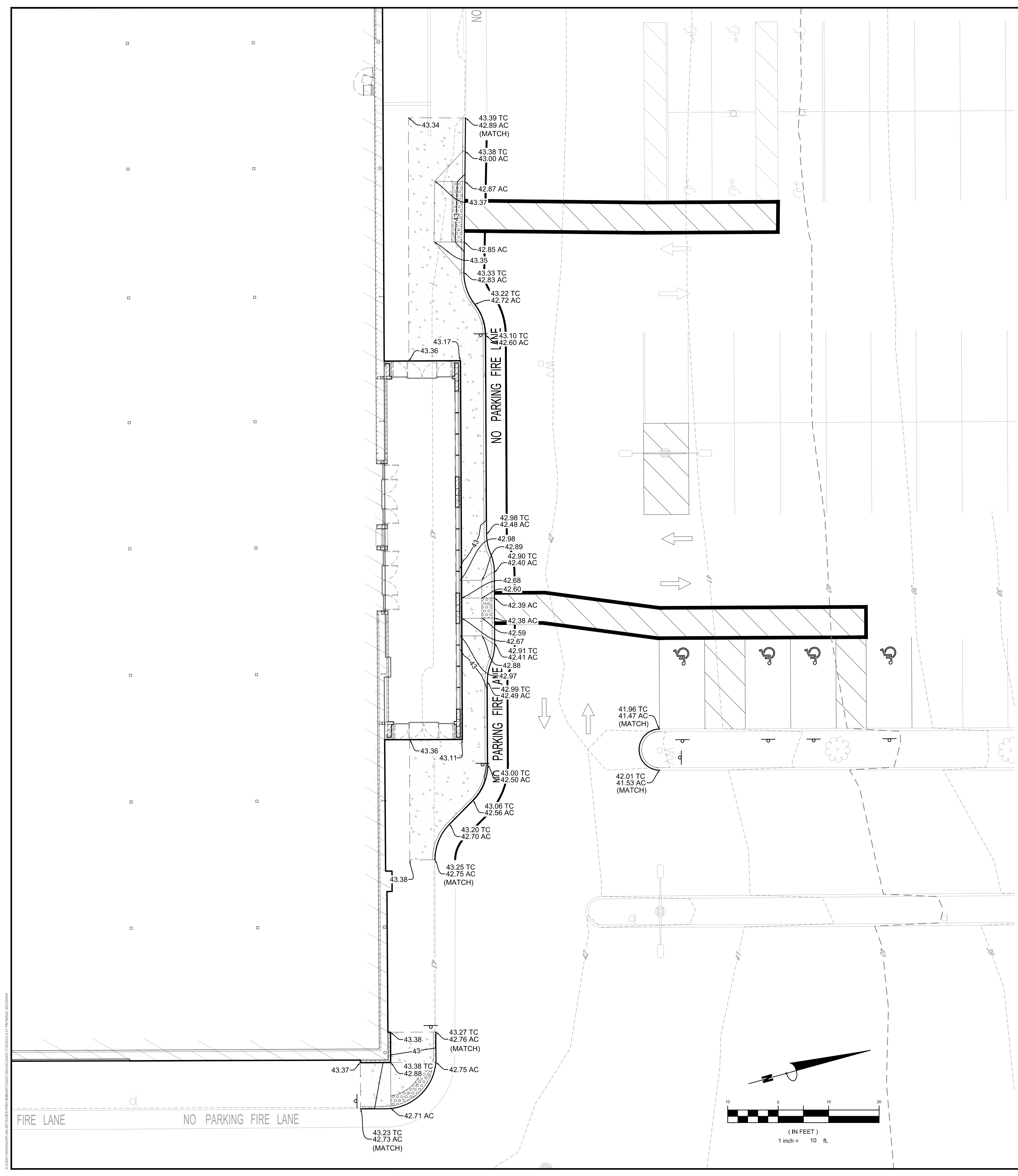
NOTICE
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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HOBBY LOBBY, INC. 707 SW 44TH STREET OKLAHOMA CITY, OK 73179 405.516.6051	HOBBY LOBBY, INC. HOBBY LOBBY COMMERCIAL ADDITION 2200 NJ 66, NEPTUNE CITY, NJ 07753 BLOCK 802, LOT 1, TOWNSHIP OF NEPTUNE MINOR SITE PLAN	TRAVIS GODBEER SITE PLAN
CLIENT	DATE	JULY 18, 2023
REVISIONS		
DR. SIM	CH. BLB	
P.M. BRADY BERRY		
JOB	23001393	
SHEET NO.	C101	

CAD FILE: 23001393-SP-DWG



GENERAL GRADING NOTES:

1. ELECTRONIC FILES WILL BE PROVIDED TO CONTRACTOR FOR GRADING SURFACE UPON REQUEST.
2. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING FOR ALL SITE WORK, INCLUDING BUT NOT LIMITED TO GRADING, PAVING, CURBS, UTILITIES, SITE ELECTRICAL, ETC.
3. MAXIMUM 1.5% CROSS-SLOPE ON ALL SIDEWALKS.
4. MAXIMUM 1.5% SLOPE IN ALL DIRECTIONS WITHIN ACCESSIBLE PARKING AREAS.
5. MINIMUM 8" FROM FINISH FLOOR ELEVATION TO FINISH GRADE AT STRUCTURES EXCEPT WHERE THERE IS HARDSCAPE.
6. POSITIVE GRADE MUST BE MAINTAINED AWAY FROM ALL STRUCTURES.
7. ALL ELEVATIONS ARE FINISH SURFACE UNLESS OTHERWISE INDICATED.




