General Notes

1. Contractor shall verify all dimensions in the field and inform the Architect of any conditions which would prevent installation of work in accordance with the construction documents.

2. Contractor shall at no additional cost to the Owner assist in the procurement of all required permits and arrange for all of the inspections required by the local Construction Code Enforcement Office.

3. All work to be filed under and shall conform with applicable codes and requirements.

4. Contractor shall schedule and coordinate work and be responsible for both daily and overall project site clean-up at the conclusion of work.

5. Should there be any conflict between what is shown on the construction drawings or specifications, the Contractor shall bring such conflict to the attention to the Architect for resolution.

6. The construction documents indicate type of design and general construction and are intended to imply the finest quality of construction materials and the workmanship throughout.

7. Contractor shall maintain on-site a current and complete set of construction documents as approved by the local Construction Code Enforcement during all phases of work for use by applicable trades. All out of date drawings shall be removed from the job site.

8. Contractor assumes full responsibility for the various construction materials and workmanship of the scope of work described in those documents and will execute the work to comply with the spirit in which they were produced.

9. Owner shall only supply access to the site, supply clean and potable water and 110v ac source of electricity for small handheld power tools.

10. Contractor to provide on-site fire extinguishers and all necessary safety provisions.

Special Notes

Indemnification Clause:
The Owner shall release, hold harmless and indemnify the Architect with respect to any changes made to the construction documents by anyone other than the Architect, or changes in any aspect of the work, or failure by the Contractor to build in accordance with these construction documents.

Permits and Related Fees:
Contractor to procure all required construction permits as part of their scope of work. Owner to pay all permit and required survey costs.

Notice of Copyright:
Use of these construction drawings re limited to the project site intended. All copyright and reproduction is reserved by the Architect - Mark Alexander Pavliv, AIA as the Architect of Record. Reproduction and use of these documents or any part thereof without the expressed written authorization and consent of the Architect is strictly prohibited.

Photo Reference

Legend

- WALLS TO BE REMOVED
- EXISTING WALLS
- NEW WOOD STUDS WALLS
- EXISTING WINDOW LOCATION
- NEW WINDOW LOCATION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- NEW CONCRETE FOOTING AND FOUNDATION
- STRUCTURAL BEAM
- JOIST FRAMING
- ROOF OVERHANG OR SOFFIT LINE
- ELEC. WALL SWITCH
- ELEC. WALL DIMMER
- ELEC. 3 WAY SWITCH
- ELEC. WALL OUTLET
- ELEC. FLOOR OUTLET
- ELEC. HALF-HOT WALL OUTLET
- CEILING MOUNTED LIGHT
- BRACKET/WALL MOUNTED LIGHT
- RECESSED CEILING LIGHT
- RECESSED DIRECTIONAL LIGHT
- EXHAUST FAN/HEAT LAMP
- SMOKE DETECTOR
- TV/CABLE JACK
- TELEPHONE JACK
- DUAL FLOOD/MOTION LIGHT
- SECTION CUT
- DETAIL REFERENCE
- CEILING PADDLE FAN

Special Notes:

All proposed work to comply with the 2021 International Residential Code New Jersey Edition.

Code Compliance:
Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and specified on Typical Section Detail. Contractor to verify acceptability of all egress window sizes in accordance with Code.

Exterior siding, roofing and windows shall be rated and installed as per the manufacturer's recommendations so as to withstand 120 mph winds.

Window Sill Height Note:
Contractor to verify all second and half-story level window sill heights to be at or above 24 inches of finish floor in accordance with Code.

Framing Note:
Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

Siding Notes:
Siding to be "Maibec" White Cedar Shingle Kennebunk Select Shingle with 5" exposure and be double dipped factory painted with Benjamin Moore Owner approved color, and applied over Henry Blue Skin vapor barrier. Contractor to utilize stainless nails in all shingle and trim applications.

Exterior Columns and Railings Note:
All exterior columns to be synthetic polymer as manufactured by HB&G as indicated on the plans and specified. Exterior railings to be synthetic polymer as manufactured by INTEX Dartmouth Style with 1 ½" "Square Spindle" design as noted on the plans.

Top rail to be "Standard" profile subject to final approval by the Architect and Owner.

Roof Drainage:
Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface or drywell to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the project site.

Life-Safety:
Carbon Monoxide Alarms are required within the immediate vicinity of all bedrooms or identified sleeping areas.

Area Calculations

Applicant: David Israni and Gayle Kennedy
96 Mendota Avenue
Rye, New York 10580

Site Address: 36 Webb Avenue, Ocean Grove, NJ 07756
Block #231, Lot #3; ZONE: HD-O

Description: Proposed interior renovations and rear addition at the 2 ½ story wood frame single-family dwelling located at 36 Webb Avenue, Ocean Grove, New Jersey.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	30.28 ft	no change	30.0 ft
Lot Width	30.23 ft	no change	30.0 ft
Depth	64.80 ft	no change	60.0 ft
(along east property line)			
Depth	66.52 ft	no change	60.0 ft
(along west property line)			
Area	1,985.0 sf	no change	1,800 sf

SETBACK	EXISTING	PROPOSED	ALLOWED
Front	8.03 ft*	Same	Section 422-D
(to edge of dwelling)			
Front	0.63 ft*	Same	Section 422-D
(to edge of covered porch)			
East Side	3.36 ft	Same	2.0 ft
(to edge of dwelling)			
East Side	3.36 ft	Same	2.0 ft
(to edge of covered porch)			
West Side	1.30 ft*	Same	2.0 ft
(to edge of dwelling)			
West Side	2.33 ft	Same	2.0 ft
(to edge of proposed second floor addition)			
Rear	18.75 ft	Same	3.1 ft
(to edge of dwelling)			
Rear	17.75 ft	Same	3.1 ft
(to edge of overhang)			
Floor Levels	2.5 stories	2.5 stories	2.5 stories
Height	28.5 ft	Same	35.0 ft

*NOTE: (*pre-existing non-conformity)*

LOT COVERAGE:

	EXISTING	PROPOSED	PERMITTED
Building Cover:	1,150.0 sf	1,150.0 sf (57.93%)	< (85.0%)
(includes covered porch)			
Rear Steps:	16.0 sf	16.0 sf Same	
Walks & Patio:	427.0 sf	557.0 sf Same	
AC Units:	0.0 sf	8.0 sf	
Shed:	48.0 sf	48.0 sf	
Total Cover	1,641.0 sf	1,779.0 sf (89.62%)	< (90.0%)

FLOOR AREA CALCULATIONS:

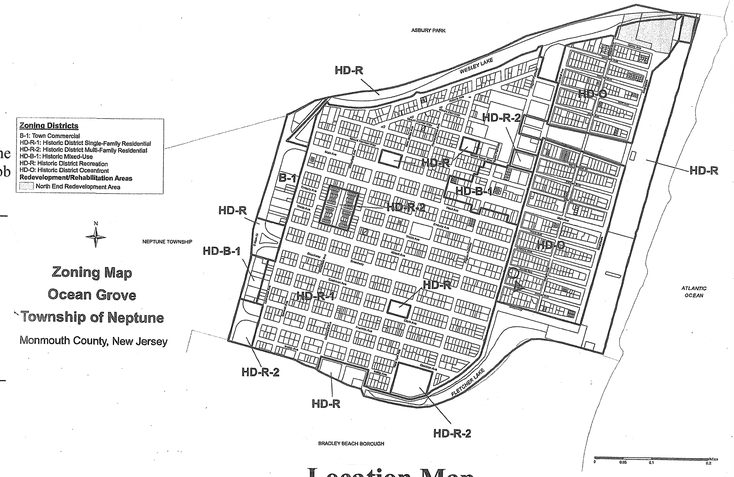
	EXISTING	PROPOSED
First Floor:	950.2 sf	950.2 sf Same
Second Floor:	707.5 sf	925.5 sf
Total Area:	1,657.7 sf	1,875.7 sf

ADDITIONAL HABITABLE AREA:

	ADDED AREA	ADDED VOLUME
Second Floor:	218.0 sf	1,744 cu.ft.

Note:
Survey, dated August 24, 2024, has been prepared by Michael J. Williams, Surveying, 56 Main Avenue, Ocean Grove, New Jersey, a licensed New Jersey Land Surveyor.

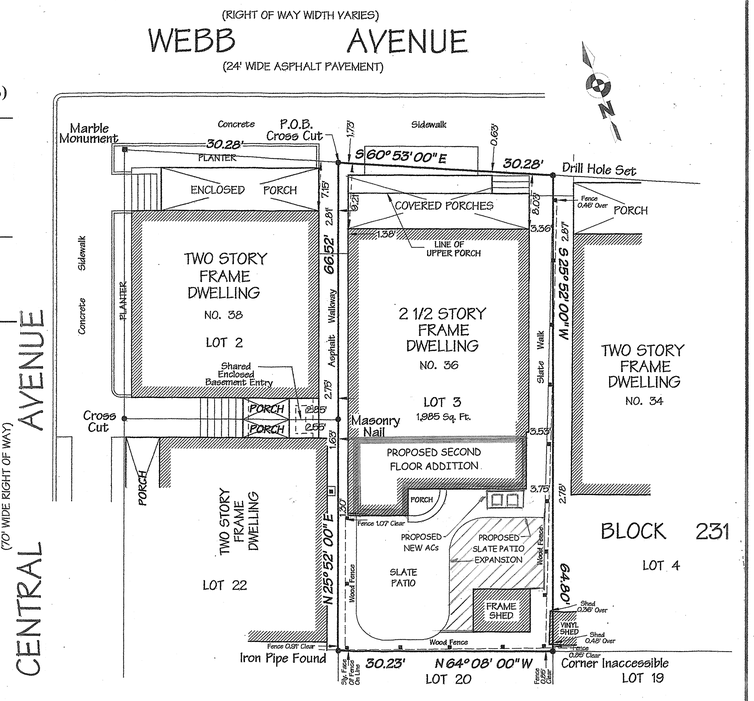
The Applicant shall submit a Site Plan indicating all impacted Site Work with a Grading and Drainage Plan for review and approval by the Township Engineer, when so required, prior to the procurement of the locally required Construction Permit.



