

General Notes

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.

3. ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.

4. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.

5. SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.

6. THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.

7. THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.

8. UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.

9. OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

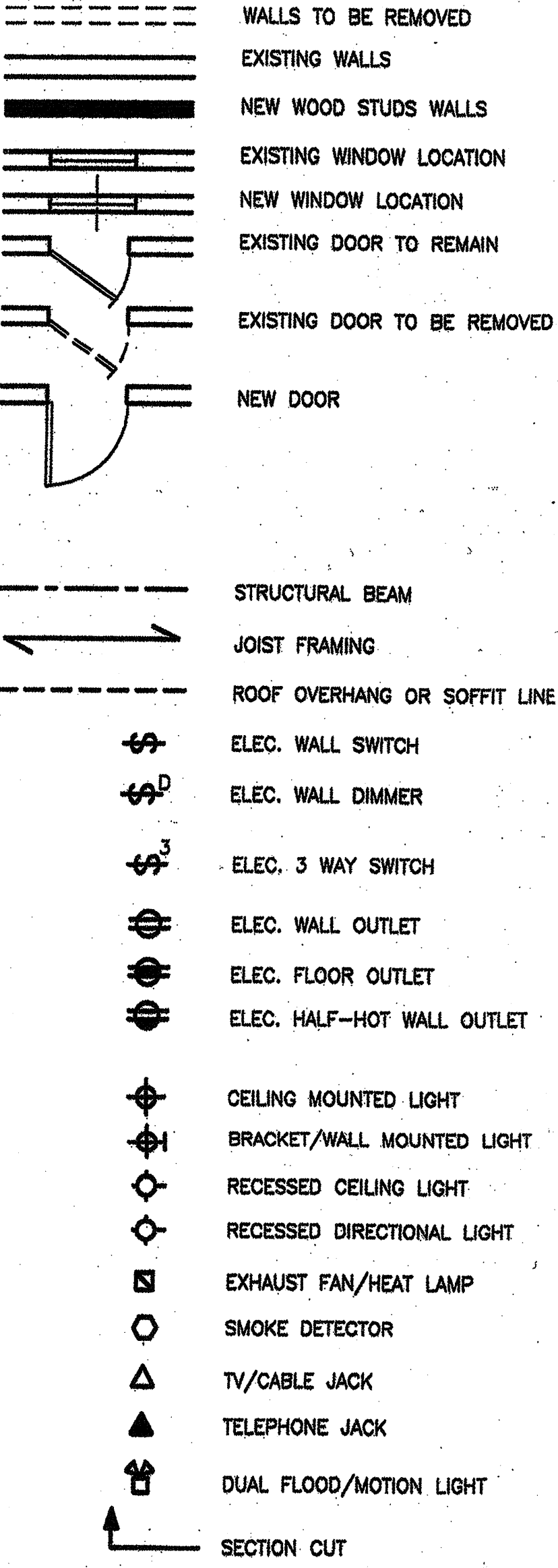
Special Notes

INDEMNIFICATION CLAUSE:  
THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

PERMITS AND RELATED FEES:  
CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

NOTICE OF COPYRIGHT:  
USE OF THESE CONSTRUCTION DRAWINGS RE LIMITED TO THE PROJECT SITE INTENDED. ALL COPYRIGHT AND REPRODUCTION IS RESERVED BY THE ARCHITECT - MARK ALEXANDER PAVLIV, AIA AS ARCHITECT OF RECORD. REPRODUCTION AND USE OF THESE DOCUMENTS OR ANY PART THEREOF WITHOUT THE EXPRESSED WRITTEN AUTHORIZATION AND CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

Legend



FLOOR AREA CALCULATIONS:

	EXISTING	PROPOSED	PERMITTED
First Floor:	799.2 sf	1,230.5 sf	
Second Floor:	649.2 sf	1,230.5 sf	
Habitable Attic:	249.0 sf	407.0 sf	
Total Area:	1,697.4 sf	2,868.0 sf	N/A

Covered Front Porch	354.0 sf	354.0 sf Same	N/A
Covered Rear Porch	26.7 sf	154.3 sf	N/A

TOTAL PROPOSED VOLUME of ADDITION:

First Floor:	4,468.7 cf
Second Floor:	3,970.4 cf
Habitable Attic:	1,336.0 cf
Total Volume:	9,775.1 cf

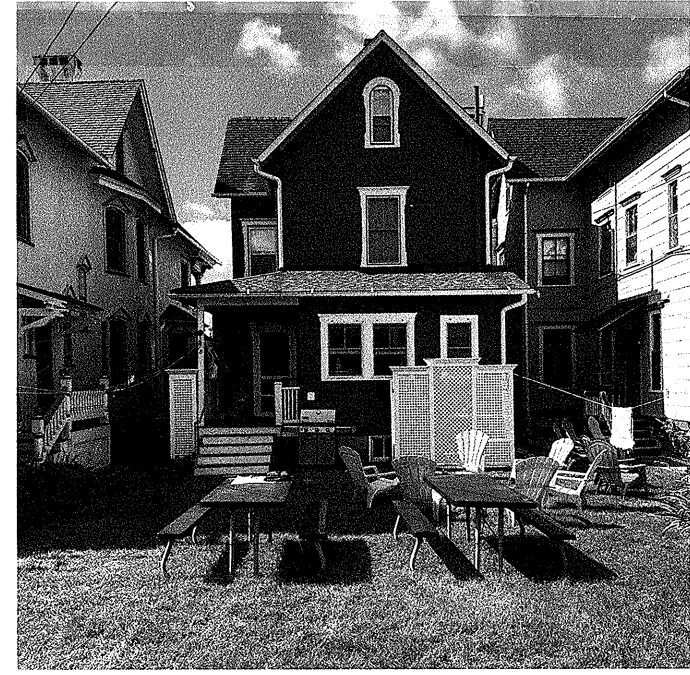


Photo Reference

Area Calculations

Applicant: Terrie O'Connor  
7 Ocean Pathway  
Ocean Grove, New Jersey 07756

Site Address: 7 Ocean Pathway, Ocean Grove, NJ 07756  
Block #115, Lot #6; ZONE: HD-O

Description: Proposed Rear Addition and Various Renovations to the existing 2 1/2 story wood frame single-family landmark dwelling located at 7 Ocean Pathway, Ocean Grove, New Jersey.

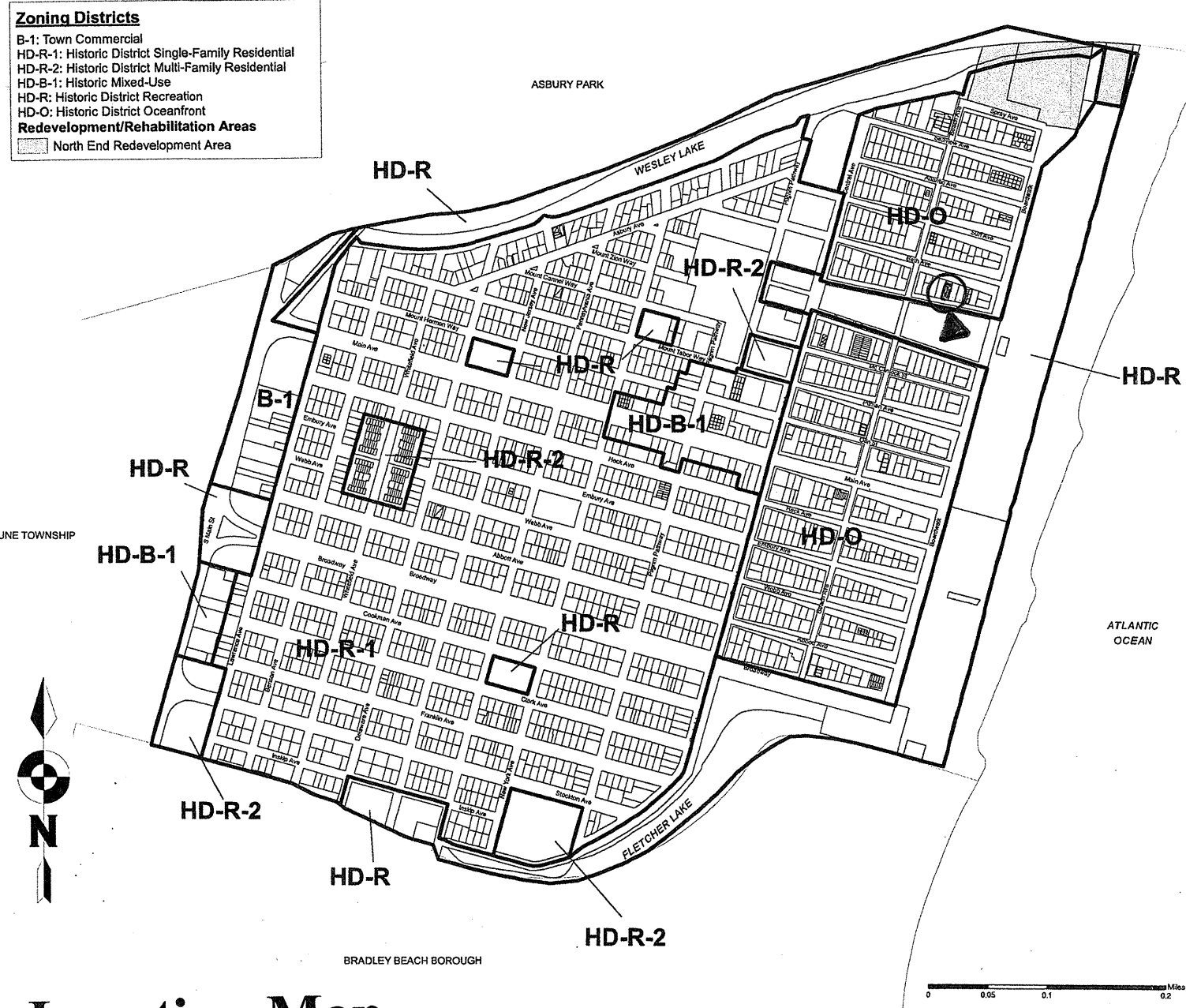
LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	30.15 ft	no change	30.0 ft
Lot Width	30.10 ft	no change	30.0 ft
Depth	84.04 ft	no change	60.0 ft
Depth	80.60 ft	no change	60.0 ft
Area	2,481.95 sf	no change	1,800 sf
	4,190.85 sf*		
	(*Section 413.06.E)		

SETBACK	EXISTING	PROPOSED	ALLOWED
Front	9.61 ft	Same	Section 413.06.D
Front	0.43 ft	Same	Section 413.06.D
East Side	6.21 ft	Same	2.0 ft
East Side	4.21 ft	Same	2.0 ft
East Side	0.82 ft	Same	2.0 ft
East Side	-0.45 ft (over)	Same	2.0 ft
East Side	N/A	6.21 ft	2.0 ft
East Side	N/A	5.21 ft	2.0 ft
East Side	N/A	6.21 ft	2.0 ft
East Side	N/A	4.21 ft	2.0 ft
West Side	2.45 ft	Same	2.0 ft
West Side	0.95 ft	Same	2.0 ft
West Side	2.45 ft	Same	2.0 ft
West Side	0.95 ft	Same	2.0 ft
West Side	N/A	2.51 ft	2.0 ft
West Side	N/A	2.01 ft	2.0 ft
West Side	N/A	2.51 ft	2.0 ft
West Side	N/A	2.01 ft	2.0 ft
Rear	29.97 ft	10.90 ft	Section 413.06.D
Rear	28.47 ft	3.30 ft	Section 413.06.D
Floor Levels	2.5 stories	2.5 stories	2.5 stories
Height	32.5 ft	Same	35.0 ft

LOT COVERAGE:

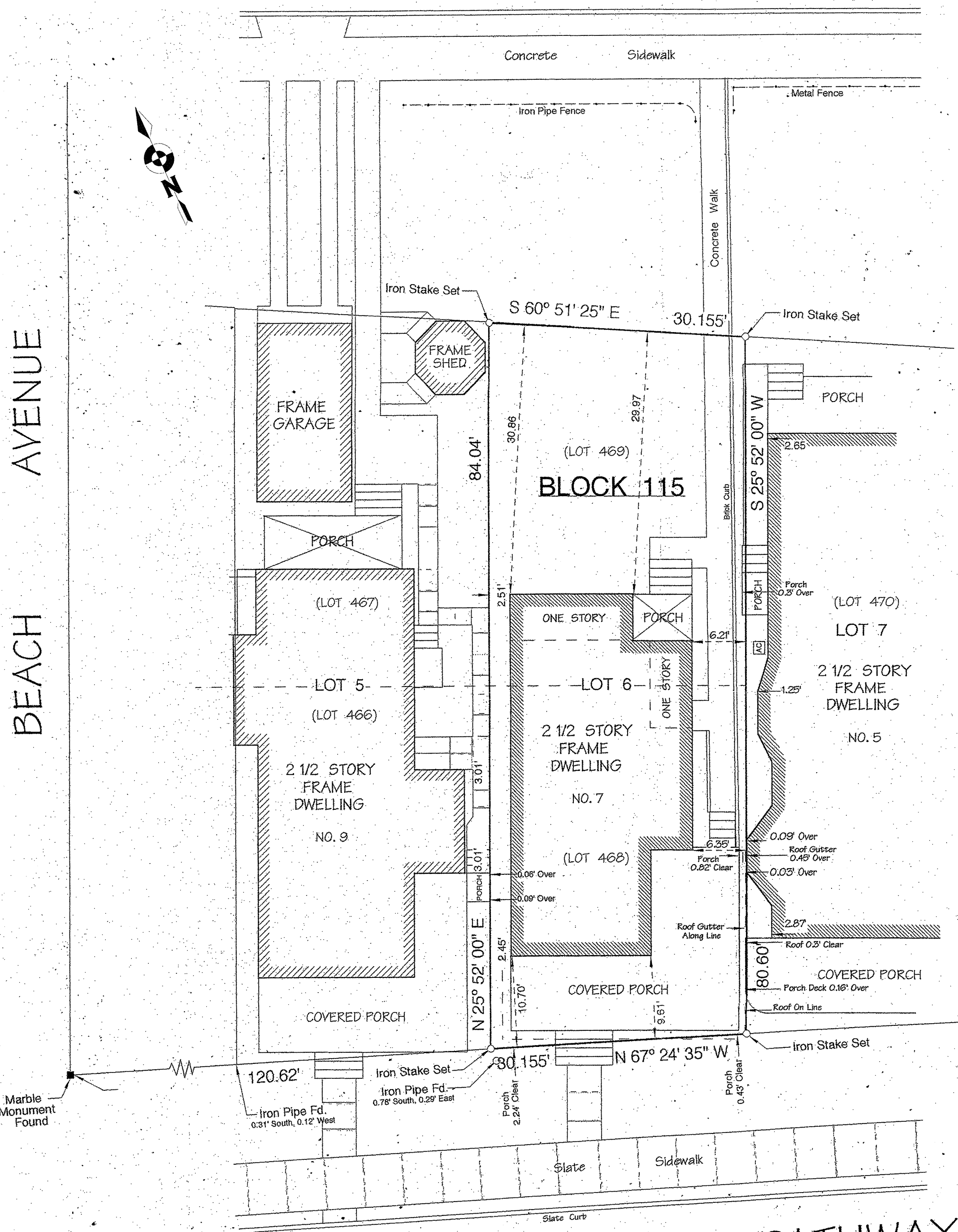
	EXISTING	PROPOSED	PERMITTED
Building Cover:	1,179.7 sf	1,707.8 sf (68.81%)	< (85.0%)
Front/Side Steps:	19.0 sf	19.0 sf Same	N/A
Rear Steps:	20.0 sf	9.9 sf	N/A
Rear Porch:	35.0 sf	154.3 sf	N/A
Walkways:	183.0 sf	276.0 sf	N/A
AC Units:	N/A	12.0 sf	N/A
Outdoor Rinse:	24.0 sf	21.0 sf	N/A
Total Cover	1,480.7 sf	2,193.8 sf (52.36%)*	< (90.0%)
		*(Section 413.06.E)	

Note:  
Survey, dated April 20, 2017, has been prepared by Michael Williams, PLS, 56 Main Street, Ocean Grove, New Jersey, a licensed New Jersey Land Surveyor.



