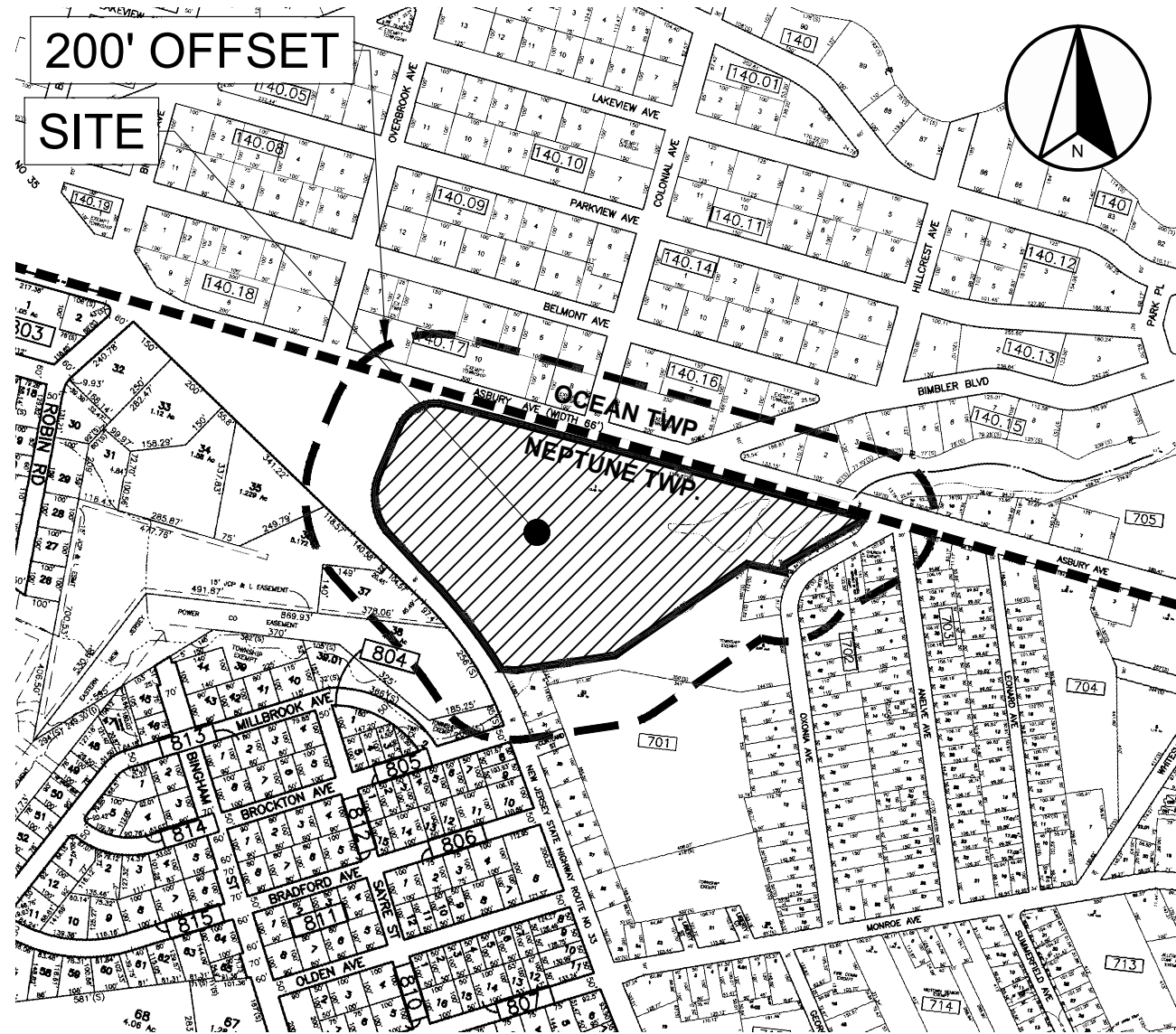
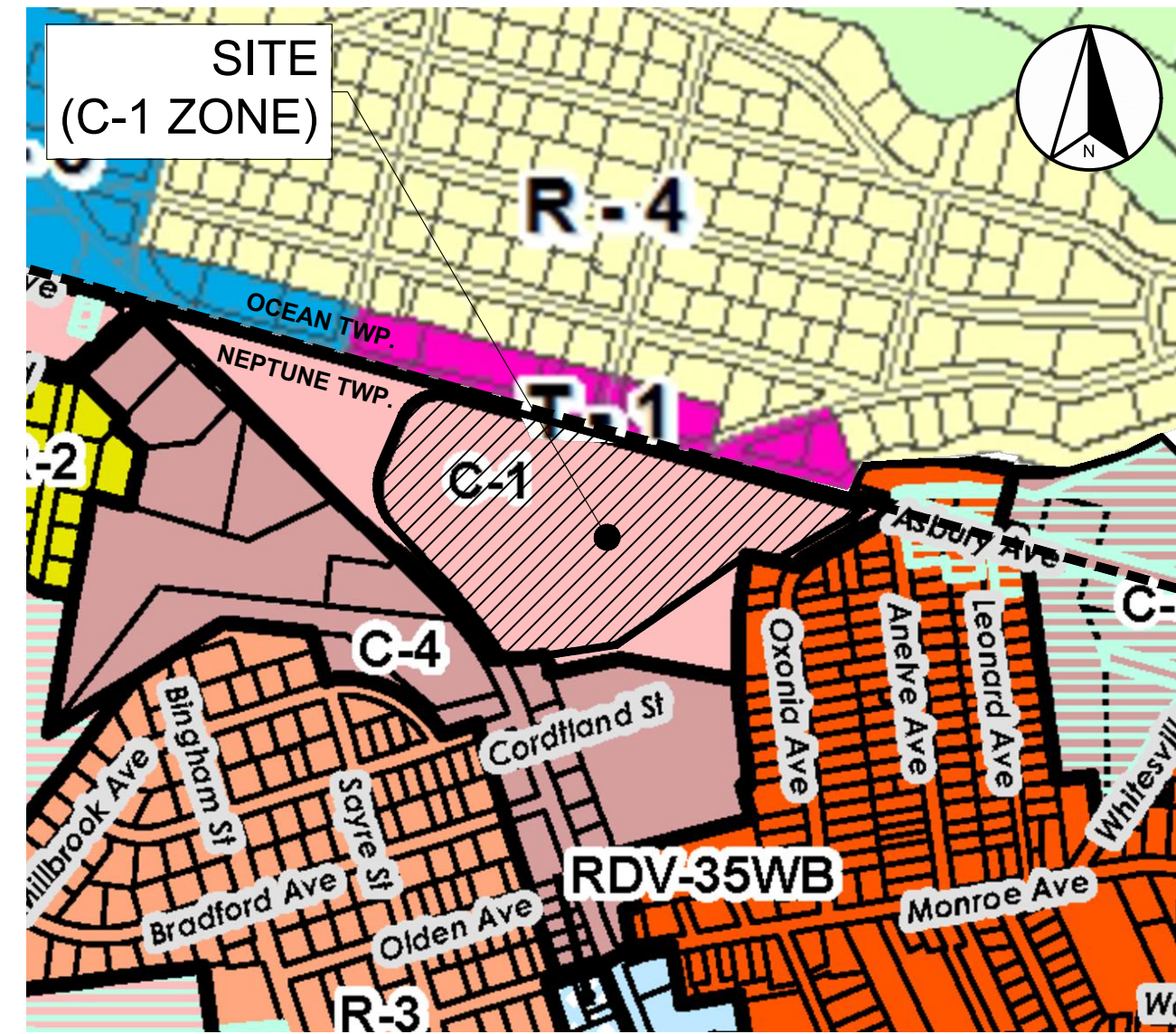


AMENDED PRELIMINARY & FINAL - MAJOR SITE PLAN M & M AT NEPTUNE, LLC. BLOCK 701 - LOT 1 TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY



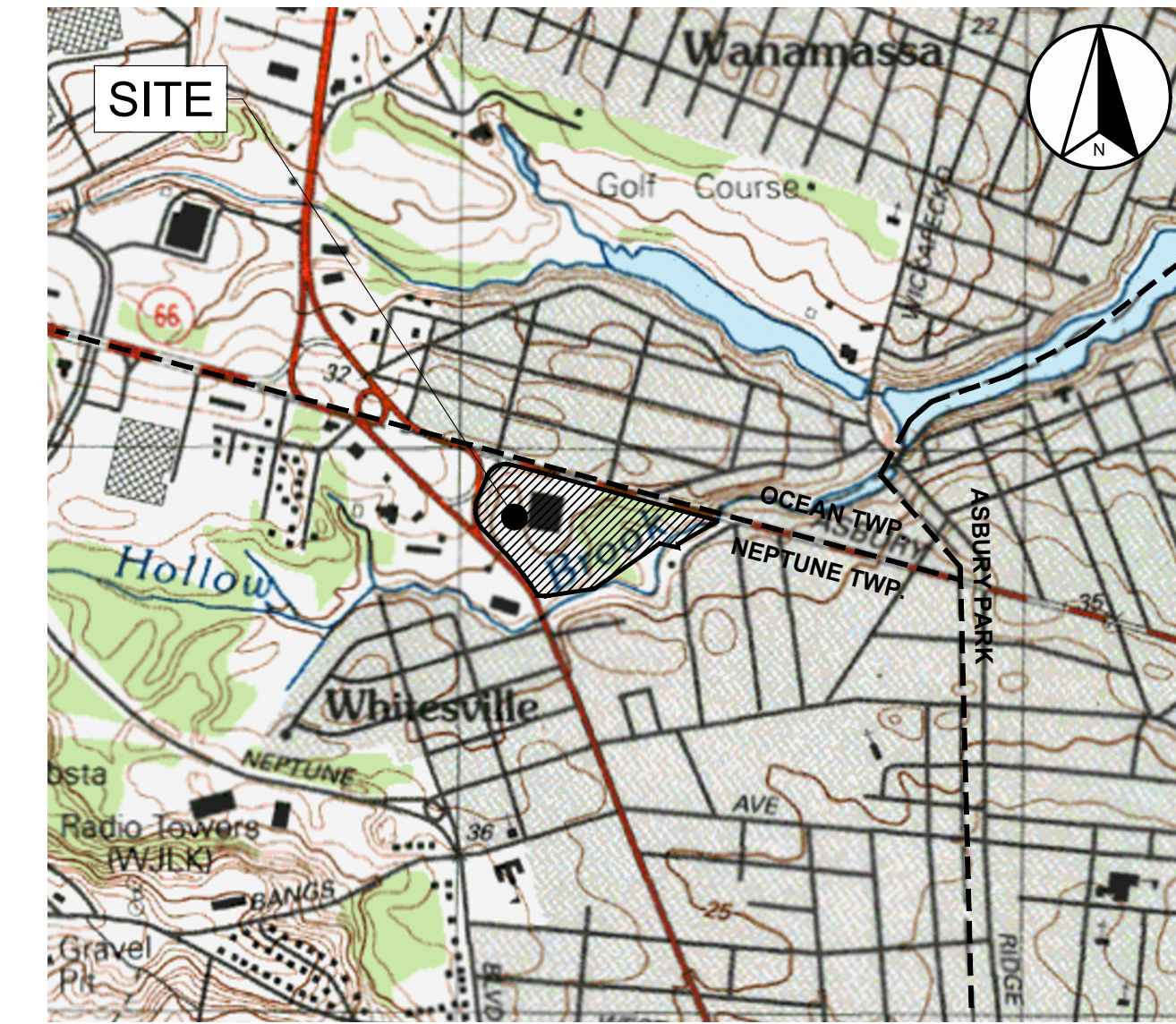
TAX MAP
1"=500'



ZONING MAP
1"=500'



STREET MAP
1"=500'



USGS QUAD MAP
1"=1,000'

PROPERTY OWNERS LIST (NEPTUNE TOWNSHIP)

BLOCK	LOT	ADDRESS (MAILING ADDRESS)	BLOCK	LOT	ADDRESS (MAILING ADDRESS)
701	1	M&M AT NEPTUNE, LLC 1260 STELTON RD PISCATAWAY, NJ 08854	702	6	138 ANELVE AVE WILSON, TEENA G NEPTUNE, NJ 07753
701	2	132 OXONIA AVE TOWNSHIP OF NEPTUNE PO. BOX 1125 NEPTUNE, NJ 07753	702	7	136 ANELVE AVE MITCHELL, WILLIAM & CAPUANO, EDWARD NEPTUNE, NJ 07753
701	3	136 OXONIA AVE VETRANO, JOSEPH & GRACE NEPTUNE, NJ 07753	702	44	1639 BELLMORE ST REHMAN ASIF OAKHURST, NJ 07755
701	4	134 OXONIA AVE JAVAAD, MUHAMMAD & BANO, SAMREEN NEPTUNE, NJ 07753	702	45	3633 FOREST PARK DR TALIAFERRO, GLORIA & MILLER NELLIE, ONONNATI, OH 45229
701	5	TOWNSHIP OF NEPTUNE PO. BOX 1125 NEPTUNE, NJ 07753	702	46	137 OXONIA AVE JONES, BETTY NEPTUNE, NJ 07753
701	31	2 CORDTLAND ST APPLEGATE, ANNA O'HAGEN & J O'HAGEN NEPTUNE, NJ 07753	703	1	1828 ASBURY AVE KONVTIZ LLC & JAHOS
701	32	2 CORDTLAND ST O'HAGEN, ANNA & JUNE M. NEPTUNE, NJ 07753	705	1	ATT B. DUBEL 58 OBRE PLACE SHREWSBURY, NJ 07702
701	33	2 CORDTLAND ST APPLEGATE CLIFFORD & JUNE O'HAGEN NEPTUNE, NJ 07753	705	11	TOWNSHIP OF NEPTUNE PO BOX 1125 NEPTUNE, NJ 07753
702	1	138 OXONIA AVE VETRANO JOSEPHINE NEPTUNE, NJ 07753	802	35	707 HIGHWAY 35 LOU DINO PROPERTIES, LLC NEPTUNE, NJ 07753
702	3	140 OXONIA AVE LE BEAU, JOSETTE NEPTUNE, NJ 07753	802	36	706 HIGHWAY 35 SAVITA, LLC & CRYSTAL INN NEPTUNE, NJ 07753
702	4	FIRST PENTECOSTAL PO BOX 229 NEPTUNE, NJ 07753	802	37	705 HIGHWAY 35 TALE OF THE SEA INC & BILL ATHANS OCEAN, NJ 07712
702	5	140 ANELVE AVE ASSEMBLY OF GOD ROBERSON, GUNNY J. NEPTUNE, NJ 07753	802	38	701 HIGHWAY 35 FOURTH AVE BOWLING CORP NEPTUNE, NJ 07753
702			802	39.01	TOWNSHIP OF NEPTUNE PO BOX 1125 NEPTUNE, NJ 07753

UTILITIES/AGENCIES

NEPTUNE TOWNSHIP	OCEAN TOWNSHIP
NEW JERSEY AMERICAN WATER COMPANY 100 LAUREL OAK ROAD WOODBRIDGE, NJ 07095	DOMA BROOK 500 WASHINGTON 1100 WASHINGTON ROAD 1100 WASHINGTON ROAD MILLSBORO, DE 19966
VERIZON 1000 VERIZON AVENUE COLLINGSWOOD, NJ 08027	NEW JERSEY NATIONAL GAS COMPANY 1100 WASHINGTON ROAD MILLSBORO, DE 19966
NEW JERSEY NATURAL GAS COMPANY 1100 WASHINGTON ROAD MILLSBORO, DE 19966	VERIZON WIRELESS 1100 WASHINGTON ROAD MILLSBORO, DE 19966
NEW JERSEY WATER & GAS COMPANY ATTN: RIGHT OF WAY DEPARTMENT 1100 WASHINGTON ROAD MILLSBORO, DE 19966	TOWNSHIP OF OCEAN RESERVE AUTHORITY 1100 WASHINGTON ROAD MILLSBORO, DE 19966
JERSEY CENTRAL POWER & LIGHT COMPANY ATTN: LAND USE MATTERS 300 WASHINGTON MORRISTOWN, NJ 07960	
MONMOUTH COUNTY ENGINEER ATTN: LAND USE MATTERS 100 WASHINGTON MILLSBORO, DE 19966	

PROPERTY OWNERS LIST (OCEAN TOWNSHIP)

BLOCK	LOT	ADDRESS (MAILING ADDRESS)	BLOCK	LOT	ADDRESS (MAILING ADDRESS)
140.15	1	DIAZ, LUIS & LUZ 207 BIMBLER BOULEVARD OCEAN, NJ 07712	140.17	4	CUMMINGS, JOHN J & ALINE 311 BELMONT AVENUE OCEAN, NJ 07712
140.15	2	RIZZO, MICHAEL F & KRISTEN A 205 BIMBLER BOULEVARD OCEAN, NJ 07712	140.17	5	AQUILINO, ROCCO R 307 BELMONT AVENUE OCEAN, NJ 07712
140.15	3	DORFMAN, DONALD 203 BIMBLER BOULEVARD OCEAN, NJ 07712	140.17	6	REID, GINA 305 BELMONT AVENUE OCEAN, NJ 07712
140.15	4	BEALE, JEMAL J 201 BIMBLER BOULEVARD OCEAN, NJ 07712	140.17	7	GILL, PATRICIA B 303 BELMONT AVENUE OCEAN, NJ 07712
140.16	1	NUTTER, CRAIG & DANISHA A 219 BELMONT AVE OCEAN TOWNSHIP, NJ 07712	140.17	8	TOWNSHIP OF OCEAN 399 MONMOUTH ROAD OAKHURST, NJ 07755
140.16	2	OLSON, ANN 1828 ASBURY AVENUE OCEAN, NJ 07712	140.17	9	GARBER, MARK & KALVAR CINDY J 213 BELMONT AVENUE OCEAN, NJ 07712
140.16	3	GARBER, MARK & KALVAR CINDY J 213 BELMONT AVENUE OCEAN, NJ 07712	140.17	9	OUTDOOR SYSTEMS, INC. 185 US HIGHWAY 46 FAIRFIELD, NJ 07004
140.16	4	TOWNSHIP OF OCEAN 399 MONMOUTH ROAD OAKHURST, NJ 07755	140.17	9	OUTDOOR SYSTEMS, INC. 185 US HIGHWAY 46 FAIRFIELD, NJ 07004
140.16	5	TOWNSHIP OF OCEAN 399 MONMOUTH ROAD OAKHURST, NJ 07755	140.17	10	TOWNSHIP OF OCEAN 399 MONMOUTH ROAD OAKHURST, NJ 07755
140.17	1	CASTELLANA, MICHAEL T & LAW, S.D. 317 BELMONT AVENUE OCEAN, NJ 07712	140.17	10	TWP OF OCEAN & OUTDOOR SYSTEMS, INC. 185 US HIGHWAY 46 FAIRFIELD, NJ 07004
140.17	2	TOWNSHIP OF OCEAN 399 MONMOUTH ROAD OAKHURST, NJ 07755	140.17	11	NAZON, PERRY, SR. 1406 MONROE AVENUE NEPTUNE, NJ 07753
140.17	3	CARRETTA, WARREN M & DOROTHY 315 BELMONT AVENUE OCEAN NJ, 07712	140.18	7	BERCOVICZ, ALON 415 BELMONT AVENUE ASBURY PARK, NJ 07712
			140.18	7	BERCOVICZ, ALON 415 BELMONT AVENUE ASBURY PARK, NJ 07712