**Know what's below.
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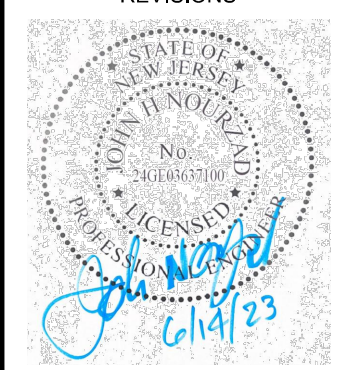
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

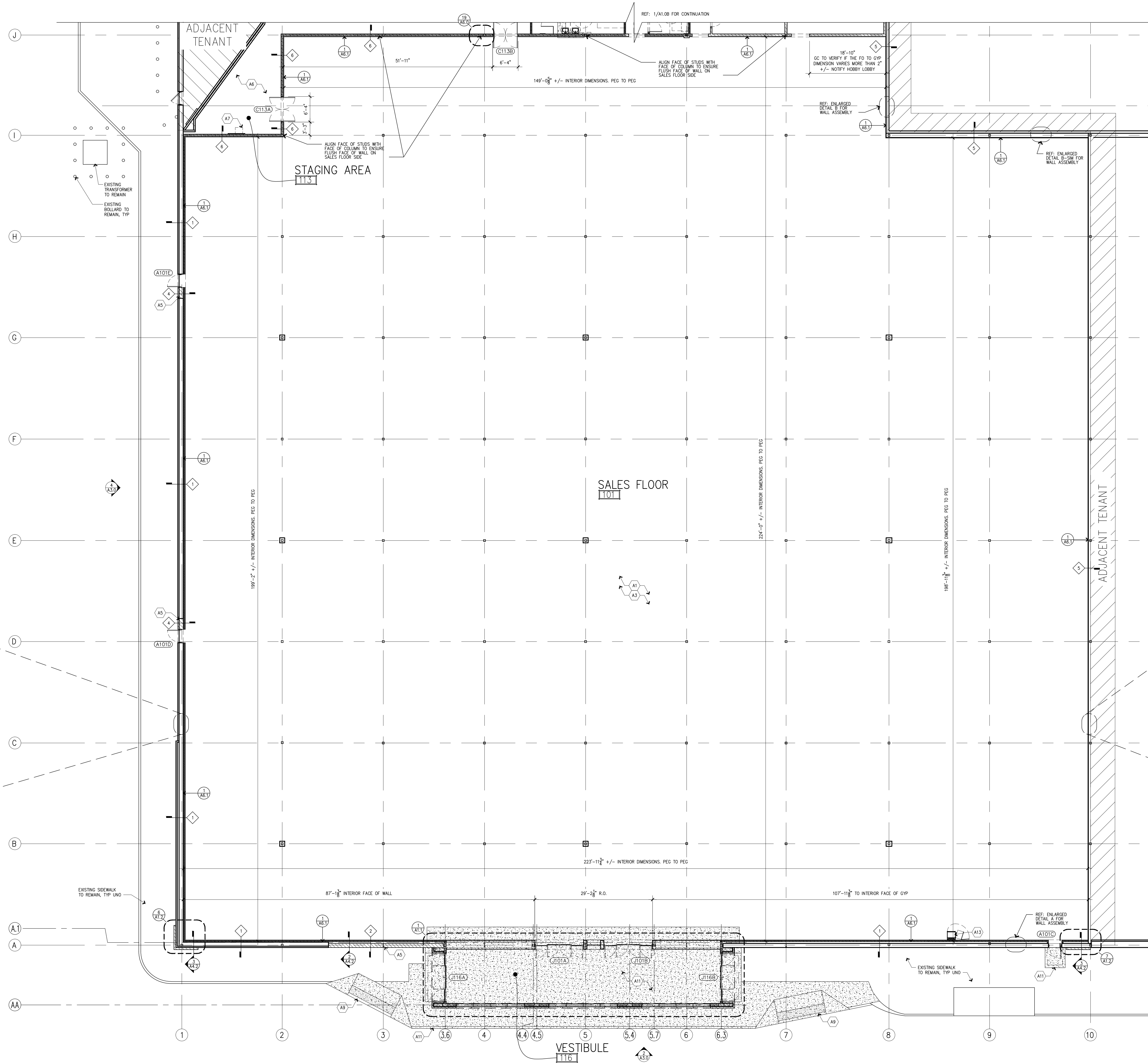
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CLIENT	HOBBY LOBBY, INC. 7707 SW 44TH STREET OKLAHOMA CITY, OK 73179	HOBBY LOBBY, INC. HOBBY LOBBY COMMERCIAL ADDITION 2200 NJ 66, NEPTUNE CITY, NJ 07753 BLOCK 802, LOT 11, SHEET NO. 18, TOWNSHIP OF NEPTUNE MINOR SITE PLAN	TRAVIS GODBEER
DATE	JULY 18, 2023		
REVISIONS			
DR.	SIM	CH.	BLB
P.M. BRADY BERRY			
JOB	23001393		
SHEET NO.	C200		