Location Map

Scale: Graphic Scale



Site Survey Reference Plan

Scale: 1" = 10'

List of Drawings

- A-1 General Notes, Zoning & Area Calculations & Site Survey Reference
- A-2 Elevations
- A-3 Foundation & Site Plan
- A-4 First & Second Floor Plans
- A-5 Attic, Roof, Plumb Riser
- A-6 Typical Construction Section & Details
- A-7 Interior Door, Window & Finish Schedules
- A-8 Specifications
- A-9 REScheck Energy Compliance
- E-1 First & Second Floor Electrical Floor Plans
- E-2 Attic Level Electrical Plans & Specifications

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

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Signature

Proposed Renovations  
& Rear Addition to the  
Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #115, Lot #6

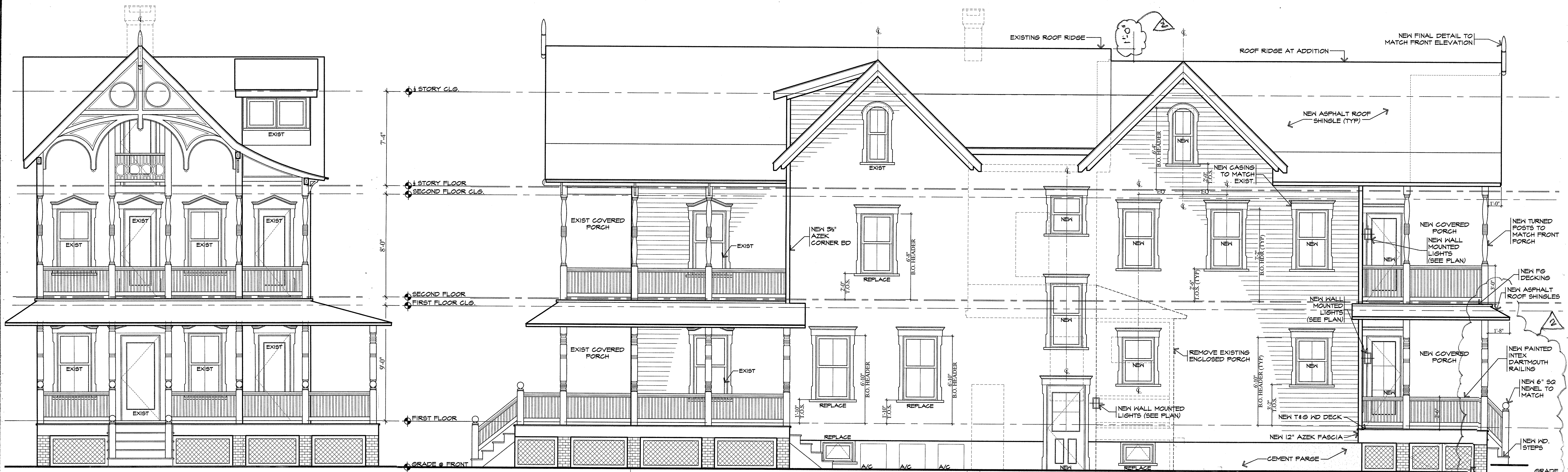
Use Group: R5  
Construction Type: 5B

PROJECT NAME  
O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ

DRAWING TITLE  
General Notes,  
Area Calculations  
Survey Reference

SCALE As Noted	JOB No. 2022990075
DATE 1/31/23	DRAWING No. A1
DRAWN BY MNL/MP	
CHECKED BY MP	





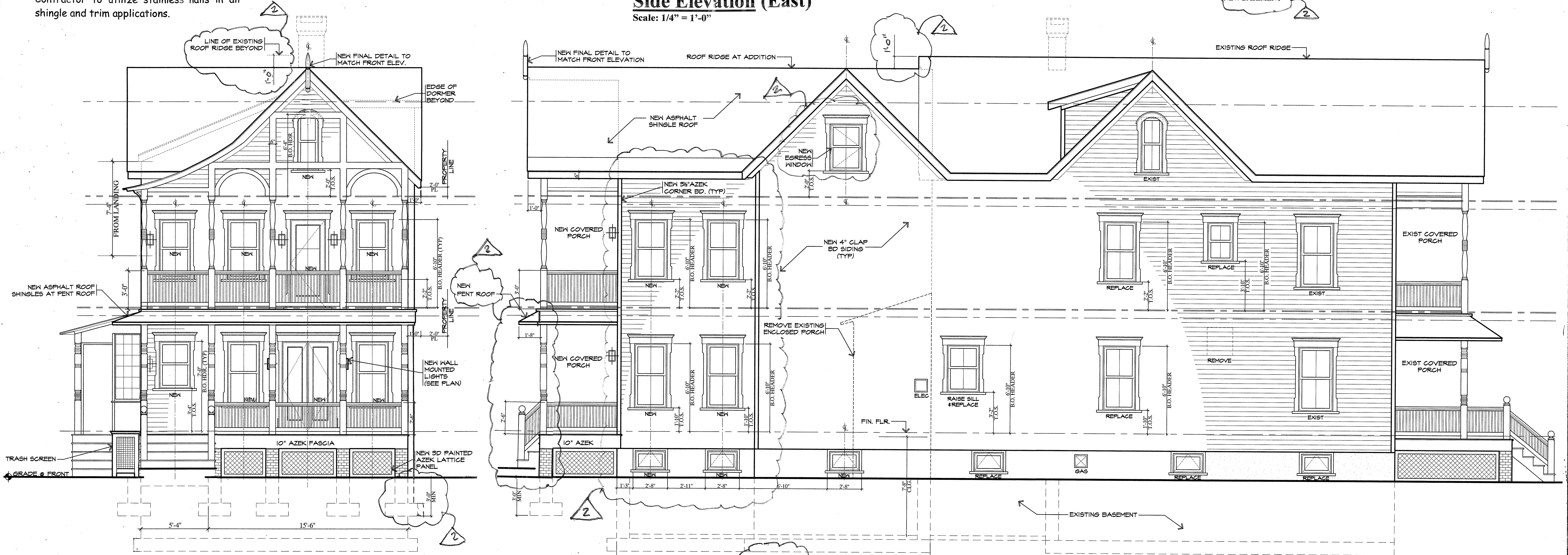
**Front Elevation (South)**

Scale: 1/4" = 1'-0"

NOTE: NO WORK TO EXISTING FRONT ELEVATION

**Side Elevation (East)**

Scale: 1/4" = 1'-0"



**Rear Elevation (North)**

Scale: 1/4" = 1'-0"

**Side Elevation (West)**

Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
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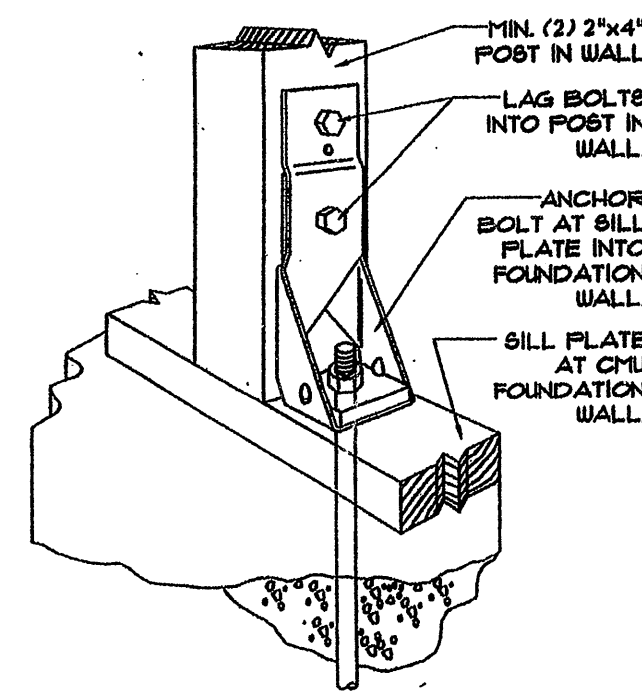
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Signature

**Proposed Renovations  
& Rear Addition to the  
Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #115, Lot #6  
Use Group: R5  
Construction Type: 5B**

PROJECT NAME	
O'Connor Residence 7 Ocean Pathway Ocean Grove, NJ	
DRAWING TITLE	
Elevations	
SCALE As Noted	JOB No. 2022991007B
DATE 1/31/23	DRAWING No.
DRAWN BY EAG/MP	<b>A2</b>
CHECKED BY MP	



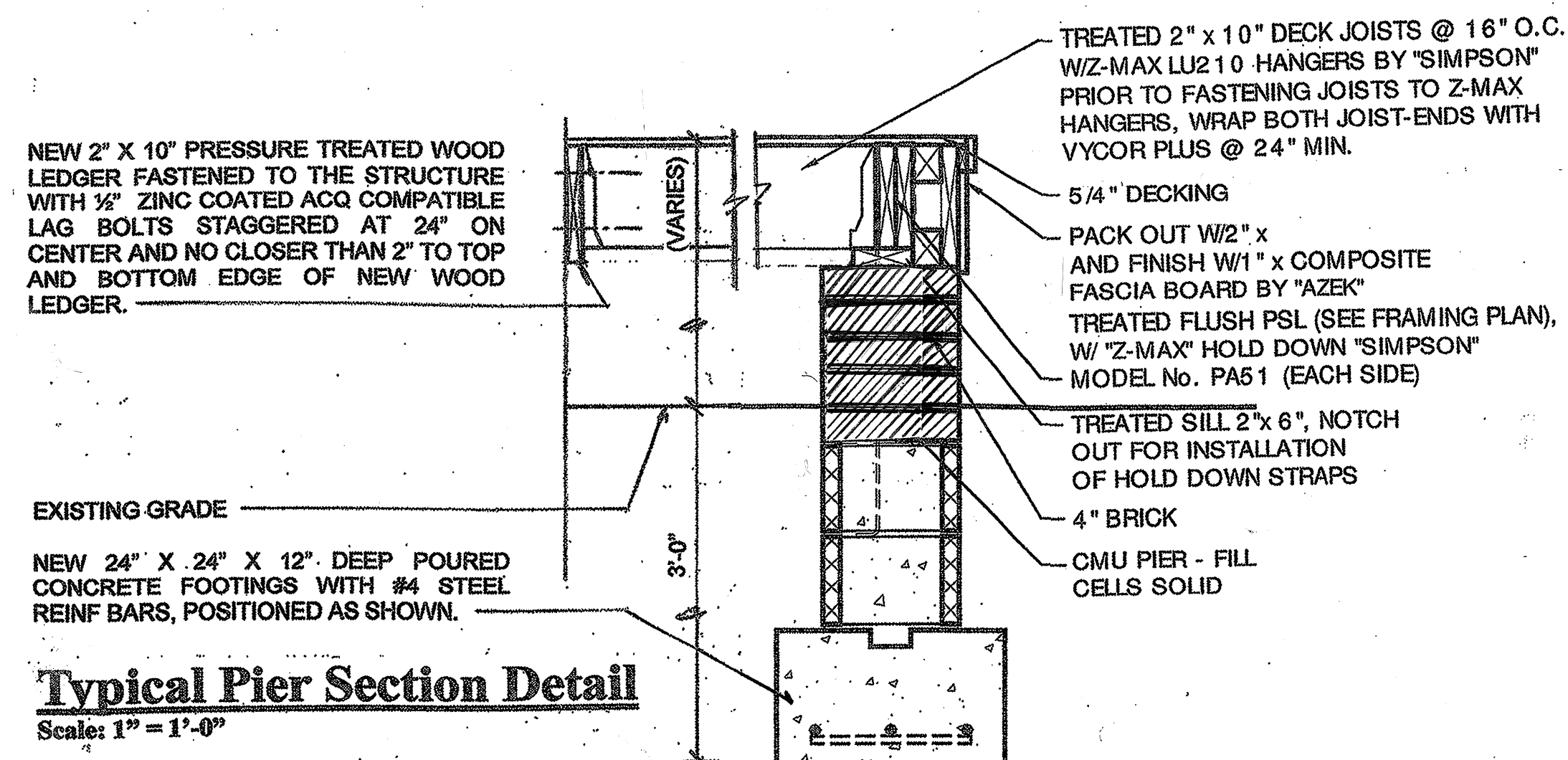


DETAIL - SIMPSON HD5A  
HOLD DOWN CONNECTION

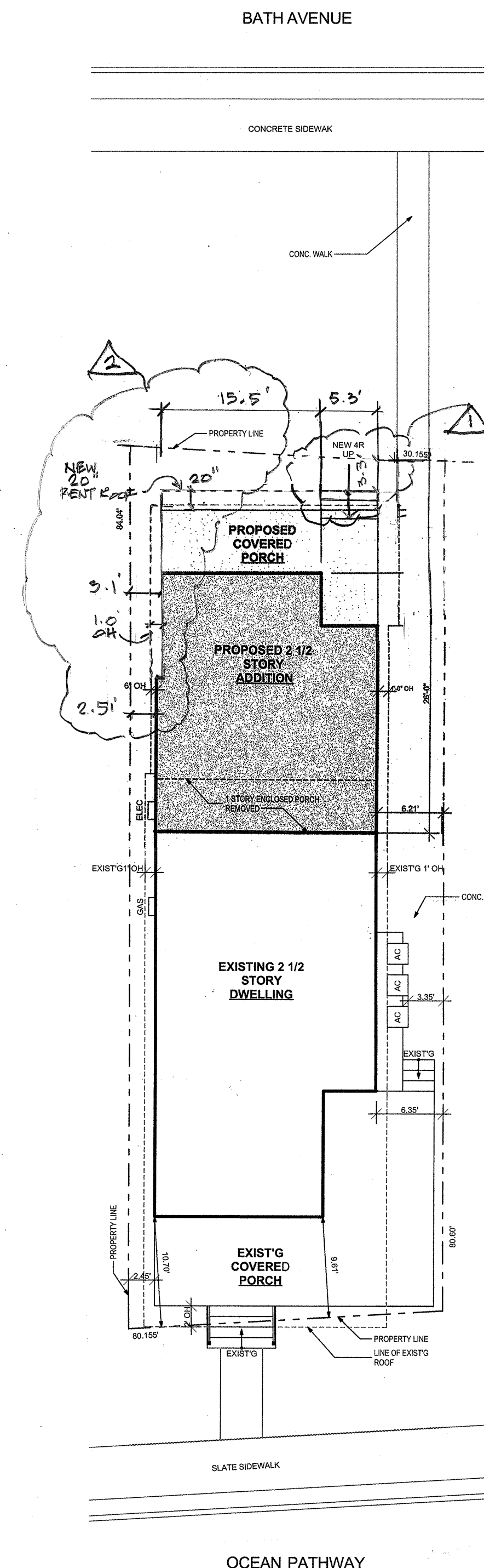
### Hold Down Details

Schematics/not to Scale

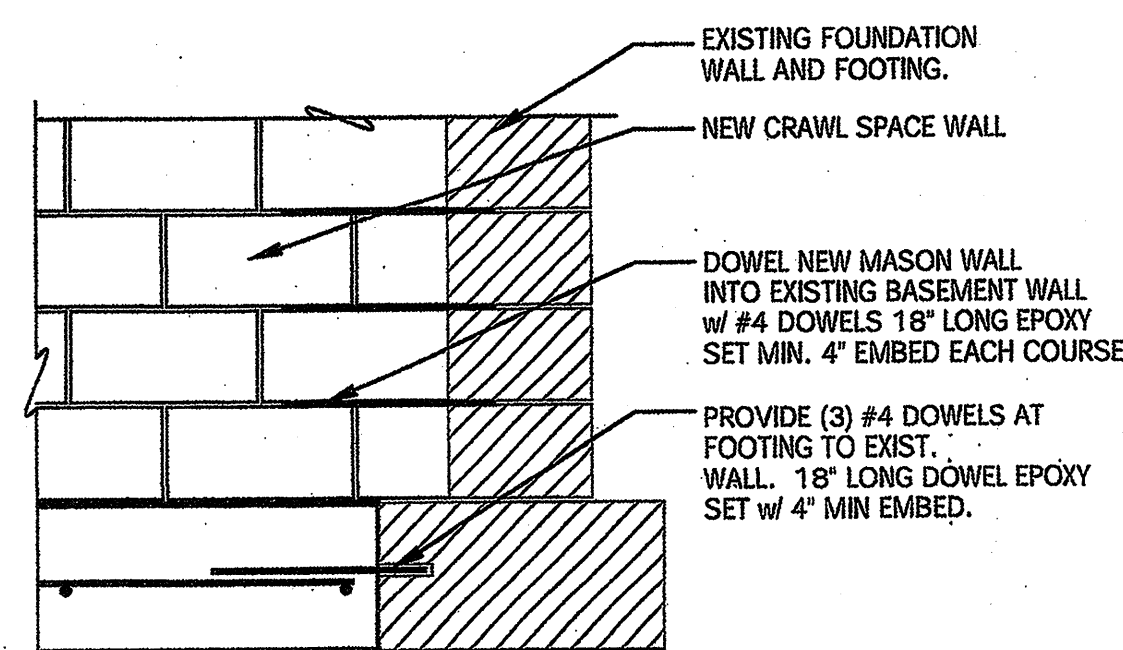
PROVIDE SIMPSON HD5A HOLD  
DOWN ANCHORS AS PER PLAN



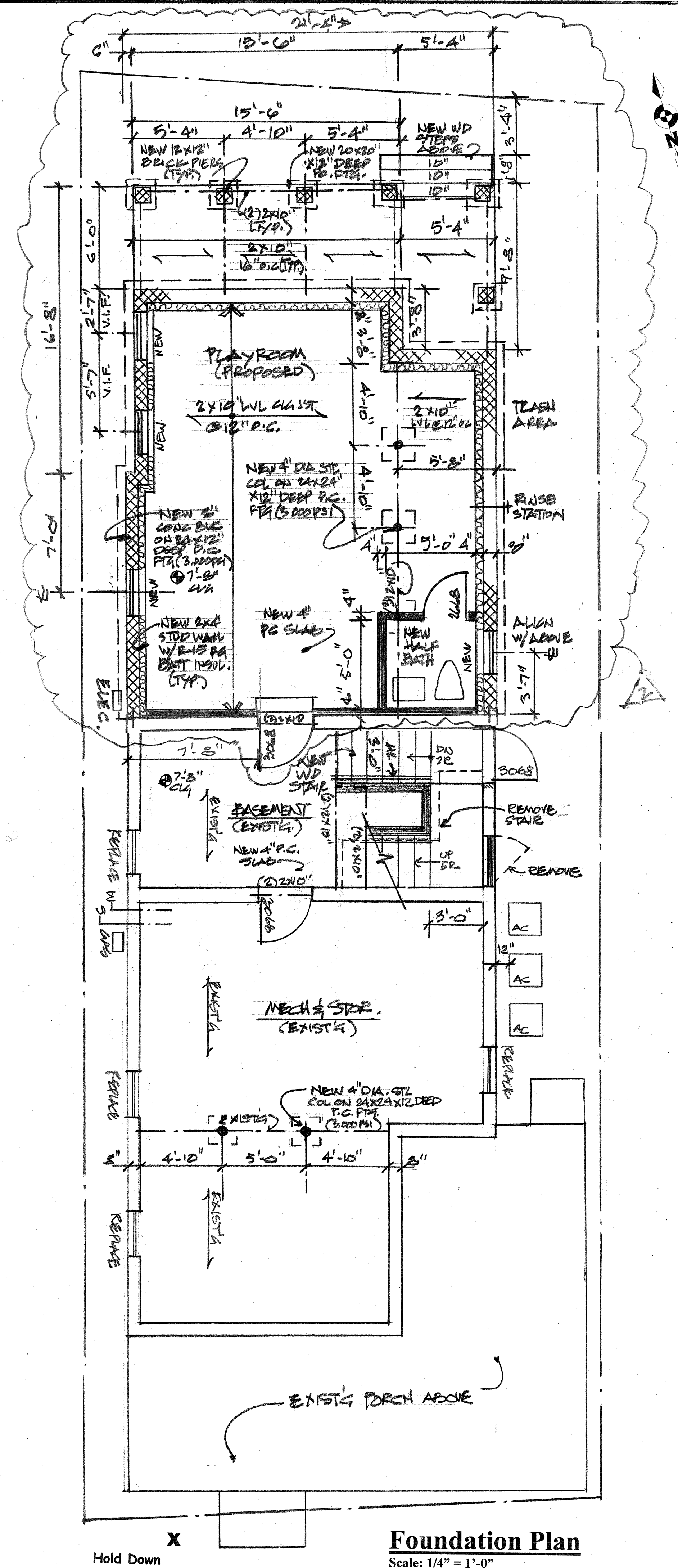
Typical Pier Section Detail  
Scale: 1\"/>