Zoning Map
Ocean Grove
Township of Neptune
Monmouth County, New Jersey

Location Map

List of Drawings



Site Survey Reference Plan

Scale: 1" = 10'

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA
The Architect's Studio
215 Morris Avenue, Spring Lake, NJ
springlakearchitect.com
732-776-8777
NJ LIC. A100820300

Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
General Notes, Area Calculations Site Plan

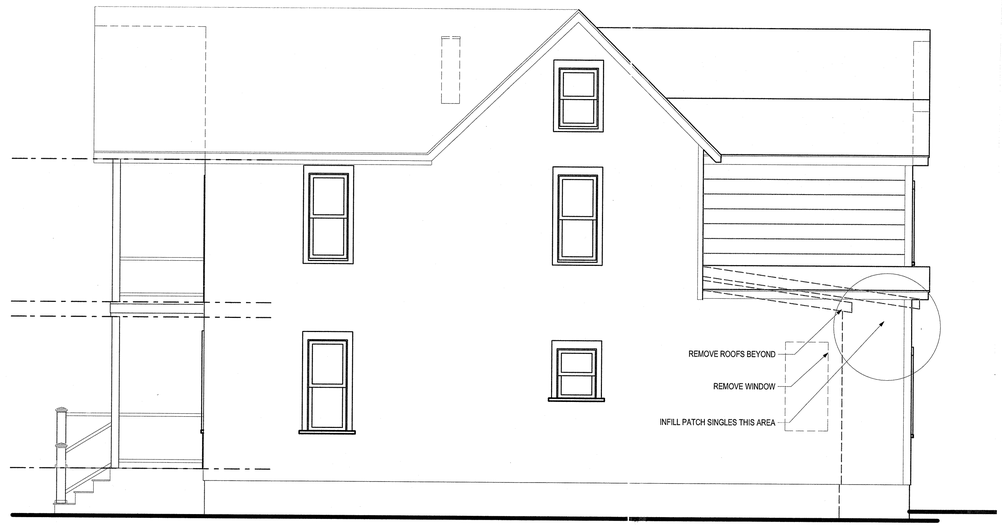
SCALE	JOB No.
As Noted	2024990316
DATE	DRAWING No.
10/15/24	A1
DRAWN BY	
MM/AP/MP	
CHECKED BY	
MP	

Exterior Siding Nails:
Contractor to utilize stainless nails in all shingle and trim applications.

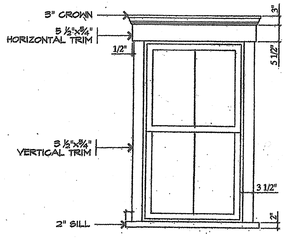
Window Sill Height Note:
Contractor to verify all new second and attic floor window sill heights to be at or above 24 inches of finish floor in accordance with Code.

NOTE:
NO WORK FRONT ELEVATION WITH THE EXCEPTION OF FRONT DOOR RESTORATION AND EXTERIOR LIGHTING.

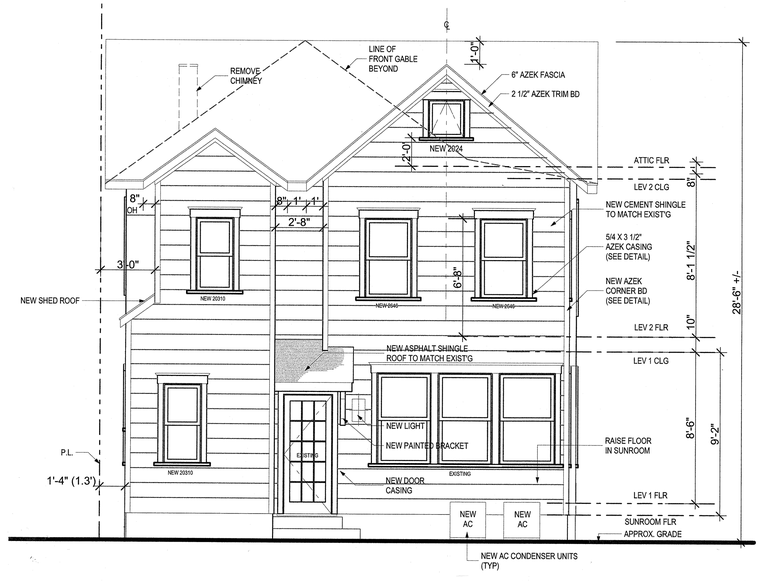
Front Elevation (North)
Scale: 1/4" = 1'-0"



Side Elevation (West)
Scale: 1/4" = 1'-0"



Typical Casing Details
Scale: 1/2" = 1'-0"



Rear Elevation (South)
Scale: 1/4" = 1'-0"

Side Elevation (East)
Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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NJ LIC. A100820300
Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
Elevations

SCALE	JOB No.
As Noted	2024990360
DATE 10/15/24	DRAWING No. A2
DRAWN BY BAG/MP	
CHECKED BY MP	

Special Notes:

All proposed work to comply with the 2021 International Residential Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and specified on Typical Section Detail.

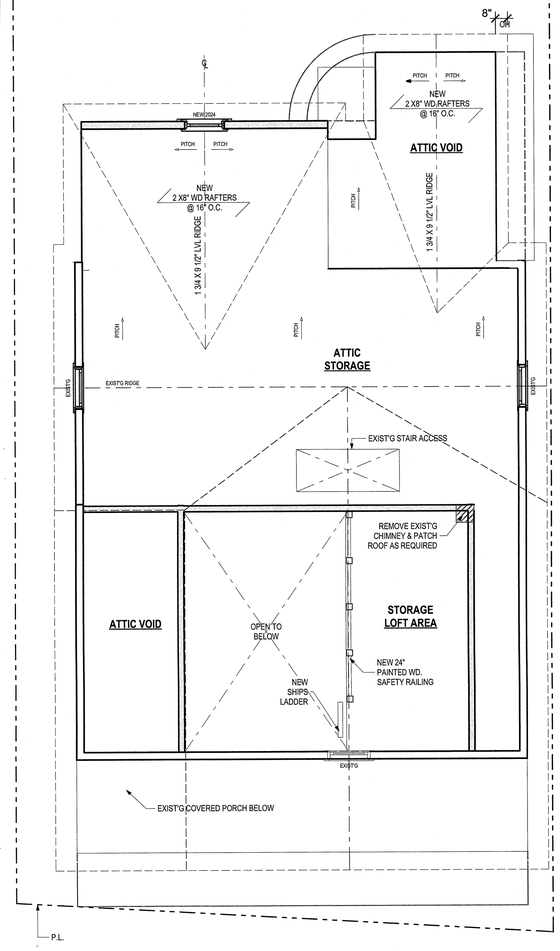
Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

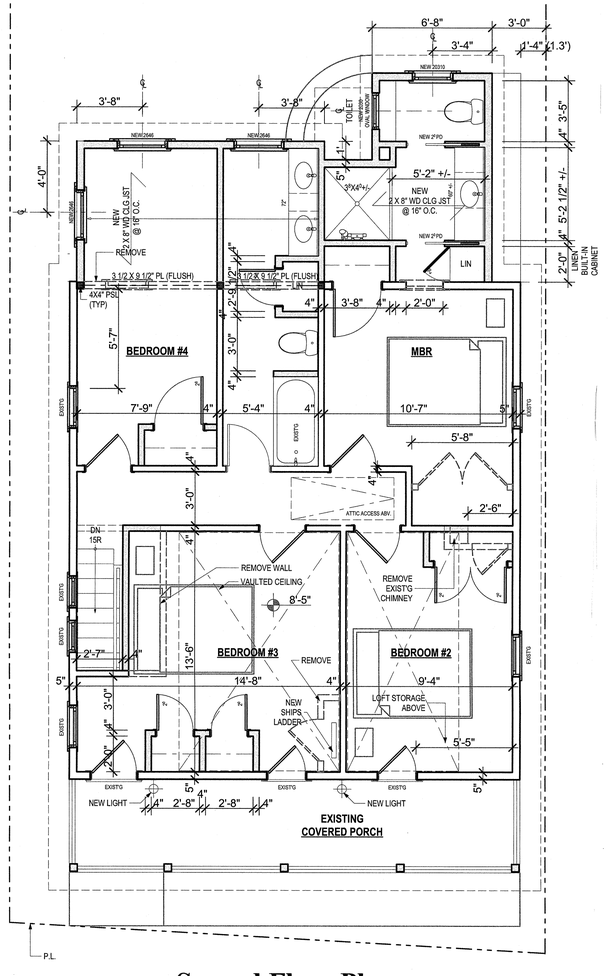
Carbon Monoxide Alarms are required within the immediate vicinity of all bedrooms or identified sleeping areas.

Contractor to verify acceptability of all egress window sizes in accordance with Code.



Attic Level Plan

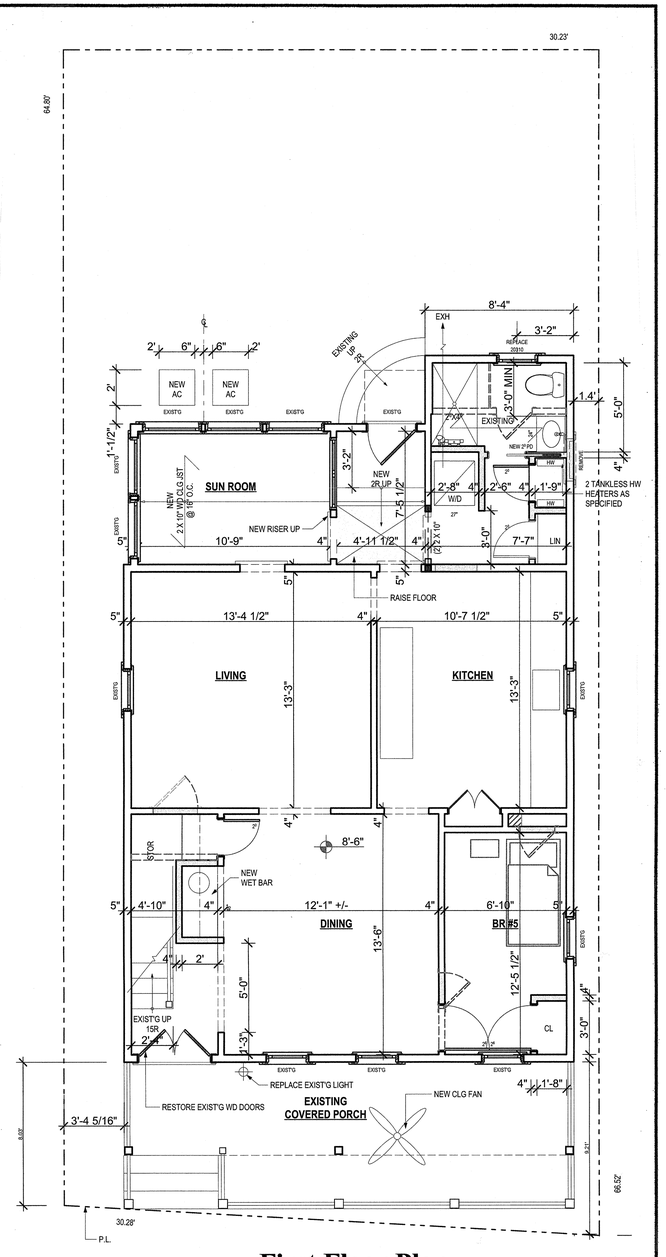
Scale: 1/4" = 1'-0"



Second Floor Plan

Scale: 1/4" = 1'-0"

Window Sill Height Note:
Contractor to verify all new second and attic floor window sill heights to be at or above 24 inches of finish floor in accordance with Code.



First Floor Plan

Scale: 1/4" = 1'-0"

Design loads in accordance with 2021 IRC/NJ Edition:

Snow and Roof Load:	20 pounds per sq. ft.
Attic Live Load:	20 pounds per sq. ft.
First Floor Live Load:	40 pounds per sq. ft.
Second Floor Live Load:	30 pounds per sq. ft.
Design Wind Load:	120 miles per hour

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA
The Architect's Studio
215 Morris Avenue, Spring Lake, NJ
springlakearchitect.com
732-776-8777
NJ LIC. A100820300

Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
Floor Plans

SCALE: As Noted	JOB No.: 2024990236
DATE: 10/15/24	DRAWING No.: A3
DRAWN BY: BAC/MP	
CHECKED BY: MP	

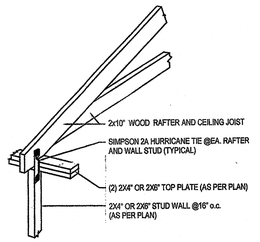
Fastener Schedule for Structural Members

TABLE R602.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER[a,b,c,f]	SPACING OF FASTENERS
Joist to sill or girder, toe nail	3-8d	—
1" × 6" subfloor or less to each joist, face nail	2-8d 2 staples, 1 3/4	— —
2" subfloor to joist or girder, blind and face nail	2-16d	—
Sole plate to joist or blocking, face nail	16d	16" o.c.
Top or sole plate to stud, end nail	2-16d	—
Stud to sole plate, toe nail	3-8d or 2-16d	—
Double studs, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
Sole plate to joist or blocking at braced wall panels	3-16d	16" o.c.
Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	8-16d	—
Blocking between joists or rafters to top plate, toe nail	3-8d	—
Rim joist to top plate, toe nail	8d	6" o.c.
Top plates, laps at corners and intersections, face nail	2-10d	—
Built-up header, two pieces with 1/2" spacer	16d	16" o.c. along each edge
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	3-8d	—
Continuous header to stud, toe nail	4-8d	—
Ceiling joist, laps over partitions, face nail	3-10d	—
Ceiling joist to parallel rafters, face nail	3-10d	—
Rafter to plate, toe nail	2-16d	—
1" brace to each stud and plate, face nail	2-8d 2 staples, 1 3/4	— —
1" × 6" sheathing to each bearing, face nail	2-8d 2 staples, 1 3/4	— —
1" × 8" sheathing to each bearing, face nail	2-8d 3 staples, 1 3/4	— —
Wider than 1" × 8" sheathing to each bearing, face nail	3-8d 4 staples, 1 3/4	— —
Built-up corner studs	10d	24"o.c.
Built-up girders and beams, 2-inch lumber layers	10d	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
2" planks	2-16d	At each bearing
Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d 3-16d	— —
Rafter ties to rafters, face	3-8d	—
Wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing		
5/16"-1/2"	6d common nail (subfloor, wall) 8d common nail (roof)[i]	6 6	12[g] 12[g]
19/32"-1"	8d common nail	6	12[g]
1 1/8"-1 1/4"	10d common nail or 8d deformed nail	6	12

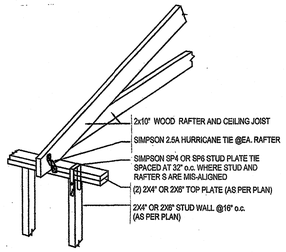
TABLE R602.3(1)—continued
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER[b,c,d,e]	SPACING OF FASTENERS: Edges (inches)[h]	SPACING OF FASTENERS: Intermediate supports[c,d] (inches)
Other wall sheathing[k]			
1/2" regular cellulosic fiberboard sheathing	1 1/2" galvanized roofing nail 6d common nail staple 16 ga., 1 1/2" long	3	6
1/2" structural cellulosic fiberboard sheathing	1 1/2" galvanized roofing nail 8d common nail staple 16 ga., 1 1/2" long	3	6
25/32" structural cellulosic fiberboard sheathing	1 3/4" galvanized roofing nail 8d common nail staple 16 ga., 1 3/4" long	3	6
1/2" gypsum sheathing	1 1/2" galvanized roofing nail; 6d common nail; staple galvanized, 1 1/2" long; 1 1/4" screws, Type W or S	4	8
5/8" gypsum sheathing	1 3/4" galvanized roofing nail; 8d common nail; staple galvanized, 1 3/4" long; 1 5/8" screws, Type W or S	4	8
Wood structural panels, combination subfloor underlayment to framing			
3/4" and less	6d deformed nail or 8d common nail	6	12
7/8"-1"	8d common nail or 8d deformed nail	6	12
1 1/8"-1 1/4"	10d common nail or 8d deformed nail	6	12



'SIMPSON' H2A HURRICANE TIE

INSTALLATION WHERE RAFTER AND STUD ALIGNED

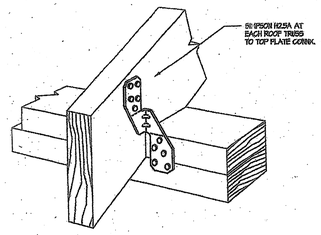


'SIMPSON' H2.5A HURRICANE TIE

INSTALLATION WHERE RAFTER AND STUD ARE MIS-ALIGNED

Typical Rafter Hold Down

Scale: NTS

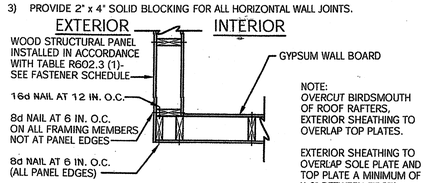


Typical Nailing & Framing Details

Scale: NTS

BUILDING ELEMENT	FASTENER NUMBER AND TYPE	FIELD SPACING	EDGE SPACING
1/2" WALL SHEATHING	8d COMMON NAIL	6" O.C.	6" O.C.
5/8" ROOF SHEATHING	8d DEFORMED NAIL	6" O.C.	4" O.C.

NOTES:
1) NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6" ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4" ON CENTER TO GABLE END WALL FRAMING.
2) SEE DIAGRAMS BELOW FOR OUTSIDE AND INSIDE CORNER FRAMING.
3) PROVIDE 2" x 4" SOLID BLOCKING FOR ALL HORIZONTAL WALL JOINTS.

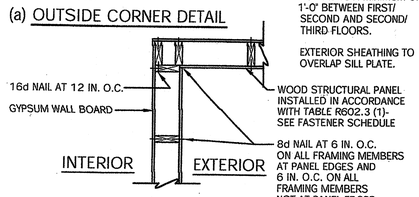


(a) OUTSIDE CORNER DETAIL

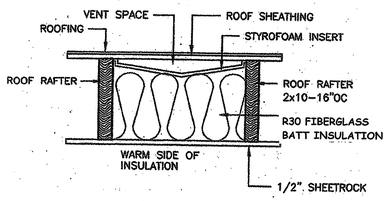
NOTE:
OVERCUT BIRDSMOUTH OF ROOF RAFTERS, EXTERIOR SHEATHING TO OVERLAP TOP PLATES.

EXTERIOR SHEATHING TO OVERLAP SOLE PLATE AND TOP PLATE A MINIMUM OF 1'-0" BETWEEN FIRST/ SECOND AND SECOND/ THIRD FLOORS.

EXTERIOR SHEATHING TO OVERLAP SILL PLATE.



(b) INSIDE CORNER DETAIL

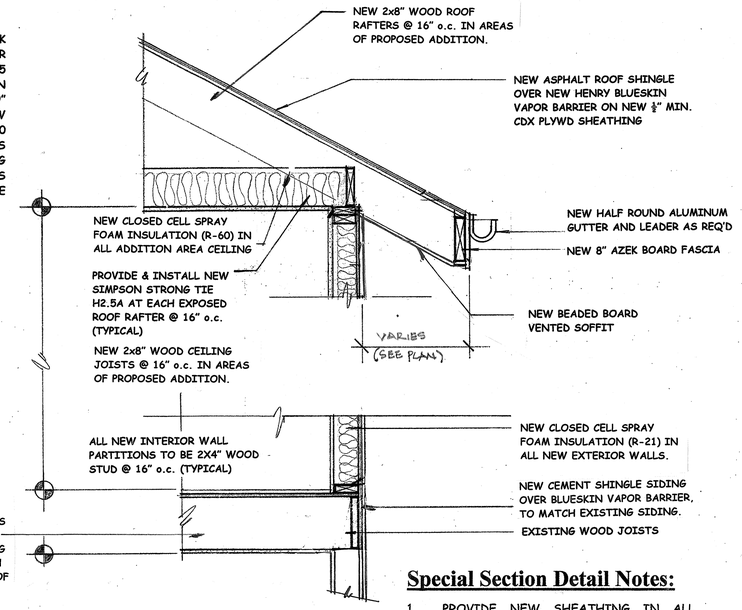


Insulation Insert Detail

Scale: 1 1/2" = 1'-0"

Insulation Note:

PROVIDE INSULATION IN AREAS OF WORK WHERE FRAMING AT EXTERIOR PERIMETER WALLS ARE EXPOSED. INSTALL NEW 3 1/2" R-15 HIGH DENSITY FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, AND NEW 9" FIBERGLASS BATT IN ALL EXPOSED OR NEW CEILINGS INSTALL A MINIMUM NEW 9" R-30 FIBERGLASS BATT INSULATION IN ANY AREAS OVER UNCONDITIONED SPACES INCLUDING EXISTING BASEMENT AND CRAWL AREAS, OR AS OTHERWISE REQUIRED AND NOTED IN THE REScheck CERTIFICATION.



Typical Section Detail

Scale: 1" = 1'- 0"

Special Section Detail Notes:

1. PROVIDE NEW SHEATHING IN ALL AREAS OF RE-SIDING WHERE NO SHEATHING EXISTS.

2. ALL GUTTERS AND LEADERS TO BE NEW FACTORY FINISHED HALF ROUND ALUMINUM WITH EXPOSED STRAP HANGERS AND ROUND LEADERS IN A MATCHING WHITE COLOR.

3. ALL EXPOSED WALL CONDITIONS WILL REQUIRE THAT INSULATION IS TO BE PROVIDED IN ACCORDANCE WITH ENERGY COMPLIANCE AND SPECIFICATIONS.

4. ALL EXPOSED ELECTRICAL WIRING AND SERVICE DEVICES WITHIN ALL EXPOSED INTERIOR WALL PARTITIONS AND CEILINGS ARE TO BE UPGRADED TO MEET CODE AS REQUIRED.

Table R402.1.2

2021 IRC-NJ Maximum Assembly U-Factor Requirements

CLIMATE ZONE	FENESTRATION U-FACTOR[f]	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC[a,e]	CEILING U-FACTOR	WOOD FRAME WALL U-FACTOR	MASS WALL U-FACTOR[b]	FLOOR U-FACTOR	BASEMENT WALL U-FACTOR	CRAWL SPACE WALL U-FACTOR
0	0.50	0.75	0.25	0.035	0.084	0.197	0.064	0.360	0.477
1	0.50	0.75	0.25	0.035	0.084	0.197	0.064	0.360	0.477
2	0.40	0.65	0.25	0.026	0.084	0.165	0.064	0.360	0.477
3	0.30	0.55	0.25	0.026	0.060	0.098	0.047	0.091[c]	0.136
4 except Marine	0.30	0.55	0.40	0.024	0.045	0.098	0.047	0.059	0.065
5 and Marine 4	0.30	0.55	NR	0.024	0.045	0.082	0.033	0.050	0.055
6	0.30	0.55	NR	0.024	0.045	0.060	0.033	0.050	0.055
7 and 8	0.30	0.55	NR	0.024	0.045	0.057	0.028	0.050	0.055

For SI: 1 foot = 304.8 mm.

Table R402.1.3

2021 IRC-NJ Minimum R-Values by Component

CLIMATE ZONE	FENESTRATION U-FACTOR[h,j]	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC[h,k]	CEILING R-VALUE	WOOD FRAME WALL R-VALUE[g]	MASS WALL R-VALUE[i]	FLOOR R-VALUE	BASEMENT[d] WALL R-VALUE
0	NR	0.75	0.25	30	13 or 0 + 10	3/4	13	0
1	NR	0.75	0.25	30	13 or 0 + 10	3/4	13	0
2	0.40	0.65	0.25	49	13 or 0 + 10	4/6	13	0
3	.30	0.55	0.25	49	20 or 13 + 5ci or 0 + 15	8/13	19	5ci or 13
4 except Marine	.30	0.55	0.40	60	20+5 or 13 + 10ci or 0 + 15	8/13	19	10ci or 13
5 and Marine 4	0.30	0.55	0.40	60	20+5 or 13 + 10ci or 0 + 15	13/17	30	15ci or 19 or 13 + 5ci
6	0.30	0.55	NR	60	20 + 5ci or 13 + 10ci or 0 + 20	15/20	30	15ci or 19 or 13 + 5ci

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
Typical Construction Details

SCALE	JOB No.
As Noted	2024090360
DATE: 10/15/24	DRAWING No. A4
DRAWN BY: DM/NE/MP	
CHECKED BY: MP	

Interior Door Schedule

Room or Area	Quantity	Dimensions(w x h)	Thickness	Door Type	Material	Pattern/Style/Special Notes
FIRST FLOOR						
Dining Area Closet	1	24" x 80" (2068)	1 3/4"	Hinged	MDF	Stacked 5-Panel
Bathroom	1	24" x 80" (2068)	1 3/4"	Pocket	MDF	Stacked 5-Panel
Laundry Linen	1	24" x 80" (2068)	1 3/4"	Hinged	MDF	Stacked 5-Panel
Tankless HW Closet	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	Stacked 5-Panel
BR #5	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	Stacked 5-Panel
BR #5 Closet	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	Stacked 5-Panel
SECOND FLOOR						
MBR Closet	1	32" x 80" (2868)	1 3/4"	Hinged	MDF	Stacked 5-Panel
MBR Bath	1	24" x 80" (2068)	1 3/4"	Pocket	MDF	Stacked 5-Panel
MBR Linen	1	24" x 80" (2068)	1 3/4"	Hinged	MDF	Stacked 5-Panel
BR #2 Closet	2	24" x 80" (2068)	1 3/4"	Hinged	MDF	Stacked 5-Panel
BR #3 Closet	1 Pair	24" x 80" (2068)	1 3/4"	Hinged	MDF	Stacked 5-Panel
BR #4 (reverse)	1	30" x 80" (2668)	1 3/4"	Pocket	MDF	Stacked 5-Panel
BR #4 Closet	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	Stacked 5-Panel
Hall Bath Linen	1	24" x 80" (2068)	1 3/4"	Hinged	MDF	Stacked 5-Panel

Special Notes:

-Contractor to verify all interior door height and width dimensions in field prior to placement of order and installation.

-All interior doors to be Stacked 5-Panel type to match existing.

-Any upgrades and/or deviations from the above are to be submitted to Owner for review approval.

-All final hardware selections subject to Owner approval. Refer to provided Specifications for manufacturer and finishes.

Finish Schedule

Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
FIRST FLOOR					
Bathroom	New Tile	Painted Wood w/Crown to Match	Painted Gyp. Bd.	Painted Gyp. Bd.	42" Painted Beaded Board Wainscot w/Chair Rail;
Laundry Area	New Tile	Painted Wood w/Crown to Match	Painted Gyp. Bd.	Painted Gyp. Bd.	42" Painted Beaded Board Wainscot w/Chair Rail;
SECOND FLOOR					
MBR	Patch & Refinish Hardwood as req'd;	Painted Wood to match;	Painted Gyp. Bd.	Painted Gyp. Bd.	
MBR Bath	New Tile	Painted Wood	Full Tile Walls; in Shower Stall on WR Cement. Bd;	WR Cement Bd. Tile Ceiling in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower; 42" Painted Beaded Board Wainscot w/Chair Rail;
BR #2	Patch & Refinish Hardwood as req'd;	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Remove Existing Chimney
BR #3	Patch & Refinish Hardwood as req'd;	Painted Wood Cathedral Ceiling	Painted Gyp. Bd.	Painted Gyp. Bd.	
Hall Bath	New Floor Tile	Painted Wood	Full Tile Walls on Tub/Shower walls to remain;	Painted Gyp. Bd.	New sink vanity w/Stone vanity counter top; 42" Painted Beaded Board Wainscot w/Chair Rail;
ATTIC LEVEL					
BR #2 Loft Storage	New Hardwood	Painted Wood	Painted Gyp. Bd. Sloped ceiling in Loft	Painted Gyp. Bd.	Provide Safety Railing as noted on plans;
Attic HVAC Area	New Unfinished 5/8" Plywood	-	-	-	-

NOTES:

-All interior trim, casings and baseboard profiles to be Painted Poplar as approved by Owner.

-Provide Crown Moldings as per Finish Schedule. Crown moldings may be painted MDF in lieu of Painted Wood.

-All references to "Hardwood" indicate new hardwood floors with stain and finish to be selected and approved by Owner.

-All references to "Tile" indicate all new stone, ceramic or porcelain tile with final selections to be by Owner.

Window Schedule

Room or Area	Quantity	Manufacturer #	Glazing	Egress	SDL Detail	Type/Comments
FIRST FLOOR						
Bathroom	1	TW20310	Low E4 Tempered Glass	N/A	1 over 1 lite	Double Hung South
SECOND FLOOR						
MBR Bath	1	TW20310	Low E4 Tempered Glass	N/A	1 over 1 lite	Double Hung South
	1	OVL2030	Low E4 Tempered Glass	N/A		Oval East
Hall Bath	1	TW2646	Low E4 Tempered Glass	N/A	1 over 1 lite	Double Hung South
Bedroom #4	1	TW2646	Low E4	N/A	1 over 1 lite	Double Hung East
	1	TW2646	Low E4	N/A	1 over 1 lite	Double Hung South
ATTIC LEVEL						
HVAC Area	1	AAN2024	Low E4	N/A	1 lite	Awning South

Special Notes:

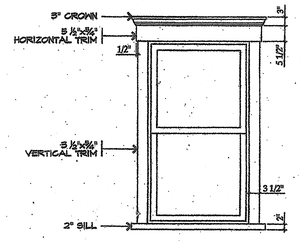
Window sizes as per Schedule to be verified in field by Contractor. Screens are to be provided throughout. Window Designations are referencing Andersen Windows and Doors – 400-Series unless otherwise noted or approved by the Architect. Equivalent sizes by alternate manufacturers must be approved by Architect. All windows and doors to be factory clad exterior with factory finished interior wood core primed and painted pine. Exterior window frame and sash color to be as approved by HPC and Architect. Contractor to provide screens in all new locations.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval. Manufacturer's shop drawing and order list is to be submitted to Architect for review prior to placement of final order. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

Windows to be solid core wood with High-Performance Insulated Low-E4 Glazing and have a factory painted interior finish as manufactured by Andersen Windows and Doors. Provide window sash configuration as per elevations and provided Window Schedule.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. All exterior finishes are to be acceptable for exposure to salt air with warrantee against pitting.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.



Typical Window Trim Detail

Scale: 1/2" = 1'-0"

Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
Interior Door, Window & Finish Schedules

SCALE	JOB No.
As Noted	2024990220
DATE: 10/15/24	DRAWING No.
DRAWN BY: NR/CP/MP	A5
CHECKED BY: MP	

Special Conditions:

Owner to Purchase and Supply the following:

- Bathroom fixtures, accessories and faucet/shower fittings;
- Bathroom Sink Vanities;
- Medicine Cabinets;
- All surface mounted fans and lighting fixtures;

Contractor to be responsible for installation of all other items Purchased and Supplied by the Owner as listed above unless otherwise determined by Owner.

Contractor to be responsible for the storage and protection of all above items immediately upon and after delivery to the project site until issuance of the final Certificate of Occupancy.

Any exposed balloon stud framing to be fire blocked. All partition stud framing found to be less than 3 ½" in depth shall be paired with new 2x4" wood stud framing.

Specifications:

Division 1 - General Conditions

All work to comply with the 2021 International Residential Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, the General Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

All construction permits are to be procured by General Contractor and paid by Owner.

The Contractor is responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist the Contractor in the implementation of the project.

Lead Paint, Asbestos or other Hazardous Material:
Contractor responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

Demolition and Removals:
All existing partitions, fixtures and finishes within the proposed area of work graphically indicated on plans, or otherwise required to be removed to complete the proposed renovations, are to be removed.

Contractor is responsible for the provision and associated costs of all required demolition, dumpsters, removals and disposal of debris in accordance with local regulations.

Division 2 - Site Work

Site Work:
Contractor to restore all disturbed grade conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site in accordance with R801.3.

Division 3 - Concrete

Not included.

Division 4 - Masonry

Not included.

Division 5 - Metals

Contractor to provide hurricane/wind rafter tie downs at new framing in accordance with R802.11 or as otherwise noted in Typical Section Detail, and in all locations where rafters are exposed at top of exterior wall plates.

Fasteners & Hangers:
All metal hangers and other ties and connectors to be as manufactured by **"Simpson"** or equal or as otherwise approved by the Architect.

Metal hangers and other ties in contact with pressure treated ACQ lumber shall be **zinc coated** and compliant with ASTM A-153 so as to be compatible with ACQ as required.

Division 6 - Woods & Plastics

Lumber:
All new framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. All new nail applications to Code.

New window and door headers to be a minimum of two (2) 2"x10" or 3 ½" x 9 ½" LSL as approved by the Architect.

Use of long span manufactured lumber and laminated beams as an alternate or in deviation from that specified on the drawings is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect prior to such substitution or change.

Contractor to utilize wall bracing panel construction method R602.10.3 which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition and comply with 120 mph three (3) second wind gust conditions and structural design in this area.

Sheathing:
All exterior wall sheathing where found to be defective or missing, is to receive new 5/8" CDX plywood nailed to Code. Sheathing on **any exterior walls within 5'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Such wall assemblies shall be 1-hour fire rated for exposure on both sides.**

Exterior new wall sheathing to be nailed to Code at 6 inch o.c. Alternative Sheathing to be **OSB Windstorm** oriented vertically to minimize horizontal blocking requirements. installed and nailed to code with 6" spacing.

Sub-floor:
Any new sub-floor to be 3/4" T&G applied and fastened with screws and glued. Use of **OSB Gold Edge Bond** is an acceptable alternate. All screws to be spaced at 6" to Code.

Exterior Architectural Trim:
All new ornamental architectural trim, brackets, window, drip and door caps and articulated door and window surrounds, as shown on the Elevations and Details to be synthetic polymer as manufactured by **Azek** board, or approved equal and painted as specified. Approved equal subject to review by Architect. **All window and door surrounds to be 5/4" thickness in order to attain proper dimensional relief.** All staple holes and fastening dibits to be filled and sanded in preparation of application of paint.

Division 7 - Thermal & Moisture Protection

Energy Code compliance in accordance with 2021 IECC REScheck included in construction documents for Zone 4 ResCheck as provided in the construction documents for a 5000 Degree-Day Region. Compliance shall conform with all ratings and description.

Insulation:
Provide closed cell R-21 spray foam insulation at all new exterior wall framing and R-60 at ceiling areas in area of proposed addition. All existing exposed exterior perimeter walls to receive new high density R-15 3 ½" fiberglass batt insulation where existing insulation is found to be missing or compromised.

Application of caulk at any new or modified window perimeters, as well as other through wall penetrations and joints, are subject to approval by the Architect on-site.

Exterior Siding and Other Facings:
Exterior siding, or other facings, shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

Contractor to provide hurricane/wind rafter tie downs in accordance with R802.11 as per the Typical Section Detail.

Contractor to provide and install, where indicated in elevations, new fiber cement shingle type siding in matching dimension and painted in matching color, as approved by HPC.

New siding and trim shall be configured as shown on elevations. Exterior fasteners and shall be stainless steel.

Roofing:
New **GAF self sealing Timberline Ultra** asphalt shingle roofing to be provided and installed for all new and repaired roof areas. All new roofing shingles shall match existing and conform to **ASTM 3462** with a minimum of **6 fasteners per shingle.**

Existing Roofing:
Contractor to remove existing roofing as noted on plan and dispose prior to proceeding with work in those areas.

Vapor Barrier Paper and Wraps:
Contractor to install **Henry Company Blue Skin** at all roofing sheathing prior to application of roof shingles. All exterior wall sheathing to receive **Henry Company Blue Skin** or as otherwise approved by Architect, with all seams and methods of installation in accordance with manufacturer specifications. Install ice and water shield over all roof conditions with a slope of less than 4 over 12.

Shower Stall Fiberglass Application and Pan:
New bathroom shower, bench and integral storage recess features to be fiberglass formed and water tested prior to tile application.

Shower Storage Recess:
Provide integral shower stall soap and shampoo storage recess in each shower stall. Final location and size to be verified and coordinated with Owner and Architect.

Division 8 - Doors & Windows

New windows shall be rated and installed as per manufacturer's recommendations so as to withstand a minimum of 120 mph winds in this zone.

Where required or otherwise noted on plans, egress windows shall be provided with an operable window vent or sash having a sill height of not more than 44 inches, and have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Windows:
All new windows, where noted on plans, are to be solid core wood units and be Low-E4 insulated clear glass as manufactured by **Andersen Windows and Doors, 400-Series** in matching white color, as approved by HPC.

Contractor is responsible to verify provided window designations, egress compliance and sizes in field and notify Architect of any conflicts. Screens at windows are to be provided by Contractor. Interior sash and frame to be factory finished in white with window hardware to factory finished white.

All new sash glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge-to-edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered.

Solid Panel Interior Doors:
All new doors to be pre-hung four-panel smooth face solid core composite **MDF** doors as manufactured by **Lemieux Doors**, or Owner approved equal, and be ready for paint. Door height be as noted on door schedule, but verified by Contractor in the field.

Division 9 - Finishes

Gypsum Board:
All new interior Gypsum Board to be screwed and glued and be 5/8" minimum unless otherwise noted on plans or Typical Wall Section Detail or fire rating requirements for exterior walls within 5 feet of side and rear property lines.

Gutters and Leaders:
Contractor to provide new 6 inch aluminum half-round type gutters with "exposed hangers" at 24" o.c. with outlet and connection to drain as per local requirements to replace all existing or failed gutter conditions, regardless of notations on plans or elevation drawings. Color to match fascia and corner boards and be approved by Owner and Architect.

Interior Trim, Moldings & Hardware:
All new window and door casing and base trim to be new painted clear grade primed poplar wood and finished to highest quality in accordance with butt jointed with casing and configurations in custom profile as selected by Owner.

Any and all field conflicts and special conditions are to be brought to the attention of Architect. Trim with wood knots will not be acceptable.

Hardware to be as manufactured by **Baldwin** or equal. Hinges to be five (5) knuckle type. All interior hardware to be matching "satin nickel finish". All room locksets to be passage type, with privacy locksets in new bathrooms. Contractor to submit samples of all hardware for approval.

Wood Flooring:
Any new interior wood flooring to match existing with finish as per Owner.

Tile:
Provide and install new floor and wall tile, as selected by Owner, in accordance with the Finish Schedule. Utilize thin set application method. All tile to be cleaned and sealed upon completion of work.

Closet & Shelving:
All built-in interior bedroom, linen and storage closet shelving to be fabricated and installed by others, as specified by Owner.

Interior Paint:
All new or altered interior walls to be primed and receive two coats of **Benjamin Moore** latex flat paint.

All interior moldings, interior wainscot, window and door casings, moldings and trim to receive two coats of **Benjamin Moore** satin enamel paint.

Contractor to utilize eggshell finish in all bath areas. Ceiling to be primed in areas of new gypsum board application and receive two coats of **Benjamin Moore** ceiling white. All paint colors and finishes subject to approval by Owner.

Exterior Paint:
The areas not to be covered with facing material are to be painted with two coats of **Benjamin Moore** Latex or equal.

Glass Shower Doors:
Contractor to provide and install new frameless shower door with clear tempered and coated 3/8" glass in all enclosed showers.

Bathroom Fixture Fittings and Trim:
All Bathroom fixtures, trim kits and fittings to be selected and provided by Owner and installed by Contractor.

All bathroom fixture fittings and accessories to be fabricated of solid brass and of same style and series and be of matching finish as selected by Owner.

All bathroom fixtures by **Kohler**, or equal. All trim and fittings to be satin nickel finish by **Rohl**, or equal. Any exposed under sink traps or similar piping or fittings to be polished chrome is to be provided.

MBR shower head to be multi-function in addition to rain shower head type. Install hand held shower in MBR shower stall. Provide scald proof diverters with thermostatic type valve controls at all shower heads.

Install new single function shower head with scald proof diverter in second floor hall bathroom tub/shower.

Contractor to install double stud on the flat behind any grab bar fastening points to attain a 200-pound static load where grab bars, towel bars and paper holders are to be provided.

Medicine Cabinets:
All medicine cabinets to be recessed into walls as indicated on plan, and be framed as provided by Owner but installed by Contractor. Any exterior recessed medicine cabinets to maintain insulation continuity.

New (Optional) Interior Stair:
New Oak treads to be finished to match wood flooring. Risers to be painted Poplar wood. Railing to include a top graspable compliant profile handrail to be stained hardwood in Owner's stain color choice. Balustrade spindles to be painted wood spindles to be selected by the Owner.

Division 10 - Specialties

All specialty systems are to be established and designed by others but may be included into scope of work by Contractor upon the Owner's request.

TV/Cable:
Provide all hard required hard wiring for all TV/Cable locations as required in all locations noted on all floor plans. Refer to electrical floor plans for all locations

Division 11 - Equipment

Not included.

Division 12 - Furnishings

Not included.

Division 13 - Special Construction

Not included.

Division 14 - Conveying Systems

Not included.

Division 15 - Mechanical/Plumbing

Existing HVAC Modification:
General Contractor to coordinate all new HVAC systems as required to accommodate all existing and proposed new room renovations. New system to consist of gas fired furnace and air conditioning via shared high velocity ductwork. Condensers to be in rear, as per plan and HVAC units to be in attic space as noted. Existing chimney to be removed and direct power venting to be provided.

Unless shown on these drawings, all mechanical work such as, but not limited to heating and air conditioning engineering, are to be established and designed by others. Final location of ductwork, returns and equipment are to be approved by the Owner and Architect. Mastics to be rated UL 181A or UL 181B.

Installation of all new forced air insulated ductwork system and final alignment of supply and return diffusers subject to review and approval by Architect.

Contractor to coordinate all placement and connections to all HVAC systems as required and verify positioning of ductwork to be compliant with REScheck and all aspects of Energy Code.

Venting:
General Contractor to provide venting of new bathroom with integrated exhaust fan/ceiling light unit in ceiling as indicated on plans. Bathroom exhaust fan to be silent (quiet) running 120 cfm minimum as manufactured by **Panasonic** or equal.

Water Pressure:
Contractor to verify adequacy of existing water pressure.

Piping & Plumbing:
All supply lines to be in compliance with Code. Contractor may utilize **PVC** with acoustical wrap sound deadening interventions and cast-iron drop downs as per the Plumbing Riser Diagram.

Work to include all required copper piping, fittings and equipment. Use of **Pex** piping is an acceptable alternate. Scope of work to include supply and installation of all piping, related pipe fittings and equipment.

Contractor to make all connections to components requiring plumbing hook-up as per proposed scope of work indicated on plans. Provide 2 new tankless hot water units, as per plan

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F to be insulated with R-3. Contractor to include all copper piping, materials and related fittings and equipment.

Owner to supply all bathroom fixtures, sinks and toilets, and all towel bars, paper holders, robe hooks, medicine cabinets and related items for installation by Contractor.

Laundry Area Floor Pan and Drain:
Install new pan and floor drain under washer in laundry area, as required.

Division 16 – Electrical

Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

Electrical Service:
Contractor to verify existing service prior to preparing an application for construction permit. Contractor to confirm and provide a minimum 200 Amp Electrical Service.

Electrical HVAC Connections:
Contractor to provide all electrical hook-up as indicated on plans including HVAC equipment.

Electrical Wiring and Requirements:
Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner and Electrical Contractor are to ***review*** all switch, receptacle, recessed and surface mounted fixture locations for final approval.

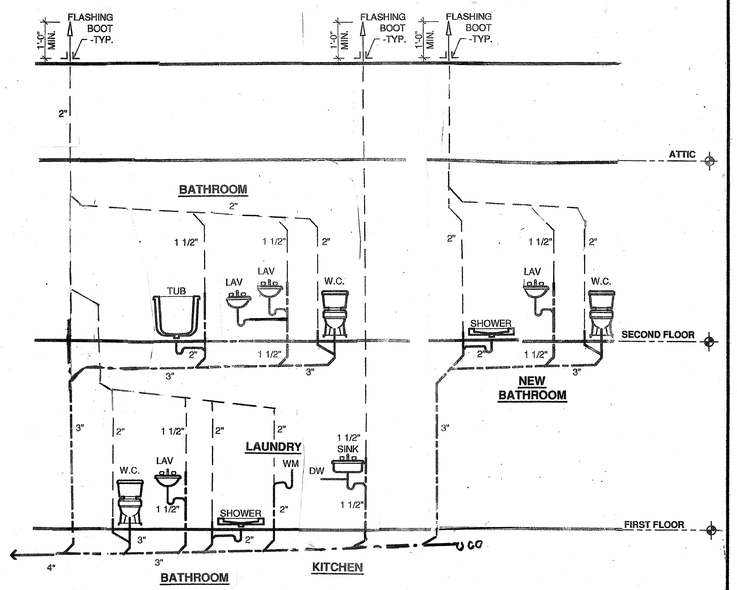
All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided where required by Code and noted on plans.

PLUMBING NOTES:

1. WRAP ALL WASTE PIPES IN WALLS AND CEILINGS WITH 1" F.G. PIPE WRAP INSULATION.
2. ALL SUPPLY PIPING SHALL BE 3/4" "L" COPPER TUBING EXCEPT FOR LOCAL TAKE-OFFS.
3. INSULATE ALL PIPING LOCATED IN UNHEATED SPACE.