CAD FILE: 23001393-02.DWG



ARCHITECTURAL NOTES

- (A1) ALL NEW FLOOR TILE THROUGHOUT ENTIRE HOBBY LOBBY SHALL BE INSTALLED SQUARE TO PERIMETER WALL REF. SHEET F1.0 AND SPECIFICATIONS.
- (A3) ALL WALLS IN SALES AREA SHALL BE FLUSH AND SMOOTH.
- (A5) NEW CMU INFILL TO MATCH EXISTING ADJACENT CONSTRUCTION.
- (A6) 4"x8" OSB AT FRAMED WALLS ONLY INSTALLED END TO END AT STAGING AREA.
- (A7) NEW TELEPHONE NETWORK BACKER BOARD, REF. ELECTRICAL FOR ADDITIONAL INFORMATION.
- (A9) NEW ACCESSIBLE RAMP REF. DETAIL 7/A6.0.
- (A11) NEW CONCRETE SLAB REF. STRUCTURAL.
- (A13) NEW GF' CABINET, REF. ELECTRICAL.

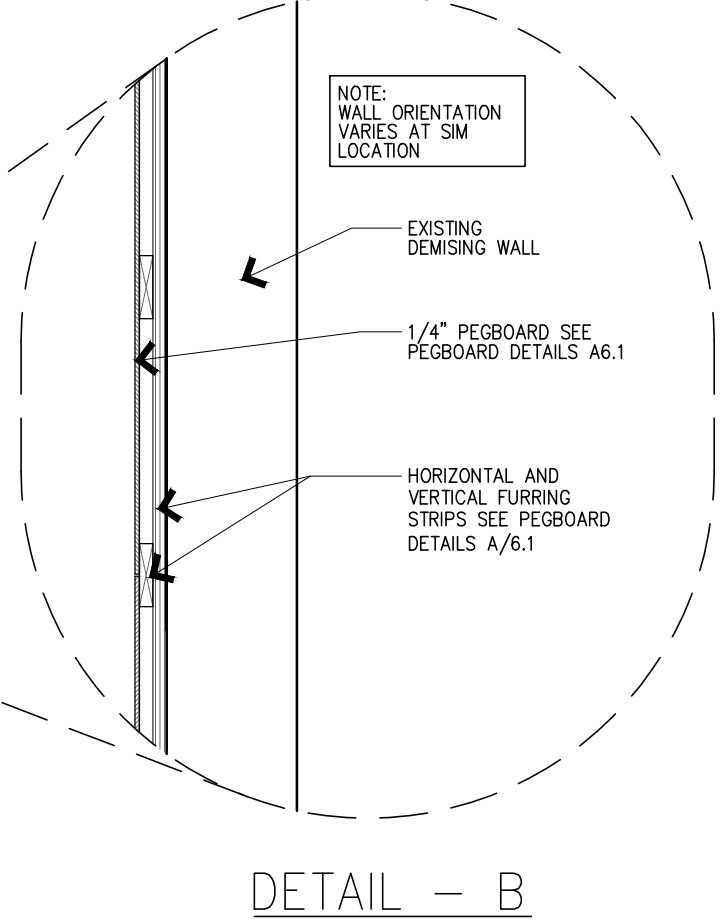
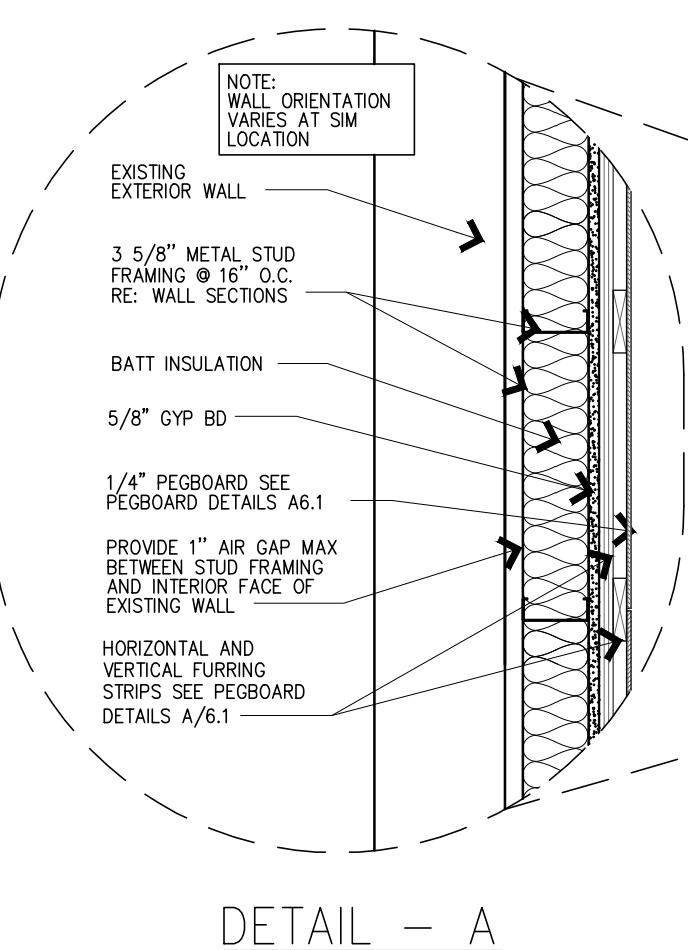
ARCHITECTURAL LEGEND