Site Plan  
Scale: 1\"/>



Typical Foundation Dowel Detail  
Scale: 3/4\"/>



REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

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Proposed Renovations  
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Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #115, Lot #6  
Use Group: R5  
Construction Type: 5B

PROJECT NAME  
O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ

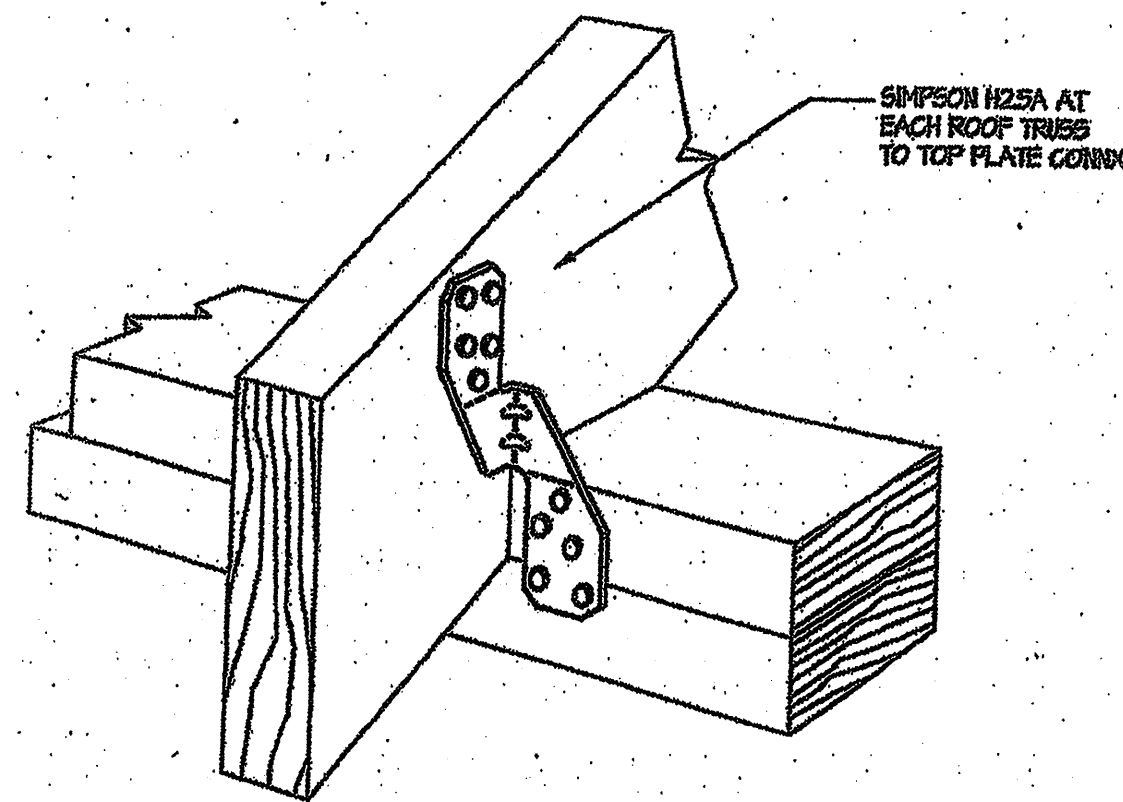
DRAWING TITLE  
Foundation  
& Site Plan

SCALE As Noted	JOB No. 2022991007B
DATE 1/31/23	DRAWING No. A3
DRAWN BY EAC/CMG/MP	
CHECKED BY MP	

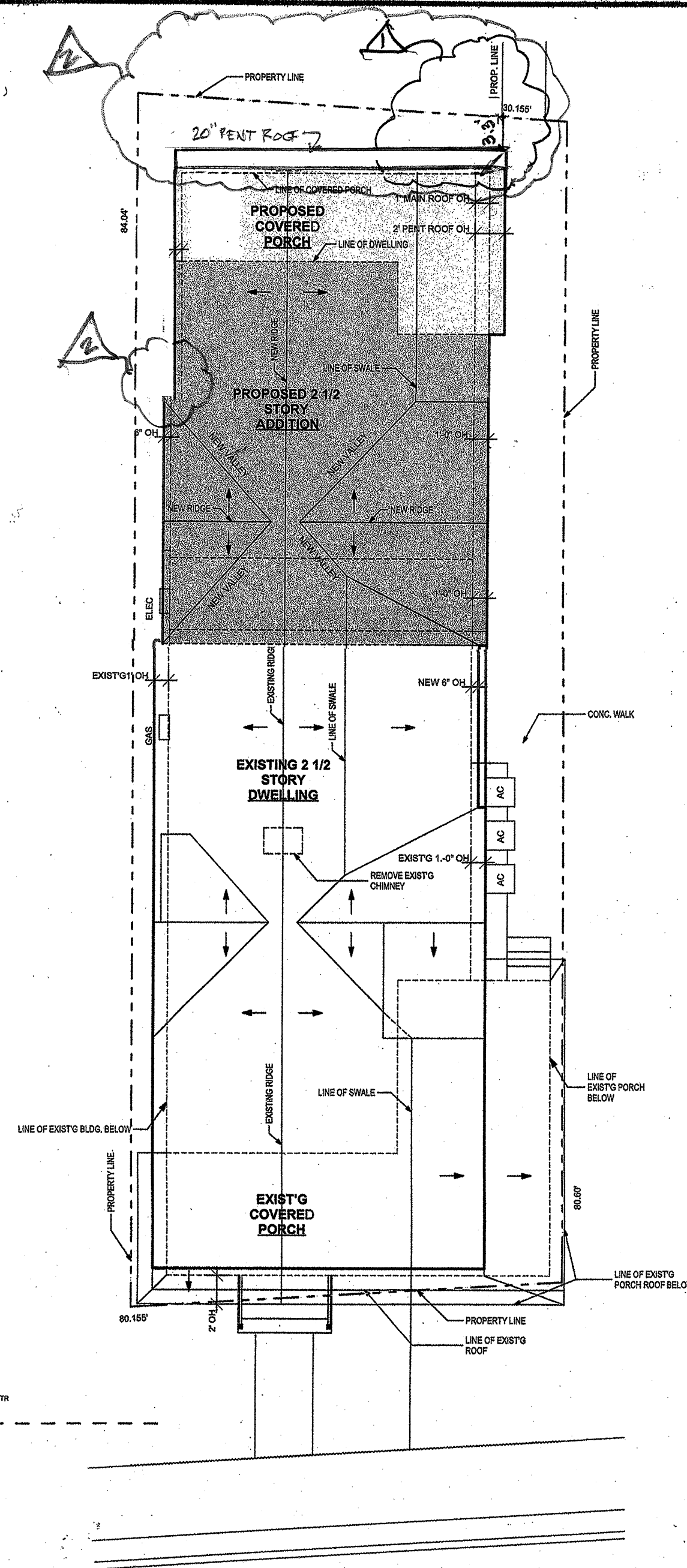


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**Typical New Rafter Hold Down**  
Scale: NTS



**Roof Plan**

Scale: 1/8" = 1'-0"

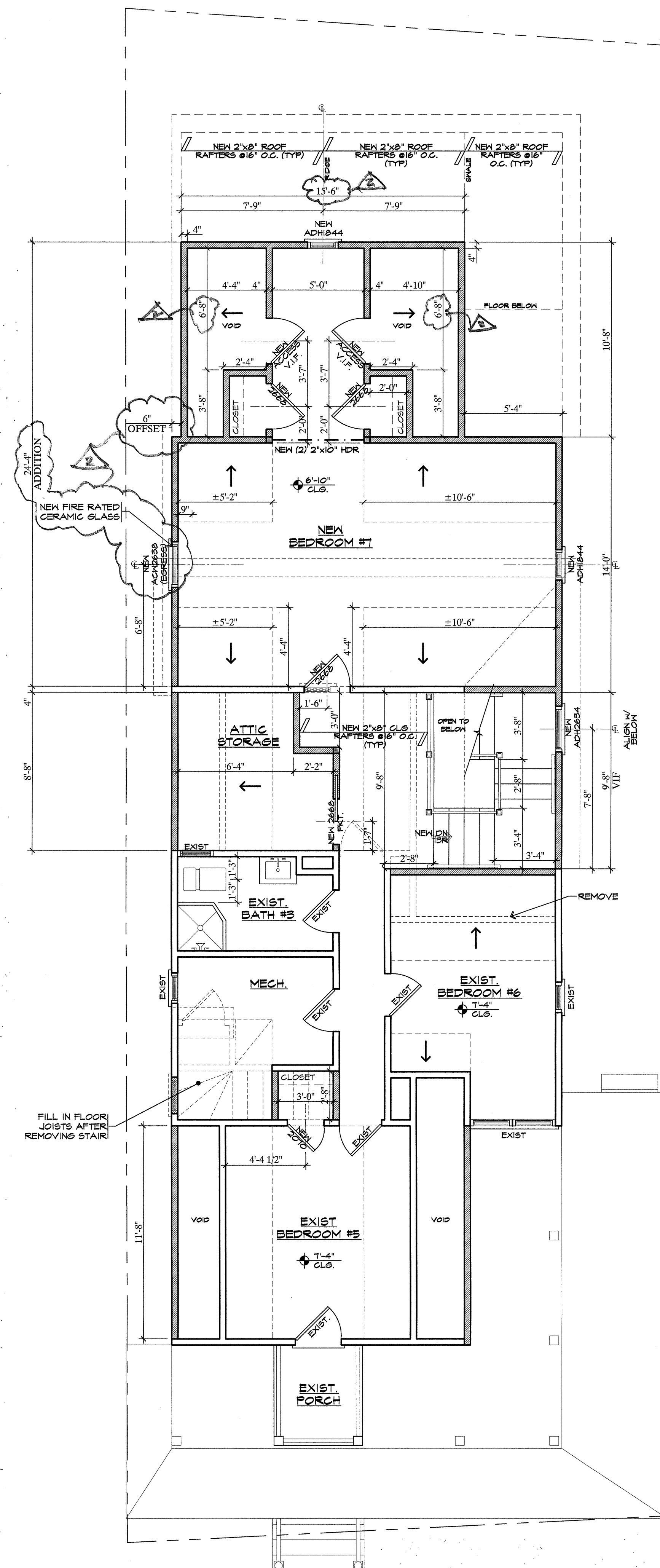
Design loads in accordance with the 2021 IRC/NJ Edition to be:

Snow and Roof Load: 20 pounds per sq. ft.  
Attic Live Load: 20 pounds per sq. ft.  
First Floor Live Load: 40 pounds per sq. ft.  
Second Floor Live Load: 30 pounds per sq. ft.  
Design Wind Load: 120 miles per hour

All work to be in accordance with the 2021 IRC/NJ Edition

**Smoke and Carbon Monoxide Detection:**

Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.

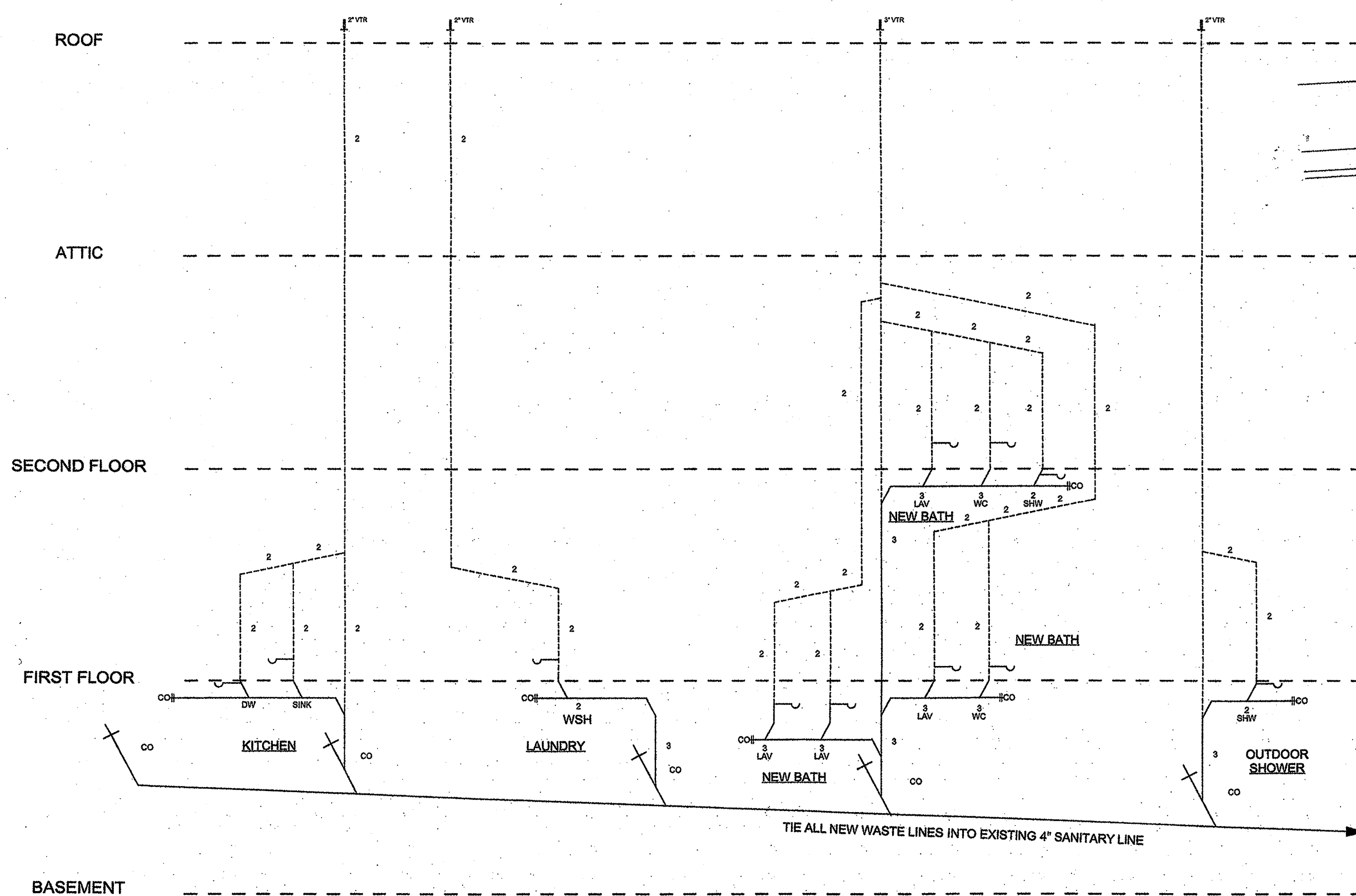


**Attic Level Plan**

Scale: 1/4" = 1'-0"

**Window Sill Height Note:**

Contractor to verify all second and attic level window sill heights to be at or above 24 inches of finish floor in accordance with Code.



**Plumbing Riser Diagram**

Scale: NTS

**Special Note:**

Plumbing Riser diagram provided as a guide for filing of Plumbing Sub-code Permit Application, to be filed by Plumbing Contractor.

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	4/12/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	5/12/23

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**Proposed Renovations  
& Rear Addition to the  
Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #115, Lot #6  
Use Group: R5  
Construction Type: 5B**

PROJECT NAME  
**O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ**

DRAWING TITLE  
**Attic/Roof Plan,  
Plumbing Riser**

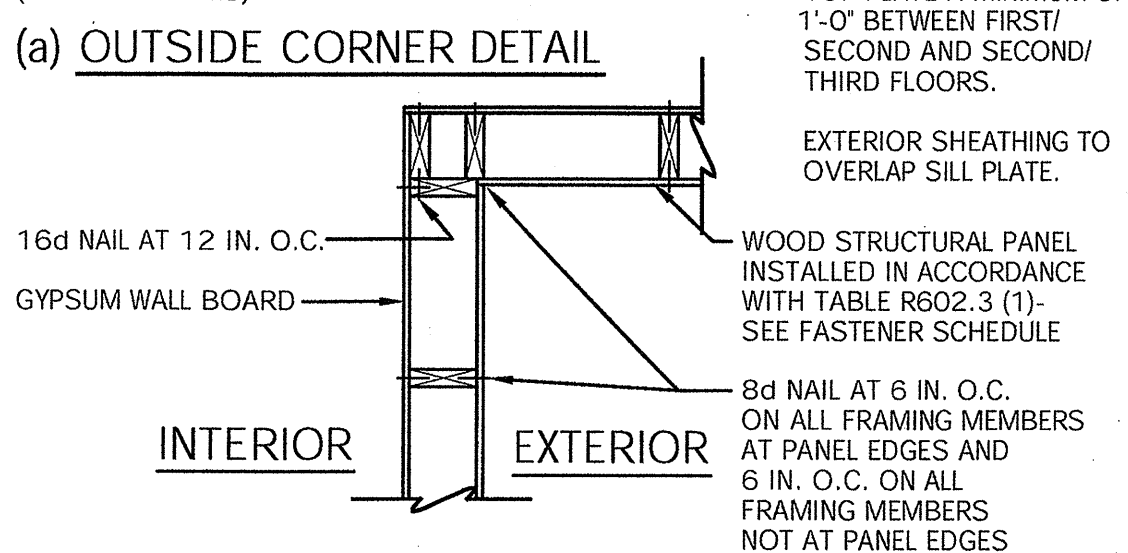
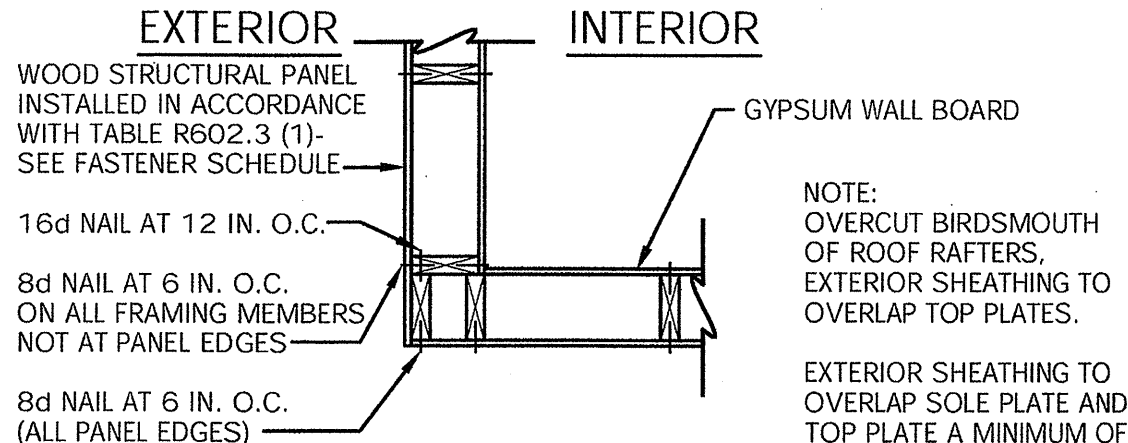
SCALE As Noted	JOB No. 2022991007B
DATE 1/31/23	DRAWING No.
DRAWN BY BAC/MP	<b>A5</b>
CHECKED BY MP	



## CONTINUOUS STRUCTURAL PANEL SHEATHING

BUILDING ELEMENT	FASTENER NUMBER AND TYPE	FIELD SPACING	EDGE SPACING
1/2" WALL SHEATHING	8d COMMON NAIL	6" O.C.	6" O.C.
5/8" ROOF SHEATHING	8d DEFORMED NAIL	6" O.C.	4" O.C.

- NOTES:
- NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4" ON CENTER TO GABLE END WALL FRAMING.
  - SEE DIAGRAMS BELOW FOR OUTSIDE AND INSIDE CORNER DETAIL.
  - PROVIDE 2" x 4" SOLID BLOCKING FOR ALL HORIZONTAL WALL JOINTS.



(b) INSIDE CORNER DETAIL

TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS (a,b,c,d)	SPACING OF FASTENERS
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d	-
1" x 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d	-
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d	-
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	1-6d	16" O.C.
TOP OR SOLE PLATE TO STUD, END NAIL	2-6d	-
STUD TO SOLE PLATE, TOE NAIL	3-8d OR 2-16d	-
DOUBLE STUDS, FACE NAIL	10d	24" O.C.
DOUBLE TOP PLATES, FACE NAIL	10d	24" O.C.
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d	16" O.C.
DOUBLE TOP PLATES, MINIMUM 24" OFFSET OF END JOINTS, FACE NAIL IN LAPTED AREA	8-16d	-
BLOCKING BETWEEN JOISTS/RAFTERS TO TOP PLATE, TOE NAIL	3-8d	-
RIM JOIST TO TOP PLATE, TOE NAIL	8d	6" O.C.
TOP PLATES, LAPS AT CORNERS/INTERSECTIONS, FACE NAIL	2-10d	-
BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	1-6d	16" O.C. ALONG EACH EDGE
CONTINUED HEADER, TWO PIECES	1-6d	16" O.C. ALONG EACH EDGE
CEILING JOISTS TO PLATE, TOE NAIL	3-8d	-
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d	-
CEILING JOIST, LAYS OVER PARTITIONS, FACE NAIL	3-10d	-
CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL	3-10d	-
RAFTER TO PLATE, TOE NAIL	2-16d	-
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d	-
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d	-
WIDER THAN 1" x 6" SHEATHING TO EACH BEARING, FACE NAIL	3-8d	-
BUILT-UP CORNER STUDS	4-8d	-
BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	10d	24" O.C.

2" PLANKS	2-16d	-
ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL	4-16d	-
FACE NAIL	3-16d	-
RAFTER TIES TO RAFTERS, FACE NAIL	3-8d	-
COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4"x20" GAGE RIDGE STRAP	3-10d	-

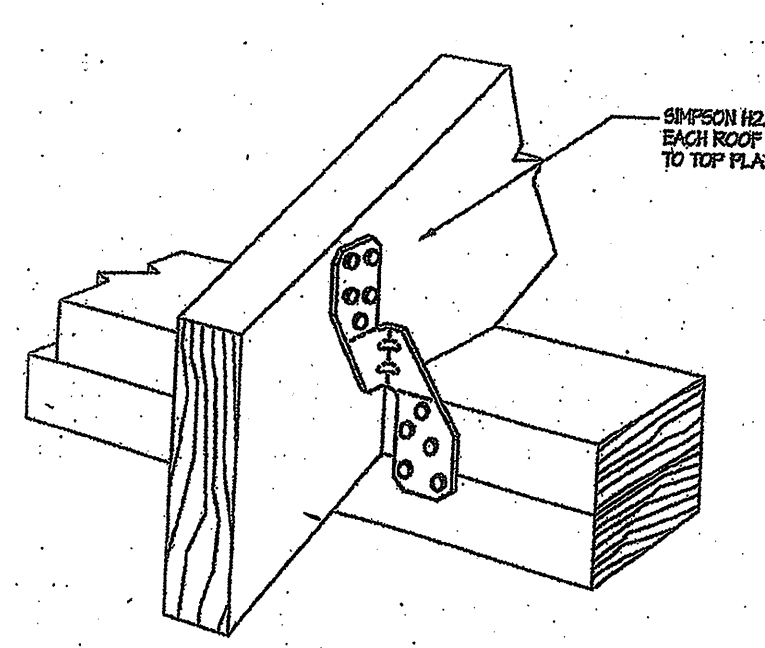
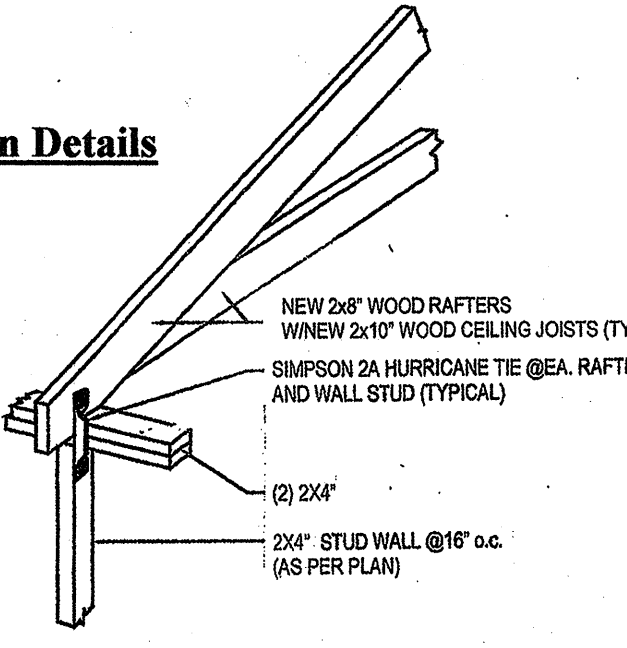
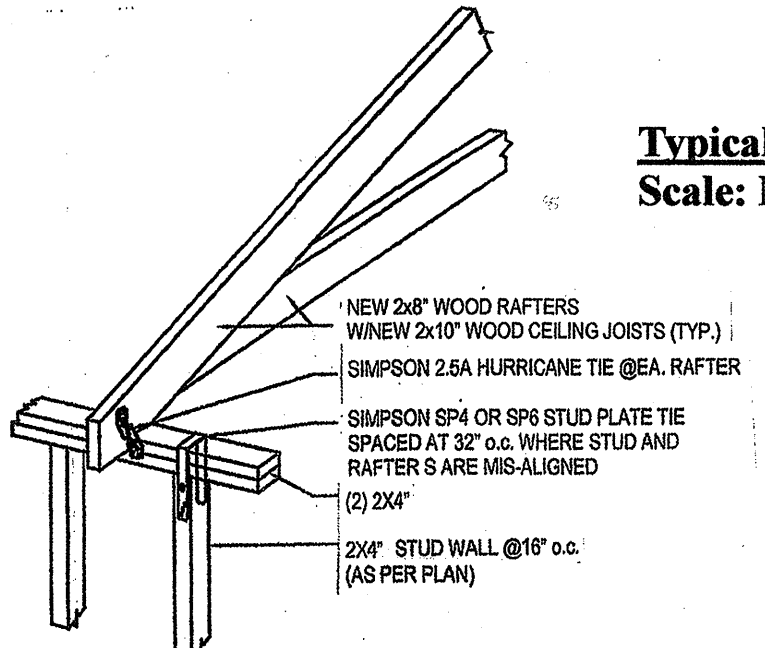
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING		
MATERIAL	DESCRIPTION OF FASTENER (b,c,e)	SPACING OF FASTENERS
		EDGES (INCHES)
		INTERMEDIATE SUPPORTS (IN.)

5/16" - 1/2"	6d COMMON (SUBFLOOR, WALL) 8d COMMON (ROOF, R)	6	6 (g)
1/2" - 1"	6d COMMON (SUBFLOOR, WALL) 8d DEFORMED (ROOF)	6	6 (g)

OTHER WALL SHEATHING			
1/2" GYPSUM SHEATHING (a)	1-1/2" GALVANIZED ROOFING NAIL; 6d COMMON	4	8
5/8" GYPSUM SHEATHING (a)	1-1/2" LONG GALVANIZED STAPLE 1-1/4" SCREWS, TYPE W OR S	4	8

WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
3/4" AND LESS	6d DEFORMED 8d COMMON 8d DEFORMED	6	12
7/8" - 1"	6d DEFORMED 8d COMMON 8d DEFORMED	6	12

- NOTES FOR TABLE R602.3(1) FASTENER SCHEDULE:
- ALL WALLS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
  - STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH IN DIAMETER CROWN WIDTH.
  - NAILS SHALL BE SPACED AT NOT MORE THAN 6-INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48-INCHES.
  - FOUR-FOOT BY EIGHT-FOOT OR FOUR-FOOT BY NINE-FOOT PANELS SHALL BE APPLIED VERTICALLY.
  - SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
  - 8d DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MIN. 48-INCH DISTANCE FROM GABLE END WALLS.
  - NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MIN. 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.
  - GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253.

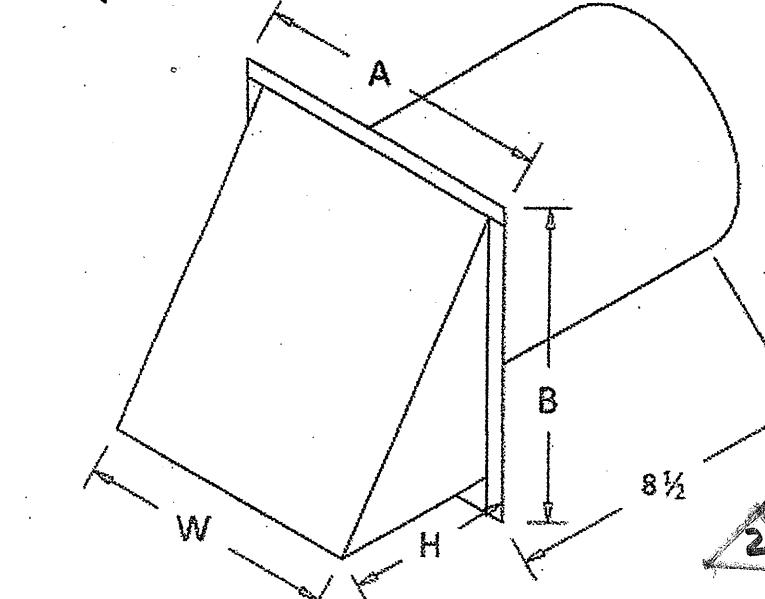


Typical Kitchen Exhaust

Scale: NTS

## Special Section Detail Notes:

- PROVIDE NEW SHEATHING IN ALL AREAS OF RE-SIDING WHERE NO SHEATHING EXISTS.
- ALL GUTTERS AND LEADERS TO BE NEW FACTORY WHITE FINISHED HALF ROUND ALUMINUM WITH EXPOSED STRAP HANGERS AND ROUND LEADERS IN A MATCHING WHITE COLOR.
- ALL EXPOSED WALL CONDITIONS WILL REQUIRE THAT INSULATION IS TO BE PROVIDED IN ACCORDANCE WITH ENERGY COMPLIANCE AND SPECIFICATIONS.
- ALL EXPOSED ELECTRICAL WIRING AND SERVICE DEVICES WITHIN ALL EXPOSED INTERIOR WALL PARTITIONS AND CEILINGS ARE TO BE UPGRADED TO MEET CODE AS REQUIRED.



Typical Window Trim Detail

Scale: 1/2" = 1'-0"

## Typical Window Trim Detail

Scale: 1/2" = 1'-0"

## Typical Framing Corner Board Detail

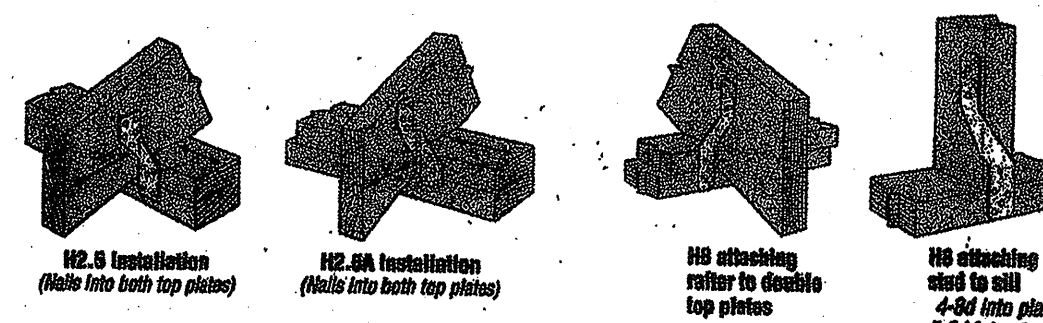
Scale: 3" = 1'-0"

## Shear Wall Schedule

Mark	Sheathing Type	Fastener	Value
SW-6	One Side - 7/16" OSB	8d common nails at 3" at sheet edges 6" o.c. in field - edges blocked	490 PLF
SW-6A	Both Sides - 7/16" OSB	8d common nails at 3" at sheet edges 6" o.c. in field - edges blocked	980 PLF

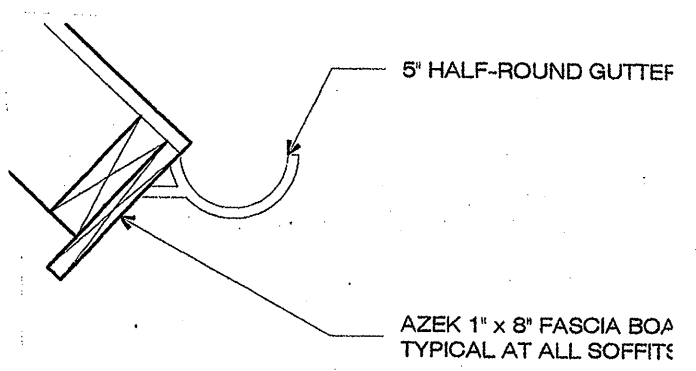
Roof/Rafter-to-Wood Top Plate Connections	OFSP	SPF
Roof/Rafter Span (ft)	100-110 (mph)	111-120 (mph)
20'	H2.5A	H2.5A
24'	H2.5A	H2.5A
28'	H2.5A	H2.5A
32'	H2.5A	H2.5A
40'	H2.5A	H2.5A
20'	H2.5A	H2.5A
24'	H2.5A	H2.5A
28'	H2.5A	H2.5A
32'	H2.5A	H2.5A
40'	H2.5A	H2.5A

Double Top Plate-to-Every Other Stud (One Story & Top of Two Story)	OFSP	SPF
Roof/Rafter Span (ft)	100-110 (mph)	111-120 (mph)
20'	H2.5A	H2.5A
24'	H2.5A	H2.5A
28'	H2.5A	H2.5A
32'	H2.5A	H2.5A
40'	H2.5A	H2.5A



Hurricane Hold-Downs & Details

Not to Scale.



Fascia Gutter Detail

Scale: 1 1/2" = 1'-0"

## Typical Kitchen Exhaust

Scale: NTS

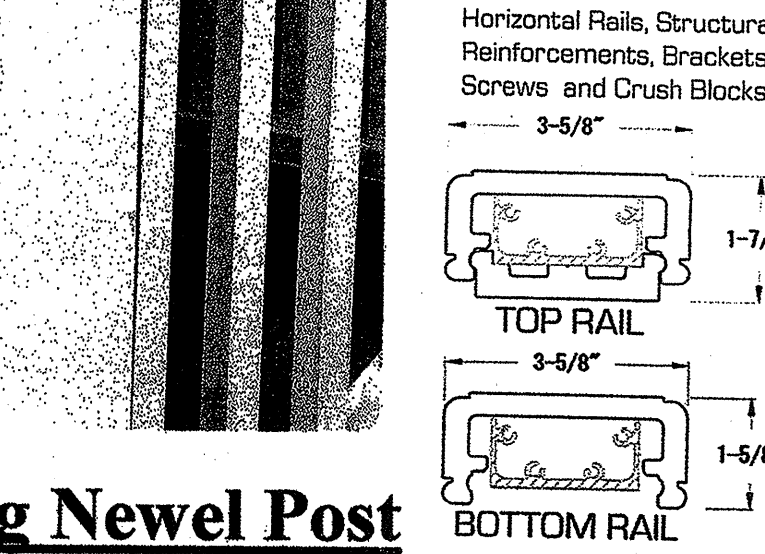
SIZE	A	B	W	H
3	6	6 1/2	5	3 1/4
4	6	6 1/2	5	3 1/4
5	7	7 1/2	6	3 1/4
6	8	8 1/2	7	4 1/2
7	9	9 1/2	8	5
8	10	10 1/2	9	5 1/4
10	13	13 1/2	12	6 3/4
12	15	15 1/2	14	8
14	17	17 1/2	16	9 3/4

## RS35350

Rail sections are available in 6', 8', 10' & 12'.

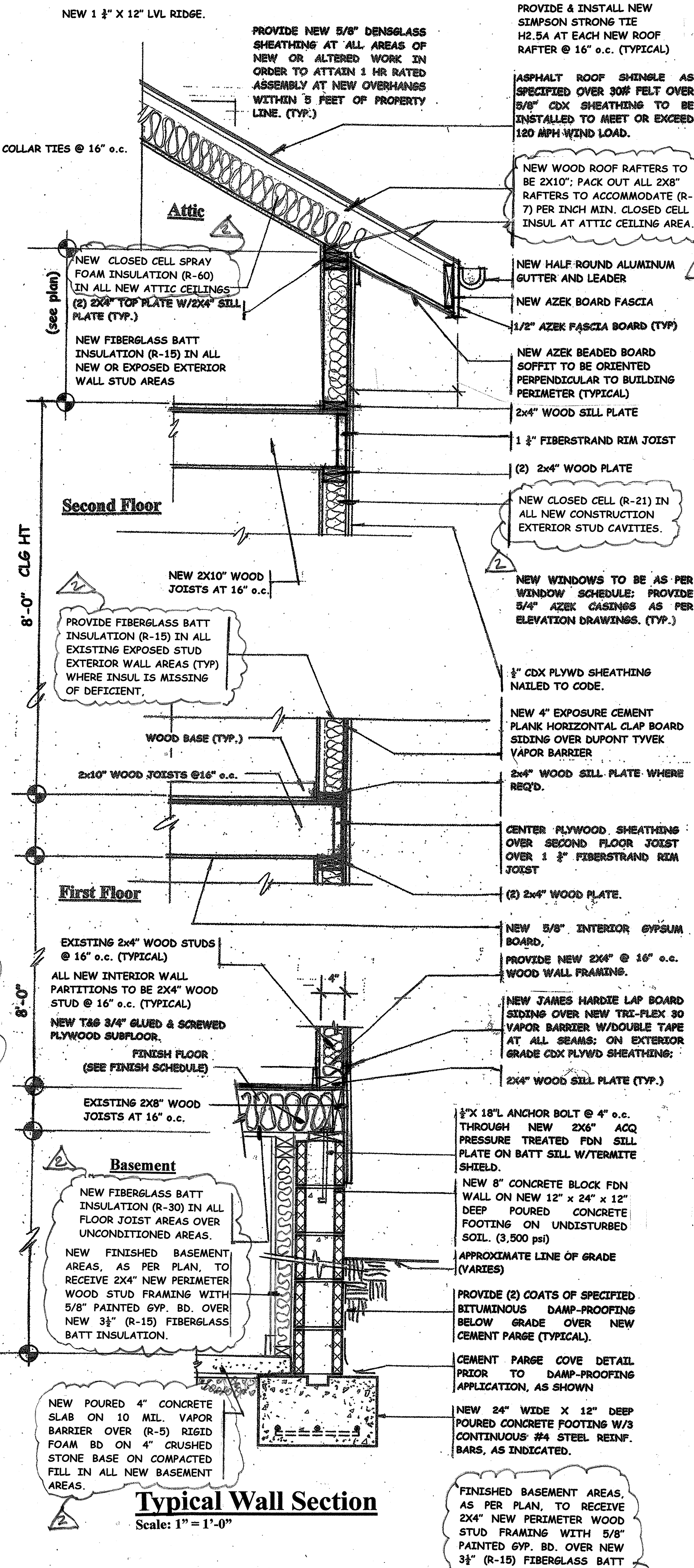
Rail Kits include: Horizontal Rails, Structural Reinforcements, Square Balusters, Hardware and Crush Blocks

Rail Sets include: Horizontal Rails, Structural Reinforcements, Brackets, Screws and Crush Blocks



Railing Newel Post

Scale: Schematic/NTS



Typical Wall Section

Scale: 1" = 1'-0"

REVISIONS		
No.	Description	Date
2	HPC COMMENTS 9/14/23	
	FROM DECC UPDATE	

ISSUES		
No.	Description	Date
2	HPC COMMENTS 9/14/23	
	FROM DECC UPDATE	

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Proposed Renovations  
& Rear Addition to the  
Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling

Block #115, Lot #6

Use Group: R5

Construction Type: 5B

PROJECT NAME  
O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ

DRAWING TITLE  
Typical Construction  
Section & Details

SCALE As Noted	JOB No. 202299007B
DATE 1/31/23	DRAWING No.
DRAWN BY UNC/MP	A6
CHECKED BY MP	



## Finish Schedule

Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
<b>FIRST FLOOR</b>					
Reception Entry	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Living/TV Room	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Kitchen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Quartzite Countertops w/Custom Finish Cabinets
Family Dining Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Laundry	New Stone Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Half Bath	New Stone Tile	Painted Wood	Painted Gyp. Bd. 36" High Beaded Board Wainscot	Painted Gyp. Bd.	Vanity w/Stone Top
Stairwell to Second Floor	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stained Wood Hand Rail with painted newel post & painted square spindles;
<b>SECOND FLOOR</b>					
New Stair/Hall Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Hall Linen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
MBR	Refinish Existing	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as required;
New MBR WIC	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Reframe floor joists;
MBR/Hall Bath	Existing	Existing	Existing	Existing	
BR #2	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as required;
New Hall Bath	New Stone Tile	Painted Wood	Full Stone Walls; in Shower Stall on WR Cement. Bd; 36" High Beaded Board Wainscot	WR Cement Bd. Stone Ceiling in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
New BR #3	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New BR #4	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Stairwell to Attic Level	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stained Wood Hand Rail with painted newel post & painted square spindles;
<b>ATTIC LEVEL</b>					
New Stair/Hall Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Attic Hall Storage	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
BR #5	Existing	Existing	Existing	Existing	Patch as required;
BR #6	Existing	Existing	Existing	Existing	Patch as required
New Mech Closet	Unfinished Plywd	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Reframe floor joists;
Hall Bath	Existing	Existing	Existing	Existing	
New BR #7/Studio	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
<b>BASEMENT</b>					
Stairwell to	New Painted Wood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Bike Storage	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Playroom	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Half Bath	New Ceramic Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Mech & Storage	Epoxy Paint	N/A	Drylok Paint	N/A	

### NOTES:

-All interior trim, casings and baseboard profiles to be Painted Pine as detailed in profile approved by Owner.  
-Provide Crown Moldings as per Finish Schedule. Crown moldings may be painted MDF in lieu of Painted Wood.  
-All references to "Hardwood" indicates new hardwood floors in finish to be selected and approved by Owner.  
-All references to "Stone" or "Tile" indicate all new stone or tile with final selection to be by Owner.

### Owner Submittal Requirements:

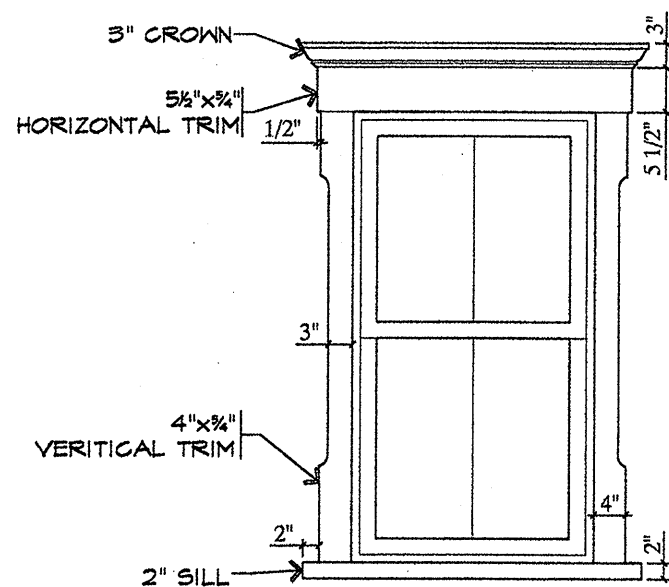
Contractor to provide sample and associated catalog information to Owner for final selection of any and all items not specified or discontinued by manufacturer at time of construction, including Soffit Brackets, Exterior Light Fixtures, all Moldings and Decorative Trim and Door Hardware prior to the order of material.

## Interior Door Schedule

Room or Area	Quantity	Dimensions(w x h)	Thickness	Door Type	Material	Pattern/Style/Special Notes
<b>FIRST FLOOR</b>						
Half Bath	1	24" x 84" (2070)	1 3/4"	Hinged	Wood	4-Panel
Pantry Closets	2	24" x 84" (2070)	1 3/4"	Hinged	Wood	4-Panel
Mud Rm/Laundry	1	36" x 84" (3070)	1 3/4"	Pocket	Wood	4-Panel
<b>SECOND FLOOR</b>						
MBR	1 Re-use	28" (w/transom)	1 3/8"	Hinged	Wood	4-Panel
MBR WIC	1	30" x 80" (2668)	1 3/8"	Pocket	Wood	4-Panel
MBath	1 Existing	28" (w/transom)	1 3/8"	Hinged	Wood	4-Panel
Hall Linen Closet	1	24" x 80" (2068)	1 3/8"	Hinged	Wood	4-Panel
Hall Linen Room	1	30" x 80" (2668)	1 3/8"	Pocket	Wood	4-Panel
BR #2	1 Re-use	28" (w/transom)	1 3/8"	Hinged	Wood	4-Panel
BR #3	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #3 Closet	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
Hall Bath	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #4	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #4 Bath	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #4 Closet	1	24" x 80" (2068)	1 3/8"	Hinged	Wood	4-Panel
<b>ATTIC LEVEL</b>						
BR #5	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel
BR #5 Closet	1	24" x 80" (2068) VIF	1 3/8"	Hinged	Wood	4-Panel
BR #6	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel
Hall Bath	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel
Attic Mech Room	1 Existing	28" x 80" (2468)	1 3/8"	Hinged	Wood	4-Panel Undercut
Attic Storage Room	1	32" x 80" (2068)	1 3/8"	Pocket	Wood	4-Panel
Hall Linen Closet	1	24" x 80" (2068)	1 3/8"	Hinged	Wood	4-Panel
BR #7	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
BR #7 Closets	2	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
Mech Access Panels	2	30" x 60" VIF	1 3/8"	Hinged	Insulated Wood	1-Panel w/Gasket
<b>BASEMENT LEVEL</b>						
Storage/Mech Area	1	36" x 80" (3068)	1 3/8"	Hinged	Wood	Louvered
Bath	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel
Game/Play Room	1	36" x 80" (3068)	1 3/8"	Hinged	Wood	4-Panel
Closet under Stair	1	30" x 80" (2668)	1 3/8"	Hinged	Wood	4-Panel

### Special Notes:

Contractor to verify all interior door dimensions in field prior to placement of order and installation.  
All interior doors to be 4 panel type or as other noted. Any upgrades and/or deviations from the above are to be submitted to Owner for review approval. All final hardware selections subject to Owner approval. Refer to provided Specifications for hardware and finishes.



## Exterior Casing Detail

Scale: 1/2" = 1'-0"

## Window & Exterior Door Schedule

Room or Area	Quantity	Manufacturer #	Glazing	Egress	SDL Detail	Type/Comments
<b>FIRST FLOOR</b>						
Reception Hall Area	1 Existing 2 Existing 2 Existing		Existing Existing Existing	N/A N/A N/A	(see elevation) (see elevation) (see elevation)	Front Inswing Door Double Hung South Double Hung E/W
Living Area	2 1	ADH2650 ADH2650	Low E4 Low E4	N/A N/A	2 over 2 lite 2 over 2 lite	Double Hung East Double Hung West
Kitchen	1	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung West
Half Bath	1	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung East
Mud Rm/Laundry	2	ADH2638	Low E4	N/A	2 over 2 lite	Double Hung
Side to Basement	1	Therma-Tru 36"x80" Benchmark	Low E Tempered Glass	N/A	4 lite (see elevation)	Outswing Door; Smooth/"Real Red"
Family Dining Area	2 1 1 1	ADH2650 ADH2650 FWID40611 Simpson Wood Door 2870	Low E4 Low E4 Low E4 Tempered Glass Low E Tempered Glass	N/A N/A N/A N/A	2 over 2 lite 2 over 2 lite 1 lite (see elevation) 2 over 3 lite Upper Glass Panel	Double Hung North Double Hung West Patio Doors North In-swing Door East
<b>SECOND FLOOR</b>						
MBR	2 1 1 1	Existing Existing Existing Existing Door	Existing Existing Existing Existing	N/A N/A N/A YES	2 over 2 lite 2 over 2 lite 2 over 2 lite (see elevation)	Double Hung South Double Hung West Double Hung East In-swing Door South
MBR WIC	1	ADH2030	Low E4	N/A	2 over 2 lite	Double Hung West
MBR Bath	1	ADH2648 VIF	Low E4	N/A	2 over 2 lite	Double Hung West
Stair Landing to Second Floor	1	ADH2648	Low E4 Tempered Glass	N/A	2 over 2 lite	Double Hung East
Bedroom #2	1 1	ADH2648 Simpson Wood Door 2670 VIF	Low E4 Low E4 Tempered	N/A YES	2 over 2 lite 2 over 3 lite	Double Hung East In-swing Door South
Bedroom #3	1	ADH2648 FWHD29611	Low E4 Low E4 Tempered	N/A YES	2 over 2 lite 2 over 3 lite	Double Hung In-swing Door North
Bedroom #4	1	ADH2648 FWHD29611	Low E4 Low E4 Tempered	N/A YES	2 over 2 lite 2 over 3 lite	Double Hung North Double Hung East In-swing Door East
Bedroom #4 Bath	1	ADH2648	Low E4	N/A	2 over 2 lite	Double Hung East
<b>ATTIC LEVEL</b>						
Bedroom #5	1	Simpson Wood Door 2668 VIF	Low E4 Tempered	YES	2 over 3 lite	In-swing Door South
Bedroom #6	1 1	Existing Existing	Existing Existing	N/A N/A	2 over 2 lite (see elevation)	Double Hung East Awning South
Mech Area	1	ADH2030	Low E4	N/A	2 over 2 lite	Double Hung West
Stair Landing to Attic Level	1	ADH2634	Low E4 Tempered Glass	N/A	2 over 2 lite	Double Hung East
Bedroom #7	1 1 1	ADH1844 ADH1844 ACW2638 Egress	Low E4 Low E4 Low E4	N/A N/A YES	2 over 2 lite 2 over 2 lite faux 2 over 2 lite	Double Hung East Double Hung North Casement West
<b>BASEMENT LEVEL</b>						
Mech/Storage Area	4 replace	AAN3218 VIF	Low E	N/A	1 lite	Basement Utility
Basement Bath	1	AAN3218 VIF	Low E4	N/A	1 lite	Basement Utility
Play/Game Room	2	AAN3218 VIF	Low E4	N/A	1 lite	Basement Utility

### Special Notes:

Window sizes as per Schedule to be verified in field by Contractor. Screens are to be provided throughout. Window Designations are referencing Andersen Windows and Doors - A-Series unless otherwise noted or approved by the Architect. All windows and doors to be factory clad exterior with factory finished interior. Exterior window frame and sash colors to be as approved by HPC.