Plumbing Riser Diagram

Scale: NTS

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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NJ LIC. A100820300

Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
Specifications

SCALE: As Noted	JOB No.: 2024990360
DATE: 10/15/24	DRAWING No.: A6
DRAWN BY: CP/MP	
CHECKED BY: MP	

Electrical Specifications

Division 16 – Electrical
Unless shown on these drawings, all electrical work such as, but not limited to hot water heating, related plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Contractor.

Electrical Wiring and Requirements:
Contractor to install all new circuits and services as schematically indicated on the drawings. Prior to installation, the Owner and Electrical Contractor are to ***review*** all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

Unless otherwise noted, all switches shall be mounted at standard 4'-2" height above finished floor. GFI's to be provided where required by Code and noted on plans.

All new electrical wall switches within addition, and areas of work, to be rocker type.

Lighting Fixtures:
All surface mounted fixtures to be supplied by the Owner and installed by the Contractor.

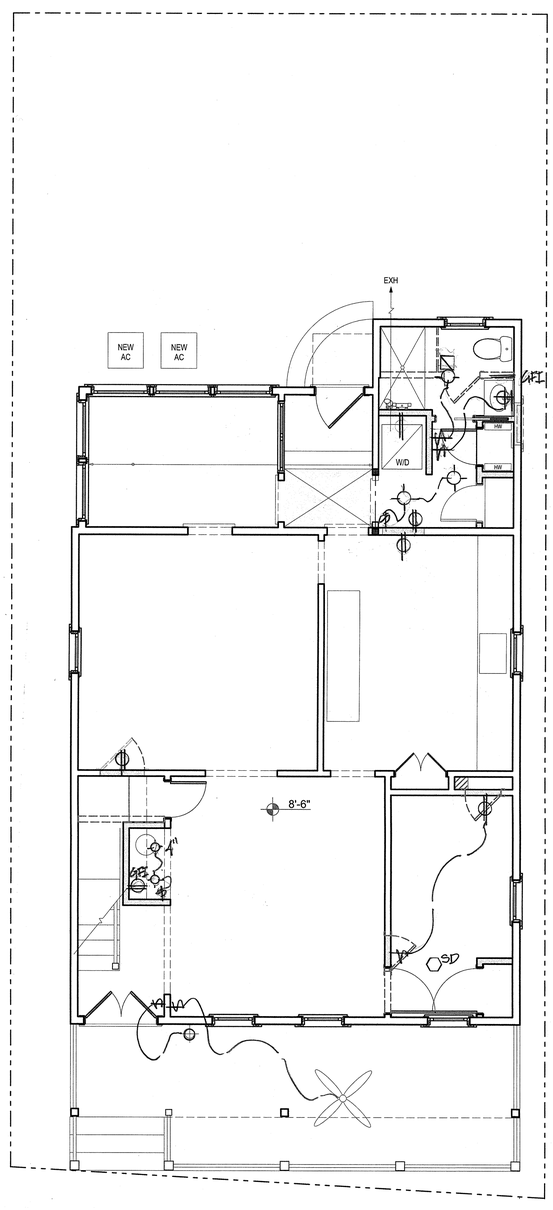
All recessed lighting to be maximum of 5" aperture LED type with white trim kits and reflectors.

Bathroom Electric Radiant Floor Mat:
Contractor to provide electric radiant floor mat heat in Master Bathroom at vanity and shower stall area with timer switch and controls.

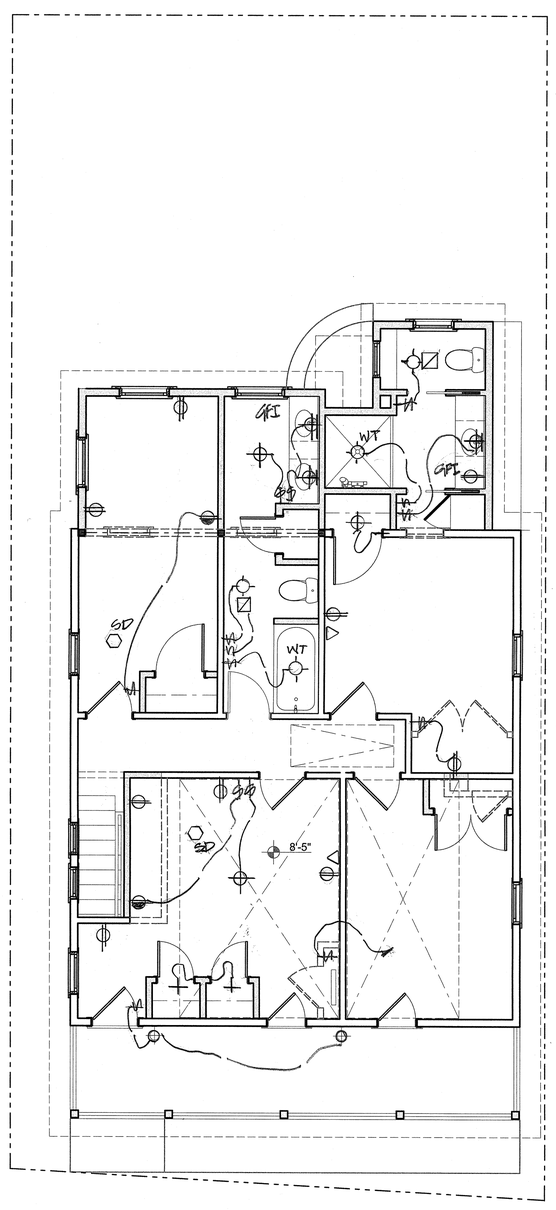
Electrical Life-safety System Connections:
Carbon Monoxide and Smoke Detection Alarms to be provided at each floor level in common hallways within the adjacency of all sleeping areas and within 10 feet of all bedroom entry doors, as required by Code and indicated on the floor plans.

Legend

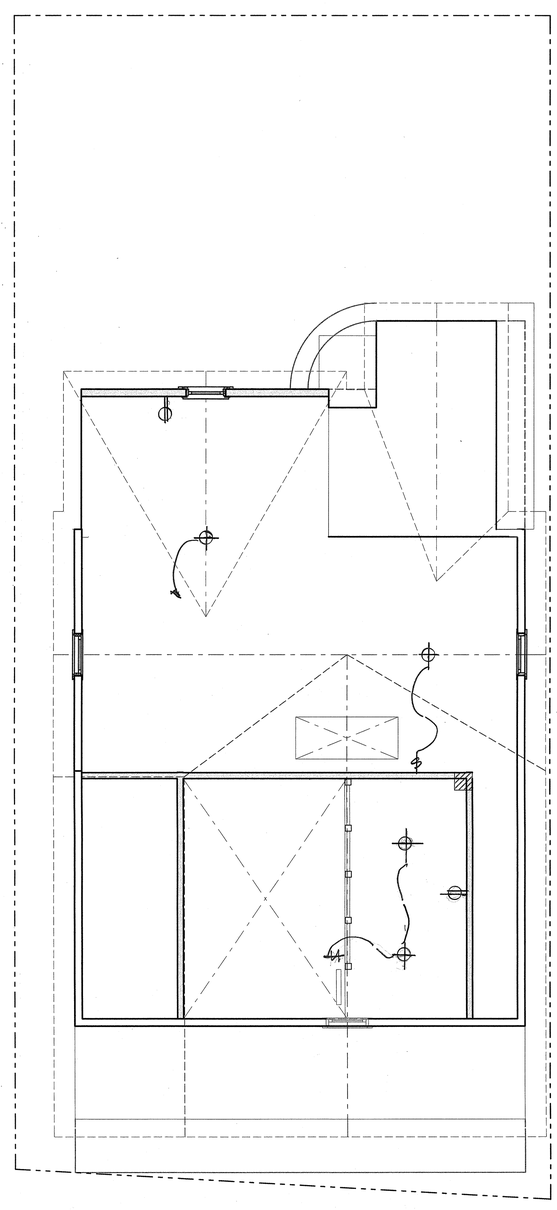
- ELEC. WALL SWITCH
- ELEC. WALL DIMMER
- ELEC. 3 WAY SWITCH
- ELEC. WALL OUTLET
- ELEC. FLOOR OUTLET
- ELEC. HALF–HOT WALL OUTLET
- CEILING MOUNTED LIGHT
- BRACKET/WALL MOUNTED LIGHT
- RECESSED CEILING LIGHT
- RECESSED DIRECTIONAL LIGHT
- EXHAUST FAN/HEAT LAMP
- SMOKE DETECTOR
- TV/CABLE JACK
- TELEPHONE JACK



First Floor Electrical Plan
Scale: 1/4" = 1'-0"



Second Floor Electrical Plan
Scale: 1/4" = 1'-0"



Half Story Electrical Plan
Scale: 1/4" = 1'-0"

N

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA
The Architect's Studio
215 Morris Avenue, Spring Lake, NJ
springlakearchitect.com
732-776-8777
NJ LIC. A100820300

Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
Electrical Plans & Specifications

SCALE	JOB No.
As Noted	202499036
DATE: 10/15/24	DRAWING No.
DRAWN BY: EAC/MP	E1
CHECKED BY: MP	

Generated by RES*check-Web* Software

Compliance Certificate

Project 36 WEBB AVENUE, OCEAN GROVE - ADDITION

Energy Code:	**2021 IECC**
Location:	**Ocean Grove, New Jersey**
Construction Type:	**Single-family**
Project Type:	**Addition**
Orientation:	**Bldg. faces 45 deg. from North**
Climate Zone:	**4 (5253 HDD)**
Permit Date:	
Permit Number:	
All Electric	**false**
Is Renewable	**false**
Has Charger	**false**
Has Battery:	**false**
Has Heat Pump:	**false**

Construction Site:
36 WEBB AVENUE
OCEAN GROVE, NJ, NJ 07756

Owner/Agent:
DAVID ISRANI
96 MENDOTA AVENUE
RYE, NEW YORK 10580
631-806-8973
DAVID@BSDRE.COM

Designer/Contractor:
MARK PAVLIV
Mark Alexander Pavliv, AIA
215 MORRIS AVE - 2nd FLR
Spring Lake, New Jersey 07762
732-776-8777
MP77AIA@AOL.COM

Compliance: Passes using UA trade-off

Compliance: **0.0% Better Than Code** Maximum UA: **41** Your UA: **41** Maximum SHGC: **0.40** Your SHGC: **0.34**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	218	60.0	2.2	0.022	0.024	5	5
Wall: Wood Frame, 16" o.c. Orientation: Unspecified	459	21.0	2.5	0.049	0.045	20	18
Window: Wood Frame SHGC: 0.34 Orientation: Unspecified	59			0.270	0.300	16	18

Additional Efficiency Package(s)

Not applicable

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in RES*check* Version : REScheck-Web and to comply with the mandatory requirements listed in the RES*check* Inspection Checklist.

MARK ALEXANDER PAVLIV, AIA — Name - Title
Signature
10/18/24 — Date

Project Notes:
PROPOSED REAR SECOND FLOOR ADDITION TO AN EXISTING LANDMARK SINGLE-FAMILY RESIDENCE

RES*check* Software Version : REScheck-Web

Inspection Checklist

Energy Code: 2021 IECC

Requirements: 100.0% were addressed directly in the RES*check* software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1][1]	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope and energy compliance path represented on construction documents.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A4, A5, A6, A7, E1
103.1, 103.2, 403.8 [PR3][1]	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A6, A7, A8, A9
302.1, 403.7 [PR2][2]	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr____ Cooling: Btu/hr____	Heating: Btu/hr____ Cooling: Btu/hr____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A9

Additional Comments/Assumptions:

1 High Impact (Tier 1) | 2 Medium Impact (Tier 2) | 3 Low Impact (Tier 3)

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 [FO11][2]	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.
403.9 [FO12][2]	Snow and ice-melting system controls installed to shut off system when pavement temperature > 50F and no precipitation.	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.

Additional Comments/Assumptions:

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1, 402.3.1, 402.3.3, 402.5 [FR2][1]	Glazing U-factor (area-weighted average).	U-____	U-____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.1.3 [FR4][1]	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A5. A7
402.4.1.1 [FR23][1]	Air barrier and thermal barrier installed per manufacturer's instructions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A5, A6, A7
402.4.3 [FR20][1]	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met.
402.4.5 [FR16][2]	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A6, A7, E1
403.3.1 [FR12][1]	Supply and return ducts in attics insulated >= R-8 where duct is >= 3 inches in diameter and >= R-6 where < 3 inches.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.3.4 [FR13][1]	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.3.7 [FR15][3]	Building cavities are not used as ducts or plenums.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.3.2 [FR28][3]	Ducts declared to be within the conditioned space are either 1) completely within the continuous air barrier and within the building thermal envelope, 2) buried within ceiling insulation in accordance with Section R403.3.6 and the air handler is located completely within the continuous air barrier and within the building thermal envelope and the duct leakage is <= 1.5 cfm / 100 square feet of conditioned floor area served by the duct system, or 3) the ceiling insulation R-value installed against and above the insulated duct >= to the proposed ceiling insulation R-value, less the R-value of the insulation on the			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.4 [FR17][2]	HVAC piping conveying fluids above 105 ºF or chilled fluids below 55 ºF are insulated to ≥R-3.	R-____	R-____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.4.1 [FR24][1]	Protection of insulation on HVAC piping.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
402.4.6 [FR29][3]	Electrical and communication boxes installed in the thermal boundary of the envelope sealed to limit air leakage between conditioned and unconditioned spaces.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A6, A7, E1
403.5.2 [FR18][3]	Hot water pipes are insulated to ≥R-3.	R-____	R-____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.6 [FR19][2]	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts for mechanical ventilation systems.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A7
403.6.1 [FR30][2]	Ventilation systems in climate zones 7 & 8 shall utilize heat or energy recovery			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** NOT APPLICABLE IN ZONE 4

Additional Comments/Assumptions:

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13][2]	All installed insulation is labeled or the installed R-values provided.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met.
402.1, 402.2.5, 402.2.6 [IN3][1]	Wall insulation R-value, If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-____ ☐ Wood ☐ Mass ☐ Steel	R-____ ☐ Wood ☐ Mass ☐ Steel	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.2 [IN4][1]	Wall insulation is installed per manufacturer's instructions.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A4, A6

Additional Comments/Assumptions:

1 High Impact (Tier 1) | 2 Medium Impact (Tier 2) | 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1, 402.2.1, 402.2.2, 402.2.6 [FI1][1]	Ceiling insulation R-value.	R-____ ☐ Wood ☐ Steel	R-____ ☐ Wood ☐ Steel	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	*See the Envelope Assemblies table for values.*
303.1.1.1, 303.2 [FI2][1]	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft².			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A4, A6, A7
402.2.3 [FI22][2]	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A4, A6, A7,
402.2.4 [FI3][1]	Attic access hatch and door insulation ≥R-value of the adjacent assembly.	R-____	R-____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A7
402.4.1.3 [FI17][1]	Blower door test @ 50 Pa. <=5.0 ach in Climate Zones 1-2, and <=3.0 ach in Climate Zones 3-8.	ACH 50 =____	ACH 50 =____	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A7
403.3.5 [FI27][1]	Ducts are pressure tested in accordance with ANEI/RESNET/ICC 380 or ASTME1554 to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft²	____ cfm/100 ft²	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.3.6 [FI4][1]	Duct tightness test result of <=4 cfm/100 ft2 across the system or <=3 cfm/100 ft2 without air handler @ 25 Pa. Duct tightness <= 8 cfm/100 ft2 for ducts within thermal envelope. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft²	____ cfm/100 ft²	☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.3.4.1 [FI24][1]	Air handler leakage designated by manufacturer at <=2% of design air flow.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A9
403.1.1 [FI9][2]	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9
403.5.1 [FI11][2]	Circulating service hot water systems have automatic or accessible manual controls.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.2 [FI26][2]	Hot water boilers supplying heat through one- or two-pipe heating systems have automatic outdoor setback control to lower boiler water temperature based on outdoor temperature, indoor temperature or water temperature sensing.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.
403.5.1.1 [FI28][2]	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermos-syphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.
403.5.1.2 [FI29][2]	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.
403.5.3 [FI31][2]	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.
403.6.2 [FI25][2]	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.2.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A9
403.6.3 [FI33][1]	Mechanical ventilation systems tested and verified to meet the minimum flow rates required by Section R403.6.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A6, A9, A9
403.5.1.1. 1 [FI32][2]	Demand recirculation water systems have automatic controls to start pump when hot water is requested.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Requirement is not applicable.
404.1 [FI6][1]	100% of permanent fixtures have high efficacy lamps.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8, A9, E2
404.1.2 [FI23][3]	Fuel gas lighting systems have no continuous pilot light.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A9

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
404.1.1 [FI35][3]	Exterior lighting for multifamily buildings shall comply with Section C405.4.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	**Exception:** Detached one- and two- family dwellings.
404.2 [FI36][3]	Permanent interior lighting shall be controlled with either a dimmer, occupancy sensor or other control built into the fixture.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A9, E2
404.3 [FI37][3]	Exterior lighting >= 30 watts shall have the following controls: manual on/off switch with automatic shut-off, automatic shut-off in daylight hours, and controls that override automatic shutoff that returns to automatic control within 24 hours.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met. **Location on plans/spec:** A8. A9, E2
401.3 [FI7][2]	Compliance certificate posted with building specifications and compliance path and results.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met.
303.3 [FI18][3]	Manufacturer manuals for mechanical and water heating systems have been provided.			☐Complies ☐Does Not ☐Not Observable ☐Not Applicable	Requirement will be met.

Additional Comments/Assumptions:

2021 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	**23.47**
Below-Grade Wall	**0.00**
Floor	**0.00**
Ceiling / Roof	**62.23**
Ductwork (unconditioned spaces):	____

Glass & Door Rating	U-Factor	SHGC
Window	**0.27**	**0.34**
Door		

Heating & Cooling Equipment	Efficiency
Heating System:_____	____
Cooling System:_____	____
Water Heater:_____	____

Name: _____ **Date:**_____

Comments

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA
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215 Morris Avenue, Spring Lake, NJ
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Signature

Proposed Renovations & Rear Addition to the Existing 2 ½ Story Wood Frame Single-Family Dwelling

Block #231, Lot #3

Use Group: R5
Construction Type: 5B

PROJECT NAME
36 Webb Avenue
Ocean Grove, NJ

DRAWING TITLE
REScheck
Energy Compliance

SCALE	JOB No.
As Noted	2024A90360
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DRAWN BY: MP	A7
CHECKED BY: MP	