SYMBOL	DESCRIPTION
	DOOR TAG (COORDINATE WITH DOOR SCHEDULE) FIRST LETTER IS DOOR TYPE, THE NUMBER IS THE ROOM NUMBER AND THE LAST LETTER IS THE DOOR IDENTIFICATION FOR THE IDENTIFIED ROOM.
	WALL SCHEDULE KEY, SEE SHEET A5.0.
	DETAIL TAG.
	KEY ARCHITECTURAL NOTES.
	SECTION OR ELEVATION MARKER.

WALL & DOOR LEGEND

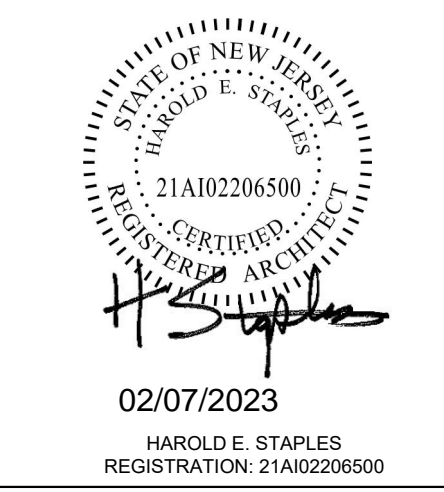
SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	STUD WALL WITH INSULATION, RE: WALL TYPES
	EXISTING DOOR TO REMAIN
	NEW DOOR

EACH SUBCONTRACTOR SHALL TURN IN A SET OF AS-BUILTS FOR THEIR WORK FOR THE SUPERINTENDENT TO TURN IN TO CONSTRUCTION DESIGN AND DEVELOPMENT DEPARTMENT.



1 PARTIAL ARCHITECTURAL FLOOR PLAN
SCALE: 3/32"=1'-0"

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REVISION HISTORY

REV. #	DATE	DESCRIPTION

HOBBY LOBBY
2200 NU 66
NEPTUNE CITY, NJ 07753
ARCHITECT PROJECT # 2254016
HOBBY LOBBY PROJECT # 010931-001

PROJ MGR : JS
DRAWN BY : AC
CHECKED BY : CS JAD
ISSUE DATE : 02/07/23
FILE NAME : A1.0A-NEPTUNE CITY-NJ-FLR.dwg

PARTIAL ARCHITECTURAL FLOOR PLAN

A1.0A

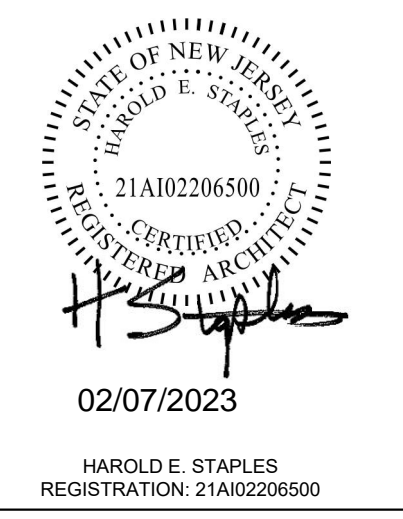
ARCHITECTURAL NOTES	
(A2)	BOLLARDS, REF: 23/A6.0
(A4)	INSTALL PLYWOOD BLOCKING AT WALL MOUNTED EQUIPMENT.
(A5)	NEW CMU INFILL TO MATCH EXISTING ADJACENT CONSTRUCTION
(A6)	4"x8" OSB AT FRAMED WALLS ONLY INSTALLED END TO END AT STAGING AREA
(A7)	CAROLINA PRODUCTS BODY ELECTRICAL SERVICE REF: ELECTRICAL FOR ADDITIONAL INFORMATION
(A8)	3" MIN SAFETY STRIPING PROVIDED 3'-0" FROM FACE OF PANEL ALL ELEC. PLUMBING AND TELE. EQUIPMENT
(A10)	12" W x 1' D x 4" H CONCRETE HOUSE KEEPING PAD AT ELECTRICAL PANELS REF: STRUCTURAL
(A11)	CONCRETE SLAB REF: STRUCTURAL
(A12)	DEMARC AND ALARM PANELS, INSTALL (2) PLYWOOD SHEETS VERTICALLY FOR MOUNTING OF DEMARC AND ALARM PANELS, DO NOT PAINT PLYWOOD
(A13)	NEW STEEL H-FRAME, REF: STRUCTURAL FOR ADDITIONAL INFORMATION
(A14)	NEW STAIR, REF: 2/A6.2

ARCHITECTURAL LEGEND	
	DOOR TAG (COORDINATE WITH DOOR SCHEDULE) FIRST LETTER IS DOOR TYPE, THE NUMBER IS THE ROOM NUMBER AND THE LAST LETTER IS THE DOOR IDENTIFICATION FOR THE IDENTIFIED ROOM
	WALL SCHEDULE KEY: SEE SHEET A5.0.
	DETAIL TAG.
	KEY ARCHITECTURAL NOTES.
	SECTION OR ELEVATION MARKER.