Andersen windows and doors to be fibrex clad solid core wood with full divided lites with spacer bars and be manufactured with High-Performance Insulated Low-E4 Glazing, rated for maximum fade resistance, and have a factory painted white interior finish as manufactured by Andersen Windows and Doors. Provide window sash configuration as per elevations and provided Window Schedule as approved by HPC and Architect. Exterior Door and Window Sash color to be A-series "Red Rock" and Therma-tru "Real Red" subject to final approvals.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. Exterior door hardware and locksets to be black, or as otherwise selected and approved by Owner and with black interior finish. All exterior hardware finishes are to be acceptable for exposure to salt air with warrantee against pitting. All new door hardware to be provided and installed by the Contractor.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval. Manufacturer's shop drawing and order list is to be submitted to Architect for review prior to placement of final order. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Therma-tru exterior doors are to be provided where noted on Schedule and subject to Shop Drawing approval by HPC and Architect.

Simpson exterior doors are to be provided where noted on Schedule and subject to Shop Drawing approval by HPC and Architect.

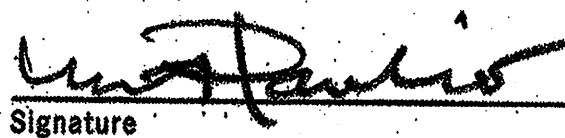
REVISIONS		
No.	Description	Date
2	HPC COMMENTS	6/12/23

ISSUES		
No.	Description	Date
2	HPC COMMENTS	6/12/23

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Signature

## Proposed Renovations & Rear Addition to the Existing 2 1/2 Story Wood Frame Single-Family Dwelling

Block #115, Lot #6

Use Group: R5  
Construction Type: 5B

### PROJECT NAME

O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ

### DRAWING TITLE

Interior Door, Window  
& Finish Schedules

SCALE  
As Noted

JOB No.  
2022990075

DATE  
1/31/23

DRAWING No.

DRAWN BY  
LNC/CPMP  
CHECKED BY  
MP

A7



## Special Conditions:

### Owner to Purchase and Supply the following:

- Kitchen cabinetry;
- Stone counter tops;
- Bathroom fixtures, accessories and faucet/shower fittings;
- Bathroom sink vanities;
- Medicine cabinets;
- Kitchen appliances,
- Interior stone flooring and wall tile;
- All surface mounted fans and lighting fixtures;

Owner's cabinetry fabricator to be responsible for installation of cabinets and counter tops. Contractor to also be responsible for installation of all other items purchased and supplied by the Owner as listed above, unless otherwise determined by Owner.

Contractor to be responsible for the storage and protection of all above items upon and after delivery to the project site until issuance of the final Certificate of Occupancy.

All exposed balloon stud framing to be fire blocked. Any partition stud framing found to be less than 3 1/2" in depth shall be paired with new 2x4" wood stud framing.

## Specifications:

### Division 1 - General Conditions

All work to comply with the 2021 International Residential Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, the General Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

All construction permits are to be procured by General Contractor and paid by Owner.

The Contractor is responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist the Contractor in the implementation of the project.

### Lead Paint, Asbestos or other Hazardous Material:

Contractor responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

### Demolition and Removals:

All existing partitions, fixtures and finishes within the proposed area of work graphically indicated on plans or otherwise required to be removed to complete the proposed renovations, are to be removed.

Contractor is responsible for the provision and associated costs of all required demolition, dumpsters, removals and disposal of debris in accordance with local regulations.

### Division 2 - Site Work

#### Site Work:

Contractor to restore any and all disturbed grade conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Site work by Contractor to include setting of new AC Unit pads and installation of new walks as indicated on site plan.

Controlled roof drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site in accordance with R801.3.

### Division 3 - Concrete

#### Footings:

New footings, where indicated on Foundation Plan, are to be poured concrete suitable for soil bearing capacity of 2,500 lbs/sf min. Contractor to verify at site. All footings to sound bearing to 3"-0" below grade. New footings are to be 12" deep with continuous #4 steel reinforcement bars, as indicated in details, and with a minimum of 16" overall width or as otherwise shown on plans and be of an ultimate strength of not less than 3,000 psi in 28 days.

#### Concrete Block (CMU):

All new concrete block to be new 8" as indicated on Basement Foundation Plan. Solid core full with poured concrete at all point load bearing locations.

#### Concrete Slabs:

Fill compaction at concrete slabs to be 90% maximum density with modified proctor test ASTM D-698 or 95% maximum density with standard proctor test ASTM D-698. Provide 4" new poured concrete slab in all basement floor areas with new poured concrete slab on 6 mil vapor barrier over 5" compacted and levelled base.

### Division 4 - Masonry

#### Masonry:

Defective or deficient existing masonry foundation conditions are to be repointed and repaired. All foundation found defective and deficient foundation conditions are to be brought to the attention of the Architect.

### Existing Flue/Chimney:

Existing to be removed and replaced with new direct vents through basement foundation walls.

### Division 5 - Metals

Contractor to provide hurricane/wind rafter tie downs at new framing in accordance with R802.11 or as otherwise noted in Typical Section Detail.

#### Fasteners & Hangers:

All metal hangers and other ties and connectors to be as manufactured by "Simpson" or equal or as otherwise approved by the Architect.

All metal hangers and other ties in contact with pressure treated ACQ lumber shall be zinc coated and compliant with ASTM A-153 so as to be compatible with ACQ as required.

### Division 6 - Woods & Plastics

#### Lumber:

All new framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. All new porch deck framing to be erected with new Pressure Treated 40 year tagged material.

Nail applications to Code. All replacement sill plates in areas where foundation walls are to be reconstructed, and are to be in contact with concrete foundation, shall be ACQ Pressure Treated.

New window and door headers to be a minimum of two (2) 2"x10" or 3 1/2" x 9 1/2" LSL or as otherwise approved by the Architect due to field conditions.

Use of long span manufactured lumber and laminated beams as an alternate or in deviation from that specified on the drawings is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect prior to such substitution or change.

Contractor to utilize wall bracing panel construction method R602.10.3 which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition and comply with 120 mph three (3) second wind gust

#### Sheathing:

New exterior wall sheathing to be 5/8" CDX plywood nailed to Code. Sheathing on any exterior walls within 5'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Such wall assemblies shall be 1-hour fire rated for exposure on both sides.

Exterior new wall sheathing to be nailed to Code at 6 inch o.c. Alternative Sheathing to be OSB Windstorm oriented vertically to minimize horizontal blocking requirements,

#### Sub-floor:

Any new sub-floor to be 3/4" T&G applied and fastened with screws and glued. Use of OSB Gold Edge Bond is an acceptable alternate. All screws to be spaced at 6" to Code.

#### Exterior Architectural Trim:

All new ornamental architectural trim, brackets, window, drip and door caps and articulated door and window surrounds, as shown on the Elevations and Details to be synthetic polymer as manufactured by Azek, or approved equal and painted as specified. Approved equal subject to review by Architect. All window and door surrounds to be 5/4" thickness in order to attain proper dimensional relief and to conform to casing details provided in plans. All staple holes and fastening dibits to be filled and sanded in preparation of application of paint.

#### Porch Floor and Entry Stair Planking:

New exterior rear first floor covered porch area deck surface and stair treads and to be tongue and groove 3 1/4 x 5/4" mahogany in stain finish. New porch decking surfaces to pitch to drain at 1/8" per foot minimum. New stairs to be box type constructed utilizing matching T&G treads and painted synthetic polymer risers and stringers.

### Division 7 - Thermal & Moisture Protection

Energy Code compliance to be in accordance with RESCheck as provided in the construction documents for the 2021 IECC Zone 4. Compliance shall conform with all ratings and description.

#### Insulation:

Provide insulation at all new areas of framing and all exposed exterior perimeter walls in existing areas of dwelling with new 3 1/2" fiberglass batt type with a R-15 rating in 4" exterior wall cavities when existing insulation found to be missing or otherwise compromised.

Provide R-30 insulation in all basement, ceilings and at floor areas over unconditioned spaces where work is to be performed. Apply R-60 ceiling and R-21 wall spray foam closed cell insulation in all areas of proposed rear addition.

Application of caulk at any new or modified window and door perimeters as well as other through wall penetrations and joints are subject to approval by the Architect on-site.

#### Exterior Siding and Other Facings:

Exterior siding, or other facings, shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone. New clap board siding to be smooth faced fiber cement board with 4" exposure as manufactured by James Hardie Corporation.

Contractor to provide hurricane/wind rafter tie downs in accordance with R802.11 as per the Typical Section Detail.

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings. All siding and trim to match existing as approved by HPC. Any deviation is subject to approval by Architect and HPC.

### Roofing:

New GAF self sealing Timberline Ultra asphalt shingle roofing to match existing dwelling.

All new roofing shingles shall match existing and conform to ASTM 3462 with a minimum of 6 fasteners per shingle.

### Existing Roofing:

Contractor to remove any existing roofing where noted on plan and properly dispose once removed.

### Vapor Barrier Paper and Wraps:

Contractor to install Henry Company Blue Skin at all roofing sheathing prior to application of roof shingles. All exterior wall sheathing to receive Henry Company Blue Skin or as otherwise approved by Architect, with all seams and methods of installation in accordance with manufacturer specifications. Install ice and water shield over all roof conditions with a slope of less than 4 over 12.

### Shower Stall Fiberglass Application and Pan:

New bathroom shower, bench and integral shampoo storage recess features to be fiberglass formed and water tested for inspection prior to tile application. All shower stalls to receive tile on full wall height, floors and ceilings.

### Division 8 - Doors & Windows

New or replacement windows and doors shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

Where required or otherwise noted on plans, egress windows shall be provided with an operable window vent or sash having a sill height of not more than 44 inches, and have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

#### Windows:

Any new windows to be manufactured with raised 7/8" full divided lite solid core wood units, where indicated, and be Low-E4 insulated clear glass with spacer bars and be as manufactured by Andersen Windows and Doors, A-Series in red rock outer sash color as approved by HPC, with factory finished white interior. Sizes for windows to be verified in the field or as otherwise identified on plans.

Contractor is responsible to verify provided window designations, egress compliance and sizes in field and notify Architect of any conflicts. Screens at any new windows are to match exterior sash color to be provided by Contractor. Interior window hardware to also be factory finished white.

All new sash glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Contractor's window vendor to prepare detailed shop drawings of all new or replacement windows and doors for review and written approval by the Architect prior to placement of orders.

#### Solid Panel Interior Doors:

All new doors to be pre-hung four-panel solid core wood in natural finish, as approved by Owner. Door height and width dimensions, as noted on Interior Door Schedule.

#### Exterior Doors:

All specified new or replacement doors to be as indicated on Exterior Door Schedule and elevations, as manufactured by Simpson and Thermo-tru Doors.

#### Attic Access:

Attic access to attic mechanical spaces to be provided with a minimum of 22" x 30" in clear opening. All access openings, panels and doors to have insulating gasket at door perimeter to assure tight fit and eliminate both air and mechanical noise transmission.

### Division 9 - Finishes

#### Gypsum Board:

All new interior Gypsum Board to be screwed and glued and be 5/8" minimum unless otherwise noted on plans or Typical Wall Section Detail or fire rating requirements for exterior walls within 5 feet of side and rear property lines.

#### New Interior Staircase:

New Oak treads to be finished to match wood flooring. Risers to be painted Poplar wood. Railing to include a top articulated profile handrail to be stained hardwood in Owner's stain color choice. Balustrade spindles to be painted wood spindles to be selected by the Owner.

#### Interior Trim, Moldings & Hardware:

All new window and door casing and base trim to be new painted clear grade primed poplar wood and finished to highest quality and match existing. Sample to be approved by Owner. Any and all field conflicts and special conditions are to be brought to the attention of Architect. Trim with wood knots will not be acceptable.

Hardware to be as manufactured by Baldwin or equal. Hinges to be five (5) knuckle type. All hardware to be matching "satin nickel finish" with glass knob detail when approved by Owner. All room locksets to be passage type, with privacy locksets in all bathrooms and all Bedrooms. Contractor to submit samples of all hardware to Owner.

#### New Wood Flooring:

Interior wood flooring to be 2 1/4" Red Oak of highest quality and finished as per Owner. Provide minimum of 3 coats of satin polyethelene finish, in areas as indicated in the Finish Schedule. Sample of finished wood floor product to be provided for approval by Owner.

#### Tile:

Install all new floor and wall tile, as provided by Owner, in accordance with the Finish Schedule. Utilize mortar set application method. All tile to be cleaned and sealed.

### New Glass Shower Door:

Provide and install new frameless shower door with clear tempered and coated 3/8" glass as per Finish Schedule.

### Kitchen/Vanity Countertops:

Countertop slabs to be 3/4" Quartzite, or other stone material, with edge detail and color, as selected by Owner. Fabricator to assist Owner in selection of edge detail.

### Interior Panel Wainscot:

Proposed interior wainscot panels to utilize poplar veneer and moldings to attain 36" wall height with chair rail as detailed and/or specified in Finish Schedule. Interior wainscot wall panels to be applied to gypsum board walls. Sample panel to be provided in field for review and final approval by Owner. Wainscot Panels to be painted as specified and coordinated with placement of all openings, doors, window, crown and base trim.

### Closet Rods & Shelving:

All interior bedroom, broom, linen and storage closet shelving to be factory finished white melamine board with steel hanging rods. Use of particle board is not acceptable.

### Interior Paint:

All interior walls to be primed and receive two coats of Benjamin Moore latex flat paint. Interior moldings, wainscot, window and door casings, and trim to receive two (2) coats of Benjamin Moore satin enamel paint.

Contractor to utilize eggshell finish in all bath areas. Ceiling to be primed in areas of new gypsum board application and receive two coats of Benjamin Moore ceiling white. All paint colors and finishes subject to approval by Owner.

### Exterior Paint:

The areas not to be covered with facing material are to be painted with two coats of Benjamin Moore Latex or equal.

### Exterior Railing Systems:

All new exterior railings, at proposed addition, to be painted Intex flat top "Dartmouth Style" with square spindles to match existing. Provided dual top horizontal rail at new 36" height, where noted on elevations at areas of new work.

Utilize stainless steel nails and staples in all related assembly. No exposed screws, plates nor others metal fasteners are to be visible. Use of vinyl railing and vinyl railing couplings, end plates, or "rosettes" is not permitted. Use of any screws shall require screw head location to be counter-sunk and plugged with wood or synthetic polymer plugs.

### Exterior Window Crowns, Casings & Surrounds:

All new ornamental architectural trim, crowns, window, drip and door caps, and articulated door and window surrounds, as shown on the elevations and details, are to be synthetic polymer as manufactured by Azek and be 5/4" in thickness in order to attain proper window and door casing dimensional relief, and be in color as approved by HPC Resolution. New crowns and sills to have one half inch extensions, as per Typical Window Trim Detail. All new porch and overhang soffits to be Azek beaded board.

### Porch Lattice Panels:

New dimensional lattice panels to be 3-D composite type framed at all perimeter edges with painted Azek material.

### Gutters and Leaders:

Contractor to provide new 6 inch aluminum half-round type gutters with outlet and connection to drain as per local requirements to replace all existing or failed gutter conditions. Color to match fascia and corner boards and be approved by Owner and Architect.

### Porch Columns and Posts:

New Columns to be turned 6" square load bearing type as manufactured by HB&G or Architect approved equal. Structural and cross framing within the rear gable assembly to be 6" ACQ material clad with Azek facings and wraps and be chamfered at all extended runs as required by HPC.

### Bathroom Fixture Fittings and Trim:

All bathroom fixtures, trim kits and fittings to be selected and provided by Owner and installed by Contractor. All bathroom fixture fittings and accessories to be fabricated of solid brass and of same style and series and be of matching finish as selected by Owner.

All bathroom fixtures by Kohler, Memoir Designer Series or equal as selected by Owner. All trim and fittings to be satin nickel finish by Rohl, or equal. All fitting finishes to be selected by Owner. Provide scald proof diverters with thermostatic type valve controls at all shower heads.