C-1 ZONE DATA
PLANNED COMMERCIAL DEVELOPMENT

ITEM	REQ. PERMITTED	PREV. APPROVED	PROPOSED
MIN. LOT AREA	2,500 AC	13,578 AC	NO CHANGE
MAX. DENSITY	N/A	N/A	N/A
MAX. F.A.R.	0.06	0.06	NO CHANGE
MIN. LOT WIDTH	500 FT	527.7 FT	NO CHANGE
MIN. LOT FRONTAGE	500 FT	2,244 FT	NO CHANGE
MIN. LOT DEPTH	600 FT	753.3 FT	NO CHANGE
MIN. BUILDING SETBACKS			
FRONT YARD (ASBURY AVE.)	50 FT	36.6 FT *	NO CHANGE
FRONT YARD (HIGHWAY INT.)	50 FT	39.6 FT *	NO CHANGE
FRONT YARD (NJ RT 35)	50 FT	50.00 FT	NO CHANGE
SIDE YARD	30 FT	199.1 FT	NO CHANGE
SIDE YARD (COMBINED)	60 FT	199.1 FT	NO CHANGE
REAR YARD	40 FT	N/A	N/A
MAXIMUM % BLDG COVERAGE	30%	6.09%	NO CHANGE
MAXIMUM % LOT COVERAGE	65%	34.61%	NO CHANGE
MAXIMUM NUMBER OF STORIES	2 STORIES	1 STORY	NO CHANGE
MAXIMUM BUILDING HEIGHT	40 FT	38 FT	NO CHANGE
MIN. IMPROVABLE AREA (M.I.A.)	84,900 SF	205,196 SF	NO CHANGE
M.I.A. - DIAMETER OF CIRCLE	189 FT	361.9 FT	NO CHANGE
OFF-STREET LOADING			
MIN. SPACES	1	FOUR (4)	NO CHANGE
MIN. WIDTH	15 FT	15 FT	NO CHANGE
MIN. LENGTH	45 FT	45 FT	NO CHANGE
EXISTING USE: VACANT INDUSTRIAL BUILDING			
PROPOSED USE: RETAIL, CONVENIENCE STORE W/ GAS STATION, SHOPPING CENTER, RESTAURANT			
EXISTING FLOOR AREA: 42,030 SF			
PROPOSED FLOOR AREA: SHOPPING CENTER: 20,442 SF			
RETAIL: 8,133 SF			
CONVENIENCE STORE: 5,670 SF			
RESTAURANT: 3,316 SF			
PARKING			
SIZE (ADA)	12 FT X 18 FT	N/A	12 FT X 18 FT
SIZE (RETAIL W/CARTS)	9.5 FT X 18 FT	N/A	9.5 FT X 18 FT
FRONT SETBACK	30 FT	37.00 FT	164.60 FT
MIN. SETBACK FROM BLDG.	10 FT	N/A	10 FT
MIN. BUFFER	10 FT	N/A	10 FT
SIGNS			
FRONT FACADE WALL-MOUNTED SIGN (EAST)			
MAX. SIZE PERMITTED	48 SF	N/A	37.57 SF
MAX. MOUNTING HEIGHT	8 FT	N/A	19 FT
MAX. QUANTITY	1	N/A	1
MAX. PROJECTION ALLOWED	12 IN.	N/A	9 IN.
SECONDARY FACADE WALL-MOUNTED SIGN (NORTH)			
MAX. SIZE PERMITTED	24 SF	N/A	37.41 SF
MAX. MOUNTING HEIGHT	8 FT	N/A	21 FT
MAX. QUANTITY	1	N/A	1
MAX. PROJECTION ALLOWED	12 IN.	N/A	9 IN.
SECONDARY FACADE WALL-MOUNTED SIGN (SOUTH)			
MAX. SIZE PERMITTED	24 SF	N/A	37.41 SF
MAX. MOUNTING HEIGHT	8 FT	N/A	21 FT
MAX. QUANTITY	1	N/A	1
MAX. PROJECTION ALLOWED	12 IN.	N/A	9 IN.
MENU BOARD	0	N/A	1
PRE-SALE MENU BOARD	0	N/A	1
CLEARANCE BAR	0	N/A	1

PARKING CALCULATIONS:

(PER TOWNSHIP ORDINANCE §412.17 TABLE 4.2)	REQUIRED	PROPOSED
RETAIL	8,133 SF @ 1 STALL / 250 SF	33 STALLS
CONVENIENCE STORE	5,670 SF @ 1 STALL / 200 SF + 1/EMPLOYEE	39 STALLS
SHOPPING CENTER	20,442 SF @ 1 STALL / 250 SF	82 STALLS
RESTAURANT	3,316 SF @ 1 STALL / 60 SF + 1/EMPLOYEE	58 STALLS (V)
* PREVIOUSLY APPROVED		

DRAWING INDEX

1	T-1	TITLE SHEET
2	N-1	NOTES & LEGEND
3	EX-1	EXISTING CONDITIONS
4	AP-1	APPROVED SITE PLAN
5	OS-1	OVERALL SITE PLAN
6	PS-1	PROPOSED SITE & GEOMETRY PLAN
7	GD-1	GRADING AND UTILITY PLAN
8	DT-1	CONSTRUCTION DETAILS I
9	DT-2	CONSTRUCTION DETAILS II
10	DT-3	CONSTRUCTION DETAILS III
11	DT-4	CONSTRUCTION DETAILS IV
12	LL-1	LANDSCAPE PLAN I

PROPOSED VARIANCES:

- SECTION 416.07.B.3.a-SECONDARY SIGN MAXIMUM SIZE SHALL BE 50% OF PRIMARY SIGN, WHEREAS PROPOSED SIGN IS 77.94%
- SECTION 416.07.B.1.b-SECONDARY SIGN MAXIMUM MOUNTING HEIGHT SHALL BE 8 FEET, WHEREAS 21 FEET IS PROPOSED
- SECTION 416.07.B.3.a-SECONDARY SIGN MAXIMUM SIZE SHALL BE 50% OF PRIMARY SIGN, WHEREAS PROPOSED SIGN IS 78.27%
- SECTION 416.07.B.1.b-SECONDARY SIGN MAXIMUM MOUNTING HEIGHT SHALL BE 8 FEET, WHEREAS 19 FEET IS PROPOSED
- SECTION 416.06.S-SIGNS NOT SPECIFICALLY LISTED AS PERMITTED SIGNS

OWNER/APPLICANT:

M&M AT NEPTUNE, LLC.
1260 STELTON ROAD
PISCATAWAY, NJ 08854

NO.	REVISIONS	DATE	BY

DRAWN BY:	DNV	SCALE:	N/A
CHECKED BY:	PGS	ACCORD TO:	101-T
PROJECT NO.:	RCA	DATE:	9/24/24

NOT APPROVED FOR CONSTRUCTION
UNLESS INDICATED OTHERWISE
FINAL FOR SEWER DESIGN

EP DESIGN SERVICES

2001 Hamilton Boulevard
South Plainfield, New Jersey 07080
(908) 205-0943 Fax: (908) 755-5212

New Jersey Certificate of Authorization #: 24C28128500

**AMENDED PRELIMINARY & FINAL
MAJOR SITE PLAN**

FOR
**M & M AT NEPTUNE, LLC.
BLOCK 701 - LOT 1
TOWNSHIP OF NEPTUNE**

MIDDLESEX COUNTY
NEW JERSEY

THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION
PERICLES STAVRIDIS
PROFESSIONAL ENGINEER

Pericles Stavridis
10/22/24
NEW JERSEY LICENSE NO. 24GE 0567700

TITLE SHEET
T-1

DRAWING:	TITLE SHEET
SHEET:	1 of 12
REVISION:	

GENERAL NOTES:

- 1. BOUNDARY AND TOPOGRAPHIC INFORMATION FOR BLOCK 701, LOT 1 IN THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY (MORE COMMONLY KNOWN AS 704 HIGHWAY 35, NEPTUNE TOWNSHIP, NJ) BASED ON SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC DATED 10/31/13, AND REVISED THROUGH 04/01/19," BY SOLSTICE SURVEYING SURVEYING LONG VALLEY, NJ 07853.
2. ALL CONSTRUCTION IS TO BE PERFORMED IN STRICT CONFORMANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY & STATE AND/OR ANY OTHER GOVERNING BODIES STANDARDS.
3. THESE GENERAL NOTES APPLY TO ALL SHEETS IN THE SET UNLESS OTHERWISE SPECIFIED THROUGHOUT.
4. THE DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. CONTRACTOR TO VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OR DEMOLITION (1-800-272-1000). ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER. ALL EXISTING UTILITIES THAT ARE TO BE RELOCATED OR ALTERED IN ANY MANNER ARE TO BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANIES STANDARDS.
5. CONSTRUCTION MATERIAL AND METHODS NOT OTHERWISE SPECIFIED OR SHOWN HEREIN SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (THE LATEST EDITION AND AMENDMENTS).
A. N.J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", THE LATEST EDITION AND AMENDMENTS.
B. CURRENT, PREVAILING MUNICIPAL, COUNTY AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS AND REQUIREMENTS.
C. CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
D. CURRENT MANUFACTURER'S SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
6. FOR SPECIFIC BUILDING DETAILS AND ELEVATIONS, SEE ARCHITECTURAL DRAWINGS.
7. TOPSOIL THAT HAS BEEN REMOVED FOR THE GRADING OF THE SITE SHALL NOT BE USED AS SPOIL. THE TOPSOIL SHALL BE REDISTRIBUTED ON GREEN AREAS SO AS TO PROVIDE A MINIMUM OF AT LEAST 6 INCHES OF DEPTH ON THOSE AREAS.
8. COMPACTION OF FILL AREAS BENEATH ALL PROPOSED UTILITIES AND STRUCTURES SHOULD MEET ALL CODE REQUIREMENTS AND BE EQUAL TO THE MINIMUM 95% MODIFIED PROCTOR DENSITY.
9. NO SOIL MATERIAL MAY BE IMPORTED TO OR EXPORTED FROM THE SITE, EXCEPT IN ACCORDANCE WITH AN APPROVAL AND EXECUTED FINAL PLAT, NOR WITHOUT THE PRIOR APPROVAL OF THE MUNICIPAL COUNCIL.
10. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES.
11. REFUSE AND RECYCLING ENCLOSURES SHALL BE CONSTRUCTED OF MATERIALS SIMILAR TO BUILDINGS.
12. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
13. IT SHALL BE THE OWNER AND/OR CONTRACTORS RESPONSIBILITY TO CONDUCT SOIL TESTING TO CONFIRM APPLICABILITY OF PROPOSED IMPROVEMENTS AND CONSTRUCTION TECHNIQUES WITH RESPECT TO SUBSURFACE SOIL.
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA, LOCAL, & STATE GOVERNING SAFETY CODES, AND TECHNICAL SPECIFICATIONS OF THE BOROUGH, RSIS, AND ALL OTHER APPLICABLE CODES.
15. ALL CURB RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
16. ALL CURBS SHALL BE DEPRESSED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME AND HANDICAP RAMPS INSTALLED.
17. SIDEWALKS SHALL BE CONSTRUCTED WITH FOUR-INCH THICK CLASS "A" CEMENT CONCRETE, 4,500 PSI (MINIMUM). CONCRETE SLAB THICKNESS SHALL BE CONSTRUCTED AS SPECIFIED ON PLANS AND DETAILS, 4,500 PSI (MINIMUM).
18. ANY EXISTING TRAFFIC LINES TO BE REMOVED SHALL BE REMOVED BY GRINDING METHOD.
19. THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AGENCY REVIEW AND APPROVAL AND FOR CONSTRUCTION. APPROVALS REQUIRED SHALL BE OBTAINED AND ALL CONDITIONS OF APPROVAL SHALL BE SATISFIED. THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
20. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
21. THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL PROVISIONS OF TOWNSHIP AND COUNTY STANDARDS AND SPECIFICATIONS.
22. ALL MAINTENANCE AND SECURITY ON SITE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
23. THE MAINTENANCE AND INSPECTION OF THE PROPOSED STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
24. DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
25. THE APPLICANT SHALL SUBMIT AS-BUILT PLANS UPON FINAL COMPLETION OF PROJECT.

SURVEY NOTES:

- 1. BOUNDARY AND TOPOGRAPHIC INFORMATION FOR BLOCK 701, LOT 1 IN THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY (MORE COMMONLY KNOWN AS 704 HIGHWAY 35, NEPTUNE TOWNSHIP, NJ) BASED ON SURVEY TITLED, "BOUNDARY AND TOPOGRAPHIC DATED 10/31/13, AND REVISED THROUGH 04/01/19," BY SOLSTICE SURVEYING SURVEYING LONG VALLEY, NJ 07853.
2. HORIZONTAL DATUM - NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
3. VERTICAL DATUM - NAVD 88 PER ABOVE REFERENCED SURVEY.
4. THE SURVEY/PLAT IS SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY REVEAL.
5. THE SURVEY DOES NOT SHOW OR INTEND TO SHOW ANY NON-RECORDED EASEMENTS.
6. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY, CLEARLY MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED VALID COPIES.

DEMOLITION NOTES:

- 1. ALL DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE OR LOCAL REGULATIONS. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND WILL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO ABANDONMENT AND/OR DEMOLITION.
2. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
3. PRIOR TO STARTING ANY DEMOLITION, THE CONTRACTOR IS RESPONSIBLE FOR:
A. OBTAINING ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO BUILDING, SIDEWALK/STREET CLOSING, AND DEMOLITION, AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK AS WELL AS NOTIFYING ALL UTILITY COMPANIES THAT CONSTRUCTION OF THE WORK UNDER THIS PLAN WILL PASS THROUGH AREAS WHERE THEIR SERVICES EXIST 72 HOURS IN ADVANCE.
C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. ALL UTILITY SERVICES TO EXISTING RESIDENTIAL AND COMMERCIAL BUILDINGS THAT ARE TO REMAIN, WILL BE MAINTAINED DURING SITE CONSTRUCTION UNTIL THE REPLACEMENT UTILITIES ARE FULLY OPERATIONAL AND ACCEPTED BY THE APPROPRIATE AUTHORITY. THE CONTRACTOR SHALL PROVIDE ADVANCE NOTICE TO THE BUILDING OWNERS OF ANY TEMPORARY INTERRUPTIONS OF SERVICES. TEMPORARY INTERRUPTIONS MAY BE NEEDED TO CONNECT THE EXISTING SERVICES TO THE NEWLY CONSTRUCTED UTILITIES AND TO TEST THE NEW UTILITIES. ALL UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE.
F. ENSURING THAT SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC., OCCURS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS, OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT.
G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
H. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
4. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

- 5. THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
6. THE CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
7. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
8. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
10. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
11. THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
12. THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PREVENT THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
13. THE CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT BE LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
14. THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
15. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.
16. ALL SUITABLE MATERIAL SHALL BE CRUSHED AND STOCKPILED ON SITE. MATERIAL SHALL BE SEPARATED FROM SITE BY STOCKPILING ON 3MM CLEAR PLASTIC. MATERIAL TO BE CRUSHED TO SPECIFICATION PROVIDED BY GEOTECHNICAL ENGINEER FOR STRUCTURAL FILL.
17. THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES.
18. ALL SITE FEATURES WITHIN THE LIMIT OF DEMOLITION (TREES, LANDSCAPING, UTILITY POLES, ETC.) ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
19. IF APPLICABLE, SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
20. TBR = TO BE REMOVED

SIGNAGE AND STRIPING NOTES:

- 1. FOR SPECIFIC BUILDING FACADE SIGNAGE DETAILS, SEE ARCHITECTURAL DRAWINGS.
2. ALL TRAFFIC SIGNAGE SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
3. STOP BAR, LETTERS, AND ARROWS TO BE THERMOPLASTIC, PER NJDOT STANDARD SPECIFICATIONS.
4. TRAFFIC STRIPPING LINES TO BE EPOXY PAINT, PER NJDOT STANDARD SPECIFICATIONS.

GRADING & DRAINAGE NOTES:

- 1. SITE GRADING & UTILITY WORK ARE TO BE PERFORMED IN A MANNER TO MINIMIZE DAMAGE TO EXISTING VEGETATION AND TREES. ALL AREAS NOT AFFECTED BY CONSTRUCTION ARE TO REMAIN NATURAL AND UNDISTURBED.
2. ALL LAWN AREAS AND OPEN SPACE SHALL BE GRADED TO 2% MINIMUM GRADE AND TO A MAXIMUM GRADE OF 3 HORIZONTAL TO 1 VERTICAL (33%).
3. ALL ACCESSIBLE RAMPS TO CONFORM TO CURRENT A.D.A. AND APPLICABLE STANDARDS.
4. ALL PROPOSED LAWN AREAS SHALL BE GRADED WITH LIGHT WEIGHT CONSTRUCTION EQUIPMENT.
5. ALL STORM STRUCTURES SHALL BE PRECAST CONCRETE, UNLESS OTHERWISE NOTED.
6. ALL OF THE PROPOSED STORMWATER MANAGEMENT BASINS ARE TO BE MAINTAINED BY THE APPLICANT.
7. ALL STORM SEWERS ARE TO BE ADS N-12 HIGH-DENSITY POLYETHYLENE PIPE (HDPEP) HANCOR SURE - LOK HIGH DENSITY POLYETHYLENE PIPE (HDPEP) OR CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH TONGUE AND GROVE JOINTS, 16 GAUGE ALUMINIZED TYPE II COATED CORRUGATED STEEL PIPE (CMP), AND/OR APPROVED EQUAL AS NOTED.
8. IN ANY SEPARATION THAT IS LESS THAN 6" BETWEEN STORM SEWER AND OTHER UTILITIES, A CONCRETE SADDLE SHALL BE USED.

UTILITY NOTES:

- 1. ALL UTILITIES TO BE INSTALLED UNDERGROUND IN INDIVIDUAL TRENCHES UNLESS OTHERWISE NOTED.
2. ADEQUATE WATER SUPPLY, SEWAGE FACILITIES, AND OTHER UTILITIES TO BE PROVIDED IN ACCORDANCE WITH MUNICIPAL AND STATE REGULATIONS.
3. POTABLE WATER SUPPLY TO BE PROVIDED WITH PROTECTION FROM POLLUTION AND DEGRADATION OF WATER QUALITY IN ACCORDANCE WITH THE STANDARDS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
4. FIRE HYDRANTS, WATER, SEWAGE FACILITIES, AND OTHER NECESSARY IMPROVEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE TOWNSHIP ORDINANCE AND COUNTY AND STATE REGULATIONS.
5. ALL SANITARY SEWER LINES TO CONNECT TO EXISTING SANITARY LINES BY GRAVITY AT THE LOCATIONS SHOWN. REFER TO INDIVIDUAL SITE PLANS FOR SPECIFIC ON-SITE SEWER DESIGN.
6. WATER SERVICE LINES TO BE CONNECTED TO THE EXISTING WATER MAINS AT THE LOCATIONS SHOWN ON THE PROPOSED UTILITY PLANS. REFER TO INDIVIDUAL SITE PLANS FOR SPECIFIC ON-SITE WATER SERVICE DESIGN.
7. WATER LINE AND SANITARY SEWER LINES TO BE A MINIMUM OF 10' SEPARATION HORIZONTALLY OR 18" VERTICALLY UNLESS OTHERWISE NOTED. IN ANY SEPARATION THAT IS LESS THAN 18" BETWEEN SANITARY SEWER AND STORM PIPES, A CONCRETE SADDLE SHALL BE USED.
8. WATERLINES TO HAVE A MINIMUM OF FOUR FEET COVER.
9. ALL EXTERNAL METERS AND EXTERIOR BUILDING MOUNTED UTILITIES TO BE CLEARLY AND PERMANENTLY MARKED.

- 10. KNOX SECURITY BOXES SHALL BE INSTALLED ON EACH BUILDING ON SITE FOR FIRE DEPARTMENT ACCESS.
11. ALL SANITARY SEWER LATERALS SHALL BE SLOPED AT A MINIMUM OF 1.0% FOR 6"Ø PIPES AND A MINIMUM OF 2.0% FOR 4"Ø PIPES, AND SHALL BE NO DEEPER THAN 8 FEET BELOW FINISHED FLOOR ELEVATIONS.
12. WATER COMPANY OR LOCAL MUA SHALL OWN WATER MAINS IN THE EXISTING AND DEDICATED PUBLIC STREETS. ALL OTHER WATER MAINS SHALL BE MAINTAINED BY THE PROPERTY OWNER.
13. THE TOWNSHIP SHALL OWN SEWER MAINS IN THE EXISTING AND DEDICATED PUBLIC STREETS. ALL OTHER SEWER AND SANITARY SEWER CONNECTIONS SHALL BE MAINTAINED BY THE PROPERTY OWNER.
14. SEE ARCHITECTURAL DRAWINGS FOR ALL BUILDING UTILITY CONNECTION LOCATIONS.
15. ALL MECHANICAL JOINT FITTINGS SHALL BE RESTRAINED BY ROMAC GRIP RING OR APPROVED EQUAL.
16. SERVICE LINES SHALL BE EQUIPPED WITH A BACKFLOW DEVICE TO BE INSTALLED IN ACCORDANCE WITH N.J.A.C. SUBCHAPTER 7:10-10.4 AND IN ACCORDANCE WITH THE AUTHORITY'S CONTAINMENT SCHEME. THE BACKFLOW DEVICE SHALL BE AFTER THE METER, WITH A VALVE BEFORE AND AFTER THE DEVICE.
17. ALL STORM AND SANITARY SEWER STRUCTURES SHALL BE PRECAST CONCRETE.
18. ALL SANITARY PIPE TO BE SDR-35 PVC PIPE UNLESS OTHERWISE NOTED. ALL WATERLINES TO BE C900 PVC (JM EAGLE LOC900) UNLESS OTHERWISE NOTED. ALL FITTINGS SHALL BE C900 PVC FITTINGS WITH EBAA IRON 2500 RESTRAINT FITTINGS AND 316SS STAINLESS STEEL HARDWARE OR APPROVED EQUAL. PROPER PIPE COVERAGE IS TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNLESS OTHERWISE NOTED.

alternative waterline material if C900 PVC is not allowed: ALL NEW WATER MAINS TO BE CLASS 52 CEMENT-LINED DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.
19. ALL NEW GAS, ELECTRIC, TELEPHONE AND CABLE TV SERVICE IS TO BE INSTALLED UNDERGROUND THROUGHOUT THE DEVELOPMENT IN ACCORDANCE WITH THE REGULATIONS OF THE LOCAL UTILITY COMPANIES AND TOWNSHIP DESIGN AND INSTALLATION OF ELECTRIC, GAS, TELEPHONE AND CABLE TV TO BE PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL SUCH UTILITIES SHOWN ON ALL PLANS ARE APPROXIMATE.

ACCESSIBLE ROUTE NOTES:

- CURB RAMPS
1. A 5'x5' LANDING AREA SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL RAMPS.
2. THE SLOPE IN ANY DIRECTION OF THE 5'x5' LANDING AREA SHALL NOT EXCEED 2%.
3. THE CURB RAMP RUNNING SLOPE SHALL NOT EXCEED 8.3%.
4. THE LATERAL OR CROSS SLOPE OF THE RAMP SHALL NOT EXCEED 2.0%.
5. ALL RAMPS SHALL DIRECT PEDESTRIAN TRAVEL PERPENDICULAR TO ROADWAY TRAFFIC AND OR PARALLEL WITH TRAVEL ROUTE.
6. SIDE ACCESS SLOPES OR TAPERS ON CURB RAMPS SHALL NOT EXCEED 10% WHERE SIDE ACCESS TO THE RAMP IS PROVIDED. MINIMUM WIDTH OF SIDE SLOPE SHALL BE 5' AT CURB. (only applicable on curb ramp type 1) WHERE SIDE ACCESS IS NOT PROVIDED INTO RAMP, MAXIMUM WIDTH OF SIDE SLOPES SHALL BE 18" AT CURB.
7. REGARDLESS OF CURB CONSTRUCTION THE DEPRESSED CURB AT THE RAMP AND SIDE FLARES SHALL BE POURED CONCRETE.
8. TRUNCATED DOME DETECTABLE WARNING SURFACES SHALL BE PROVIDED AT ALL CURB RAMPS.
9. WARNING SURFACE SHALL SPAN FULL WIDTH OF THE RAMP AND BE 24" LONG.
10. WARNING SURFACE SHALL BE LOCATED ON THE RAMP AT THE LOWEST POINT OF THE RAMP.
11. WHERE TWO RAMPS ARE PROVIDED AT ONE CORNER FOR CROSSING THE RAMPS SHALL BE ORIENTED AT 90 DEGREES APART.
12. A SINGLE 5'x5' LANDING AREA CAN SERVE TWO RAMPS ORIENTED AT 90 DEGREES TO EACH OTHER.
13. LANDING AREAS SHALL BE POURED SEPARATELY FROM THE RAMPS, CURBS AND SIDEWALKS TO ENSURE PROPER SLOPES.
14. RAMPS SHALL BE POURED FLUSH WITH BACK SIDE OF CURB AND SIDEWALK.
PARKING STALLS
1. THE SLOPE IN ANY DIRECTION OF HANDICAP STALLS AND STRIPED AREAS SHALL NOT EXCEED 2.0%
2. HANDICAP STALLS SHALL BE THE MOST PROXIMATE TO THE BUILDING ENTRANCE AS FEASIBLE.
RAMPS
1. ANY NON CURB RAMP ACCESSIBLE ROUTE THAT EXCEEDS 4.99% SHALL BE CONSIDERED A RAMP.
2. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT CODE.
NON-RAMP ACCESSIBLE ROUTE
1. RUNNING SLOPE OF ROUTE SHALL NOT EXCEED 4.9%.
2. LATERAL OR CROSS SLOPE OF THE ROUTE SHALL NOT EXCEED 2.0%.
3. MINIMUM SIDEWALK WIDTH SHALL BE 4' (OR AS PER MUNICIPAL REQUIREMENTS). IF AN ACCESSIBLE ROUTE IS LESS THAN 5' IN WIDTH, A 5'x5' PASSING AREA SHALL BE PROVIDED AT A MINIMUM OF EVERY 200 FEET.
4. MINIMUM SIDEWALK WIDTH FLUSH WITH CURB AT PARKING STALLS SHALL BE 6'.
5. A 5'x5' LANDING SHALL BE PROVIDED AT ALL DOORWAY ENTRANCES AND EXITS.
6. THE SLOPE IN ANY DIRECTION OF THE 5'x5' LANDING SHALL NOT EXCEED 2%.

LEGEND

EXISTING
1/24' EXIST. 1ft COUNTOUR LINE
1/25' EXIST. 5ft COUNTOUR LINE
-4-4' EXIST. POTABLE WATER LINE
-5-5' EXIST. SANITARY SEWER LINE
-0-0' EXIST. GAS LINE
-2-2' EXIST. ELECTRIC LINE
-△- EXIST. WETLANDS
- EXIST. WETLANDS TRANSITION LIMIT
- EXIST. WETLANDS BUFFER
- FLOODPLAIN
- EXIST. FENCE LINE
- EXIST. TREE LINE
- EXIST. CONC. SIDEWALK
- BOUNDARY LINE
- PRIMARY BUILDING SETBACK LINE
- EXIST. CURB LINE
- EXIST. STORM PIPE
TC 100.50 GD 100.00 X SPOT ELEVATION
- EXIST. FIRE HYDRANT
- SIAMESE CONNECTION
- EXIST. LIGHT POLE
- EXIST. "B" INLET
- EXIST. UTILITY POLE
- EXIST. MANHOLE
- EXIST. "A" OR "E" INLET
- EXIST. HEADWALL
PROPOSED
123' PROP. 1ft COUNTOUR LINE
125' PROP. 5ft COUNTOUR LINE
- X - X - PROP. CURB LINE
- w - w - PROP. POTABLE WATER LINE
- ss - ss - PROP. SANITARY SEWER LINE
- g - g - PROP. GAS LINE
- ETC - PROP. ELECTRIC, TELEPHONE, CABLE
- PROP. TREE LINE
- PROP. STORM PIPE
- PROP. CONCRETE SIDEWALK
- PROP. SILT FENCE
- LOD - LIMIT OF DISTURBANCE
- PROP. WALL
- PROP. SIGN
- X - PROP. PARKING COUNT
- ## - COMBINED AREA PARKING COUNT
- PROP. STONE PAD
- TC 100.50 GD 100.00 PROP. SPOT ELEVATION
- PROP. FIRE HYDRANT
- PROP. FIRE DEPARTMENT CONNECTION (F.D.C.)
- PROP. LIGHT POLE
- PROP. "B" INLET
- PROP. MODIFIED "B" INLET
- PROP. "A" INLET
- PROP. "E" INLET
- PROP. "YARD INLET"
- PROP. "STORM MANHOLE"
- PROP. "SANITARY SEWER MANHOLE"
- PROP. HEADWALL
- PROP. UTILITY POLE
- PROP. TRANSFORMER PAD

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Table with 2 columns: CHECKED BY (DNV), DESIGNED BY (PGS), APPROVED BY (RCA), SCALE (N/A), ACQ NO. (102-N), DATE (9/24/24). Contains project metadata.

NOT APPROVED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE
FINAL FOR SEWER DESIGN

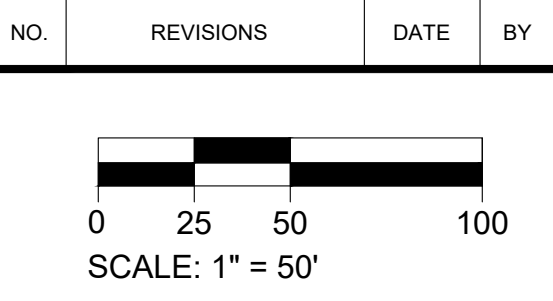
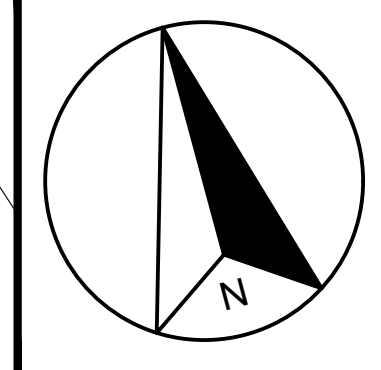
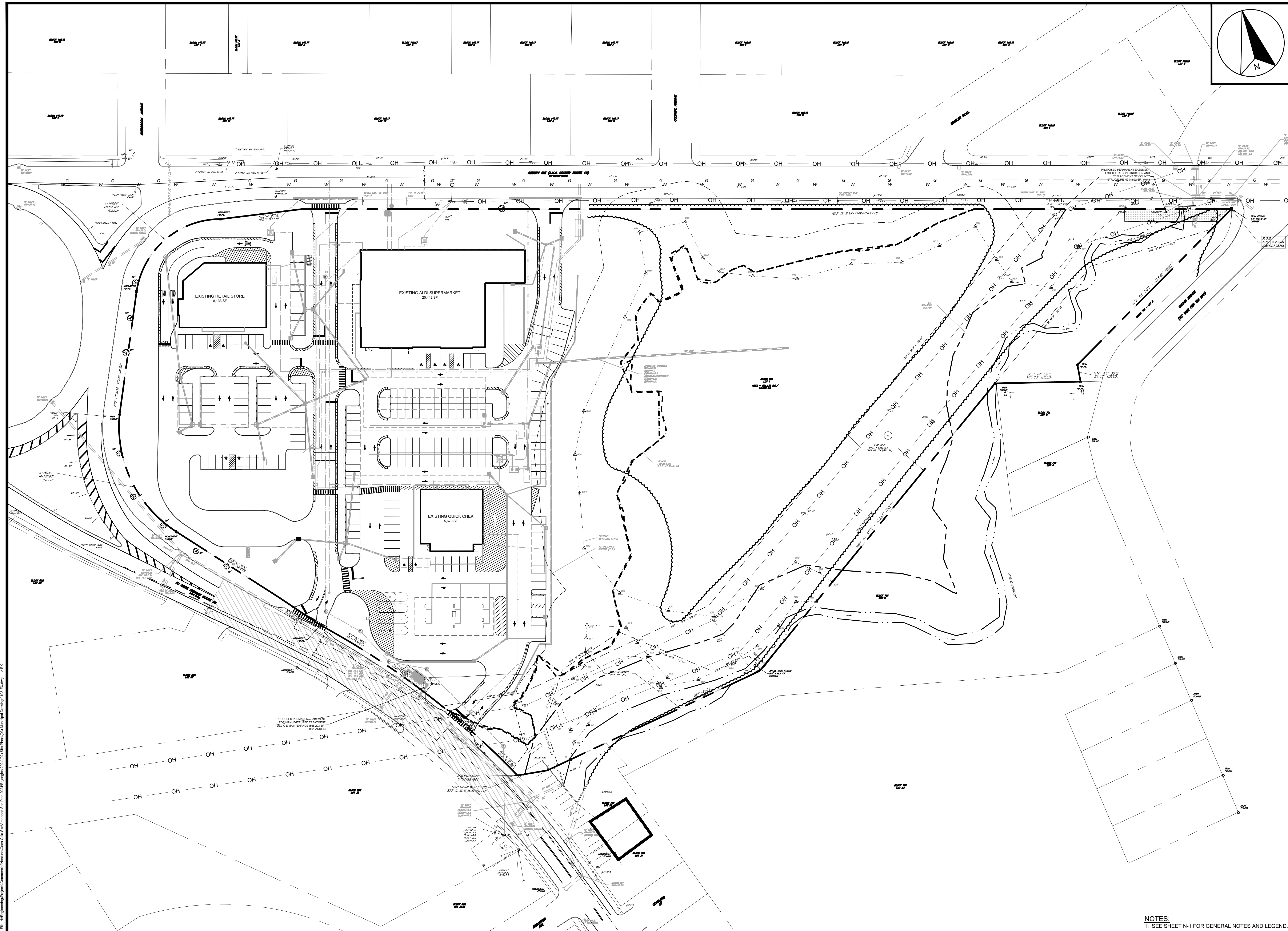
EP DESIGN SERVICES
2001 Hamilton Boulevard
South Plainfield, New Jersey 07080
(908) 200-0943 Fax: (908) 255-3272
NEW JERSEY Certificate of Authorization #: 24G28128500
NEW JERSEY

AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR M & M AT NEPTUNE, LLC. BLOCK 701 - LOT 1 TOWNSHIP OF NEPTUNE MIDDLESEX COUNTY

THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION
PERICLES STAVRIDIS
PROFESSIONAL ENGINEER
Paul
NEW JERSEY LICENSE NO. 24GE 05767700
10/27/24

TITLE: NOTES & LEGEND
DRAWING: N-1
SHEET: 2 of 12
REVISION: --

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CHECKED BY: PGS	ACCORD: 103-EX
PREPARED BY: RCA	DATE: 9/24/24

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NEW JERSEY

**AMENDED PRELIMINARY & FINAL
MAJOR SITE PLAN**

FOR
M & M AT NEPTUNE, LLC.
BLOCK 701 - LOT 1
TOWNSHIP OF NEPTUNE

MIDDLESEX COUNTY

THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION
PERICLES STAVRIDIS
PROFESSIONAL ENGINEER

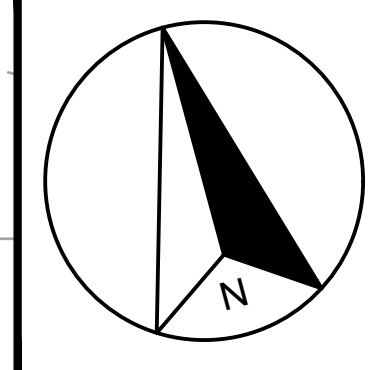
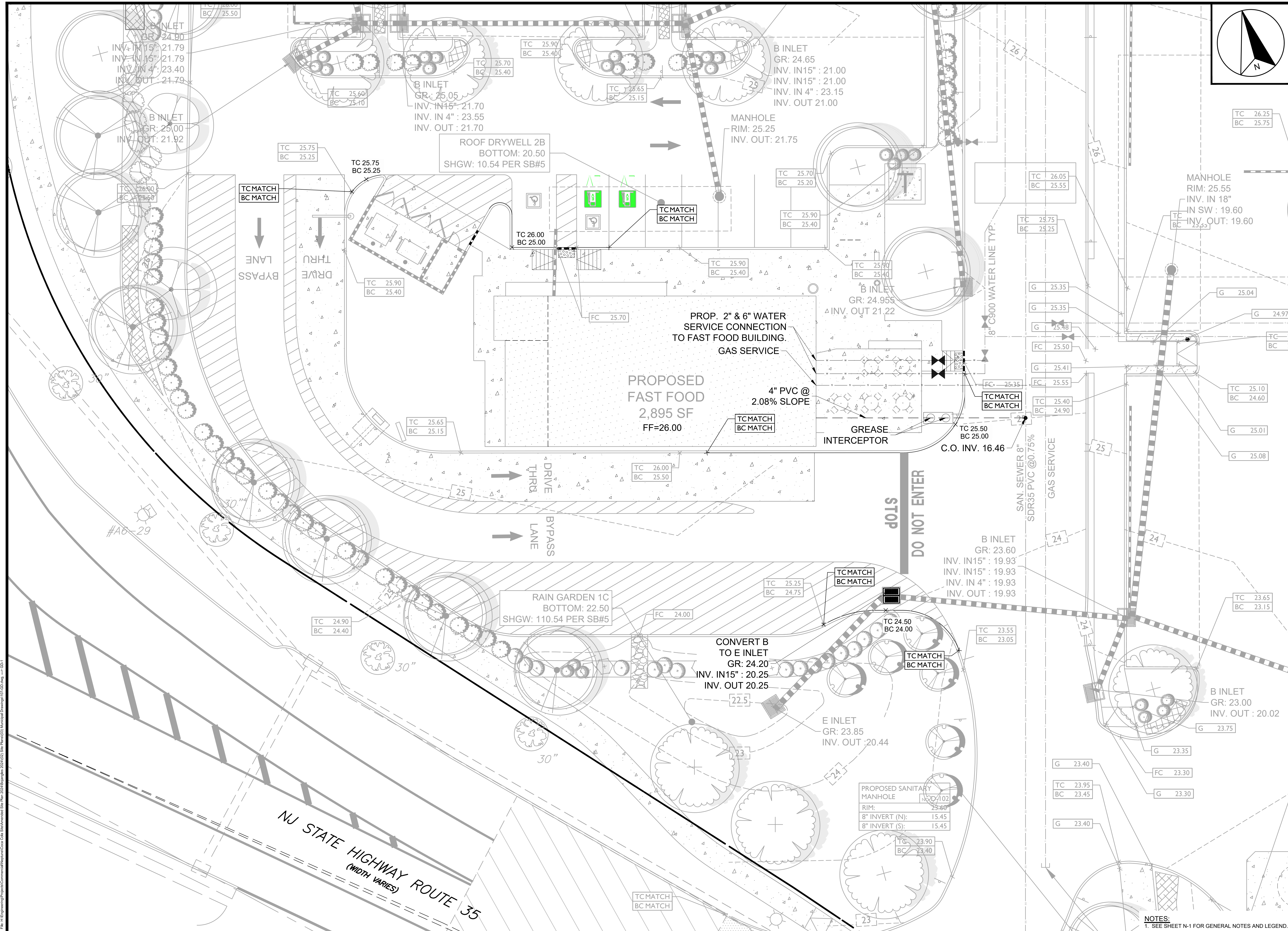
Pericles Stavridis
10/22/24
NEW JERSEY LICENSE No. 24GE 05767700

EXISTING CONDITIONS
PLAN
EX-1

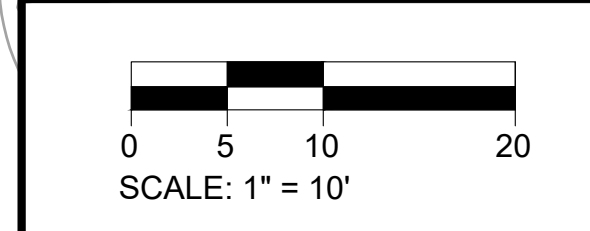
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NOTES:
1. SEE SHEET N-1 FOR GENERAL NOTES AND LEGEND.