WALL & DOOR LEGEND	
	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	STUD WALL WITH INSULATION, RE: WALL TYPES
	EXISTING DOOR TO REMAIN
	NEW DOOR

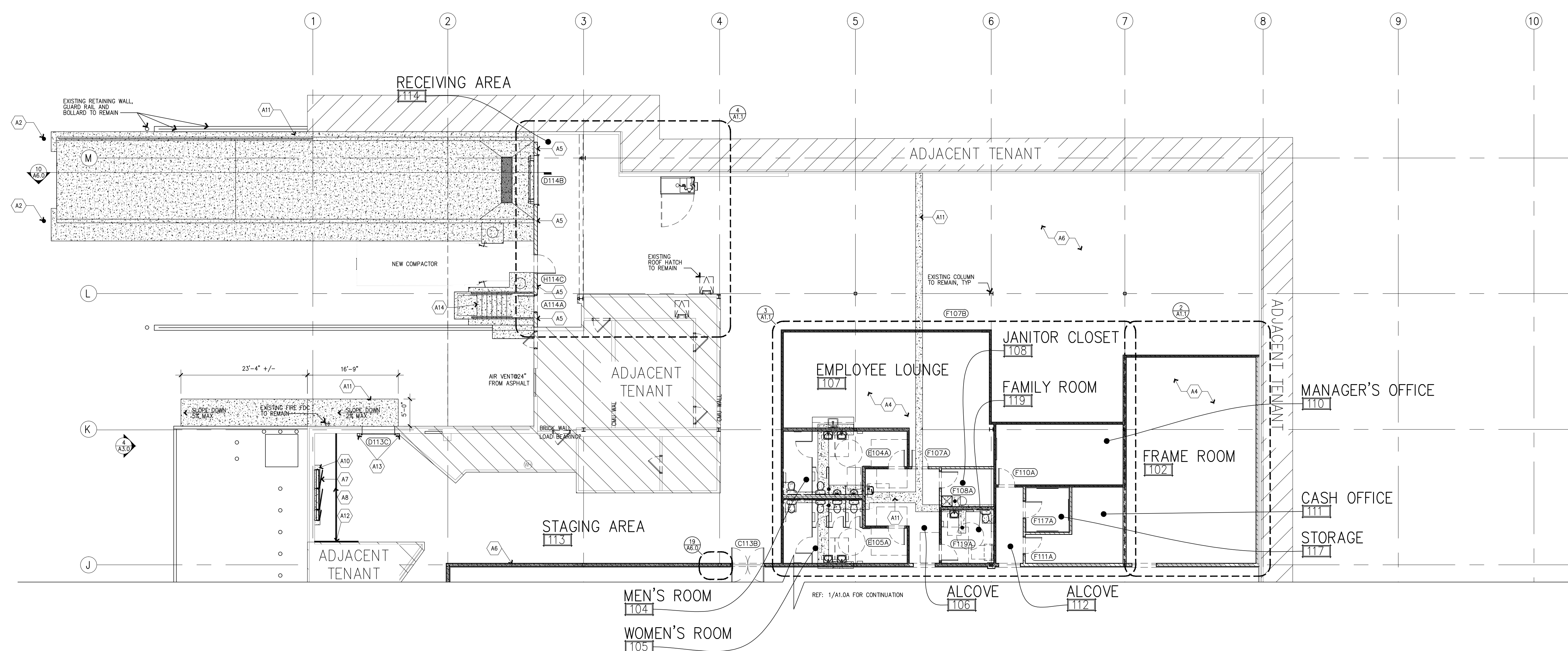
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REVISION HISTORY		
REV. #	DATE	DESCRIPTION