Contractor to install double stud on the flat behind grab bar fastening points to attain a 200 pound static load where grab bars, towel bars and paper holders are to be provided.

### Medicine Cabinets:

All medicine cabinets to be recessed into walls where indicated on plan, and be framed as provided by Owner but installed by Contractor. Any exterior recessed medicine cabinets to maintain insulation continuity.

### Division 10 - Specialties

All specialty systems are to be established and designed by others but may be included into scope of work by Contractor upon the Owner's request.

### TV/Cable:

Provide all wiring for all TV/Cable locations as required in all locations noted on all floor plans. Refer to electrical floor plans for all locations. Provide flat panel wall boxes (PWB) in proposed wall mounted digital TV flat screen positions. All TV/Cable boxes, wiring, modems or devices for remote operation are installed by Cable TV provider as per Owner.

### Internet Access:

Provide one new (1) Cat6 Internet hook-up with wireless modem capabilities at to be determined by Owner.

### Security System:

Security system to be provided by others, and as determined and approved by Owner.

### Second Floor Fiberglass Porch Deck:

Porch deck to receive two coats fiberglass on 3/4" CDX plywood screwed to structural joist floor framing with aluminum flashing and counter-flashing at building edge. Upper floor porch deck to pitch to drain at 1/8" per foot minimum. Color to complement exterior siding, as approved by HPC.

### Acoustic Treatments:

Provide open full batt insulation to serve as sound attenuation at all interior bedroom walls and floors between all floor levels and the walls at baths where framing cavities are exposed or associated with the new construction.

### Division 11 - Equipment

#### Kitchen Cabinetry:

Kitchen cabinetry to be as per plan with door and hardware style as selected by the Owner. Cabinet fabricator to provide samples and shop drawings for approval prior to manufacture. Contractor to be responsible for coordination of all appliance dimensions with the cabinet fabricator. Contractor to be responsible for the storage and protection of all cabinetry delivered to and while stored on site.

### Kitchen Appliances:

All appliances to be purchased and supplied by Owner and installed by Contractor. Cooktop Range to be Gas. Wall Oven, Microwave, Dishwasher, Beverage Center, Iceemaker and Washer/Dryer to be Electric.

### Division 12 - Furnishings

Not included.

### Division 13 - Special Construction

Not included.

### Division 14 - Conveying Systems

Not included.

### Division 15 - Mechanical/Plumbing

#### Existing HVAC Modification:

General Contractor to coordinate all new HVAC systems as required to accommodate proposed renovations.

Unless shown on these drawings, all mechanical work such as, but not limited to heating and air conditioning engineering, are to be established and designed by others. Final location of ductwork, returns and equipment are to be approved by the Owner and Architect.

Contractor to provide and install a new direct vent gas fired 3-zone system, and be 90% AFUE to be approved by Owner prior to purchase of equipment and installation.

Contractor to provide Heat Pump System with high velocity ductwork configuration for both heating and cooling requirements.

### HVAC Zones to be as follows:

Zone 1: First Floor  
Zone 2: Second Floor  
Zone 3: Attic Level

### Thermostat Controls:

Each zone to receive an individual Smart Thermostat as manufactured by "Honeywell" or equal and verified to be compatible with system and capable of remote monitoring.

### Air Conditioning:

New air conditioning system to be certified with a minimum SEER of 13, with low db noise emission rating and up-flow design with Neptune Township Zoning Approval. Deviation from specified condenser unit as shown on plans must be submitted for approval by local Zoning Officer.

### Ductwork:

All supply vents to be either floor or ceiling mounted and shall not be located in perimeter exterior walls unless fully insulated and encapsulated with insulation assembly equivalent to the R value of the Typical Exterior Wall Section as illustrated in the Construction Documents.

Supply ducts in unconditioned basement and attics are to be insulated with a minimum of R-8. All other ducts are to be insulated with a minimum of R-6 for compliance with the Energy Code.

Duct joints and connections to flanges of air distribution equipment are to be mechanically fastened and sealed. All other joints, seams, and connections are to be securely fastened with welds, gaskets, mastics or tapes. Tapes and mastics to be rated UL 181A or UL 181B.

Installation of all new forced air insulated ductwork system and final alignment of supply and return diffusers subject to review and approval by Architect and Owner.

Contractor to coordinate all placement and connections to all HVAC systems as required and verify positioning of ductwork so as to be compliant with current Energy Code.

### Hot Water Heating:

Contractor to provide and install two (3) new tankless on-demand gas-fired hot water heaters by A.O. Smith or equal, of capacity to adequately service all hot water requirements.

### Venting:

General Contractor to provide all venting of laundry dryer, bathrooms and kitchen, and integrated exhaust fan/ceiling light units in ceiling of bathrooms and shower enclosures as indicated on plans. New bathroom exhaust fans to be silent (quiet) running 120 cfm minimum as manufactured by Panasonic or equal. Kitchen exhaust to be appropriately sized with a maximum 650 cfm. Kitchen exhaust fans exceeding 650 cfm will require make up air system to be installed by others. New exterior wall exhaust vent covers to be as per plan and specified and approved by HPC

### Water and Sewer Lines:

Contractor to verify adequacy of existing services and include any re-alignment, replacement, re-lining and trenching , when required due to replacement of service.

### Water Pressure:

Contractor to verify adequacy of existing water pressure.

### Piping & Plumbing:

All supply lines to be in compliance with Code. Contractor may utilize PVC with acoustical wrap and drop sound deadening interventions. Work to include all required copper piping, fittings and equipment. Use of Pex piping is an acceptable alternate. Scope of work to include supply and installation of all piping, pipe fittings and equipment.

Provide all connections to dishwasher, refrigerator, and other components requiring plumbing hook-up as per proposed scope of work indicated on plans. Contractor to abandon and remove any remaining galvanized water supply piping and replace with new piping.

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F to be insulated with R-3. Contractor to include all copper piping, materials and related fittings and equipment.

Owner to supply all bathroom fixtures, sinks and toilets, kitchen sink, laundry sink, washer, dryer and all related faucets, towel bars, paper holders, robe hooks, medicine cabinets and related items for installation by Contractor.

### New Laundry Area Floor Pan and Drain:

Install floor drain under washer in laundry area.

### Division 16 - Electrical

Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

### Electrical Service:

Contractor to verify existing electrical service prior to preparing an application for construction permit. Contractor confirm and provide a minimum 200 Amp Electrical Service. Panel schematics to be prepared and filed for permit by Electrical Subcontractor.

### Electrical HVAC Connections:

Contractor to provide all electrical hook-up as indicated on plans including HVAC equipment.

### Electrical Wiring and Requirements:

Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner, Electrical Contractor and Architect are to review all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided where required by Code and noted on plans.

Provide and install dimmer switch controls where indicated on electrical schematic plans. All electrical wall switches to be rocker type, or as otherwise requested by Owner.

### Lighting Fixtures:

All surface mounted fixtures to be supplied by the Owner and installed by the Contractor.





Generated by REScheck-Web Software

## Compliance Certificate

Project 7 OCEAN PATHWAY, OCEAN GROVE - ADDITION

Energy Code: 2021 IECC  
Location: Ocean Grove, New Jersey  
Construction Type: Single-family  
Project Type: Addition  
Orientation: Bldg. faces 135 deg. from North  
Climate Zone: 4 (5253 HDD)  
Permit Date:  
Permit Number:

Construction Site: 7 OCEAN PATHWAY  
OCEAN GROVE, NJ, NJ 07756

Owner/Agent: TERRIE O'CONNOR  
7 OCEAN PATHWAY  
OCEAN GROVE, New Jersey 07756  
732-618-4364  
terrie@tocon.com

Designer/Contractor: MARK PAVLIU  
Mark Alexander Pavliu, AIA  
77 MAIN AVENUE, SUITE 101  
OCEAN GROVE, New Jersey 07756  
732-776-8777  
MP77AIA@aol.com

Compliance: Passes using UA trade-off

Compliance: 0.0% Better Than Code Maximum UA: 180 Your UA: 180 Maximum SHGC: 0.40 Your SHGC: 0.25  
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.  
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	455	60.0	2.2	0.022	0.024	10	11
Wall: Wood Frame, 1 1/2" o.c. Orientation: Unspecified	1,643	21.0	2.5	0.049	0.045	71	65
Window: Wood Frame SHGC: 0.27 Orientation: Unspecified	194			0.310	0.300	60	58
Floor: All-Wood Joist/Truss	455	30.0	2.2	0.030	0.047	14	21
Door: Glass Door (over 50% glazing) SHGC: 0.21 Orientation: Unspecified	82			0.310	0.300	25	25

## Additional Efficiency Package(s)

Not applicable

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck Version 1. REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title: Signature: Date: 6/9/23

Project Notes:

PROPOSED 2 1/2 STORY ADDITION TO AN EXISTING LANDMARK SINGLE-FAMILY RESIDENCE



REScheck Software Version : REScheck-Web

## Inspection Checklist

Energy Code: 2021 IECC

Requirements: 97.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [FR11] Ⓢ	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope and energy compliance path represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A6, A7, A8
103.1, 103.2, 103.8 [FR31] Ⓢ	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A6, A7, A8, A9
302.1, 403.7 [FR21] Ⓢ	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: _____ Cooling: _____ Btu/hr _____	Heating: _____ Cooling: _____ Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A9

Additional Comments/Assumptions:

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 [FO11] Ⓢ	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement is not applicable.
403.9 [FO12] Ⓢ	Snow and ice-melting system controls installed to shut off system when pavement temperature > 50F and no precipitation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement is not applicable.

Additional Comments/Assumptions:

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1, 402.3.1, 402.3.3, 402.5 [FR21] Ⓢ	Glazing U-factor (area-weighted average).	U-_____	U-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] Ⓢ	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A5
402.4.1.1 [FR23] Ⓢ	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A5, A6, A7, A8
402.4.3 [FR20] Ⓢ	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 1014.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.5 [FR16] Ⓢ	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A7, A8, E1
403.3.1 [FR12] Ⓢ	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.3.4 [FR13] Ⓢ	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.3.7 [FR15] Ⓢ	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.3.2 [FR28] Ⓢ	Ducts declared to be within the conditioned space are either 1) completely within the continuous air barrier and within the building thermal envelope, 2) buried within ceiling insulation in accordance with Section R403.3.6 and the air handler is located completely within the continuous air barrier and within the building thermal envelope and the duct leakage is ≤ 1.5 cfm / 100 square feet of conditioned floor area served by the duct system, or 3) the ceiling insulation R-value installed against and above the insulated duct ≥ to the proposed ceiling insulation R-value, less the R-value of the insulation on the			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.4 [FR17] Ⓢ	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥ R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.4.1 [FR24] Ⓢ	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
402.4.6 [FR29] Ⓢ	Electrical and communication boxes installed in the thermal boundary of the envelope sealed to limit air leakage between conditioned and unconditioned spaces.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, E1
403.5.2 [FR18] Ⓢ	Hot water pipes are insulated to ≥ R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.6 [FR19] Ⓢ	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts for mechanical ventilation systems.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8
403.6.1 [FR30] Ⓢ	Ventilation systems in climate zones 7 & 8 shall utilize heat or energy recovery			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> NOT APPLICABLE IN ZONE 4

Additional Comments/Assumptions:

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] Ⓢ	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.1, 402.2.7 [IN1] Ⓢ	Floor insulation R-value.	R-_____ Wood _____ Steel _____	R-_____ Wood _____ Steel _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1, 402.2.5, 402.2.6 [IN3] Ⓢ	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-_____ Wood _____ Mass _____ Steel _____	R-_____ Wood _____ Mass _____ Steel _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] Ⓢ	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Location on plans/spec:</b> A6, A7, A8

Additional Comments/Assumptions:

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1, 402.2.1, 402.2.2, 402.2.6 [F1] Ⓢ	Ceiling insulation R-value.	R-_____ Wood _____ Steel _____	R-_____ Wood _____ Steel _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [F12] Ⓢ	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft².			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A6, A7, A8
402.2.3 [F122] Ⓢ	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A6, A7, A8
402.2.4 [F13] Ⓢ	Attic access hatch and door insulation ≥ R-value of the adjacent assembly.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A7, A8
402.4.1.3 [F17] Ⓢ	Blower door test @ 50 Pa. <=5.0 aach in Climate Zones 1-2, and <=3.0 aach in Climate Zones 3-8.	ACH 50 = _____	ACH 50 = _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8
403.3.5 [F127] Ⓢ	Ducts are pressure tested in accordance with AIE/RESNET/ICC 380 or ASTM E1554 to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	_____ cfm/100 ft²	_____ cfm/100 ft²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.3.6 [F14] Ⓢ	Duct tightness test result of <=4 cfm/100 ft² across the system or <=3 cfm/100 ft² without air handler @ 25 Pa. Duct tightness <= 8 cfm/100 ft² for ducts within thermal envelope. For rough-in tests, verification may need to occur during Framing Inspection.	_____ cfm/100 ft²	_____ cfm/100 ft²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.3.4.1 [F124] Ⓢ	Air handler leakage designated by manufacturer at <=2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A9
403.1.1 [F19] Ⓢ	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9
403.5.1 [F11] Ⓢ	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.2 [F126] Ⓢ	Hot water boilers supplying heat through one- or two-pipe heating systems have automatic outdoor setback control to lower boiler water temperature based on outdoor temperature, indoor temperature or water temperature sensing.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement is not applicable.
403.5.1.1 [F128] Ⓢ	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement is not applicable.
403.5.1.2 [F129] Ⓢ	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement is not applicable.
403.5.3 [F131] Ⓢ	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement is not applicable.
403.6.2 [F125] Ⓢ	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.2.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A9
403.6.3 [F133] Ⓢ	Mechanical ventilation systems tested and verified to meet the minimum flow rates required by Section R403.6.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A6, A9, A9
403.5.1.1.1 [F132] Ⓢ	Demand recirculation water systems have automatic controls to start pump when hot water is requested.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement is not applicable.
404.1 [F16] Ⓢ	100% of permanent fixtures have high efficacy lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9, E2
404.1.2 [F123] Ⓢ	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A9

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
404.1.1 [F135] Ⓢ	Exterior lighting for multifamily buildings shall comply with Section C405.4.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Detached one- and two- family dwellings.
404.2 [F136] Ⓢ	Permanent interior lighting shall be controlled with either a dimmer, occupancy sensor or other control built into the fixture.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A9, E2
404.3 [F137] Ⓢ	Exterior lighting ≥ 30 watts shall have the following controls: manual on/off switch with automatic shut-off, automatic shut-off in daylight hours, and controls that override automatic shutoff that returns to automatic control within 24 hours.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A8, A9, E2
401.3 [F17] Ⓢ	Compliance certificate posted with building specifications and compliance path and results.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
303.3 [F118] Ⓢ	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:



## 2021 IECC Energy Efficiency Certificate

Insulation Rating	R-Value	
Above-Grade Wall	23.47	
Below-Grade Wall	0.00	
Floor	32.23	
Ceiling / Roof	62.23	
Ductwork (unconditioned spaces):	_____	
Glass & Door Rating	U-Factor	SHGC
Window	0.31	0.27
Door	0.31	0.21

Heating System:	
Cooling System:	
Water Heater:	

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

## REVISIONS

No.	Description	Date
2	HPC COMMENTS 6/12/23	6/12/23
	2021 IECC	

## ISSUES

No.	Description	Date
2	HPC COMMENTS 6/12/23	6/12/23
	2021 IECC	

Mark Alexander Pavliu, AIA

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Signature

Proposed Renovations  
& Rear Addition to the  
Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling

Block #115, Lot #6

Use Group: R5  
Construction Type: 5B

PROJECT NAME

O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ

DRAWING TITLE

REScheck  
Energy Compliance

SCALE

As Noted

JOB No.

2022A90007B

DATE

1/31/23

DRAWING No.