NO.	REVISIONS	DATE	BY



DRAWN BY: DNV	SCALE: 1"=10'
CHECKED BY: PGS	ACCORD: 107-GD
PREPARED BY: RCA	DATE: 9/24/24

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EP DESIGN SERVICES

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South Plainfield, New Jersey 07080
(908) 200-0943 Fax: (908) 255-3272

New Jersey Certificate of Authorization #: 24G428128500

NEW JERSEY

**AMENDED PRELIMINARY & FINAL
MAJOR SITE PLAN**

FOR
M & M AT NEPTUNE, LLC.
BLOCK 701 - LOT 1
TOWNSHIP OF NEPTUNE

THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION
PERICLES STAVRIDIS
PROFESSIONAL ENGINEER

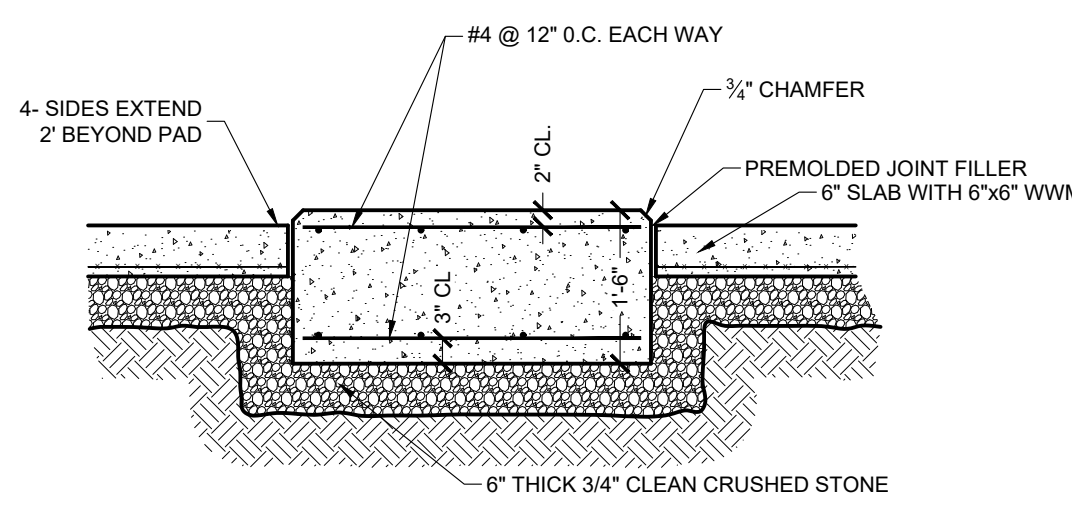
Pericles Stavridis
10/22/24
NEW JERSEY LICENSE NO. 24GE 05767700

**PROPOSED GRADING
& UTILITY PLAN**

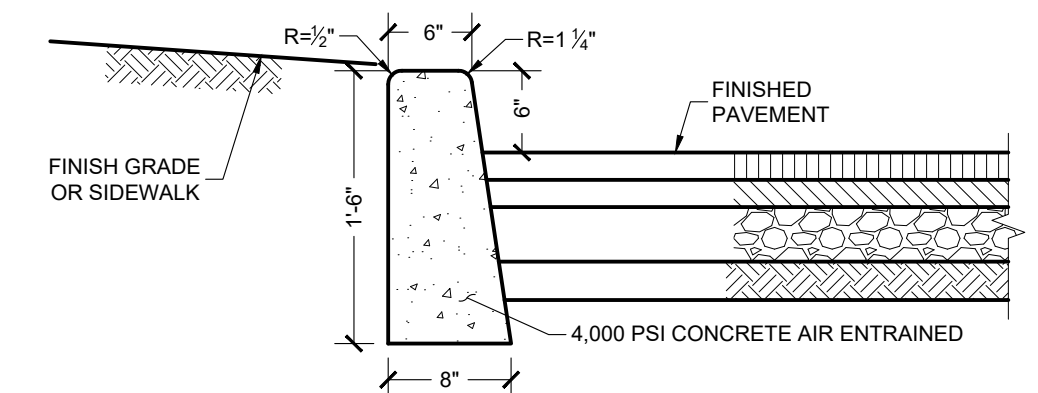
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SHEET: 7 of 12

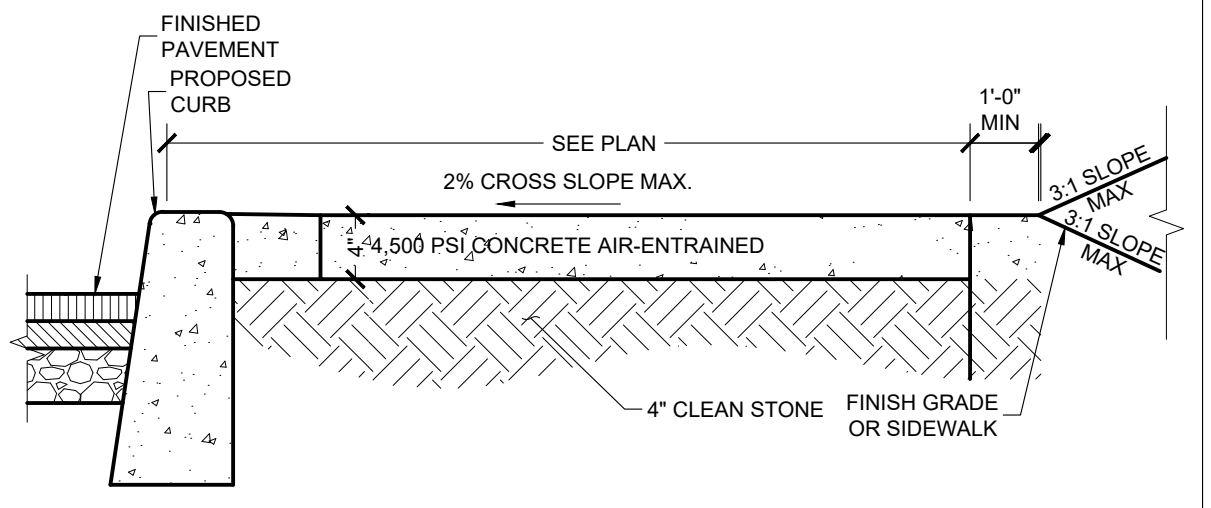
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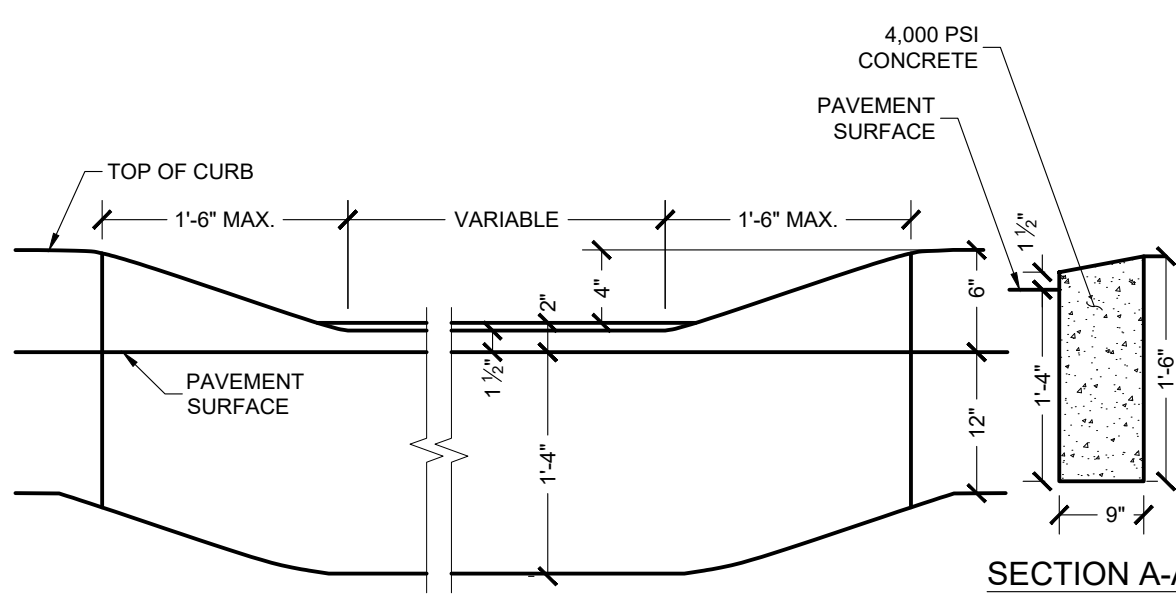
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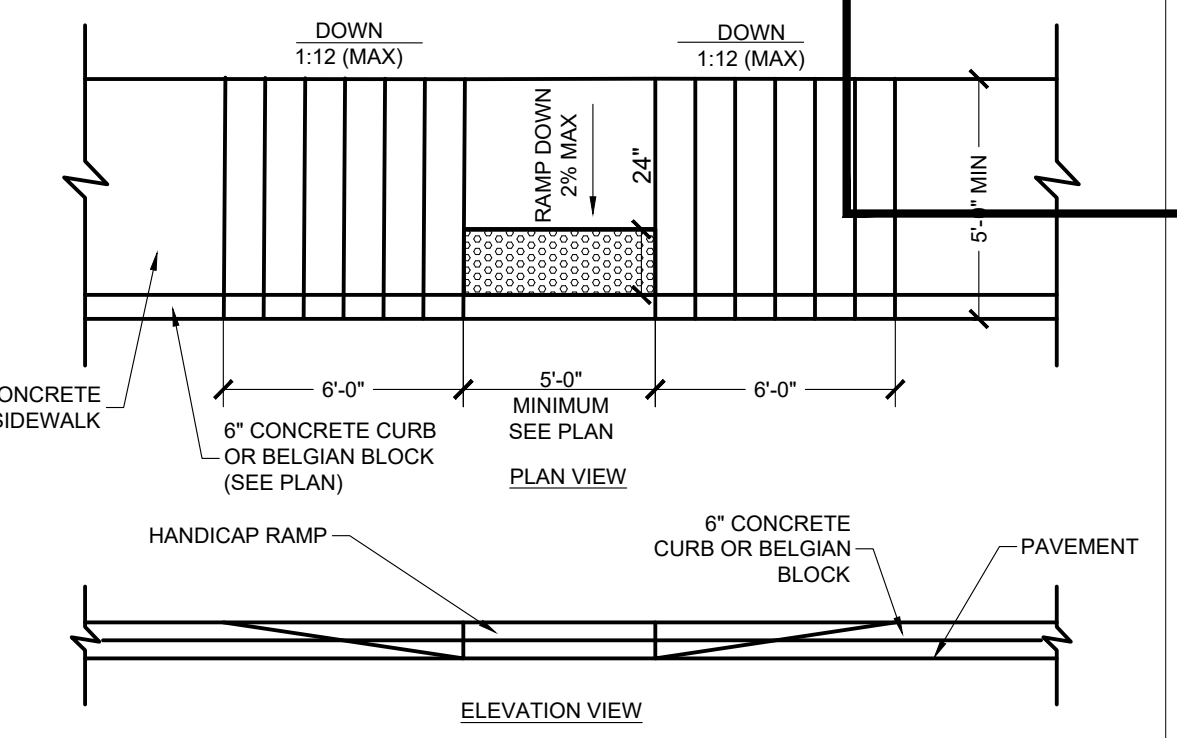
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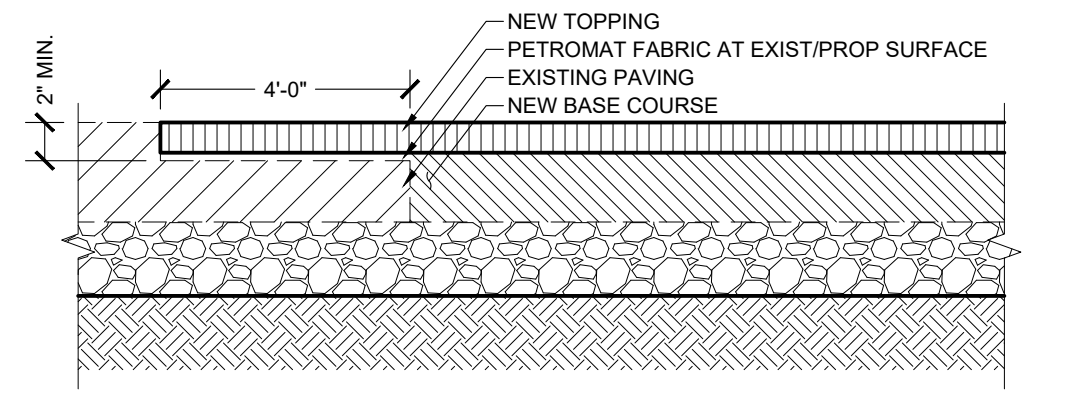
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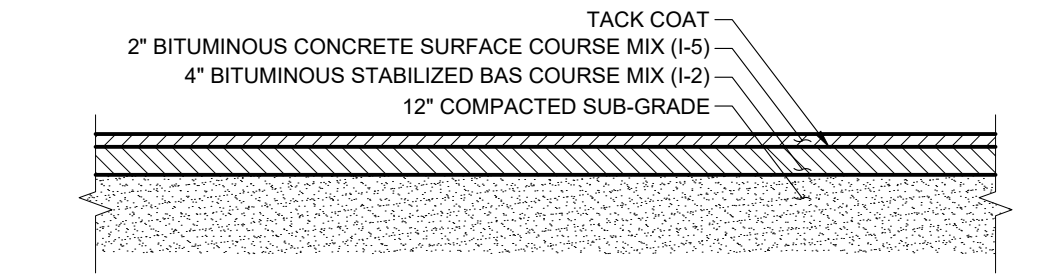
TYPICAL DEPRESSED CONCRETE CURB DETAIL
NTS



TYPICAL HANDICAP RAMP DETAIL TYPE "B"
NTS



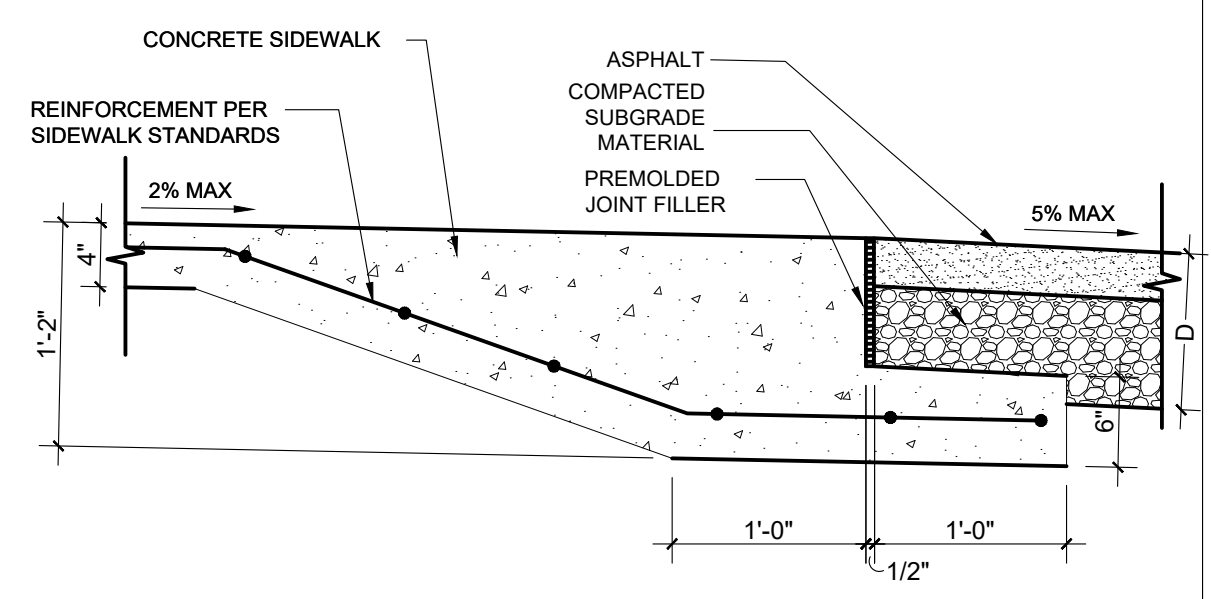
TYPICAL PAVING SECTION AT EXISTING/PROPOSED PAVING JOINT
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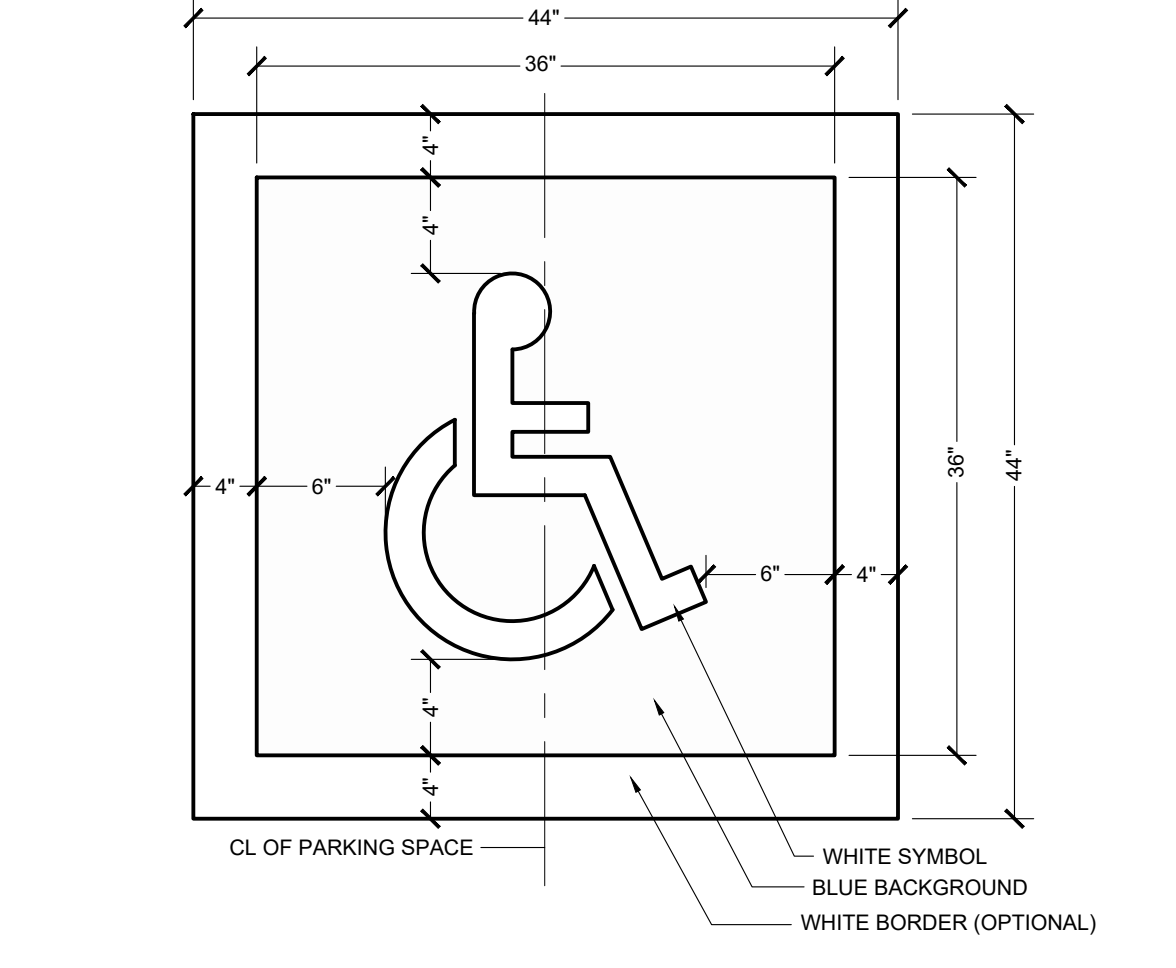
BITUMINOUS PAVING

1. BITUMINOUS CONCRETE WEARING COURSE (TOPPING)
THE BITUMINOUS CONCRETE WEARING COURSE, HOT MIX, SHALL BE 1-5 MIX CONSTRUCTED IN ACCORDANCE WITH SECTION 404 OF THE NJDOT HIGHWAYS SPECIFICATIONS, OF THICKNESS AND CONSTRUCTIONS SHOWN ON THE CONTRACT DRAWINGS
2. BITUMINOUS STABILIZED BASE COURSE
MATERIAL & METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 304, AND SECTION 903 PLANT MIX PAVEMENTS, OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BASE COURSE SHALL BE TYPE I-2.
3. TOP COURSE
MATERIAL & METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 404, AND SECTION 903 PLANT MIX PAVEMENTS, OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BASE COURSE SHALL BE TYPE I-5.
4. PRIME AND TACK COATS
PRIME AND TACK COATS SHALL BE IN ACCORDANCE WITH SECTION 404.13 OF THE NJDOT SPECIFICATIONS.
5. BITUMINOUS PAVEMENT SEALER
THE SEALER SHALL BE SUPER PAVEMENT SEALER (2 COAT APPLICATION) MANUFACTURED BY KOPPERS COMPANY, INC. THE SEALER SHALL BE APPLIED TO THE NEW BITUMINOUS SURFACE ACCORDING TO THE MANUFACTURES RECOMMENDATIONS.

PARKING LOT PAVEMENT DETAIL
NTS

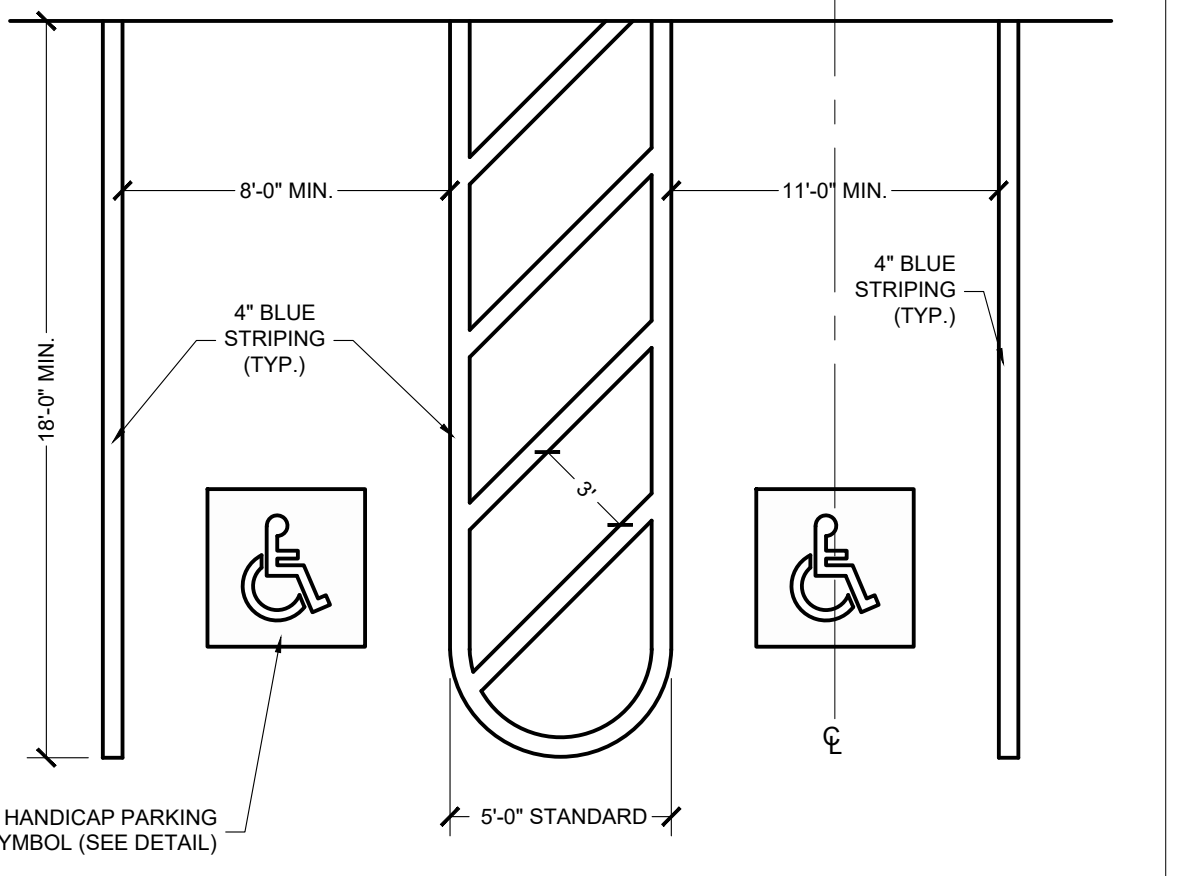


DRIVE-THRU CONCRETE TO ASPHALT TRANSITION DETAIL
NTS



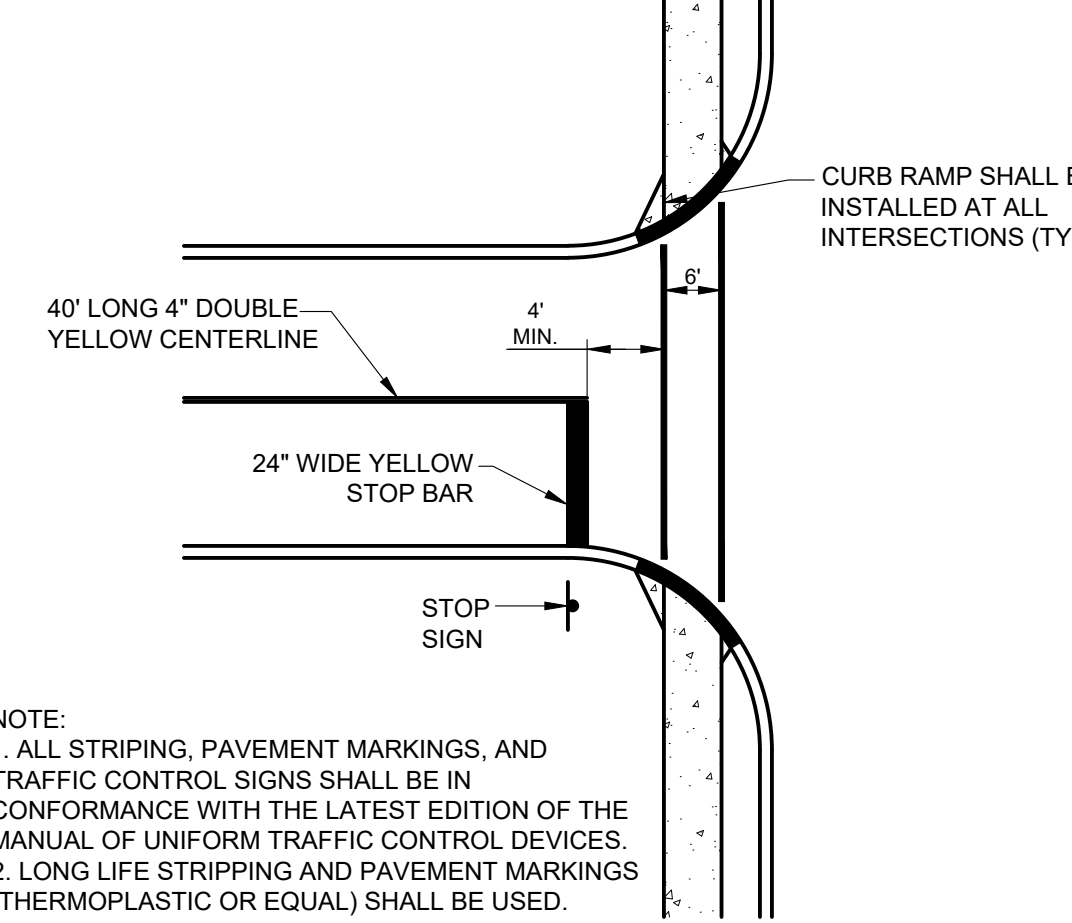
NOTES:
1. ALL TRAFFIC MARKINGS AND STRIPING SHALL BE THERMOPLASTIC OR LONG LIFE EPOXY PAINT
2. IF INSTALLED ON COUNTY ROAD, ALL MARKINGS SHALL BE OF EXTRUDED THERMOPLASTIC

ACCESSIBLE PARKING SYMBOL
NTS

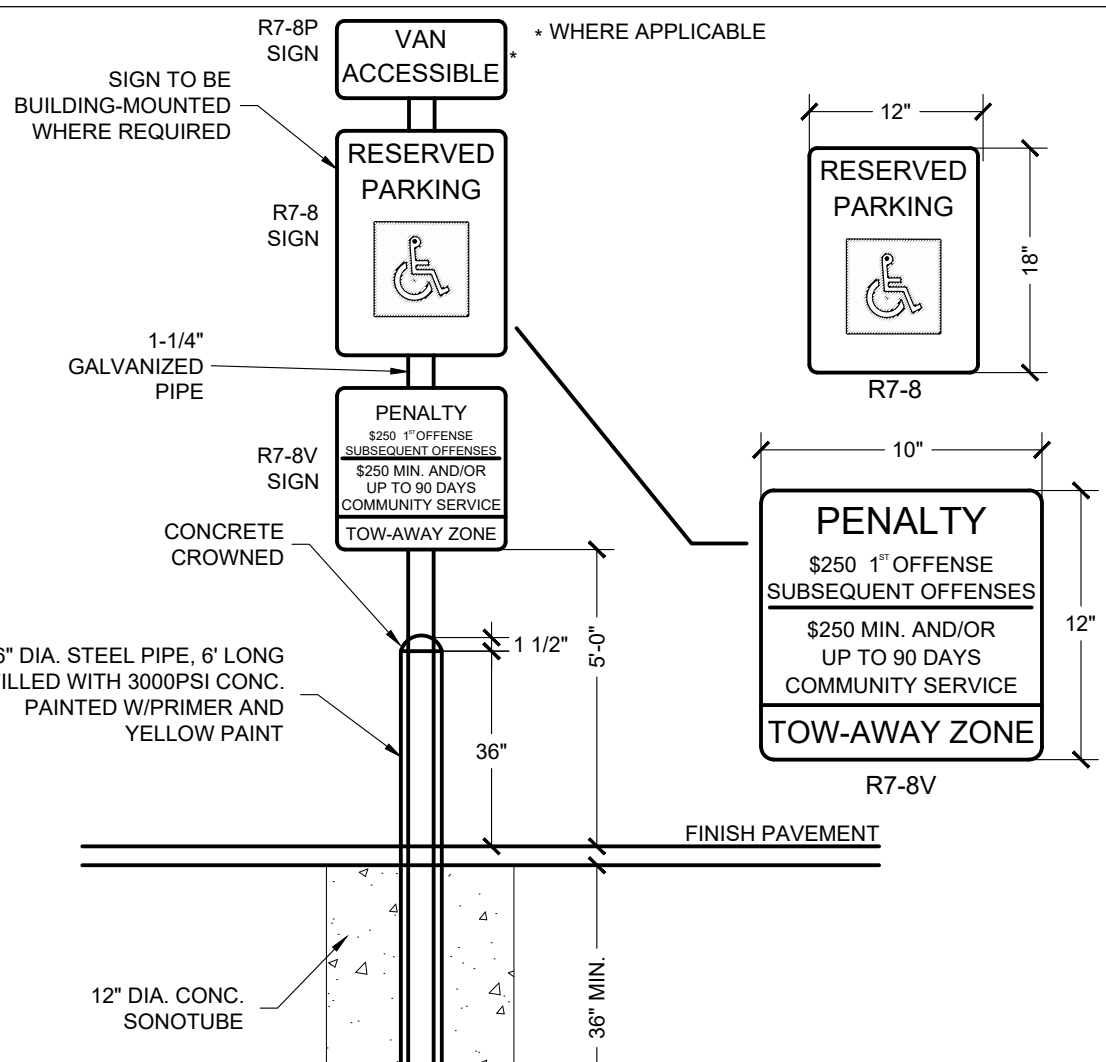


NOTES:
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2. IF INSTALLED ON COUNTY ROAD, ALL MARKINGS SHALL BE OF EXTRUDED THERMOPLASTIC

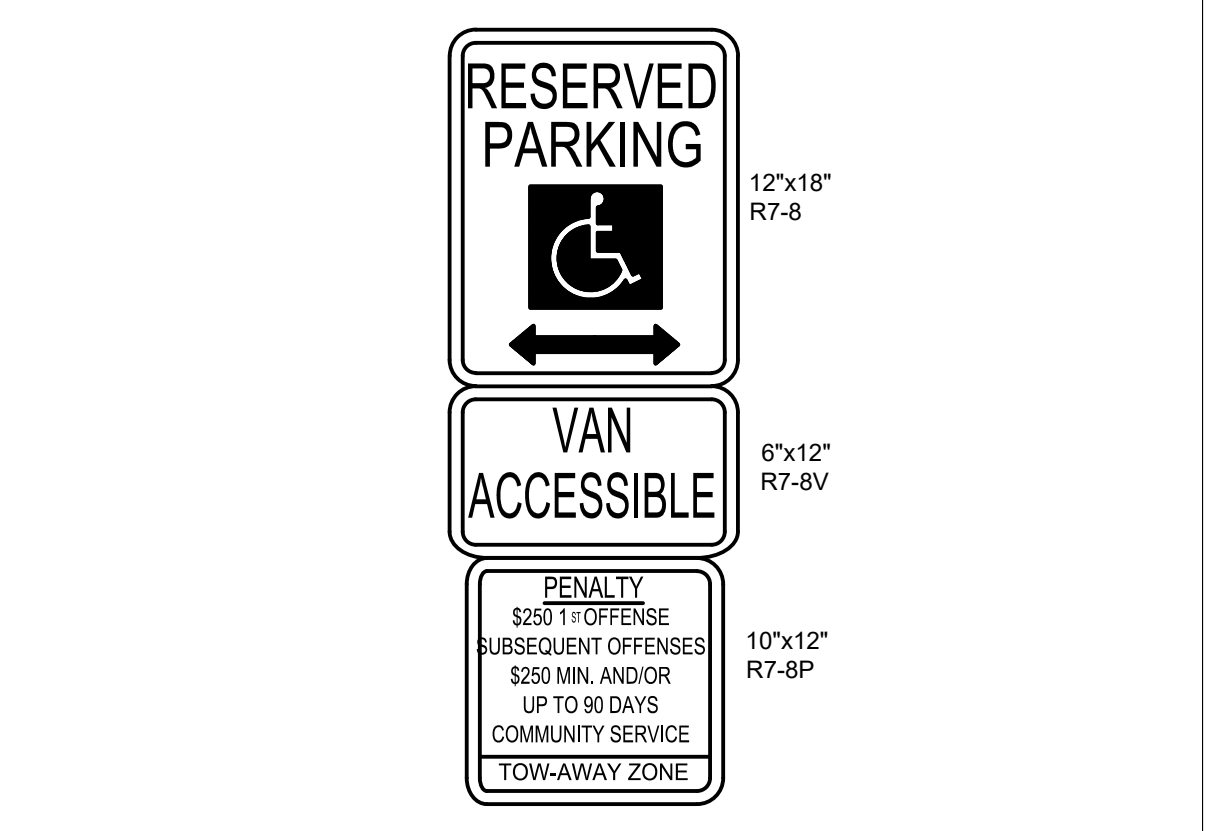
HANDICAPPED PERSON (HP) PARKING STRIPING DETAIL
NTS



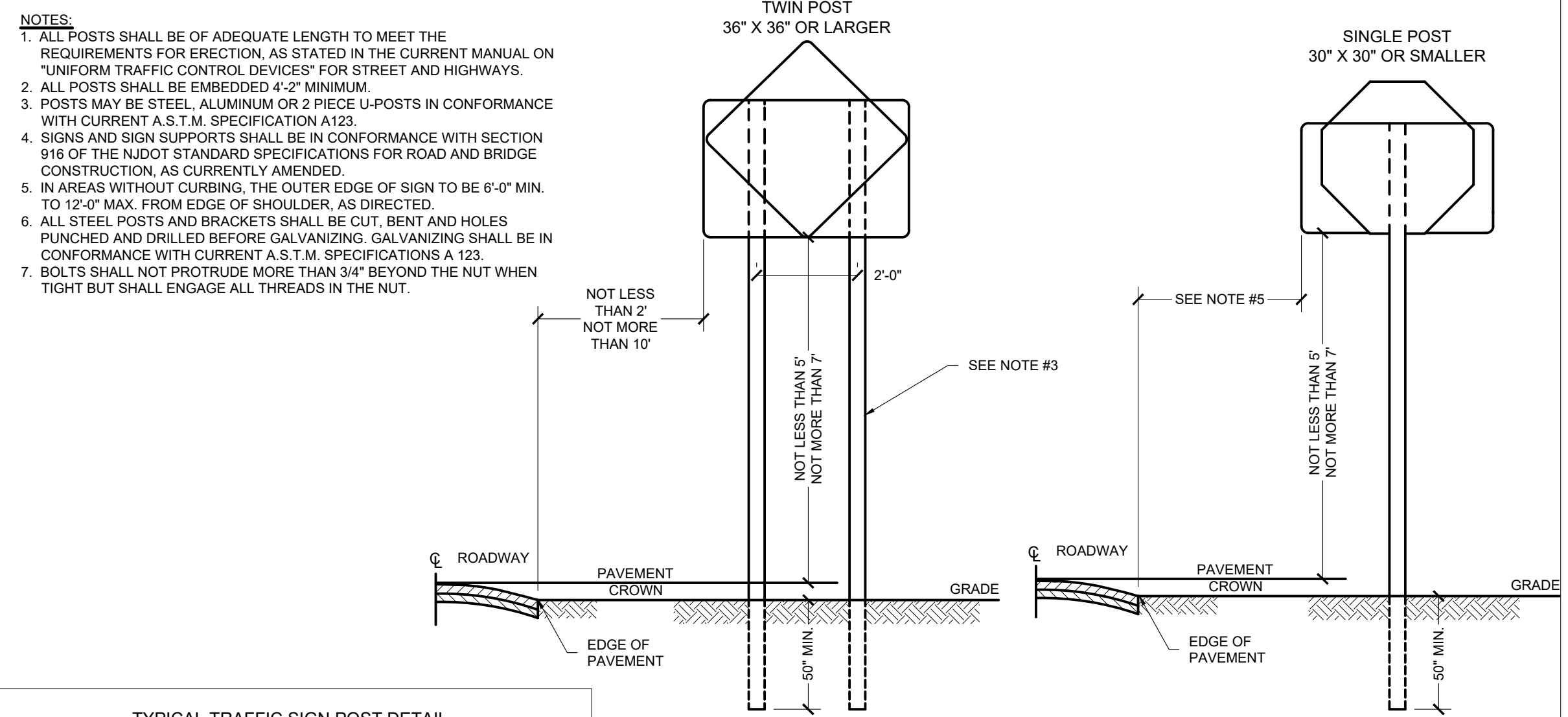
STOP BAR DETAIL WITH CROSSWALK
NTS



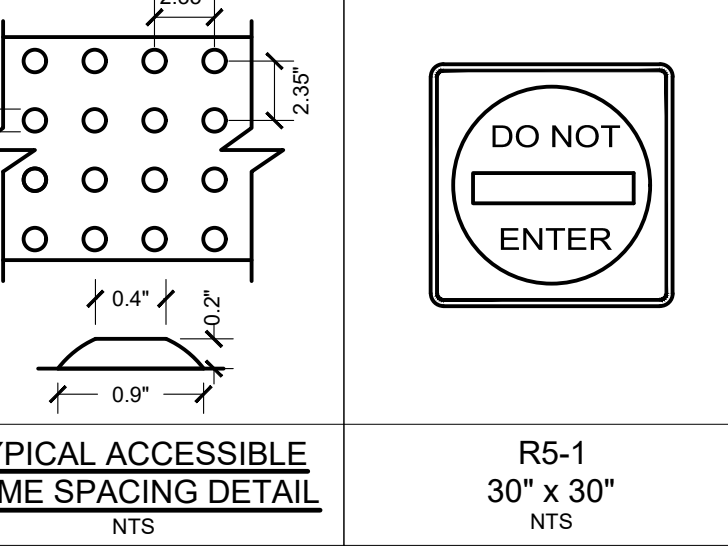
ACCESSIBLE STALL SIGN POST DETAIL
NTS



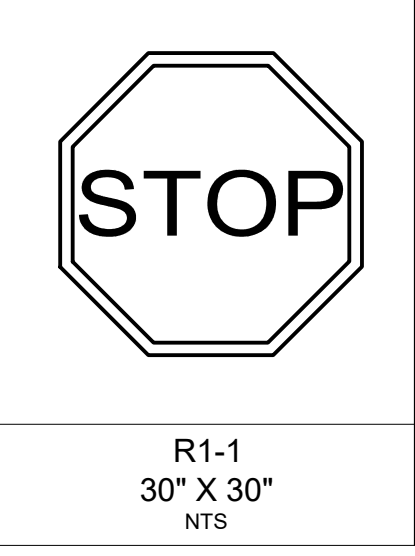
ADA SIGN DETAIL
NTS



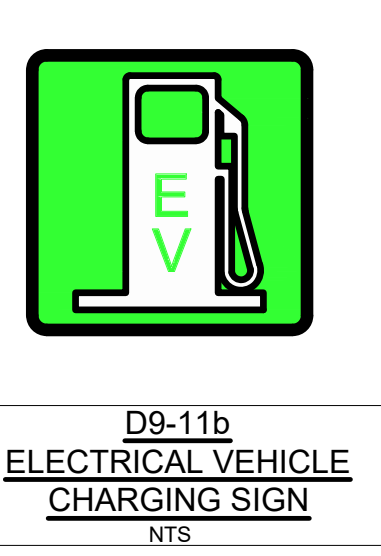
TYPICAL TRAFFIC SIGN POST DETAIL
NTS



TYPICAL ACCESSIBLE DOME SPACING DETAIL
NTS



R5-1 30\"/>



R1-1 30\"/>



D9-11b ELECTRICAL VEHICLE CHARGING SIGN
NTS

SIGN DETAILS

NO.	REVISIONS	DATE	BY

DRAWN BY: DNV	SCALE: N.T.S.
CHECKED BY: PGS	ACQ: 108-111-DT
PREPARED BY: RCA	DATE: 9/24/24

NOT APPROVED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE
FINAL FOR SEWER DESIGN