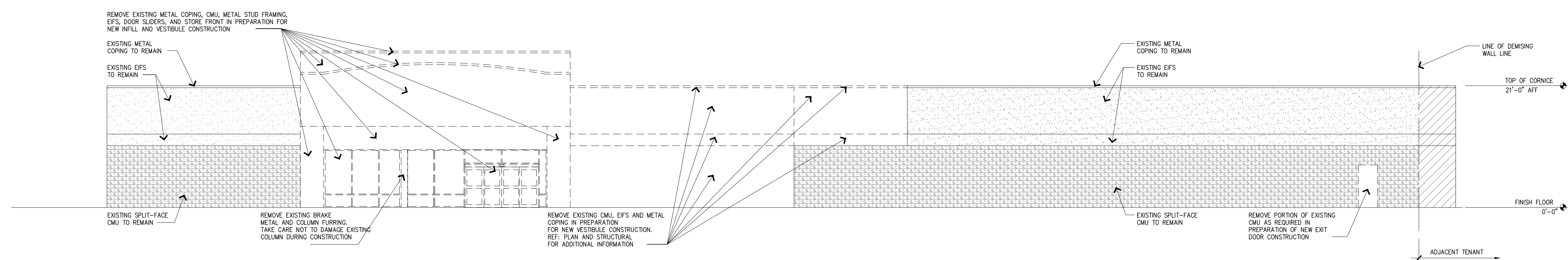
1 PARTIAL ARCHITECTURAL FLOOR PLAN
 SCALE: 3/32"=1'-0"

HOBBY LOBBY
 2200 NJ 66
 NEPTUNE CITY, NJ 07753
 ARCHITECT
 PROJECT #: 2254016

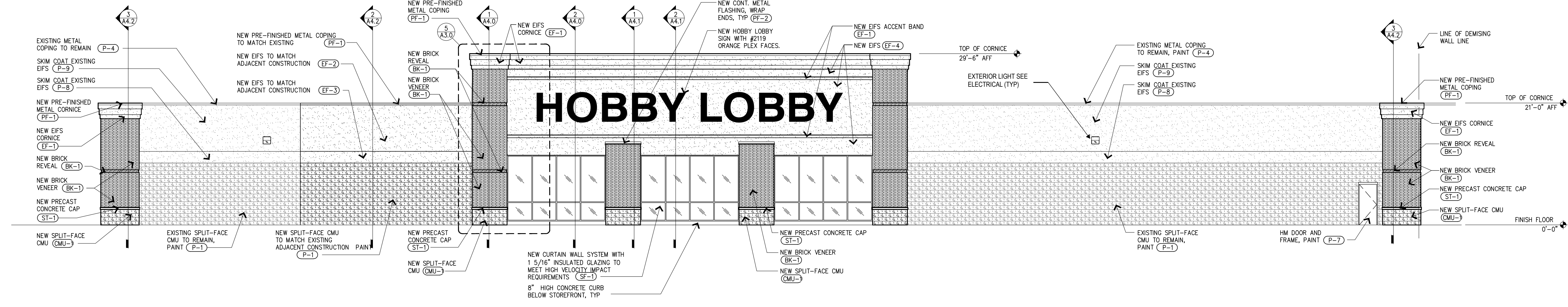
PROJ MGR: JS
 DRAWN BY: AC
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 ISSUE DATE: 02/07/23
 FILE NAME: A1.0B-NEPTUNE CITY-NJ-FLR.dwg

PARTIAL ARCHITECTURAL FLOOR PLAN

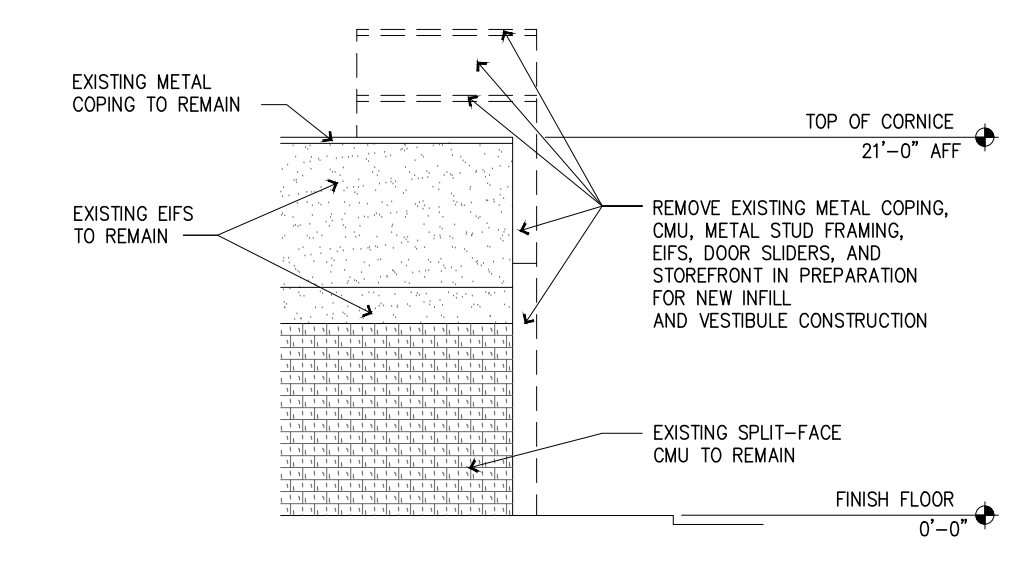
A1.0B



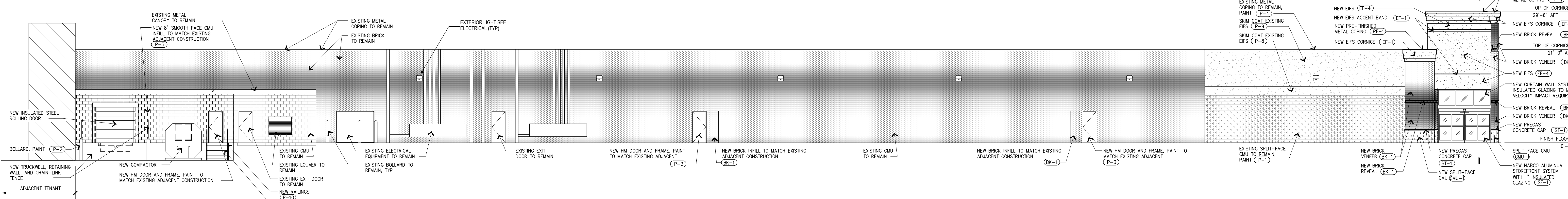
1 DEMO FRONT ELEVATION
SCALE: 3/32"=1'-0"



2 NEW FRONT ELEVATION
SCALE: 3/32"=1'-0"



3 DEMO SIDE ELEVATION
SCALE: 3/16"=1'-0"



4 NEW SIDE ELEVATION
SCALE: 3/32"=1'-0"

EXTERIOR MATERIALS LEGEND

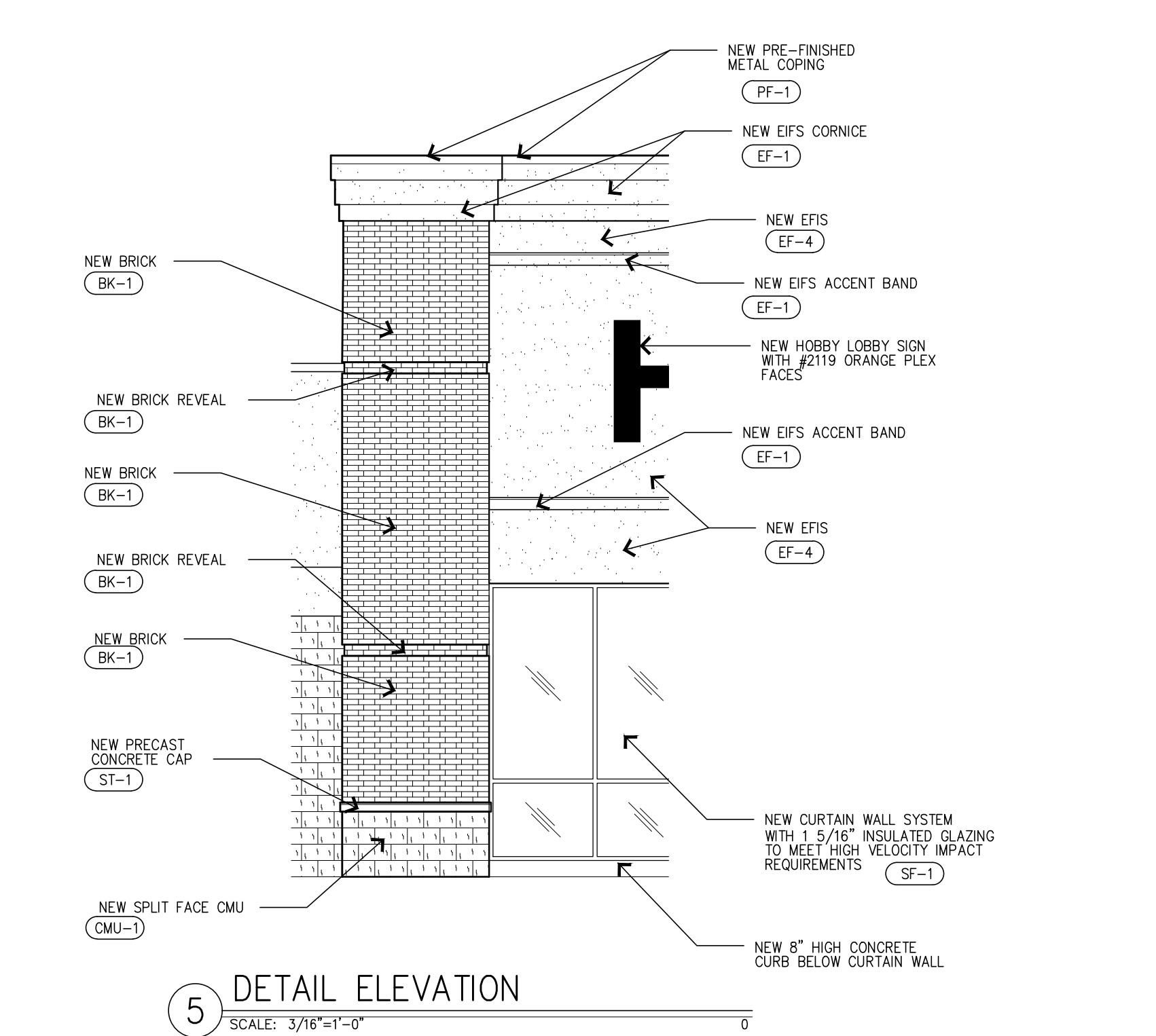
MARK	MATERIAL	MANUFACTURER	MODEL/STYLE	COLOR	REMARKS
EF-1	EFS	DRYAT	PB SYSTEM	SW 7551 "GREEK WALL" [1]	SAND FINISH
EF-2	EFS	DRYAT	PB SYSTEM	SW 7506 "LOGGIA" [1]	SAND FINISH
EF-3	EFS	DRYAT	PB SYSTEM	SW 7507 "STONE LION" [1]	SAND FINISH
EF-4	EFS	DRYAT	PB SYSTEM	SW 7508 "DM HULT" [1]	SAND FINISH
PF-1	PRE-FINISHED METAL	OMG EDGE SYSTEMS	PERMASNAP	A-23 "BONE WHITE"	.050 ALUMINUM
PF-2	PRE-FINISHED METAL	OMG EDGE SYSTEMS	PERMASNAP	A-23 "BONE WHITE"	SEMI-GLOSS
SF-1	CURTAIN WALL	KAWNEER	1600 IR SERIES	"DARK BRONZE"	ANODIZED ALUMINUM
BK-1	BRICK	BEILDEN	AMHERST BLEND A		
BK-2	BRICK			MATCH EXISTING	
CMU-1	SPLIT-FACE CMU		4" VENEER	"NATURAL"	
ST-1	PRECAST CONCRETE			"NATURAL"	CONCRETE CAP
P-1	PAINT	SHERWIN-WILLIAMS	ULTRA-CRETE	SW 7506 "LOGGIA"	MEDIUM TEXTURE
P-2	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	SW 4084 "SAFETY YELLOW"	ROLLARDS
P-3	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	MATCH EXISTING	SEMI-GLOSS
P-4	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	MATCH A-23 "BONE WHITE"	SEMI-GLOSS
P-5	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	MATCH EXISTING	MEDIUM TEXTURE
P-7	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	SW 7506 "LOGGIA" [2]	SEMI-GLOSS
P-8	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	MATCH SW 7507 "STONE LION"	MEDIUM TEXTURE
P-9	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	MATCH SW 7508 "LOGGIA"	MEDIUM TEXTURE
P-10	PAINT	SHERWIN-WILLIAMS	AB9-100 SERIES	SW 6258 "TRICORN BLACK"	SEMI-GLOSS