DRAWN BY

MP

CHECKED BY

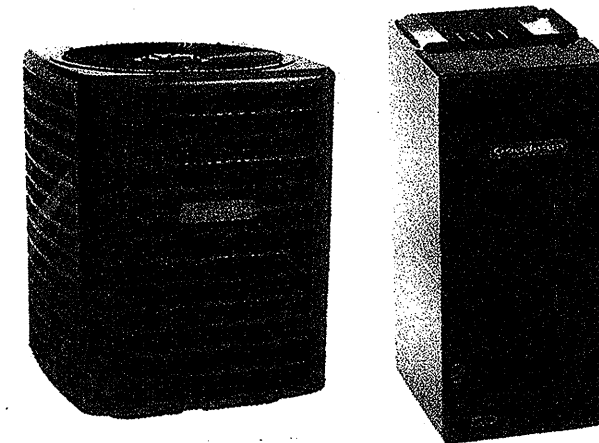
MP

A9



**All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.**

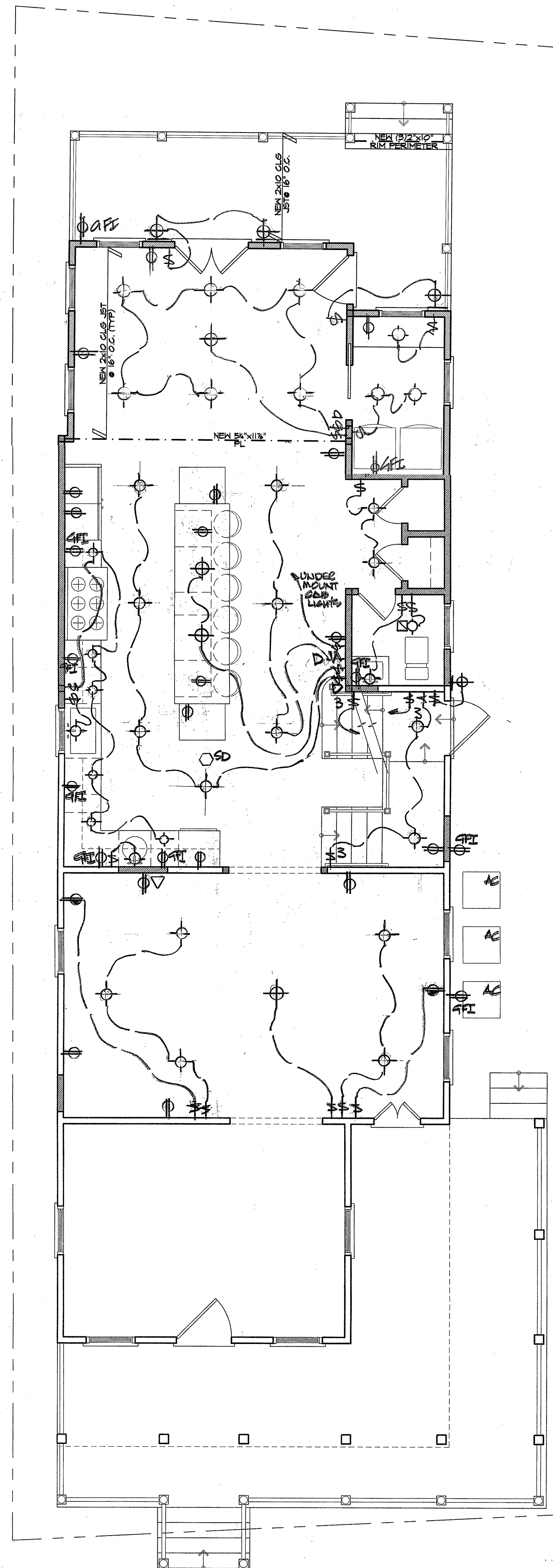
Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



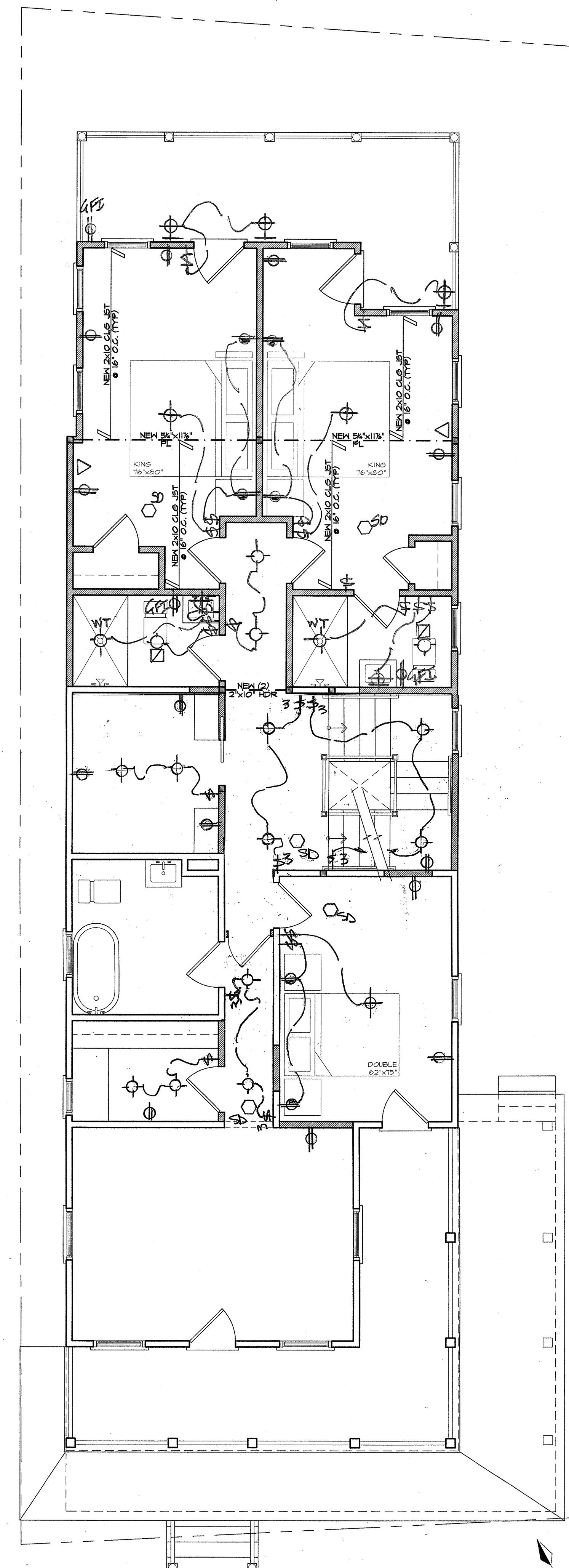
**Goodman 2 Ton 14  
SEER Heat Pump  
GSZ140241, Upflow,  
Downflow, Horizontal  
Air Handler  
ARUF25B14  
Brand: Goodman**

**Scale: NTS**

	WALLS TO BE REMOVED
	EXISTING WALLS
	NEW WOOD STUDS WALLS
	EXISTING WINDOW LOCATION
	NEW WINDOW LOCATION
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
	NEW CONCRETE FOOTING AND FOUNDATION
	STRUCTURAL BEAM
	JOIST FRAMING
	ROOF OVERHANG OR SOFFIT LINE
	ELEC. WALL SWITCH
	ELEC. WALL DIMMER
	ELEC. 3 WAY SWITCH
	ELEC. WALL OUTLET
	ELEC. FLOOR OUTLET
	ELEC. HALF-HOT WALL OUTLET
	CEILING MOUNTED LIGHT
	BRACKET/WALL MOUNTED LIGHT
	RECESSED CEILING LIGHT
	RECESSED DIRECTIONAL LIGHT
	EXHAUST FAN/HEAT LAMP
	SMOKE DETECTOR
	TV/CABLE JACK
	TELEPHONE JACK



**Scale: 1/4" = 1'-0"**



**Scale: 1/4" = 1'-0"**

[illegible][illegible]

**77 Main Avenue, Suite 101  
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**springlakearchitect.com**  
**mp77aia@aol.com**

Signature

**Use Group: R5**  
**Construction Type: 5B**

**O'Connor Residence**  
**7 Ocean Pathway**  
**Ocean Grove, NJ**

## First & Second Floor Electrical

DATE 1/31/23

DRAWN BY  
EAC/MP  
CHECKED BY

**DRAWING No.**

# E1



Specification

Division 16 – Electrical

Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

Electrical Service:

Contractor to verify existing electrical service prior to preparing an application for construction permit. Contractor confirm and provide a minimum 200 Amp Electrical Service. Panel schematics to be prepared and filed for permit by Electrical Subcontractor.

Electrical HVAC Connections:

Contractor to provide all electrical hook-up as indicated on plans including HVAC equipment.

Electrical Wiring and Requirements:

Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner, Electrical Contractor and Architect are to review all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided where required by Code and noted on plans.

Provide and install dimmer switch controls where indicated on electrical schematic plans. All electrical wall switches to be rocker type, or as otherwise requested by Owner.

Lighting Fixtures:

All surface mounted fixtures to be supplied by the Owner and installed by the Contractor.

All new recessed LED lighting to be maximum of 5" aperture with white trim kits and reflectors. Provide 4" aperture lighting housings over kitchen counter areas as noted on electrical plans.

All under cabinet or in cabinet lighting to be supplied by Contractor to match cabinet color and be approved by Owner prior to installation. Under cabinet lighting to include linear convenience receptacle strip. All recessed lighting to be as manufactured by Halo or Architect approved equal,

Paddle Ceiling Fans:

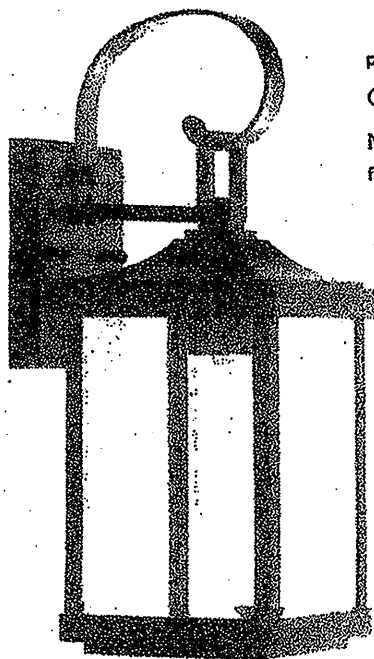
Any new paddle ceiling fans to be supplied by Owner and installed by the Contractor.

Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

Electrical Life-safety System Connections:

Carbon Monoxide and Smoke Detection Alarms to be provided at each floor level in common hallways within the adjacency of all sleeping areas and within 10 feet of all bedroom entry doors, as required by Code and indicated on the floor plans.



Progress Lighting  
Gibbes Street 15" Tall Outdoor Wall Sconce  
Model: P660021-020  
from the Gibbes Street Collection

Exterior Light Fixture

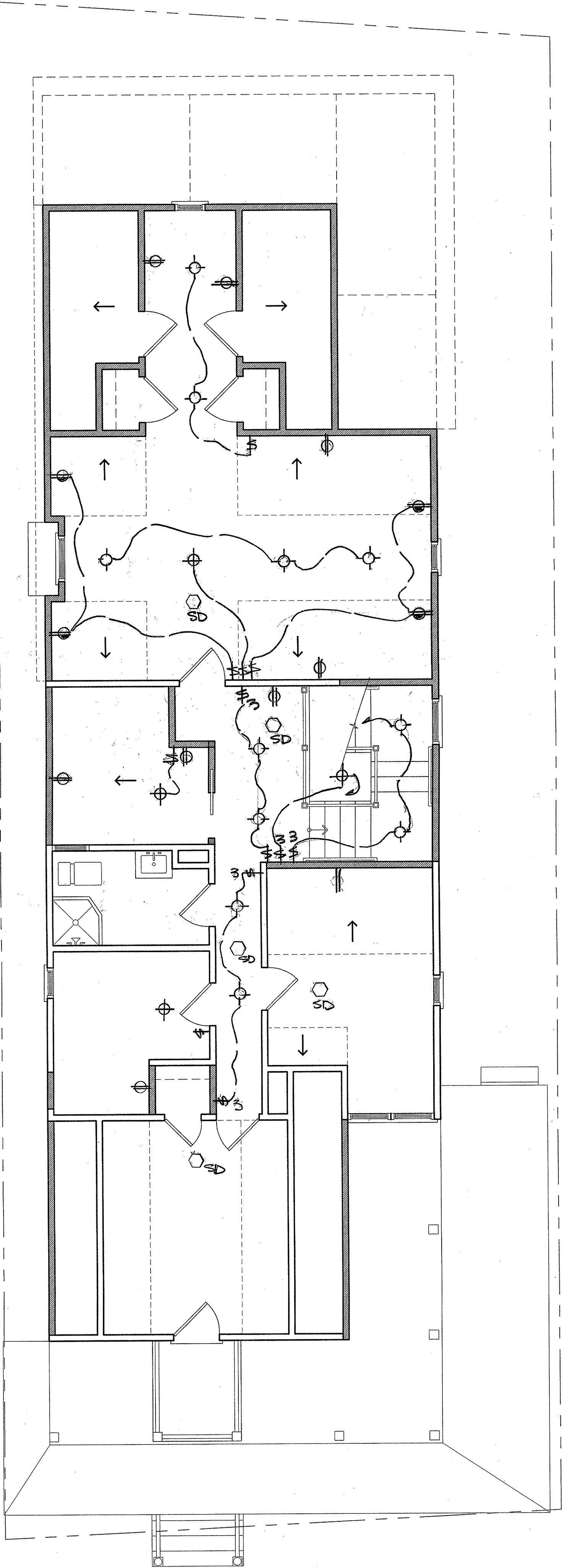
Scale: NTS

Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

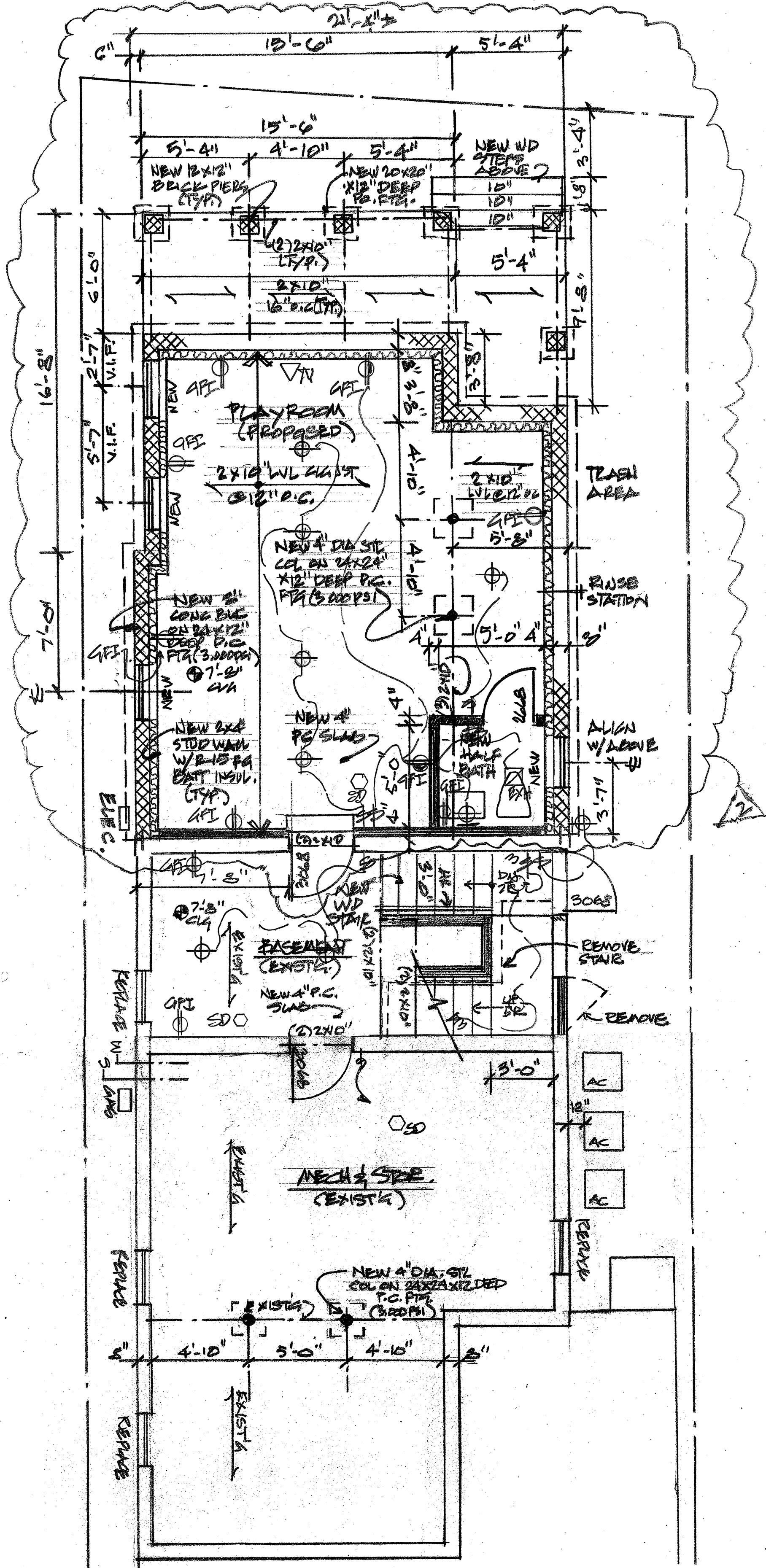
Smoke and Carbon Monoxide Detection:

Provide interconnected 110v smoke detector in accordance with IRC 2021 New Jersey Edition - as indicated on all floor plans. Smoke and Carbon Monoxide detection devices to be provided within vicinity of each sleeping area and no further than 10 feet from outside (entry door) of each bedroom.



Attic Level Electrical Plan

Scale: 1/4" = 1'-0"



Basement Electrical Plan

Scale: 1/4" = 1'-0"

Note:

- PROVIDE EMERGENCY SERVICE DISCONNECT IN AN OUTDOOR LOCATION.
- PROVIDE A SURGE-PROTECTIVE DEVICE (SPD) AT ELECTRICAL SERVICE PANEL.

REVISIONS		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

ISSUES		
No.	Description	Date
1	ZONING COMMENTS	3/21/23
2	HPC COMMENTS	6/12/23

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Signature

Proposed Renovations  
& Rear Addition to the  
Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #115, Lot #6

Use Group: R5  
Construction Type: 5B

PROJECT NAME

O'Connor Residence  
7 Ocean Pathway  
Ocean Grove, NJ

DRAWING TITLE

Attic Level  
Electrical Plan  
& Specifications

SCALE	JOB No.
As Noted	202299007B
DATE	DRAWING No.
1/21/23	
DRAWN BY	
EAC/MP/LP	
CHECKED BY	
MP	

E2