EP DESIGN SERVICES

2001 Hamilton Boulevard
South Plainfield, New Jersey 07080
(908) 200-0943 Fax: (908) 755-3272

New Jersey Certificate of Authorization #: 24G428128500

AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN

FOR
M & M AT NEPTUNE, LLC.
BLOCK 701 - LOT 1
TOWNSHIP OF NEPTUNE

MIDDLESEX COUNTY

THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION

PERICLES STAVRIDIS
PROFESSIONAL ENGINEER

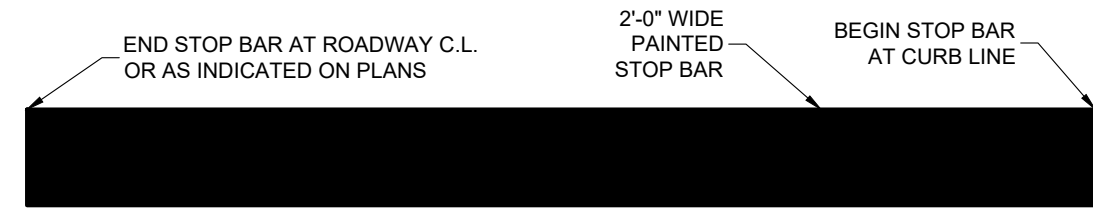
Pericles Stavridis

NEW JERSEY LICENSE NO. 24GE 0567700

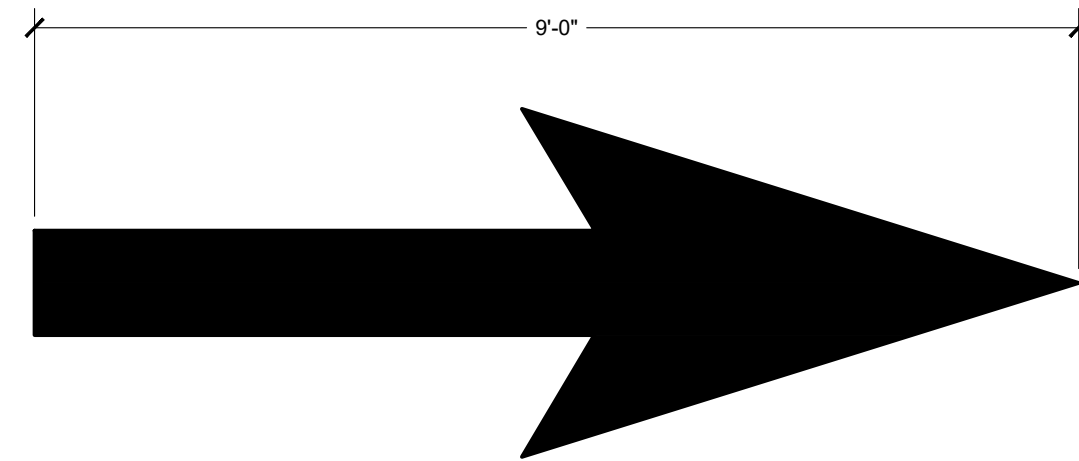
CONSTRUCTION DETAILS I

DT-1

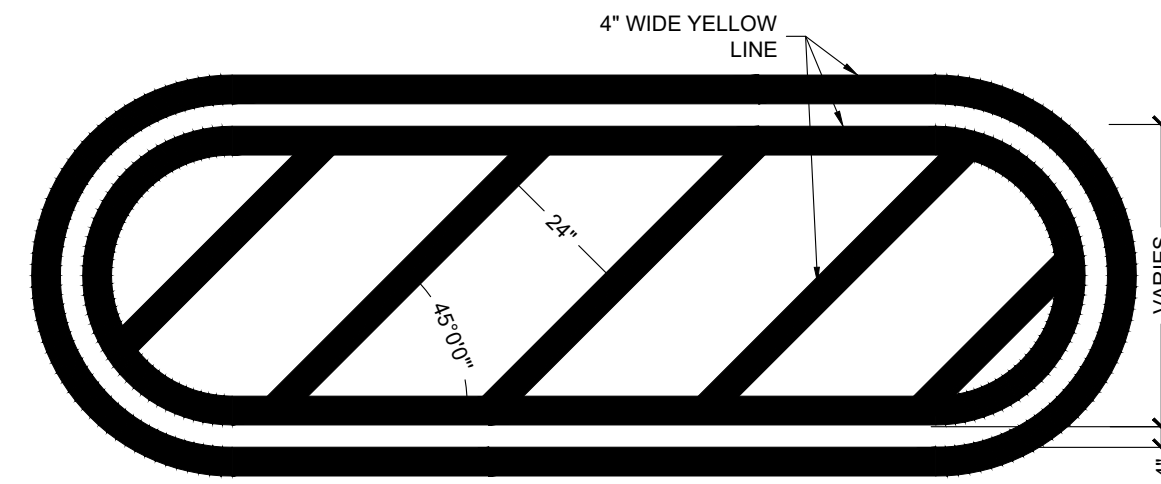
8 of 12



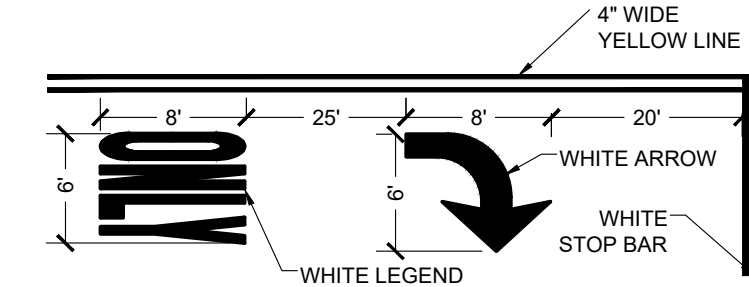
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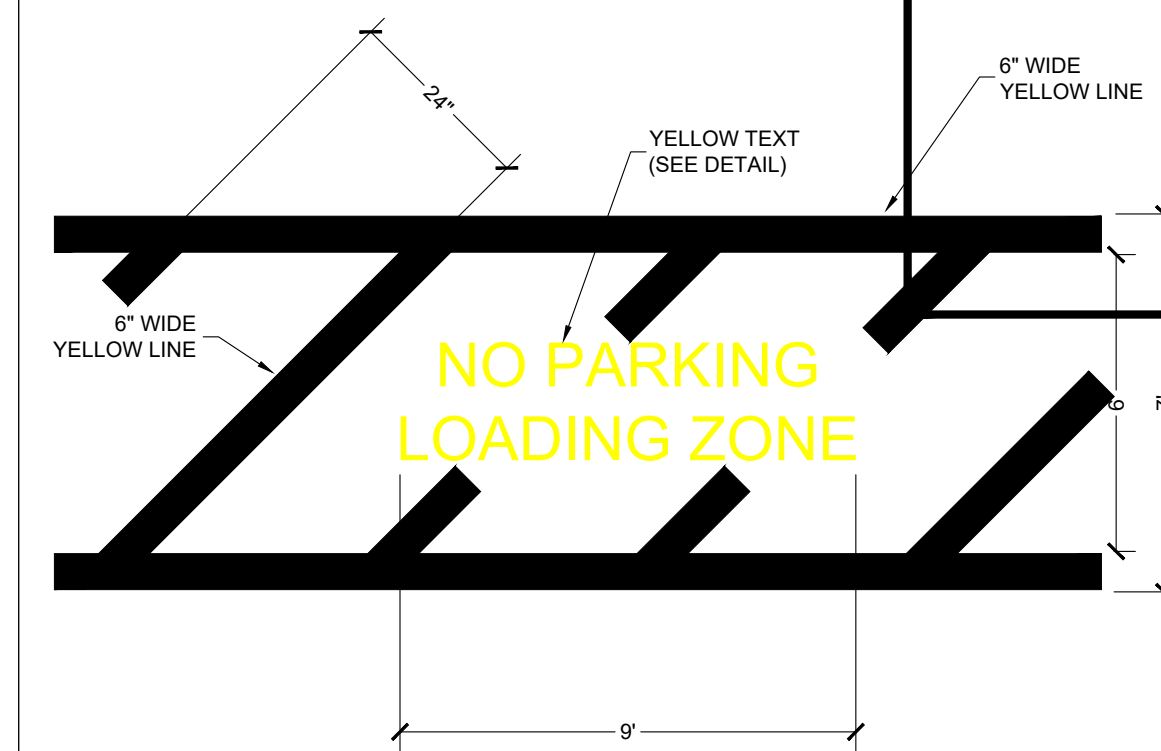
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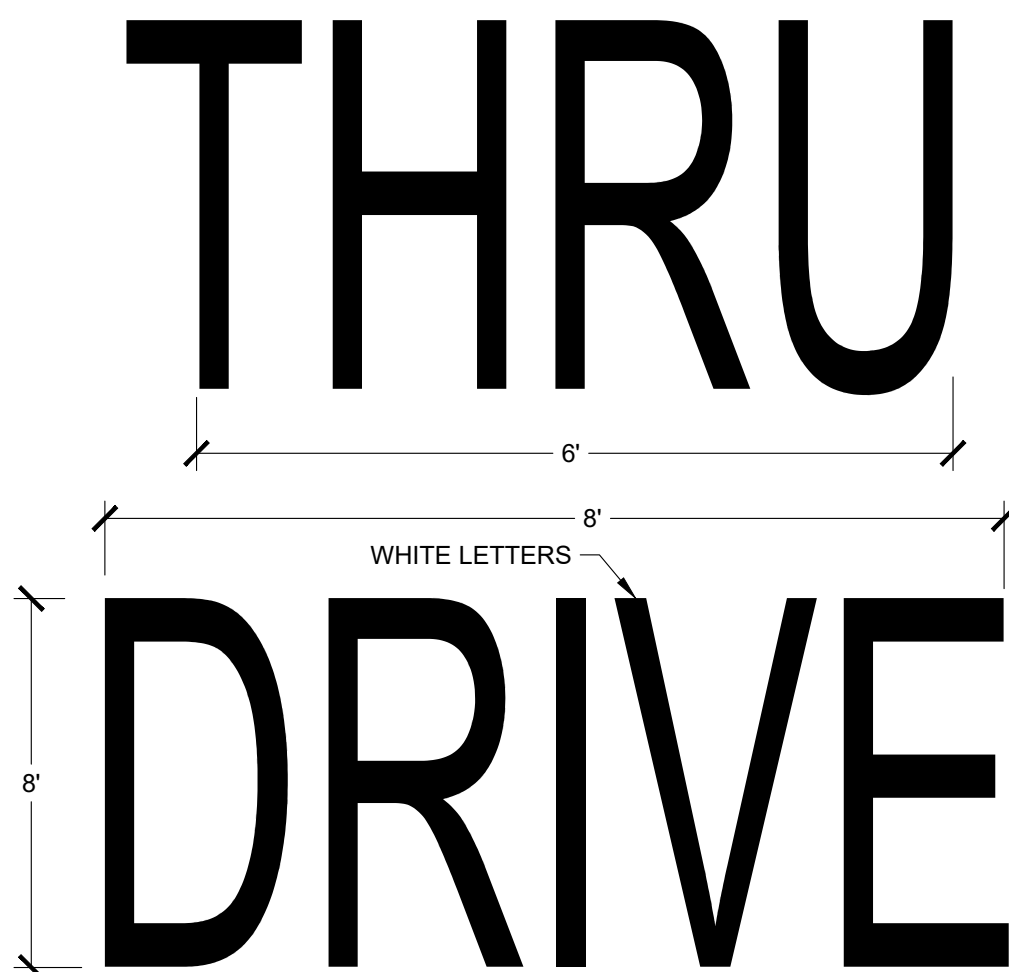
PAINTED STOP BAR DETAIL

DIRECTIONAL ARROW DETAIL

GORE STRIPING DETAIL

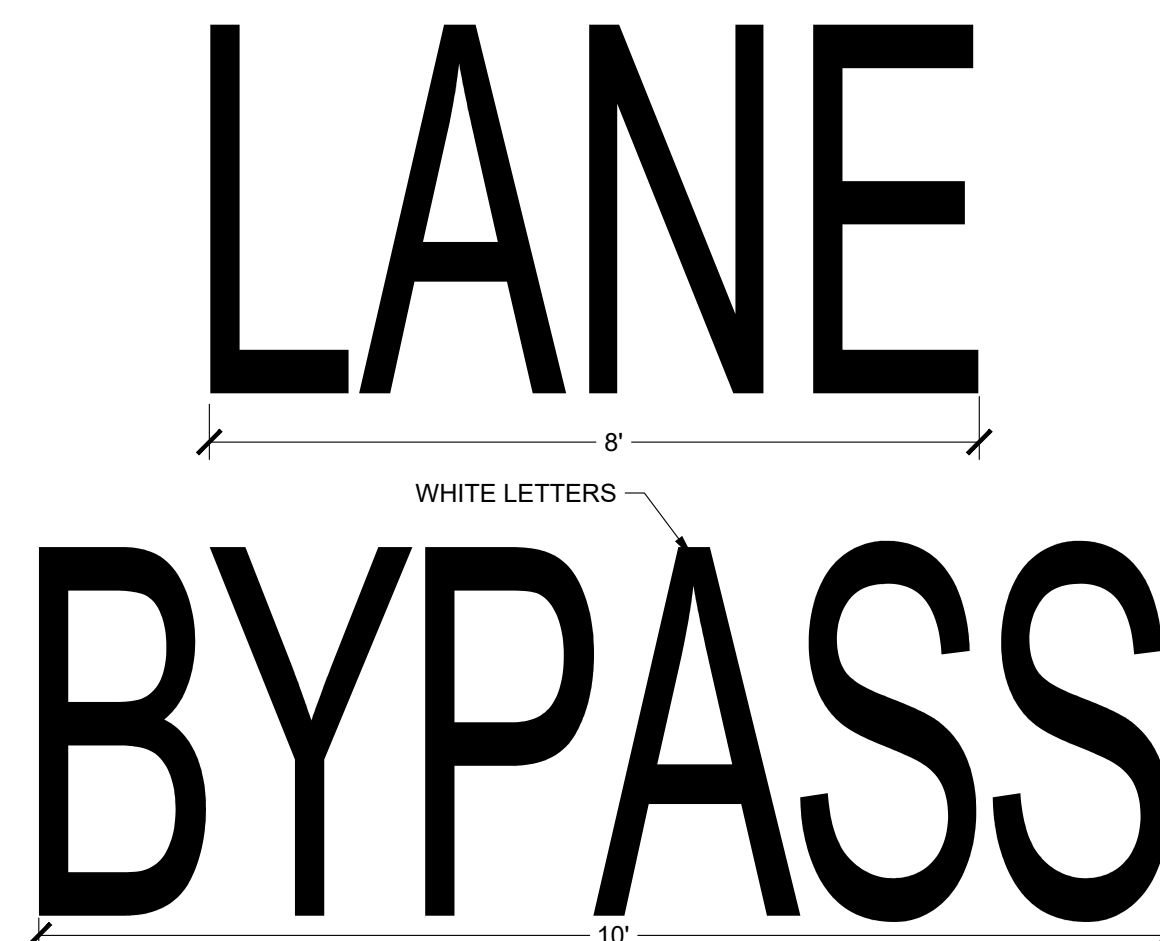
PAINTED RIGHT ARROW DETAIL

LOADING ZONE STRIPING DETAIL



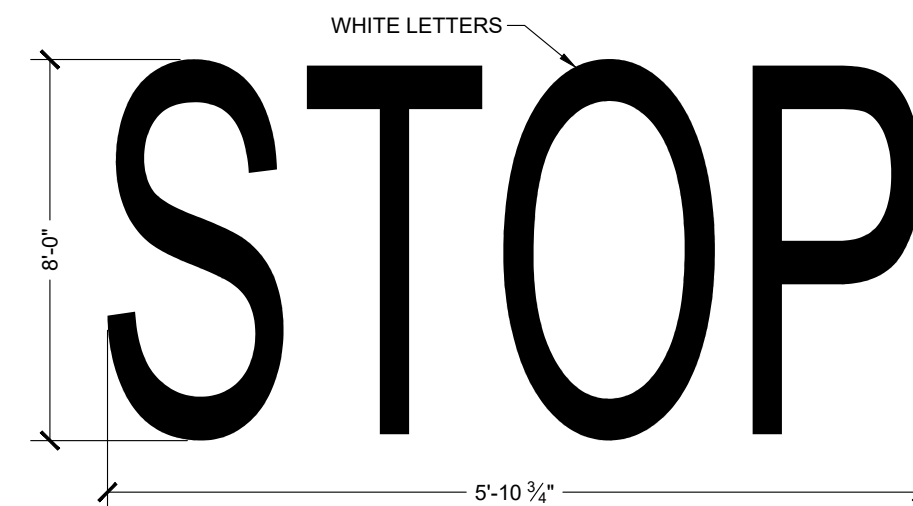
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TYPICAL DRIVE THRU LETTERS DETAIL



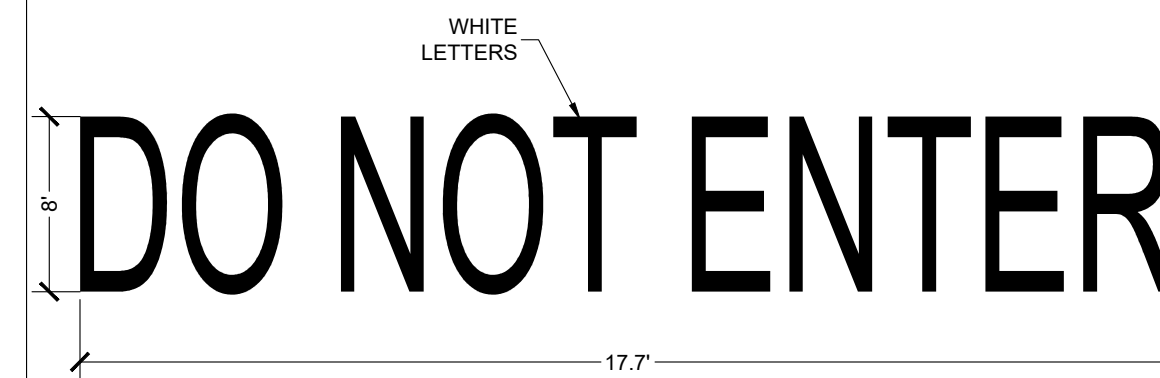
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TYPICAL BYPASS LANE LETTERS DETAIL



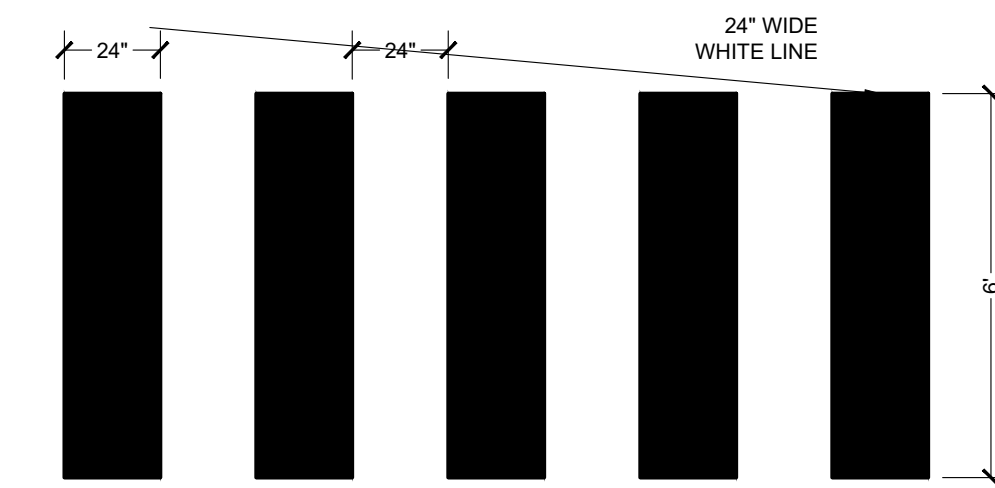
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TYPICAL ELONGATED LETTERS DETAIL



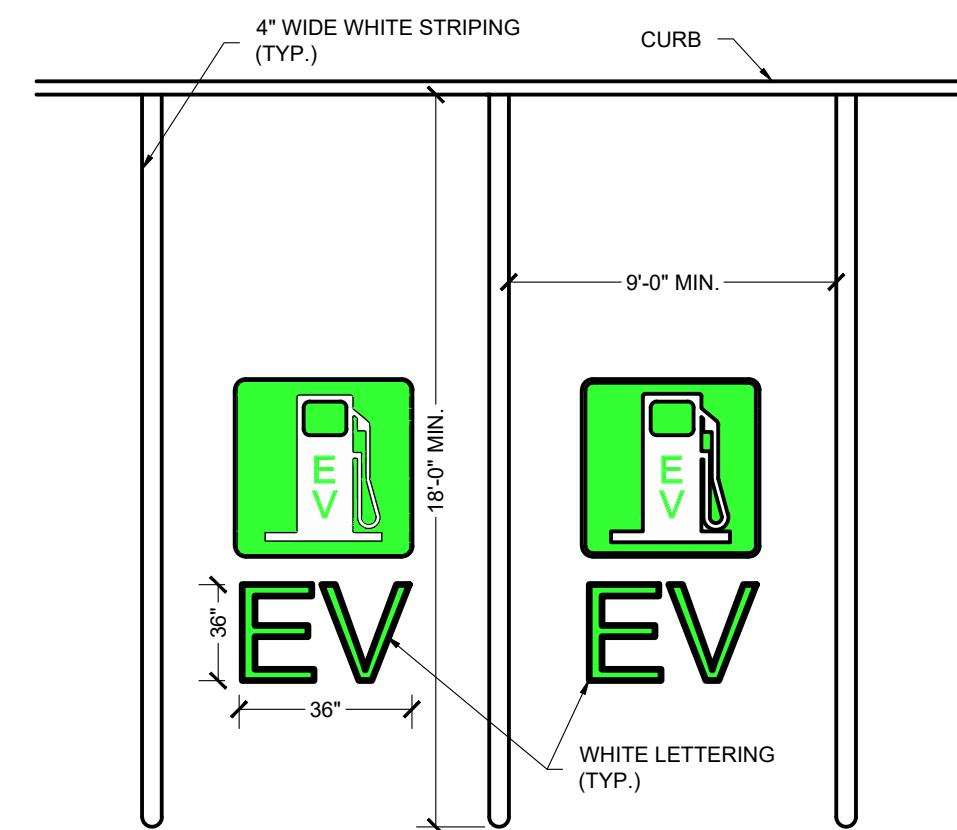
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TYPICAL "DO NOT ENTER" LETTERS DETAIL



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LADDER CROSSWALK STRIPING DETAIL



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STANDARD EV STALL DETAIL

NO.	REVISIONS	DATE	BY

DRAWN BY: DNV	SCALE: N.T.S.
CHECKED BY: PGS	ACQ NO.:
APPROVED BY: RCA	DATE: 9/24/24

NOT APPROVED FOR CONSTRUCTION
 UNLESS INDICATED OTHERWISE
 FINAL FOR SEWER DESIGN

EP DESIGN SERVICES

2001 Hamilton Boulevard
 South Plainfield, New Jersey 07080
 (908) 205-0943 Fax: (908) 755-3272

New Jersey Certificate of Authorization #: 24G28128500

NEW JERSEY

**AMENDED PRELIMINARY & FINAL
 MAJOR SITE PLAN**

FOR
 M & M AT NEPTUNE, LLC.
 BLOCK 701 - LOT 1
 TOWNSHIP OF NEPTUNE

MIDDLESEX COUNTY

THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION
PERICLES STAVRIDIS
 PROFESSIONAL ENGINEER

Pericles

10/22/24
 NEW JERSEY LICENSE No. 24GE 05767700

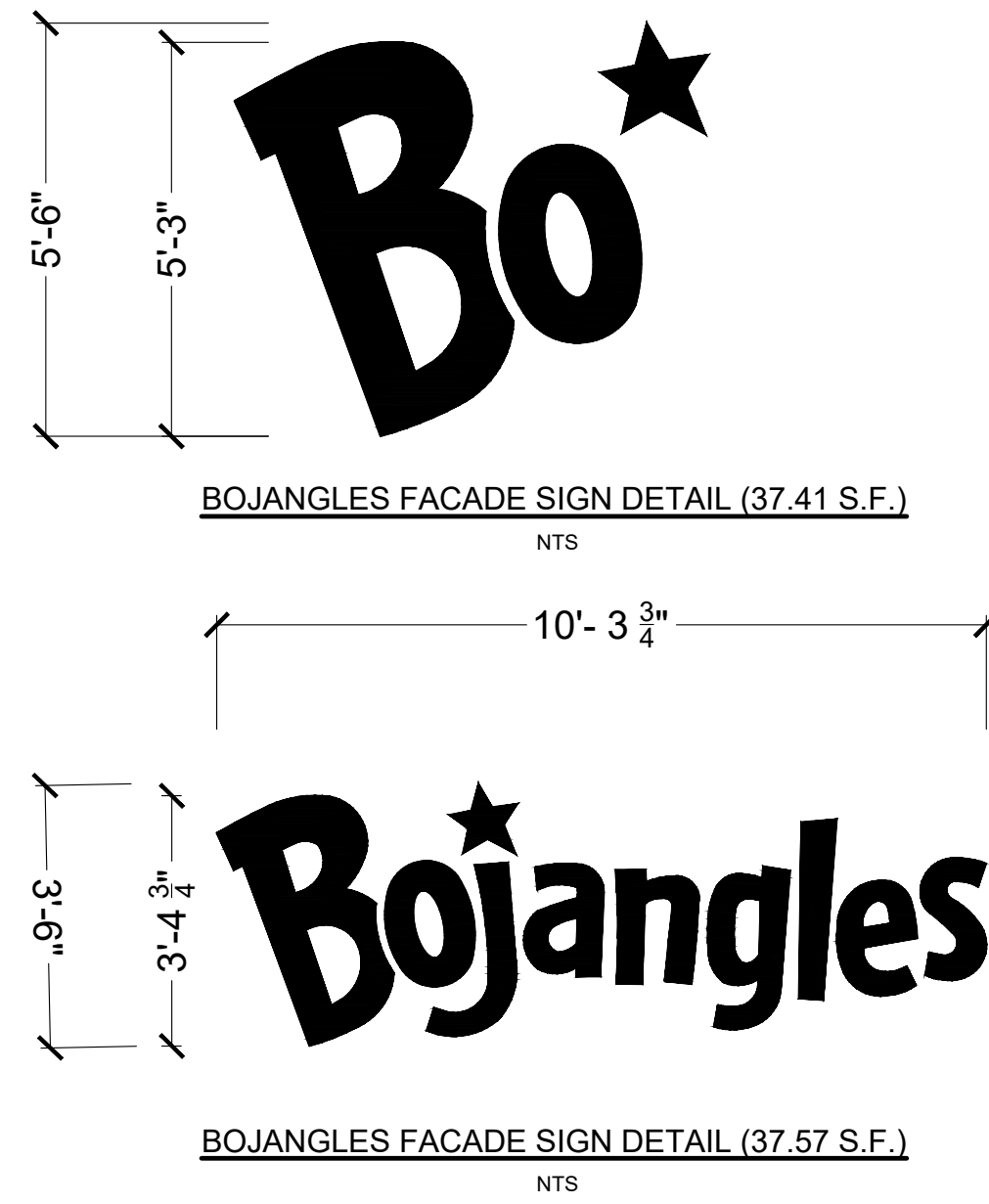
TITLE:
**CONSTRUCTION
 DETAILS II**

DRAWING:
DT-2

SHEET: 9 of 12 REVISION: --

Project: 10/2024 - 9:48 AM By: rmlambert
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 Plot Date: 10/22/24 9:48 AM
 Plot Scale: 1:1
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 Plot User: rmlambert

ORDER CANOPY



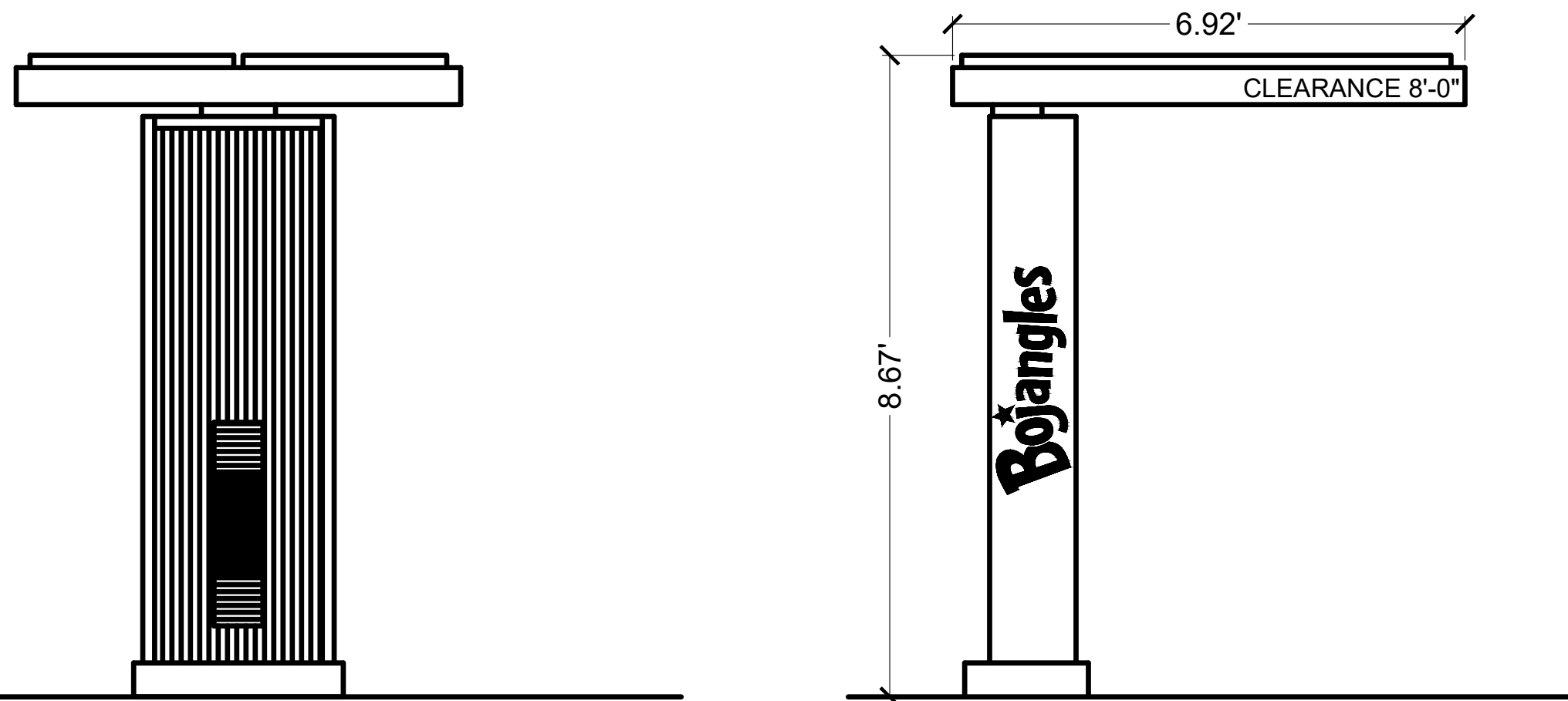
CLEARANCE BAR AND PRESALE PANEL

CLEARANCE ARM DURING APPROACH
 PRESALE PANEL BEFORE THE ORDER CANOPY

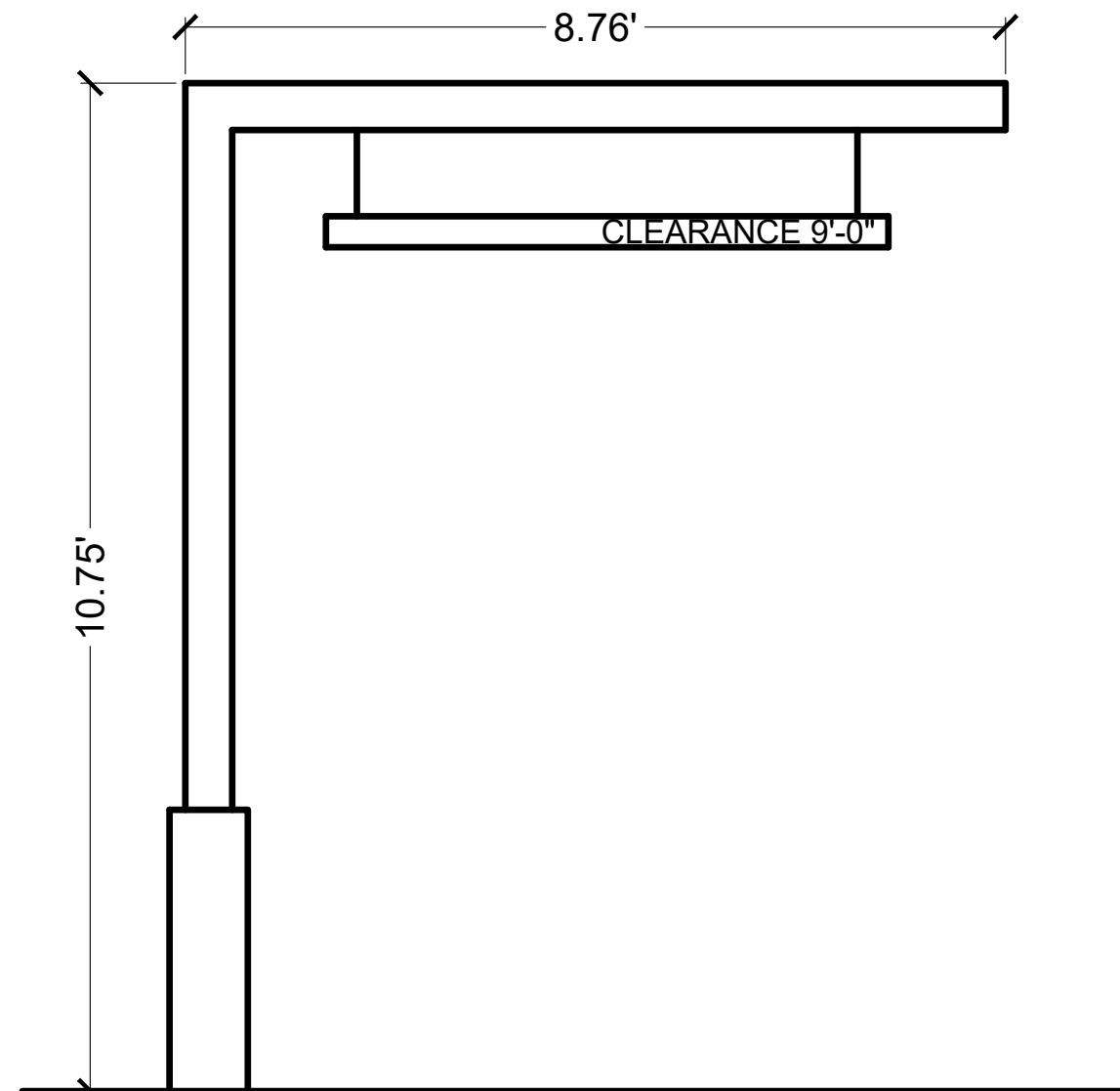


BOJANGLES MENU BOARD & CANOPY DETAILS

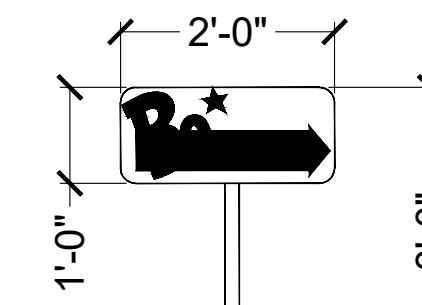
NTS



BOJANGLES CANOPY DETAILS
 NTS



BOJANGLES CLEARANCE BAR DETAIL
 NTS



BOJANGLES DIRECTIONAL SIGN DETAIL
 NTS

NO.	REVISIONS	DATE	BY

DRAWN BY: DNV	SCALE: N.T.S.
CHECKED BY: PGS	ACQ NO: 108-111-DT
APPROVED BY: RCA	DATE: 9/24/24

NOT APPROVED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE
 FINAL FOR SEWER DESIGN

EP DESIGN SERVICES



AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR M & M AT NEPTUNE, LLC. BLOCK 701 - LOT 1 TOWNSHIP OF NEPTUNE MIDDLESEX COUNTY NEW JERSEY

2001 Hamilton Boulevard
 South Plainfield, New Jersey 07080
 (908) 205-0943 Fax: (908) 755-3272
 New Jersey Certificate of Authorization #: 24GA28126900

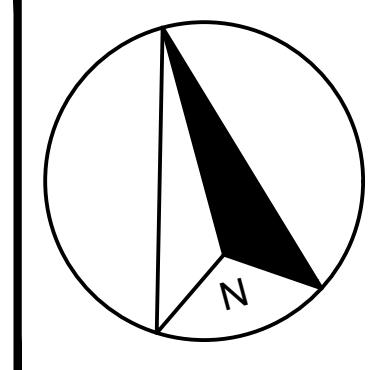
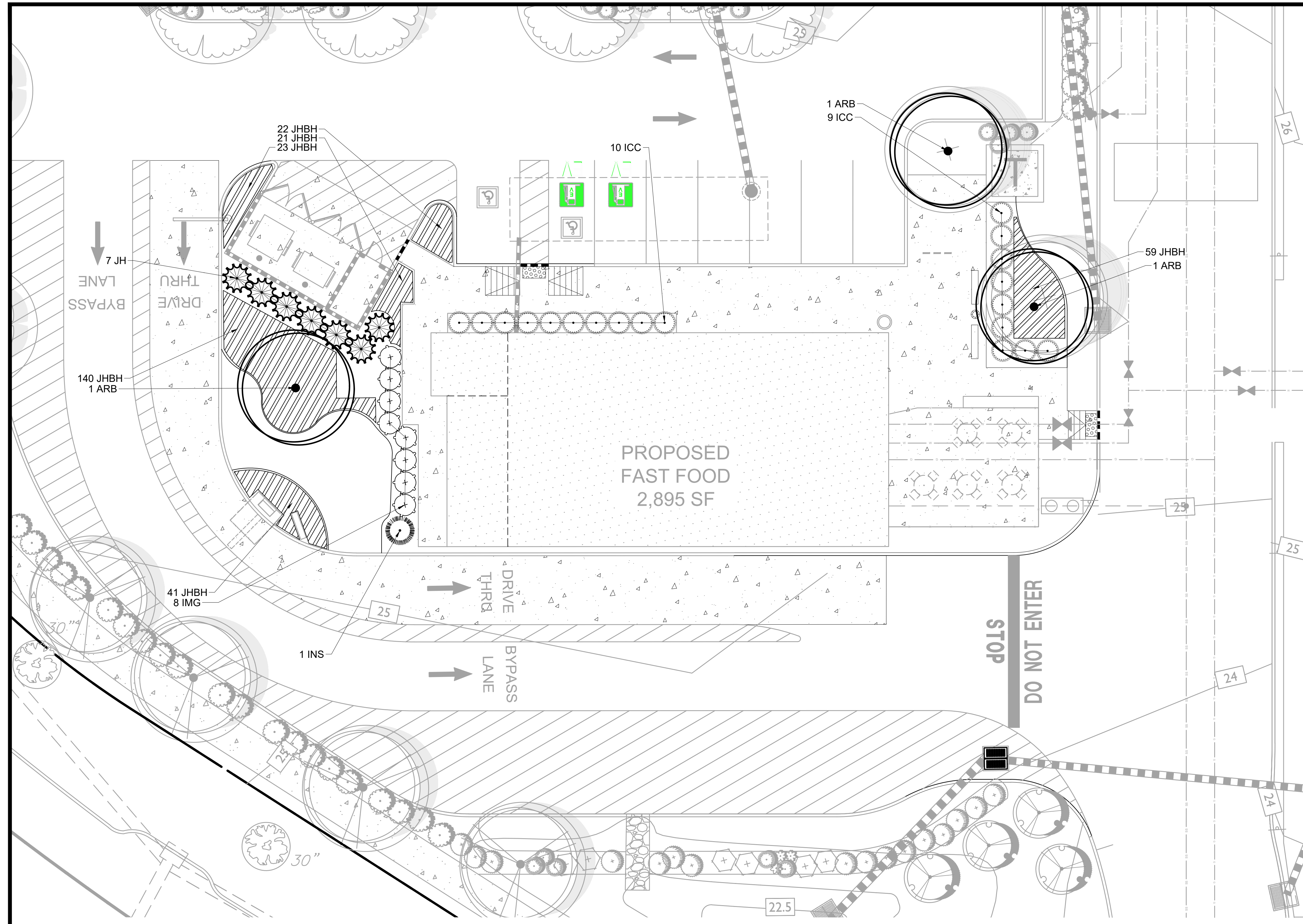
THIS WORK PREPARED UNDER MY IMMEDIATE SUPERVISION
PERICLES STAVRIDIS
 PROFESSIONAL ENGINEER

Pericles Stavridis
 10/22/24
 NEW JERSEY LICENSE No. 24GE 05767700

TITLE: **CONSTRUCTION DETAILS IV**

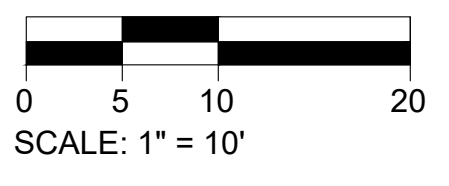
DRAWING: **DT-4**

SHEET: 11 of 12 REVISION: --



PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	TYPE	QTY	
DECIDUOUS TREES						
	GIN	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Maidenhair Tree	2.5' - 3" CAL	B&B	3	
EVERGREEN TREES						
	JSP	Juniperus chinensis 'Spartan' Spartan Juniper	4' - 5' Ht.	B&B	8	
EVERGREEN TREES (DUMPSTER ENCLOSURES AND FOUNDATIONS)						
	INS	Ilex x 'Nellie R. Stevens' Nellie R. Stevens Holly	2-3'	B&B	2	
	JH	Juniperus chinensis 'Hetzi Columnaris' Hetzi Column Juniper	3-5'	B&B	7	
SHADE TREES						
	ARB	Acer rubrum 'Bowhall' Bowhall Red Maple	2.5'-3" CALIPER	B&B	3	
SHRUBS						
	HYD	Hydrangea macrophylla 'Endless Summer' Bailmer Hydrangea	24" - 30"	Pot	3	
EVERGREEN SHRUBS						
	ICC	Ilex crenata 'Compacta' Dwarf Japanese Holly	24"-30"	CONTAINER	22	
	IMG	Ilex x meserveae 'Blue Girl' Blue Girl Holly	24"-30"	CONTAINER	8	
	IMC	Ilex x meserveae 'China Girl' China Girl Holly	24" - 30"	B&B	14	
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	TYPE	SPACING	QTY
SHRUB AREAS						
	JHW	Juniperus horizontalis 'Wiltonii' Blue Rug Juniper	1 gal.	Pot	36" o.c.	5
PERENNIALS						
	SED	Sedum spectabile 'Autumn Fire' Showy Stonecrop	1 gal.	Pot	18" o.c.	14
EVERGREEN GROUND COVER						
	JHBH	Juniperus horizontalis 'Bar Harbor' Bar Harbor Creeping Juniper	18-24"	CONTAINER	18" o.c.	306

NO.	REVISIONS	DATE	BY



DRAWN BY: DNV	SCALE: 1"=10'
CHECKED BY: PGS	ACQD BY: 112-LL
PREPARED BY: RCA	DATE: 9/24/24

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NEW JERSEY
Professional Engineer License No. 24G428128500

**AMENDED PRELIMINARY & FINAL
MAJOR SITE PLAN**

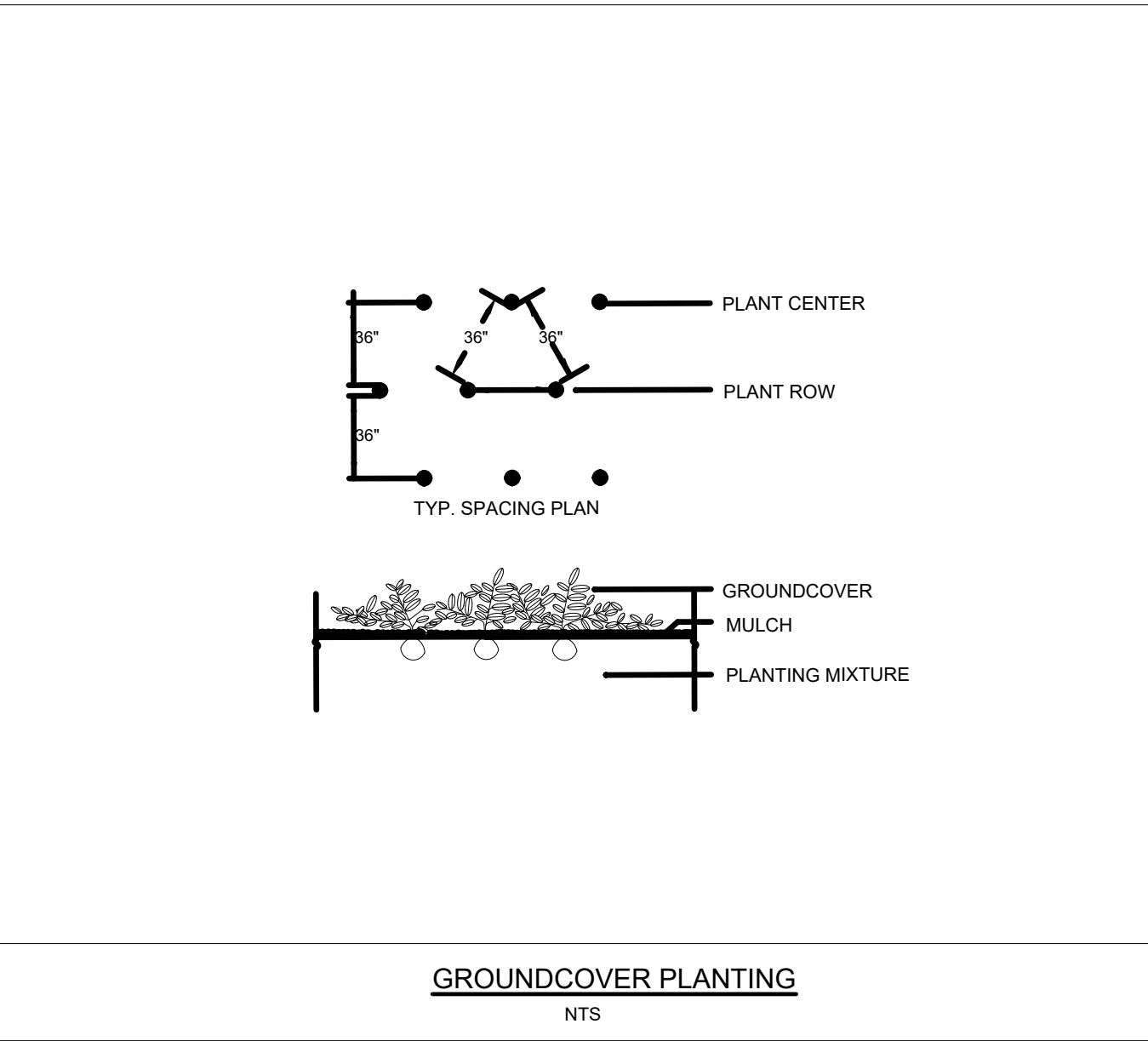
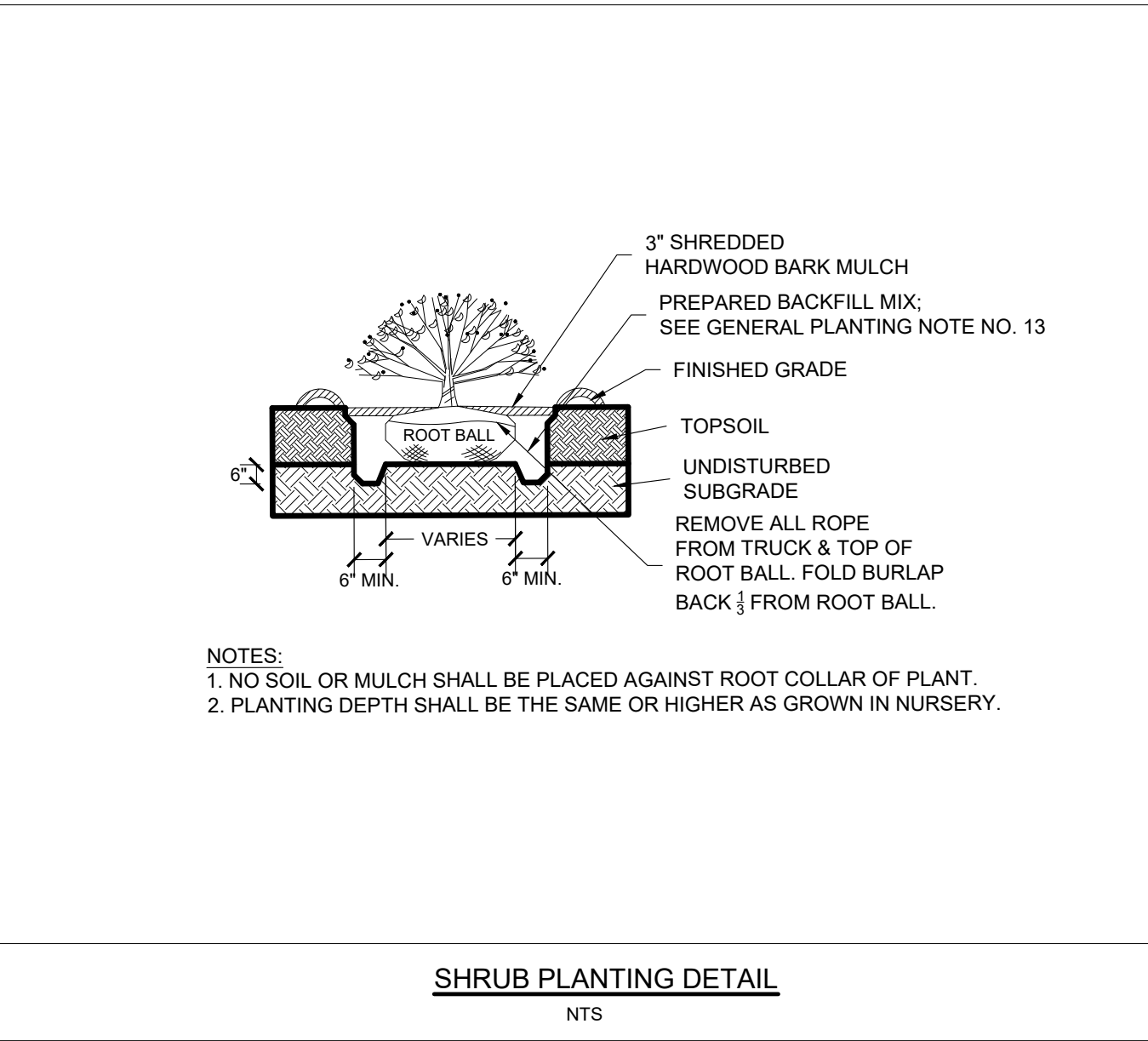
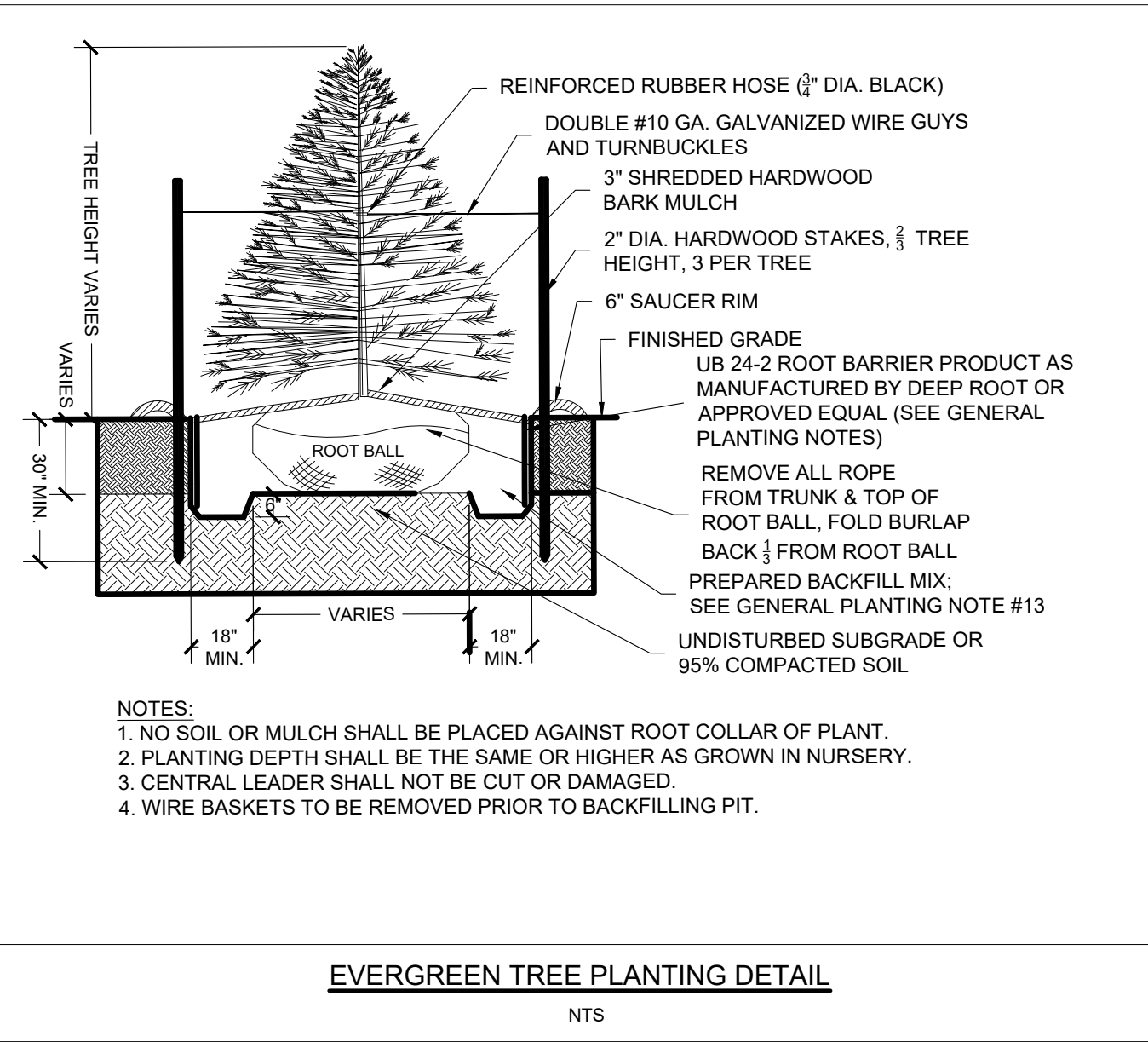
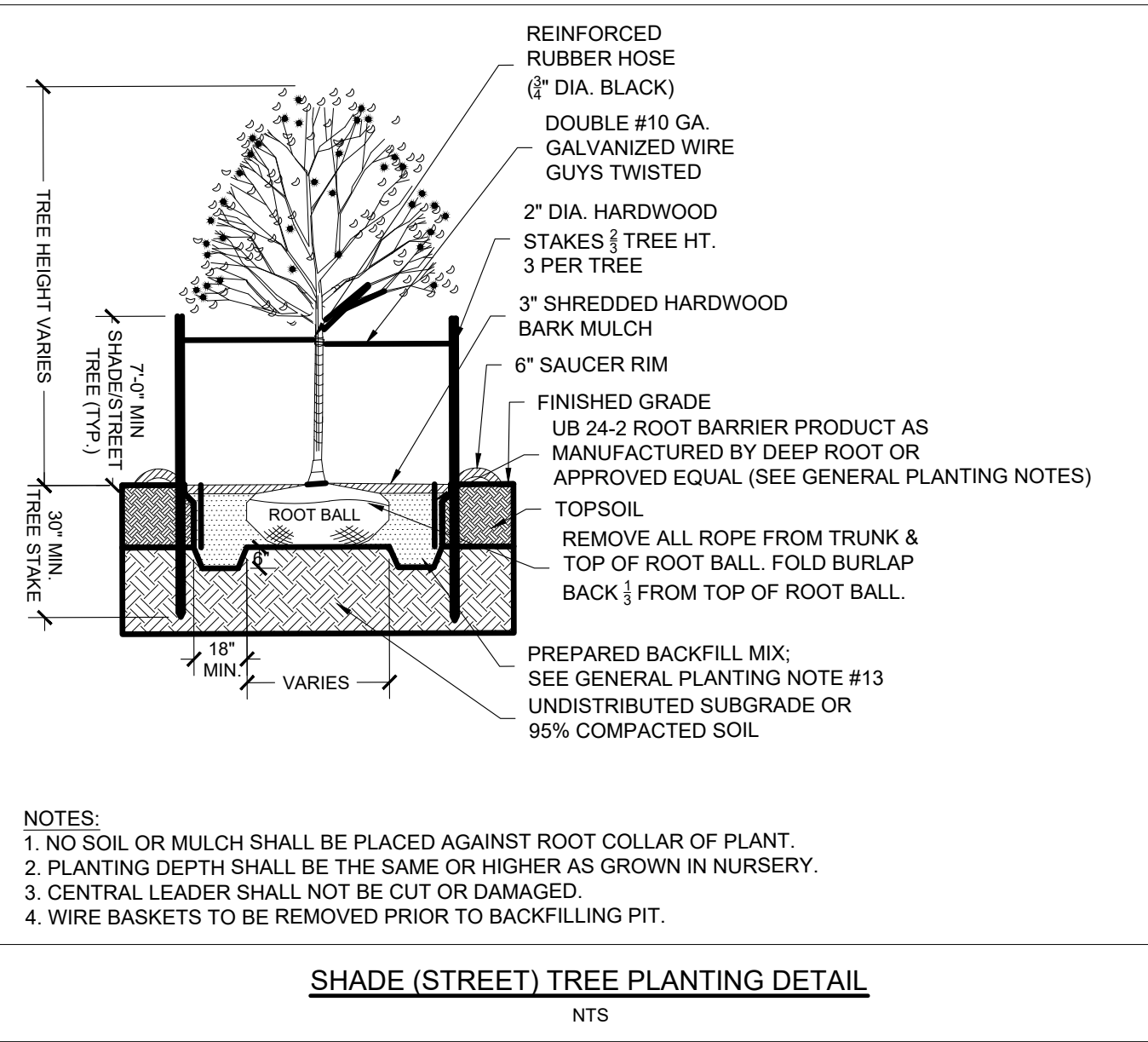
FOR
M & M AT NEPTUNE, LLC.
BLOCK 701 - LOT 1
TOWNSHIP OF NEPTUNE
MIDDLESEX COUNTY

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PROPOSED LANDSCAPE PLAN

SHEET: **LL-1**



NOTES:
1. SEE SHEET N-1 FOR GENERAL NOTES AND LEGEND.