NOTES:
1. COLORS NOTED ABOVE FOR EFS ARE SHERWIN-WILLIAMS COLORS - EFS TO MATCH THOSE COLORS.
2. PAINT COLORS FOR ALL EXTERIOR STEEL DOORS AND FRAMES TO MATCH ADJACENT COLORS UNLESS NOTED OTHERWISE.
3. SIGNAGE TO BE SUBMITTED UNDER SEPARATE PERMIT FROM BUILDING.

ARCHITECTURAL LEGEND

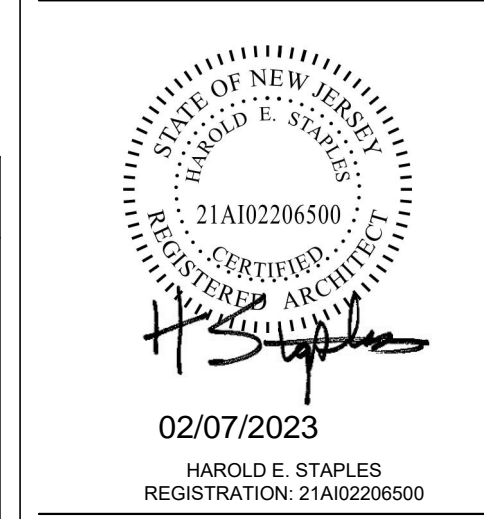
SYMBOL	DESCRIPTION
1000	DOOR TAG (COORDINATE WITH DOOR SCHEDULE). FIRST LETTER IS DOOR TYPE, THE NUMBER IS THE ROOM NUMBER AND THE LAST LETTER IS THE DOOR IDENTIFICATION FOR THE IDENTIFIED ROOM.
1000	DOOR IDENTIFIER
1000	ROOM NUMBER
1000	DOOR TYPE
1000	DETAIL NUMBER
1000	SHEET NUMBER
	SECTION OR ELEVATION MARKER

EACH SUBCONTRACTOR SHALL TURN IN A SET OF AS-BUILTS FOR THEIR WORK FOR THE SUPERINTENDENT TO TURN IN TO CONSTRUCTION DESIGN AND DEVELOPMENT DEPARTMENT.



5 DETAIL ELEVATION
SCALE: 3/16"=1'-0"

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02/07/2023
HAROLD E. STAPLES
REGISTRATION: 21180226500

REVISION HISTORY

REV. #	DATE	DESCRIPTION

HOBBY LOBBY
2200 NU 66
NEPTUNE CITY, NJ 07753
ARCHITECT
PROJECT # : 010931-001

PROJ MGR : JS
DRAWN BY : AC
CHECKED BY : CS JAD
ISSUE DATE : 02/07/23
FILE NAME : A3.0-NEPTUNE CITY-NJ-ELEV.dwg

ARCHITECTURAL ELEVATIONS
A3.0