



Neptune
Township - NJ

Where Community, Business & Tourism Prosper

Property Location: 110 FRANKLIN AVE

Application No: HPC2022-147

Application Date: 08/29/2022

HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS - PENDING / REQUEST FOR INFO

- | | | |
|---|---|---|
| <input type="checkbox"/> AC UNIT | <input type="checkbox"/> GATE | <input type="checkbox"/> RAILINGS |
| <input type="checkbox"/> ADDITION | <input type="checkbox"/> GENERATOR | <input type="checkbox"/> RETAINING WALL |
| <input type="checkbox"/> ARBOR | <input type="checkbox"/> GUTTERS & LEADERS | <input type="checkbox"/> ROOF |
| <input type="checkbox"/> AWNING | <input type="checkbox"/> HOT TUB | <input type="checkbox"/> SATELLITE DISH |
| <input checked="" type="checkbox"/> BALCONY | <input type="checkbox"/> LATTICE | <input type="checkbox"/> SHED |
| <input type="checkbox"/> CHIMNEY | <input checked="" type="checkbox"/> LIGHT FIXTURE | <input type="checkbox"/> SHUTTERS |
| <input type="checkbox"/> COLUMNS | <input type="checkbox"/> NEW CONSTRUCTION | <input type="checkbox"/> SIDING |
| <input checked="" type="checkbox"/> DECK | <input type="checkbox"/> ORNAMENTATION | <input type="checkbox"/> SIGN |
| <input type="checkbox"/> DOOR REPLACEMENT | <input type="checkbox"/> OUTDOOR SHOWER | <input type="checkbox"/> SKYLIGHT |
| <input type="checkbox"/> DRIVEWAY | <input checked="" type="checkbox"/> PAINT | <input type="checkbox"/> SOLAR |
| <input type="checkbox"/> EXTERIOR ALTERATIONS | <input type="checkbox"/> PATIO | <input type="checkbox"/> STAIRS |
| <input type="checkbox"/> FENCE | <input type="checkbox"/> PIERS | <input type="checkbox"/> VENT |
| <input type="checkbox"/> FLAGS/BANNERS | <input checked="" type="checkbox"/> PORCH | <input type="checkbox"/> WALKWAY |
| <input type="checkbox"/> FOUNDATION | <input checked="" type="checkbox"/> PORCH FAN | <input type="checkbox"/> WINDOWS |
| <input type="checkbox"/> OTHER | | |

PROPERTY IDENTIFICATION

Property Address: 110 FRANKLIN AVE

Block: 277

Lot: 3

Qualifier:

OWNER INFORMATION

Name(s): PIETRO, D ANDREW & CORDERO, WILLIAM

Address 723 WASHINGTON ST APT 6 HOBOKEN, NJ 07030

Phone: [REDACTED]

Email: [REDACTED]

APPLICANT INFORMATION

☐ Check if same as Owner

Names(s): Carolyn Young

Company:

Address: 71 Will Lane Watchung, New Jersey 07069

Phone: [REDACTED]

Email: [REDACTED]

PROPERTY INFORMATION

Property Type?(check one)

☒ Single Family ☐ Multifamily: 1 Units ☐ Commercial ☐ Condo ☐ Mixed Use

Architectural Period / Year Built: 2001

Architectural Style: OTHER

Demolition hearing required? ☐ YES ☐ NO

IF YES: you must apply for a Demolition Permit prior to applying for a Certificate of Appropriateness

Zoning Permit Acquired? ☒ YES ☐ NO ☐ N/A

Zoning Permit ID# (from Zoning Permit) 558211444

DATE APPROVED: 07/20/2022

APPLICATION REVIEW NOTES:

The Review Team has deemed this application incomplete, as the Applicant has not submitted all required information to evaluate the project as described on the application and in the information sheet. The Review Team has identified general and specific deficiencies based on Neptune Township Land Development Ordinances and Ocean Grove Historic District Architectural Design Guidelines. Please understand that this is a preliminary review. It includes, but is not limited to, the observations below:

Description of Work

Tech review team is inquiring what particular architectural style the applicant is seeking to achieve. Please advise as to the style of proposed architectural alterations.

1 CRAFTSMAN / Seaside vernacular is CONFORMING

If the chimney needs to be raised, the chimney facing material would need to be discussed.

2 Nothing about the chimney will be changed. CONFORMING

Proposed gable window and door design to be discussed (it appears to be overly fenestrated with the double French door and flanking windows). -

3 A single French door would be considered CONFORMING. A single French door with a transom is NON-CONFORMING. Be prepared to perhaps discuss a transom vs. a window.

Tech review suggests reconsidering the width of the proposed 2nd floor window on the porch addition to be discussed.

4 Second floor porch window will be sort of a dormer which is why the width is what it is. (To be discussed)

The use of Vinyl siding on the west addition elevation to be discussed.

5 & 6 Installation of the same vinyl siding for repairs / fill in of the small area of 19 sq. ft is CONFORMING. The other area of installation of vinyl is due to existing vinyl where the side wall will be extended.

Proposed balcony depth to be discussed. -

7 Kept depth at 10ft. guidelines do say 'varying sizes'.

Tech review is asking to submit materials list for first floor porch deck and 2nd story balcony decking. Timber tech is not approved. Please consider Aeratis. Bring sample to meeting to see if it could be approvable. Conversation with Carolyn on the phone and she stated they could agree to install Aeratis as the porch deck & balcony decking and is **CONFORMING**.

8 Installation of Aeratis as the porch deck & balcony decking and is CONFORMING. Fiberglass areas to be gray is CONFORMING

If stick style is the selected architectural style, then the square columns should be chamfered.

9 Style selected is craftsman seaside vernacular is CONFORMING

The porch railing Intex Hampton is **NON-CONFORMING**. Approved style is Nautilus or Dartmouth railing.

10 Re-selection of Dartmouth railing system is CONFORMING

11 Please confirm the lattice panel is wood with an Azak frame and is CONFORMING (also discussed applicant checking into the Permalat lattice)

Proposed exterior lighting appears to be arts and crafts. To be discussed how this would fit in with the chosen architectural style.

Second story door to have light.

12 Proposed light flanking the window is NON-CONFORMING.

Ceiling fan with light fixture is **NON-CONFORMING**. Lights are not permitted in ceiling fans on the exterior of the home. Additionally, there is a 4-blade minimum on exterior fans.

Therefore, please provide appropriate lighting for the first-floor porch.

13 5 BLADE RESUBMITTED FAN IS CONFORMING.

Leaders are not indicated on the original submitted drawing and must be installed on the body of the house and are not permitted to be installed on the columns of the home.

14 Resubmitted drawings showing leaders locations are CONFORMING.

Proposed porch steps materials have not been specified. **Please provide.**

15 The resubmitted proposed use of Aeratis with Azak is CONFORMING for the porch stairs.

Please advise if there will be lattice under the porch step area.

16 Yes – orthogonal lattice.

CONFORMING ITEMS:

Proposal for Anderson Windows (Woodwright) are **CONFORMING** Width to be discussed. **

Proposal for Azak trim for windows is **CONFORMING**

Proposal for Hardie Plank siding is **CONFORMING**. Please provide the 'reveal' dimension of the Hardie siding proposed.

Proposal for siding as Brewster Grey (HC162) is **NON-CONFORMING** and not a pre-approved- New selection of Templeton Gray HC-161 for siding is CONFORMING

Proposal for Whipple Blue (HC152) is **CONFORMING**

Proposal for Simple White OC117 is **NOT** an approved color. Please choose an alternate approved color. Resubmitted color of Stonington Gray HC-170 for trim is CONFORMING.

Proposal for porch ceiling Azak is **CONFORMING**

Proposal for HB&G Permacast columns are a **CONFORMING** material. Notes above address concerns in reference to the trusses and architectural style.

Proposal for Azak skirtboard is **CONFORMING**

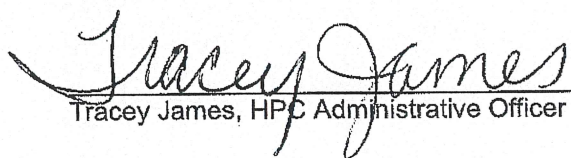
Proposal for orthagonal lattice panels and frames are **CONFORMING**

Proposal for 16" brick piers are **CONFORMING**

Submitting Required Information:

Emailed submissions will not be accepted. The requested information can be submitted to the Commission Administrative Officer, Tracey James, via hand delivery or standard mail. Please include a cover letter stating the reason for the submission or write "Response to Application Review" at the top of all your documents, be sure to also include your application number. The mailing address is as follows:

Tracey James, HPC Administrative Officer
Engineering/Planning Offices
2201 Heck Avenue
Neptune, NJ 07753.


Tracey James, HPC Administrative Officer

Date:

11.29.22

IMPORTANT INFORMATION:

This application will remain incomplete until all requested information has been submitted. Once this office receives the required information, the Applicant Review Team will review your application again. If it is determined that some or all of the proposed work does not demonstrate compliance with the current Ocean Grove Historic District Architectural Design Guidelines for Residential or Commercial Structures, you will be scheduled to appear before the full Historic Preservation Committee.

In accordance with Ordinance No. 16-32 Any person, firm or corporation that shall violate any provisions of this Ordinance shall, upon conviction thereof by any court authorized by law to hear and determine the matter, be fined such sum not exceeding \$2,000.00 as such court in its discretion may impose; or if the parties so convicted be a natural person, such person may be imprisoned for such term not exceeding 90 days as such court in its discretion may impose, or appear at community service not exceeding 90 days or any combination

thereof as such court in its discretion may impose. Each day that such violation exists shall constitute a separate offense.

CC: