

SCOPE OF WORK:

CURRENT OWNER OF AN EXISTING SINGLE FAMILY, WOOD FRAME, DETACHED DWELLING IS PROPOSING TO CONSTRUCT A NEW COVERED FRONT PORCH, RELOCATE FRONT ENTRY DOOR, REPLACE EXIST. BAY WINDOW WITH NEW DOUBLE HUNG WINDOWS IN MODIFIED OPENING, RENOVATE THE KITCHEN, REPLACE EXIST. STAIR TO BASEMENT, MODIFY STAIRS TO PORCH, AND ADD A BASEMENT ENTRY DOOR ACCESSIBLE FROM UNDER THE FRONT PORCH.

1. ALL MAJOR ITEMS OF WORK ARE LISTED OR SPECIFIED. ITEMS NOT LISTED OR SPECIFIED, BUT IMPLIED OR NOTED ON OTHER DRAWINGS, ARE HEREBY INCLUDED IN THE SCOPE OF WORK.
2. NEW STRUCTURAL COMPONENTS, INSULATION AND FINISHES.
3. NEW MILLWORK, ARCHITECTURAL WOOD WORK AND CABINETRY.
4. NEW PLUMBING FIXTURES, FITTINGS, EQUIPMENT AND RELATED FINISHES AND KITCHEN WITH MODIFIED LAYOUT.
5. NEW WINDOWS AND ENTRY DOORS TO BE ENERGY COMPLIANT.

GENERAL CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR FORMULATION, DOCUMENTING, AND CARRYING OUT SOIL EROSION AND SEDIMENTATION CONTROL PLANS WHICH SHALL INCLUDE PROVIDING AND MAINTAINING OF SWALES, DIVERSIONS AND FILTERS IN THE CONSTRUCTION AREA AND AROUND THE WORK SITE TO PREVENT SOIL EROSION AND SEDIMENTATION PROBLEMS.

2. CONNECTIONS- ALL NAILED CONNECTIONS TO COMPLY WITH THE FASTENER SCHEDULE TABLE 602.3(1) - 602.3(5) OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER SCHEDULE AND/OR MANUFACTURERS RECOMMENDED SPECIFICATIONS AND/OR THE WOOD FRAME CONSTRUCTION MANUAL TABLE 2, WHICHEVER IS MORE STRINGENT UNLESS NOTED OTHERWISE.

3. WOOD CONNECTORS - ALL WOOD TO WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE CO. INC. OR ALTERNATE AS APPROVED BY THE ARCHITECT. ALL CONNECTORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE TYPE 316L STAINLESS STEEL. THE SUBSTITUTION OF SIMPSON ZMAX GALVANIZED (G135) CONNECTORS AND FASTENERS SHALL ONLY BE ALLOWED UPON BOTH SIMPSON'S AND THE LOCAL CONSTRUCTION CODE OFFICIAL'S APPROVAL BASED ON THE CONTRACTOR'S SUBMISSION OF THE SPECIFICATIONS OF THE PRESSURE TREATED WOOD TO BE USED IN THE PROJECT. .

4. WALL BRACING - WALLS SHALL BE BRACED IN ACCORDANCE WITH R602.10. THE CONSTRUCTION OF BRACED WALL PANELS SHALL BE IN ACCORDANCE WITH R602.103, METHOD 3.

5. CUTTING AND NOTCHING: NO NOTCHING OF WOOD BEAMS, JOISTS, RAFTERS, OR STUDS IS ALLOWED UNLESS THE CUTTING OR NOTCHING COMPLIES WITH THE ALLOWED FIGURES R602.8, R602.6(10 & R602.6(2). IF TJI FLOOR JOISTS ARE USED, CUTTING AND NOTCHING IS ONLY ALLOWED PER THE MANUFACTURER'S RECOMMENDATIONS. CUTTING AND NOTCHING OF ENGINEERED LUMBER IS ALLOWED ONLY PER THE MANUFACTURER'S RECOMMENDATIONS. .

6. WATER RESISTANT GYPSUM WALLBOARD: PROVIDE WATER RESISTANT GYPSUM WALLBOARD AT WALLS AND CEILINGS OF BATHROOMS, POWDER ROOMS, AND LAUNDRY ROOMS.

7. EGRESS: BASEMENTS WITH HABITABLE SPACE AND EVERY BEDROOM SHALL HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR DIRECTLY TO THE EXTERIOR APPROVED FOR EMERGENCY EGRESS AND RESCUE AS PER SECTION R310. THE UNITS MUST BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF SEPARATE TOOLS.

A. SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

B. MINIMUM NET CLEAR OPENING OF 5.7 SF.

C. MINIMUM NET CLEAR OPENING HEIGHT OF 24"

D. MINIMUM NET CLEAR OPENING WIDTH OF 20"

8. FIRE AND DRAFT STOPPING: FIRE AND DRAFT STOP ALL DROPPED SOFFITS AND CEILINGS, AND ANY OTHER CONCEALED AREAS WHERE FIRE/DRAFT STOPPING IS REQUIRED BY CODE.

9. ROOF ICE PROTECTION: IN AREAS WHERE THE AVERAGE DAILY TEMPERATURE IN JANUARY IS 25 DEGREES OR LESS PROVIDE AN ICE PROTECTION IN ACCORDANCE WITH SECTION R905.2.7.1 OR AS NOTED ON DRAWINGS.

10. DRAINAGE: SLOPE FINISH GRADE ADJACENT TO FOUNDATION (ALL SIDES OF DWELLING DOWN AND AWAY AT 1:12 PITCH FOR A MINIMUM DISTANCE OF 8'-0" EXCEPT IN WELL-DRAINED GRAVEL OR SAND/GRAVEL MIXTURE SOILS. PROVIDE A DEDICATED FOUNDATION DRAINAGE SYSTEM AS PER CODE.

11. ROOF SHINGLES: ASPHALT/FIBERGLASS, STRIP SHINGLES SHALL HAVE MINIMUM OF (6) FASTENERS PER SHINGLE.

12. BONDING FOOTINGS: THE FOOTINGS SHALL BE BONDED IN ACCORDANCE WITH NEC 250-50 C REQUIRING THE ELECTRODE SYSTEM IN NEW CONSTRUCTION BE GROUNDED/BONDED TO THE FOOTING SYSTEM.

13. STAIRWAYS, LANDINGS & HANDRAILS SHALL CONFORM TO NJIRC SECTION R311.

14. GUARDS AT PORCHES, DECKS, BALCONIES, ETC, SHALL CONFORM TO NJIRC SECTION R312.

15. PROVIDE "GRASPABLE" HANDRAILS AT ALL STAIRS WITH THREE MORE RISERS. HANDRAILS SHALL BE 36" HIGH, MEASURED VERTICALLY ABOVE THE STAIR NOSING. CLEAR SPACE BETWEEN HANDRAILS AND WALLS (OR OTHER RAILINGS) SHALL BE 1 1/2" MINIMUM. HANDRAILS SHALL HAVE CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF 1 3/8" MINIMUM AND 2" MAXIMUM OR SHALL PROVIDE EQUIVALENT GRASPABILITY (PERIMETER DIMENSION OF 4" MINIMUM AND 5 1/2" MAXIMUM WITH LARGEST CROSS SECTION OF 2 1/4" MAXIMUM) HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.

DRAWING LIST:

ARCHITECTURAL:

A-001	NOTES, DWG LIST, SYMBOLS, BLOCK AND LOT INFO
Z-100	ZONING PLANS AND ANALYSIS, SURVEY, AREA BREAKDOWN
DM-100	DEMOLITION PLANS, AND NOTES
A-100	PROPOSED PLANS, AND NOTES
A-200	PROPOSED EXTERIOR ELEVATIONS
A-600	BUILDING DETAILS

LOT INFORMATION:

1. LOCATION	
1.1. OWNER	Denise Howard; JE Martin
1.2. LOCATION	132 Clark Ave. Ocean Grove, NJ
1.3. COUNTY	Monmouth County
1.4. BLOCK	272
1.5. LOT	4
1.6. ZONING:	HD-R-1
1.7. BUILDING CLASS	17
1.8. PROPERTY CLASS	Residential (2)

CODE REFERENCES:

BUILDING TO BE BUILT IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING THE FOLLOWING:

1. N.J. UNIFORM CONSTRUCTION CODE (NJAC 5:23)
2. UCC BUILDING SUBCODE IBC 2018
3. N.J. FIRE PREVENTION CODE IFC 2015 WITH AMENDMENTS
4. UCC MECHANICAL CODE (2018)
5. INTERNATIONAL ENERGY CONSERVATION CODE (2015)
6. NATIONAL ELECTRICAL CODE NFPA70 (2017)
7. NATIONAL STANDARD PLUMBING CODE (2018)
8. ENERGY SUB CODE 2016 COMMERCIAL
9. INTERNATIONAL FUEL GAS CODE (2018)
10. INTERNATIONAL FIRE CODE (2015)
11. ICC/ANSI A117.1-2009 BARRIER FREE SUBCODE
12. STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS (2019)

FLOOD ZONE STATEMENT:

THIS PROJECT SITE IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.

ENERGY CONSERVATION CODE:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW JERSEY.

§28-104.7.9 ENERGY CONSERVATION CODE. THE APPLICATION SHALL CONTAIN ALL INFORMATION REQUIRED TO DEMONSTRATE COMPLIANCE WITH THE NEW JERSEY ENERGY CONSERVATION CODE. THIS INFORMATION SHALL INCLUDE SIGNED AND SEALED CONSTRUCTION DRAWINGS, INCLUDING ELECTRICAL DRAWINGS, TO THE EXTENT THAT THEY DEMONSTRATE SUCH ENERGY CODE COMPLIANCE [IN THE ENERGY ANALYSIS OR THE SUPPORTING DOCUMENTATION], AS REQUIRED BY SUCH ENERGY CODE AND RULES.

SMOKE AND CO DETECTOR NOTES:

1. ALL SMOKE AND CARBON MONOXIDE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE TO ANY SLEEPING ROOM AND IN EACH SLEEPING ROOM, EITHER WALL OR CEILING MOUNTED AS INDICATED ON PLANS AND PER NFPA # 720 (BC 907.2.10.11).
2. EACH DWELLING UNIT WILL BE EQUIPPED WITH BSA APPROVED CO DETECTING DEVICE RECEIVING PRIMARY POWER FROM BUILDING WIRING WITH NO SWITCH IN THE CIRCUIT (LL 7/2004) .
3. REQUIRED SMOKE DETECTORS SHALL RECEIVE PRIMARY POWER FROM THE DEDICATED BRANCH CIRCUIT OR UNSWITCHED BRANCH OF POWER CIRCUIT ALSO USED FOR POWER AND LIGHTING AND SHALL BE EQUIPPED WITH BATTERY BACKUP PER BC 907.2.10.2
4. SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE DETECTOR WILL ACTIVATE ALL THE DETECTORS IN INDIVIDUAL DWELLING UNIT PER BC 907.2.10.3.
5. EACH DETECTOR AND INTERCONNECTING WIRING SHALL BE TESTED IN ACCORDANCE WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISION OF NFPA 72 PER BC 907.2.10.4.
6. SMOKE DETECTORS SHALL COMPLY WITH ICC/ANSI A117.1 PER BC 907.2.10.5.

PROJECT NOTES:

1. WATER & SEWER: EXISTING WATER SERVICE TO BE USED.
2. WEATHER BARRIER AND SIDING: ALL NEW EXTERIOR WALLS TO RECEIVE WEATHER BARRIER AND SIDING. WEATHER BARRIER SHALL BE BLUE SKIN WRAP (OR APPROVED EQUIVALENT), FLASHING, FLEX FLASHING, AND SEAM TAPE. SIDING SHALL BE VERTICAL HARDIE BOARD BOARD AND BATTEN. EXTERIOR FINISH ON EXPOSED FOUNDATION WALLS SHALL BE CEMENT PARGE, COORDINATION COLOR AND FINISH WITH ARCHITECT. INSTALL ALL WEATHER BARRIER AND SIDING PRODUCTS PER THE MANUFACTURERS RECOMMENDATIONS.
3. STONE VENEER: (IF APPLICABLE) AT AREAS SHOWN AS STONE VENEER, PROVIDE CULTURED STONE AS SELECTED BY ARCHITECT AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
4. ROOFING: GAF TIMBERLINE BIRCHWOOD SHINGLES
5. EXTERIOR TRIM: AZEK .

6. SOFFITS: PROVIDE VENTED AZEK SOFFITS AT ALL OVERHANGS. PROVIDE AIR VENT BAFFLES IN ROOF RAFTERS. SEE FIRE RATED DETAIL AT SOFFITS CLOSE TO PROPERTY LINES.

7. GUTTERS AND DOWNSPOUTS: ALUMINUM GUTTERS AND DOWNSPOUTS DRAIN AWAY FROM DWELLING.

8. INSULATION: PROVIDE REQUIRED DRAFT STOP, FIRE STOP AND INSULATION BAFFLES AS NECESSARY. PROVIDE R VALUES IN WALLS AND ROOFS PER ENERGY CODE COMPLIANCE .

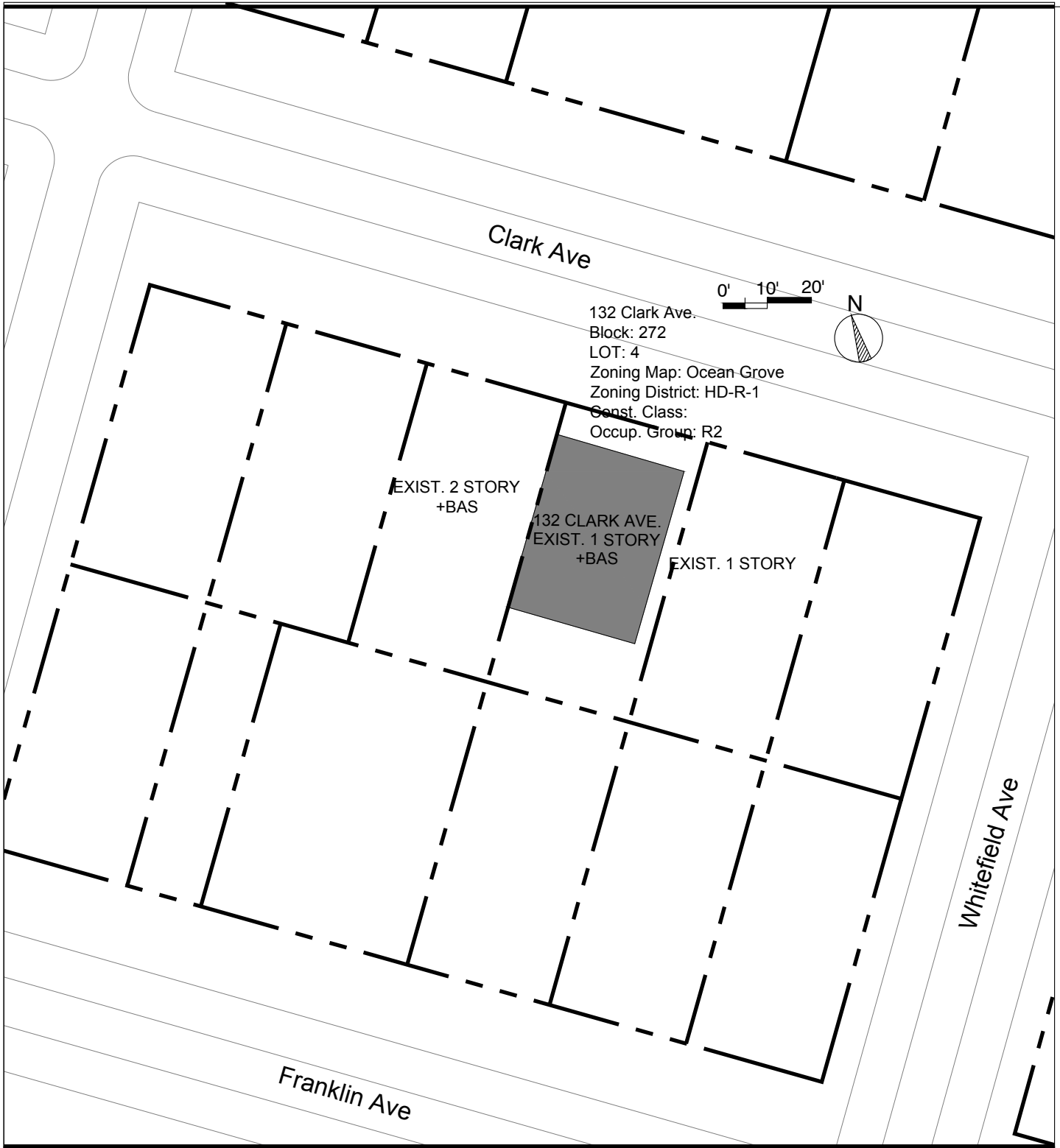
9. INTERIOR DOORS: WOOD PAINTED 1 3/4" SOLID CORE DOORS. ALL INTERIOR DOORS SHALL AVE NOMINAL HEAD HEIGHT OF 7'-6" UNLESS OTHERWISE NOTED.

10. FINISH FLOORS: GARAGE FLOORING TO BE SEALED CONCRETE. SECOND FLOOR DWELLING TO BE 5" WHITE OAK T&G FLOORING. TILE IN BATHROOM.

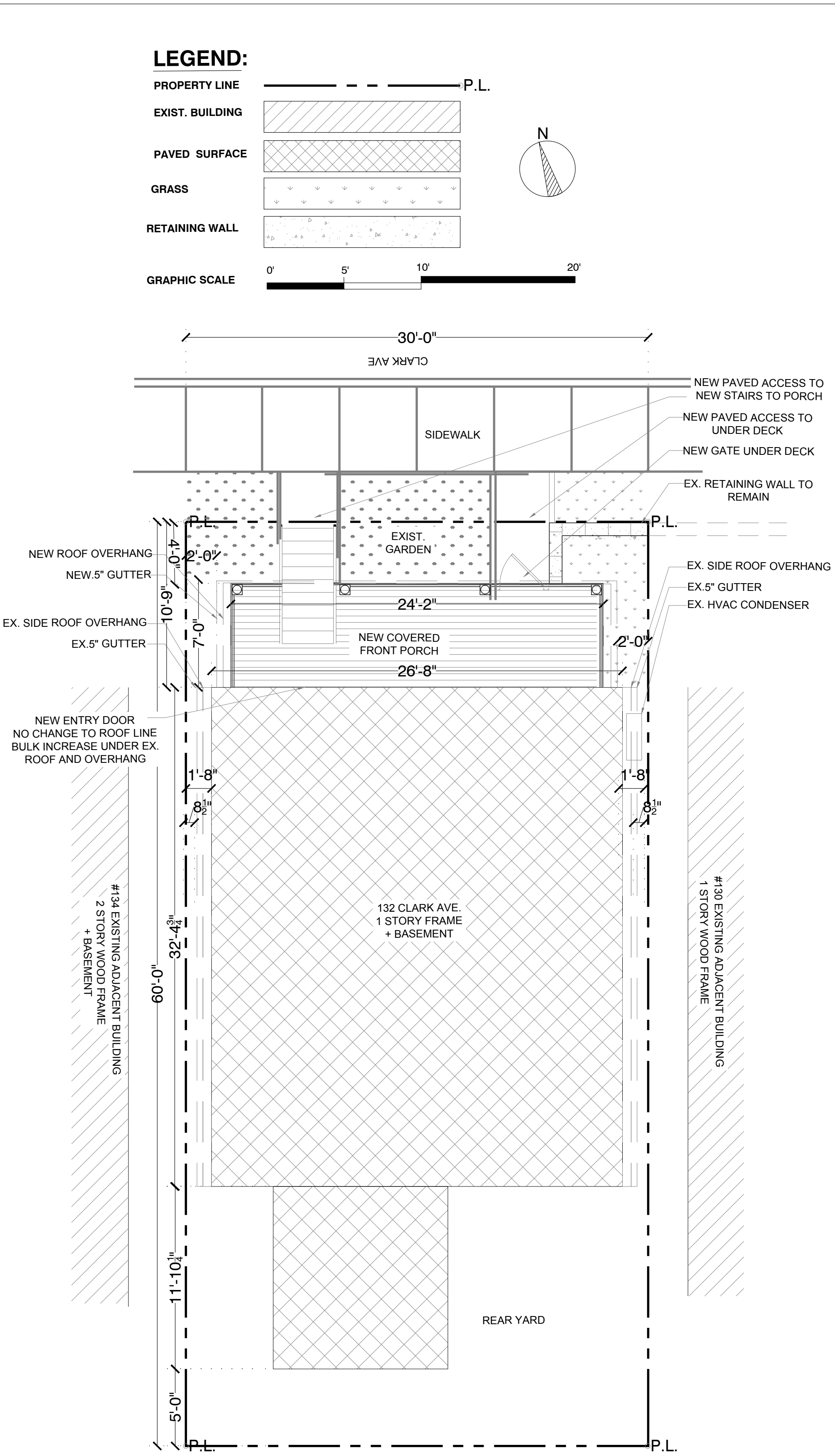
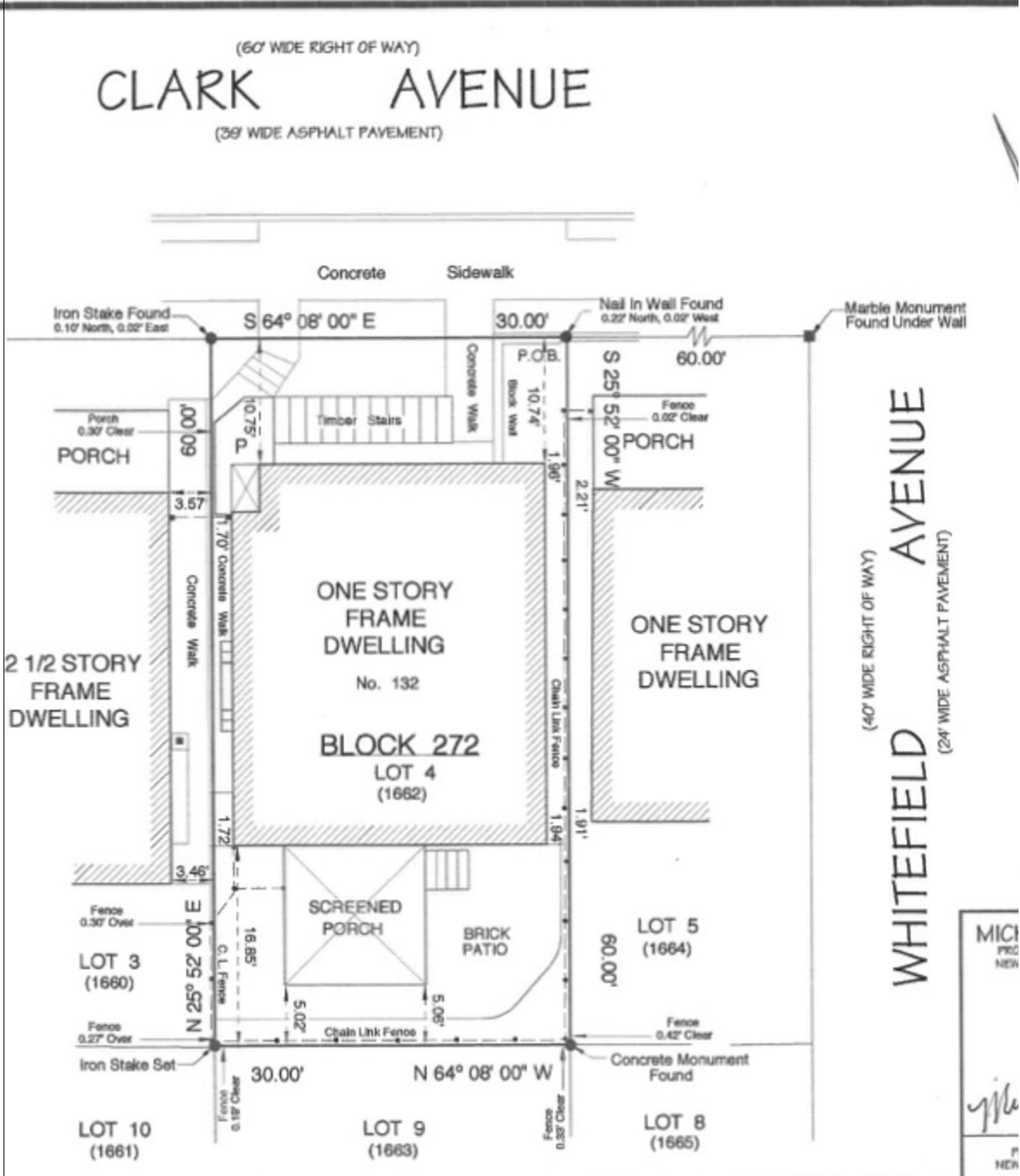
11. BUILT IN MILLWORK AND SHELIVING: SOLID OAK STAINED PER ARCHITECTS SAMPLES.

12. CLOSETS: AT ALL NEW COAT AND BEDROOM CLOSETS PROVIDE ROD(S) AND SHELVES AS SHOWN. AT ALL NEW PANTRY AND LINEN CLOSETS PROVIDE (5) SHELVES.

13. INTERIOR PAINT: PREP AND PAINT ALL NEW FINISH CONSTRUCTION. ONE COAT BENJAMIN MOORE QUALITY PRIMER AND TWO FINISH COATS. COORDINATE COLORS WITH ARCHITECT.



SITE PLAN



132 CLARK AVE.
OCEAN GROVE, NJ
07756

owner:
JE Martin & Denise Howard
132 Clark Avenue
Ocean Grove NJ 07756

architect:
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NOTES, LOT INFO, SITE PLAN,
SCOPE OF WORK, INSPECTIONS

Date: MARCH 27, 2023

Scale: AS NOTED

Drawing:

A-001

Item/Description	Permitted/Required	Existing	Proposed	Compliance
USES	R: SINGLE FAMILY	R: SINGLE FAMILY	R: SINGLE FAMILY	REMAIN AS SINGLE FAMILY
LOT AREA (Sq Ft)	MIN. 1800 SF	1,800 SF	1,800 SF	COMPLIES
DENSITY (d.u. per acre)	MIN. 24.2	25	25	COMPLIES
FLOOR AREA RATIO	N/A	N/A	N/A	N/A
LOT WIDTH (feet)	MIN. 30'-0"	30'	30'	COMPLIES
LOT FRONTAGE (feet)	MIN. 30'-0"	30'	30'	COMPLIES
LOT DEPTH (feet)	MIN. 60'-0"	60'	60'	COMPLIES
FRONT YARD BLDG SETBACK (feet)	MIN. 10'-0"	14'	14'	COMPLIES
FRONT YARD PORCH SETBACK (feet)	MIN. 4'-0"	8'-4"	4'-0"	COMPLIES
SIDE YARD SETBACK (feet)	MIN. 2'-0"	1.96'	1.96'	EX. NON-COMPLIANT
COMBINED SIDE YARD SETBACK (feet)	MIN. 4'-0"	3.66'	3.66'	EX. NON-COMPLIANT
YARD SETBACK ON NEW PORCH	MIN. 2'-0"	2'-0"	2'-0"	COMPLIANT
REAR YARD SETBACK (feet)	MIN. 3.1'	5'	5'	COMPLIES
LOT COVERAGE, BUILDING	MAX. 85%	55% (989/1800)= .549	55% (998/1800)= .554	COMPLIES
PERCENT LOT COVER (BLDG + IMPERVIUOUS)	MAX. 90%	80% (.549 + .258)	81% (.554 + .255)	COMPLIES
ALLOWABLE NUMBER OF STORIES	MAX. 2.5	1	1	COMPLIES
BUILDING HEIGHT (feet)	MAX. 35'-0", 2.5 STO. ABV GRADE 20'	20'	20'	COMPLIES
TOTAL BUILDING SQ FT	PERMITTED	989 SF	998 SF	1% ENLARGEMENT
FRONT PORCH	PERMITTED	36 SF	166 SF	78% ENLARGEMENT
REAR PAVED PATIO	PERMITTED	343 SF	343 SF	NO CHANGE
MAX HEIGHT	MAX. 35'-0", 2.5 STO. ABV GRADE 35'-0"		20'-0"	COMPLIES
SIDE YARD	MIN 4' (BOTH SIDES)	1'-11"L, 1'-9" R	1'-11"L, 1'-9" R	EX. NON-COMPLIANT
REAR YARD	MIN. 25'-0"	18'-2"	18'-2"	EX. NON-COMPLIANT

ZONING ANALYSIS CHART

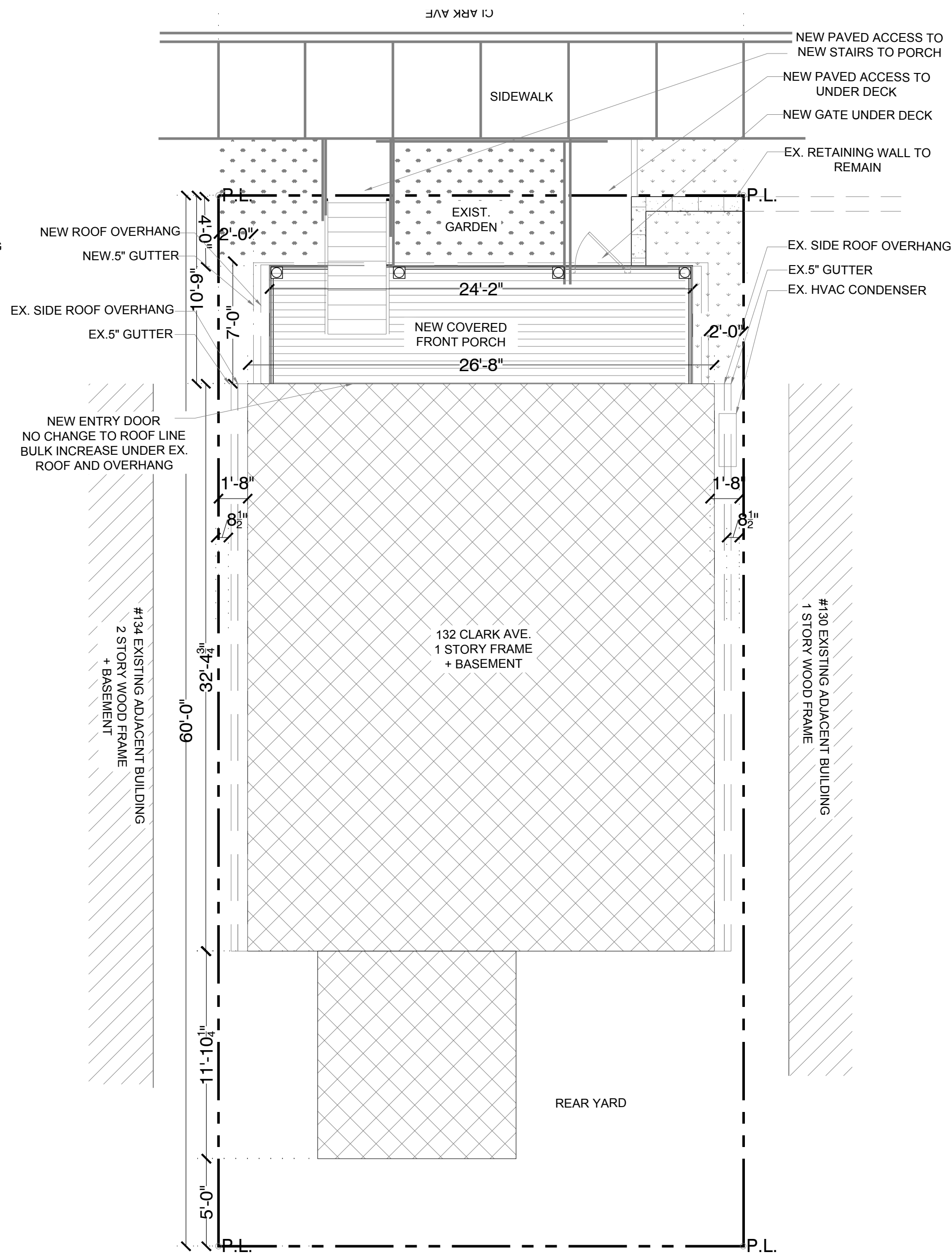
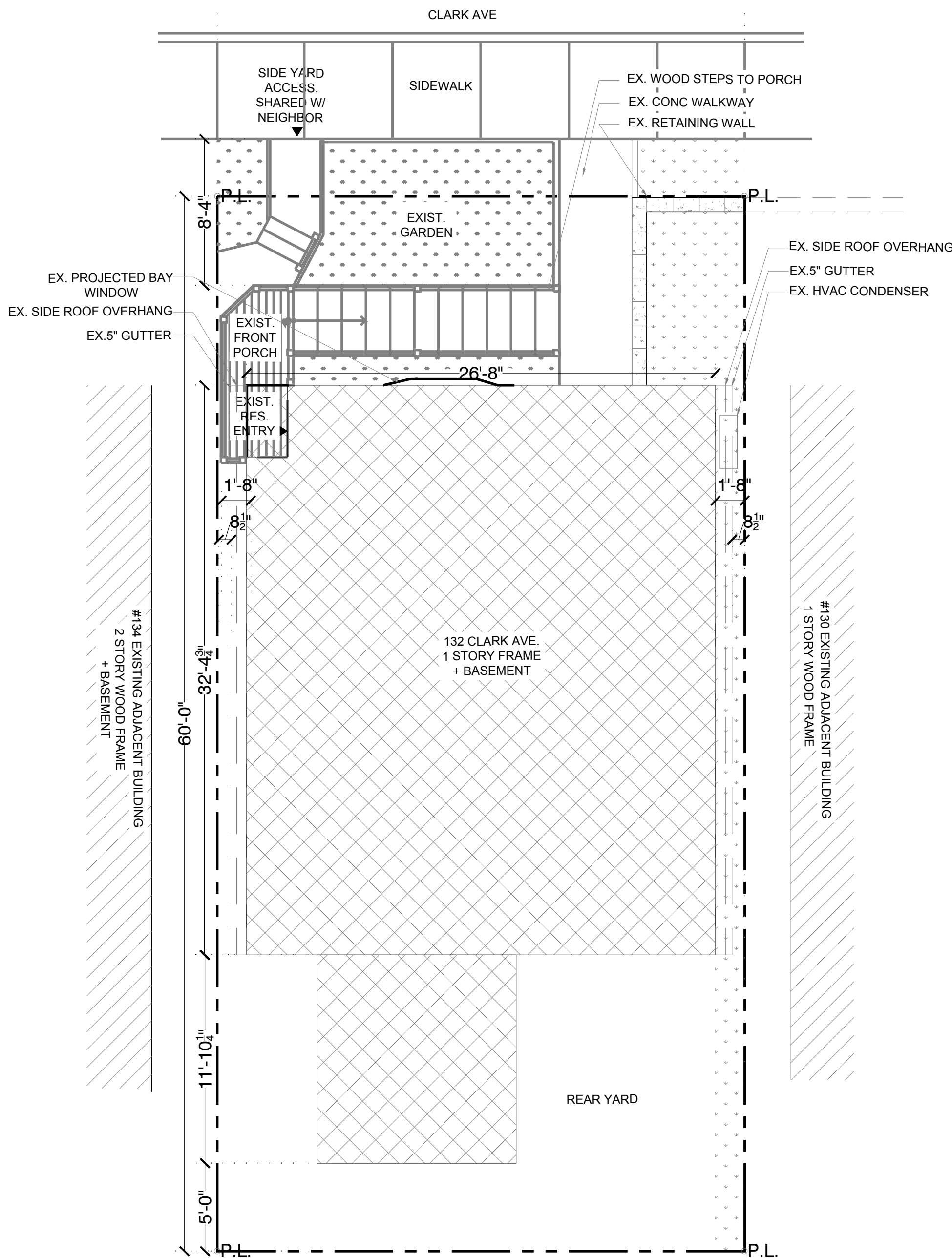
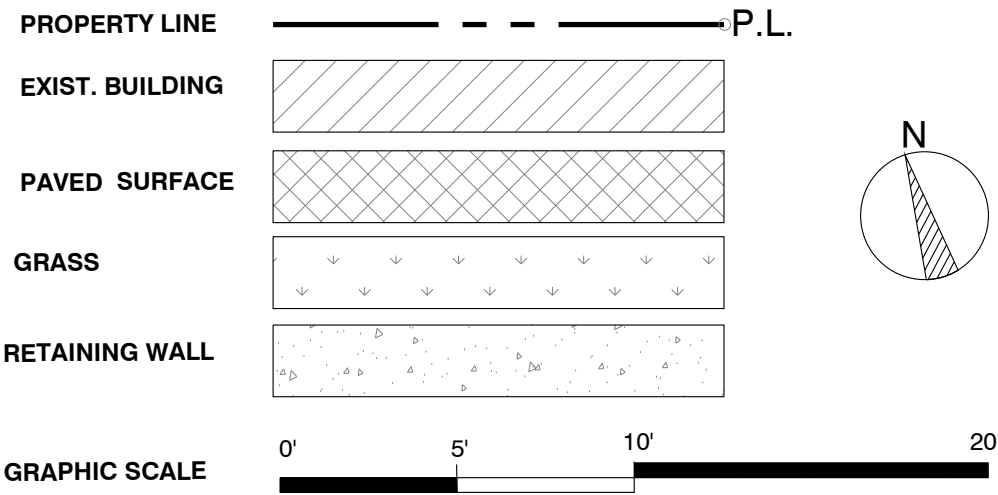
C.WALL ARCHITECTURE
ADDRESS: 132 CLARK AVE
OCEAN GROVE, NJ

Z-100 ZONING ANALYSIS
ZONING: HDR1
BLOCK: 272

132 CLARK AVE.
OCEAN GROVE, NJ
07756

1 ZONING ANALYSIS

LEGEND:



2 EXISTING PLOT PLAN

3 PROPOSED PLOT PLAN

owner:
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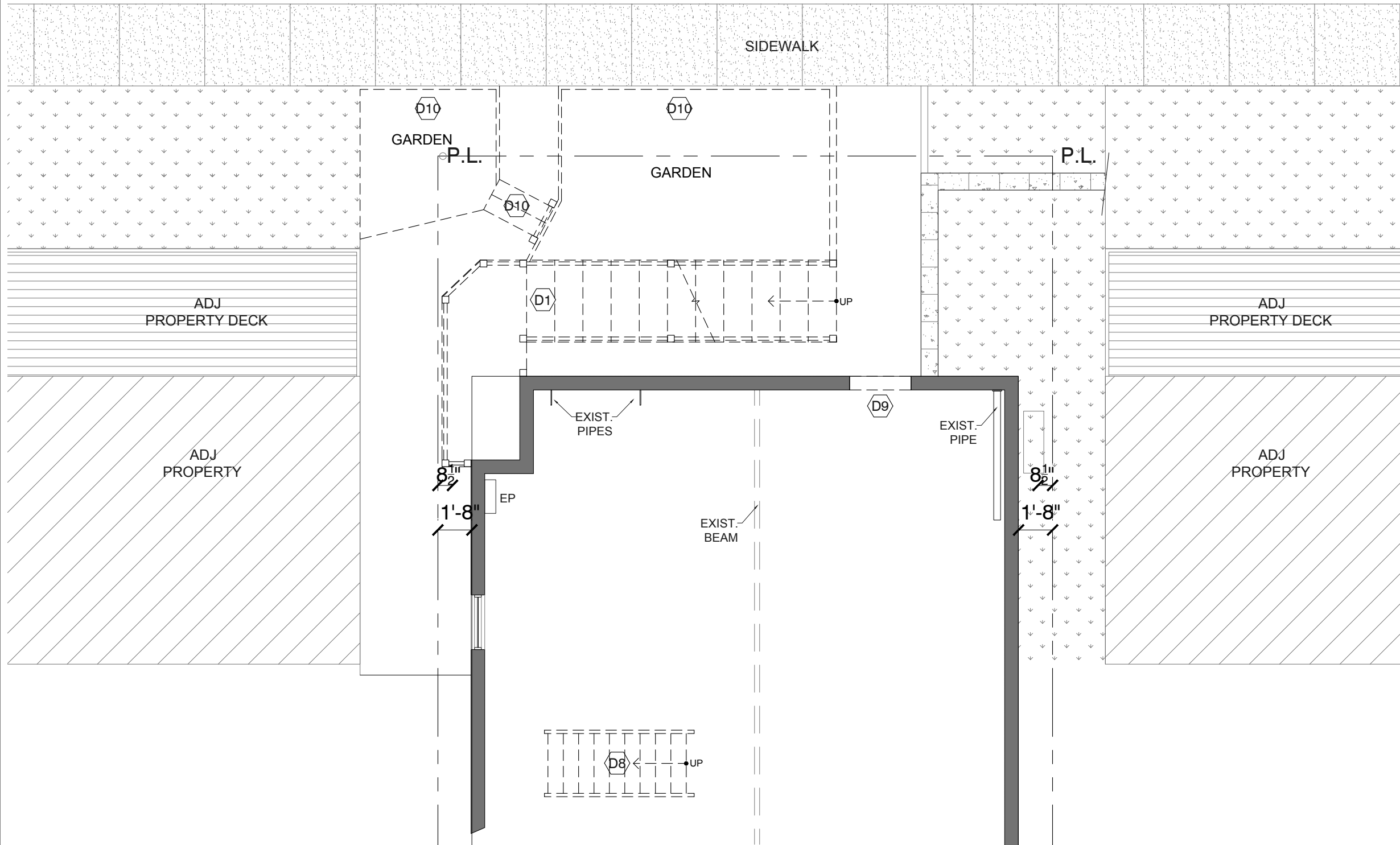
ZONING ANALYSIS

Date: MARCH 27, 2023

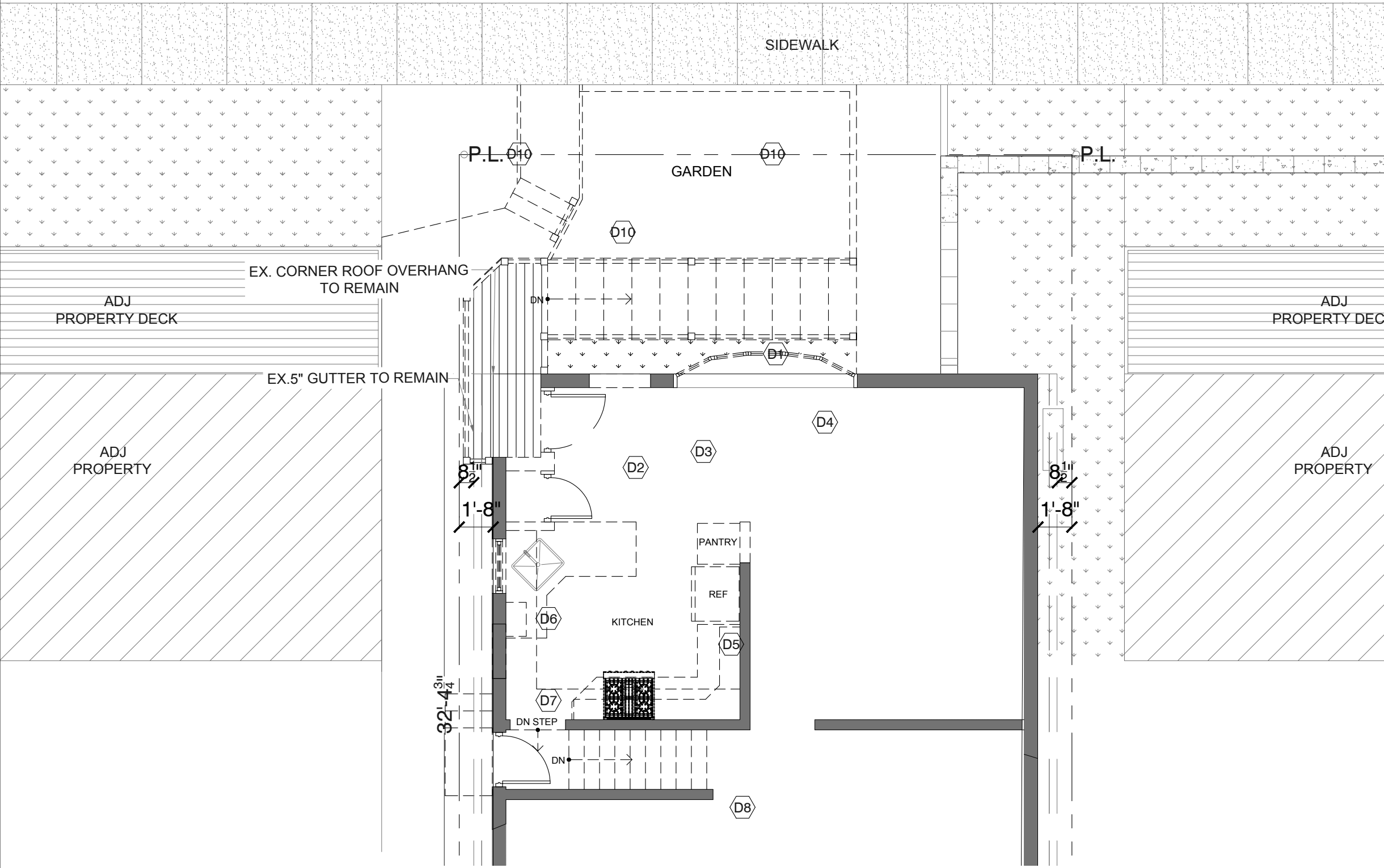
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Drawing:

Z-100



1 BASEMENT DEMOLITION PLAN



1 FIRST FLOOR DEMOLITION PLAN

LEGEND:

- EXISTING CONSTRUCTION
- DEMOLISHED PARTITIONS

KEY NOTES:

- D1 REMOVE EXIST. DECK AND STAIR.
- D2 REMOVE EXIST. FRONT DOOR. RETAIN EXISTING CORNER OF BUILDING AND ROOF.
- D3 NEW OPENING FOR FRONT DOOR.
- D4 REMOVE EXIST. BAY WINDOW.
- D5 REMOVE ALL KITCHEN FIXTURES, FINISHES AND CAP SERVICES
- D6 REMOVE EXIST. WINDOW.
- D7 NEW OPENING FOR NEW WINDOW.
- D8 REMOVE EXIST. STAIR TO BASEMENT.
- D9 NEW OPENING FOR BASEMENT ENTRY DOOR.
- D10 REMOVE EXIST. LANDSCAPING AND REATAIN ALL RETAINING WALLS

DEMOLITION:

- 1.CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION FOR THE DURATION OF THE PROJECT AND, PRIOR TO THE START OF DEMOLITION, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.
- 2.CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED ON DEMOLITION DRAWINGS.
- 3.CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS, DISCARDED MATERIALS, AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE. REMOVAL SHALL BE DONE AT TIMES AND IN A MANNER FULLY APPROVED BY THE TOWN OF OCEAN GROVE, NJ, ANY OTHER GOVERNMENT AGENCIES, AND ACCORDING TO OWNERS POLICIES AND RULES.
- 4.THE CONTRACTOR SHALL BE FAMILIAR WITH AND PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH THE NEW JERSEY BUILDING CODE - "SITE SAFETY PLAN".
- 5.FOR CONTRACTORS INFORMATION, THE SCOPE OF DEMOLITION WORK HAS GENERALLY BEEN INDICATED ON DEMOLITION DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE, AND MANNER OF DEMOLITION REQUIRED.
- 6.DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE MUST BE SCHEDULED WITH OWNER AND PERFORMED DURING HOURS PERMITTED. THE DELIVERY, HANDLING, AND INSTALLATION OF MATERIALS AND EQUIPMENT, AND THE REMOVAL OF DEBRIS, MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE.
- 7.CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF THE JOB. IF, IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS, LOSES, OR DISRUPTS ANY CONDITION WHICH IS TO REMAIN, TO BE STORED, OR TO BE REUSED, THE CONTRACTOR SHALL REPAIR OR REPLACE SUCH WORK WITH SAME TO ORIGINAL OR BETTER CONDITION AT NO COST TO THE OWNER.
- 8.DO NOT REMOVE ANYTHING SUSPECTED TO CONTAIN ASBESTOS OR OTHER HAZARDOUS MATERIALS. ADVISE OWNER AND BUILDING MANAGEMENT IF SUCH MATERIALS ARE ENCOUNTERED. COORDINATE DEMOLITION WITH REMOVAL OF SUCH MATERIALS.
9. CONTRACTOR TO PROVIDE CONSTRUCTION FENCE AROUND DEMOLITION SITE.
- 10.REMOVE ALL EXISTING CEILINGS AND LIGHT FIXTURES IN THE INDICATED AREAS U.O.N.. ALL CONDUIT AND WIRING TO BE REMOVED.
- 11.REMOVE ALL EXISTING ELECTRICAL OUTLETS, RACEWAYS, WIRING, AND CONDUIT BACK TO POWER PANEL. REMOVE ALL EXISTING TELEPHONE EQUIPMENT INCLUDING PANELS AND WIRING AS INDICATED..
- 11.REMOVE ALL MILLWORK/WALL FIXTURES AND ASSOCIATED OUTLETS, WIRING, AND CONDUIT BACK TO WALL AS REQUIRED. REMOVE ALL MOLDINGS, HOOKS, BRACKETS, AND ALL OTHER MISCELLANEOUS ITEMS FROM ALL SURFACES OF REMAINING CONDITIONS.
- 12.ALL EXTERIOR WINDOWS AND WINDOW WALLS TO BE CAREFULLY REMOVED.
- 13.ALL EXTERIOR WALLS AND CORRIDOR WALLS TO BE REMOVED IN STAGES AND WETTED DOWN TO MINIMIZE DUST TO NEIGHBORING BUILDINGS.
- 14.CONTRACTOR SHALL PROVIDE, WITH FENCE OR BARRICADE, SAFE AREAS AROUND EXISTING FLOOR OPENINGS.
- 15.CONTRACTOR TO REVIEW FOOTING AND SLAB WITH ARCHITECT PRIOR TO REMOVAL.
18. THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED TO THAT INDICATED ON THE DRAWINGS, BUT SHALL ALSO INCLUDE ANY AND ALL WORK THAT MAY BE REQUIRED TO FACILITATE THE EXECUTION OF THE NEW WORK SHOWN ON THE DRAWINGS.
- 19.CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BRACING OF EXISTING WORK AS REQUIRED.
- 20.CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS, DEBRIS, AND RUBBISH FROM THE SITE AS SOON AS POSSIBLE.
- 21.CONTRACTOR SHALL, AFTER COMPLETION OF DEMOLITION WORK, LEAVE PREMISES NEAT AND ORDERLY.
22. CONTRACTOR SHALL PROPERLY REMOVE, RELOCATE, DISCONNECT, CAP ALL PIPING, CONDUIT, WIRING AND OTHER OBSTRUCTIONS UNCOVERED DURING DEMOLITION WORK.
- 23.CONTRACTOR SHALL INFORM THE ARCHITECT OF ANY UNFORESEEN CONDITIONS ENCOUNTERED AFFECTING THE NEW WORK.

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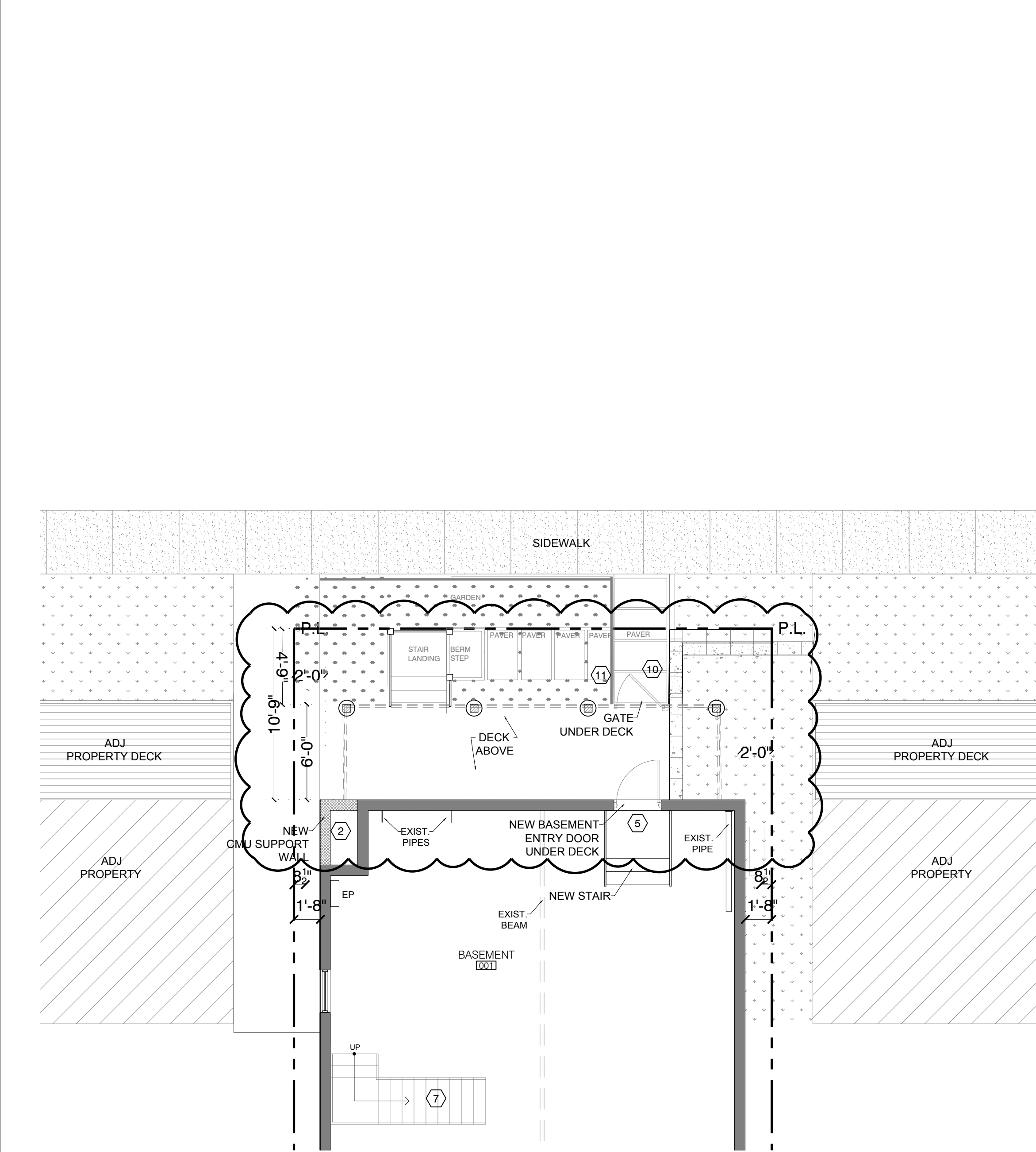
DEMOLITION PLAN

Date: JANUARY 03, 2023

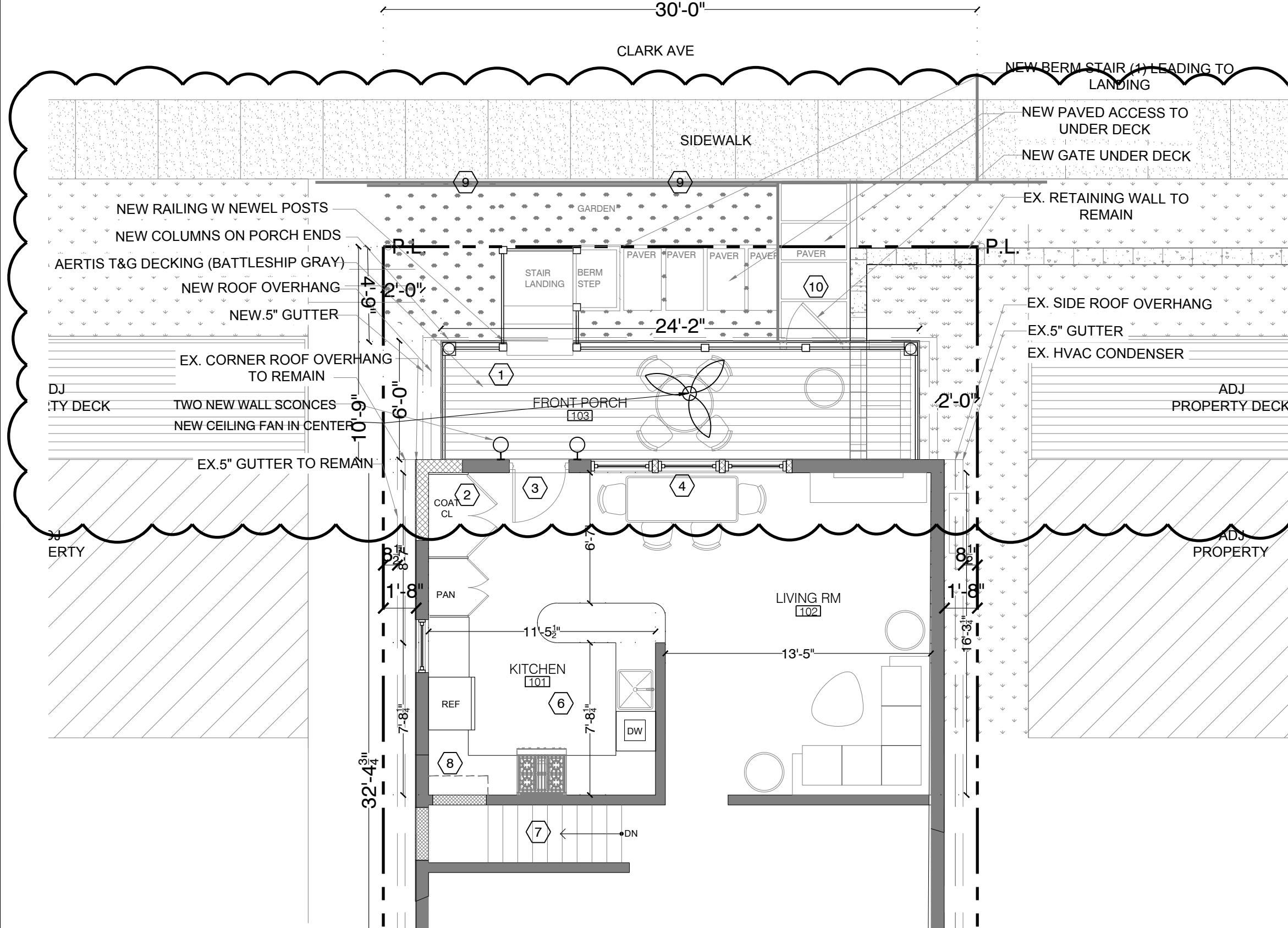
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Drawing:

DM-100



1 BASEMENT PROPOSED PLAN

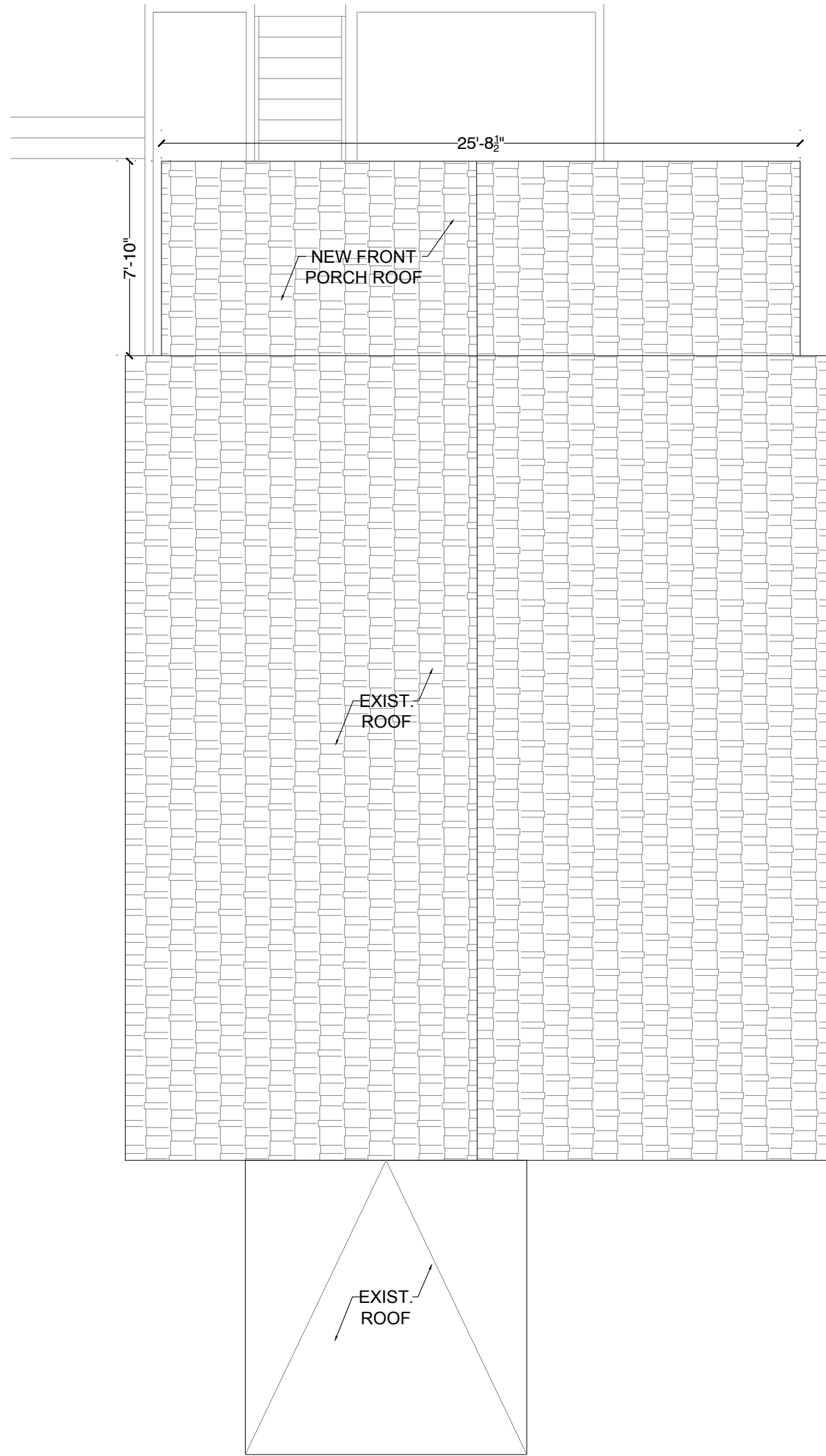


2 FIRST FLOOR PROPOSED PLAN

LEGEND:

- EXISTING CONSTRUCTION
- NEW PARTITIONS TYPE
- NEW FIRE-RATED STAIR ENCLOSURE TYPE
- CABINETRY, BUILT-IN CLOSETS
- SOFFIT / DROP CEILING LINE
- INDICATES AREA OF NEW EXTERIOR CONSTRUCTION
- ROOM TAG
- STRUCTURAL GRID LINE
- DETAIL REFERENCE - DETAIL XX ON SHEET AX.XX
- SECTION MARKER - SECTION XX ON SHEET AX.XX
- ELEVATION MARKER - ELEVATION XX ON SHEET AX.XX
- ELEVATION DATUM
- SPOT ELEVATION
- DOOR TYPE / NUMBER
- WALL/FLR./CLG. FINISH
- EQUIPMENT TAG
- PLUMBING TAG
- HARDWIRED, SMOKE/CARBON MONOXIDE DETECTOR
- WALL SCONCE

- GENERAL CONSTRUCTION NOTES:**
1. WATER & SEWER: EXISTING WATER SERVICE TO BE USED.
 2. WEATHER BARRIER AND SIDING: ALL NEW EXTERIOR WALLS TO RECEIVE WEATHER BARRIER AND SIDING. WEATHER BARRIER SHALL BE BLUE SKIN WRAP (OR APPROVED EQUIVALENT), FLASHING, FLEX FLASHING, AND SEAM TAPE. SIDING SHALL BE VERTICAL HARDIE BOARD BOARD AND BATTEN. EXTERIOR FINISH ON EXPOSED FOUNDATION WALLS SHALL BE CEMENT PARGE, COORDINATION COLOR AND FINISH WITH ARCHITECT. INSTALL ALL WEATHER BARRIER AND SIDING PRODUCTS PER THE MANUFACTURERS RECOMMENDATIONS.
 3. STONE VENEER: (IF APPLICABLE) AT AREAS SHOWN AS STONE VENEER, PROVIDE CULTURED STONE AS SELECTED BY ARCHITECT AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
 4. ROOFING: GAF TIMBERLINE BIRCHWOOD SHINGLES
 5. EXTERIOR TRIM: AZEK .
 6. SOFFITS: PROVIDE VENTED AZEK SOFFITS AT ALL OVERHANGS. PROVIDE AIR VENT BAFFLES IN ROOF RAFTERS. SEE FIRE RATED DETAIL AT SOFFITS CLOSE TO PROPERTY LINES.
 7. GUTTERS AND DOWNSPOUTS: ALUMINUM GUTTERS AND DOWNSPOUTS DRAIN AWAY FROM DWELLING.
 8. INSULATION: PROVIDE REQUIRED DRAFT STOP, FIRE STOP AND INSULATION BAFFLES AS NECESSARY. PROVIDE R VALUES IN WALLS AND ROOFS PER ENERGY CODE COMPLIANCE .
 9. INTERIOR DOORS: WOOD PAINTED 1 3/4" SOLID CORE DOORS. ALL INTERIOR DOORS SHALL AVE NOMINAL HEAD HEIGHT F 7'-6" UNLESS OTHERWISE NOTED.
 10. FINISH FLOORS: GARAGE FLOORING TO BE SEALED CONCRETE. SECOND FLOOR DWELLING TO BE 5" WHITE OAK T&G FLOORING. TILE IN BATHROOM.
 11. BUILT IN MILLWORK AND SHELVING: SOLID OAK STAINED PER ARCHITECTS SAMPLES.
 12. CLOSETS: AT ALL NEW COAT AND BEDROOM CLOSETS PROVIDE ROD(S) AND SHELVES AS SHOWN. AT ALL NEW PANTRY AND LINEN CLOSETS PROVIDE (6) SHELVES.
 13. INTERIOR PAINT: PREP AND PAINT ALL NEW FINISH CONSTRUCTION. ONE COAT BENJAMIN MOORE QUALITY PRIMER AND TWO FINISH COATS. COORDINATE COLORS WITH ARCHITECT.



5 ROOF PLAN

- KEYNOTES:**
- 1 NEW COVERED FRONT PORCH.
 - 2 RELOCATE EXIST. ENTRY DOOR & SQUARE OFF BLDG INSET. FOUNDATION AS REQ'D.
 - 3 NEW ENTRY DOOR.
 - 4 NEW WINDOWS
 - 5 NEW BASEMENT ENTRY DOOR UNDER DECK. NEW STAIR.
 - 6 NEW KITCHEN RENOVATION IN EXIST. LOCATION.
 - 7 NEW STAIR IN EXIST. STAIR LOCATION.
 - 8 STAIR HEAD HEIGHT CUTOUT WITHIN CABINET.
 - 9 EXISTING RETAINING WALL TO REMAIN
 - 10 NEW GATE UNDER DECK.
 - 11 NEW LOCATION OF EXTERIOR CAR CHARGER OUTLET.

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PROPOSED FLOOR PLANS

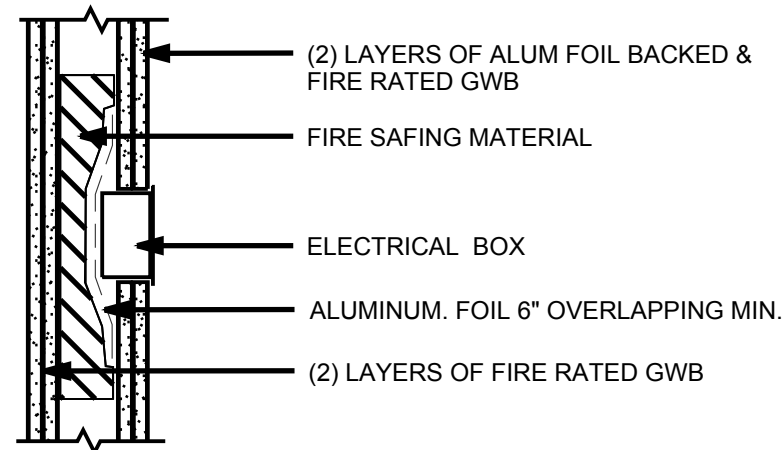
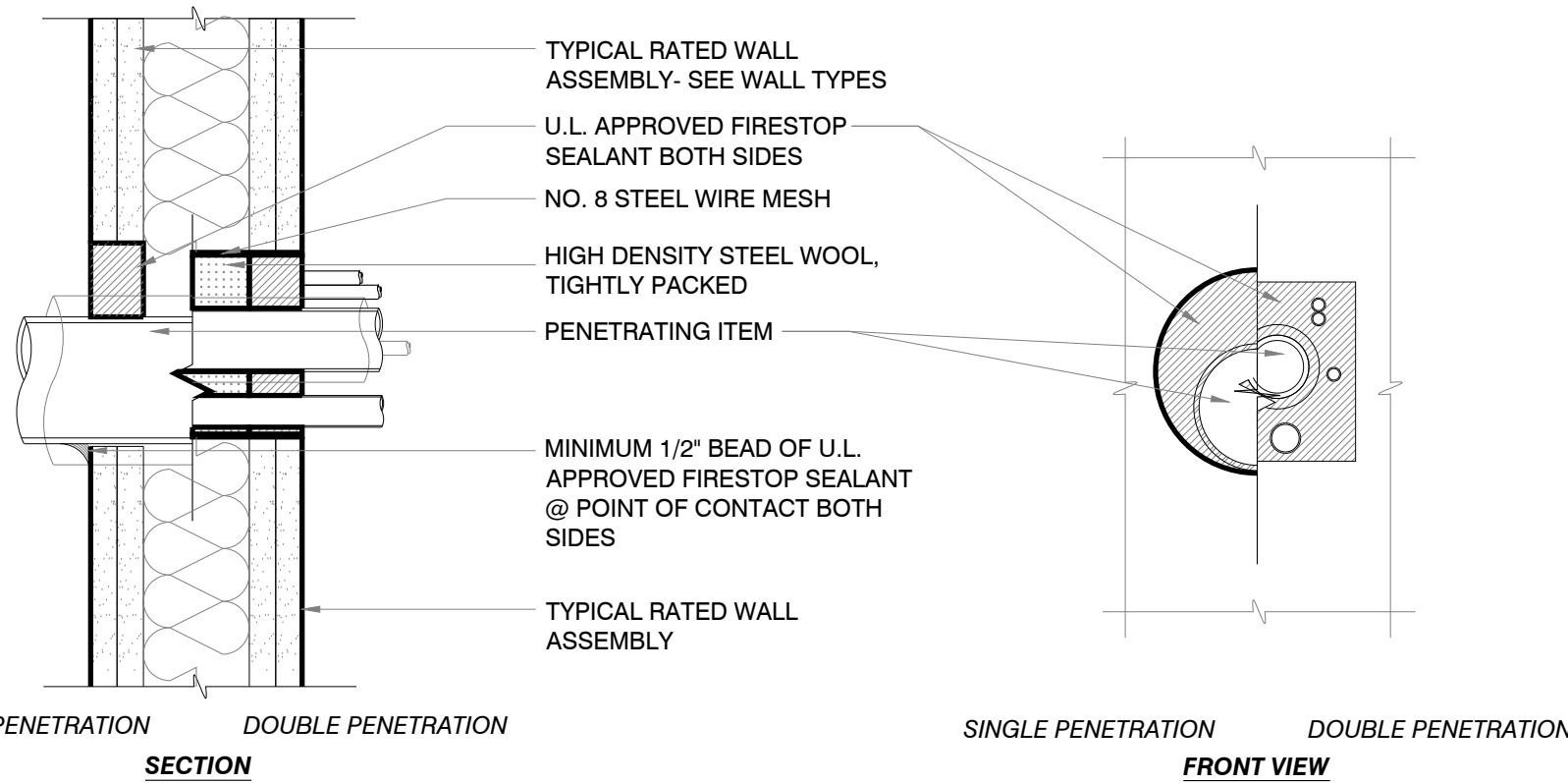
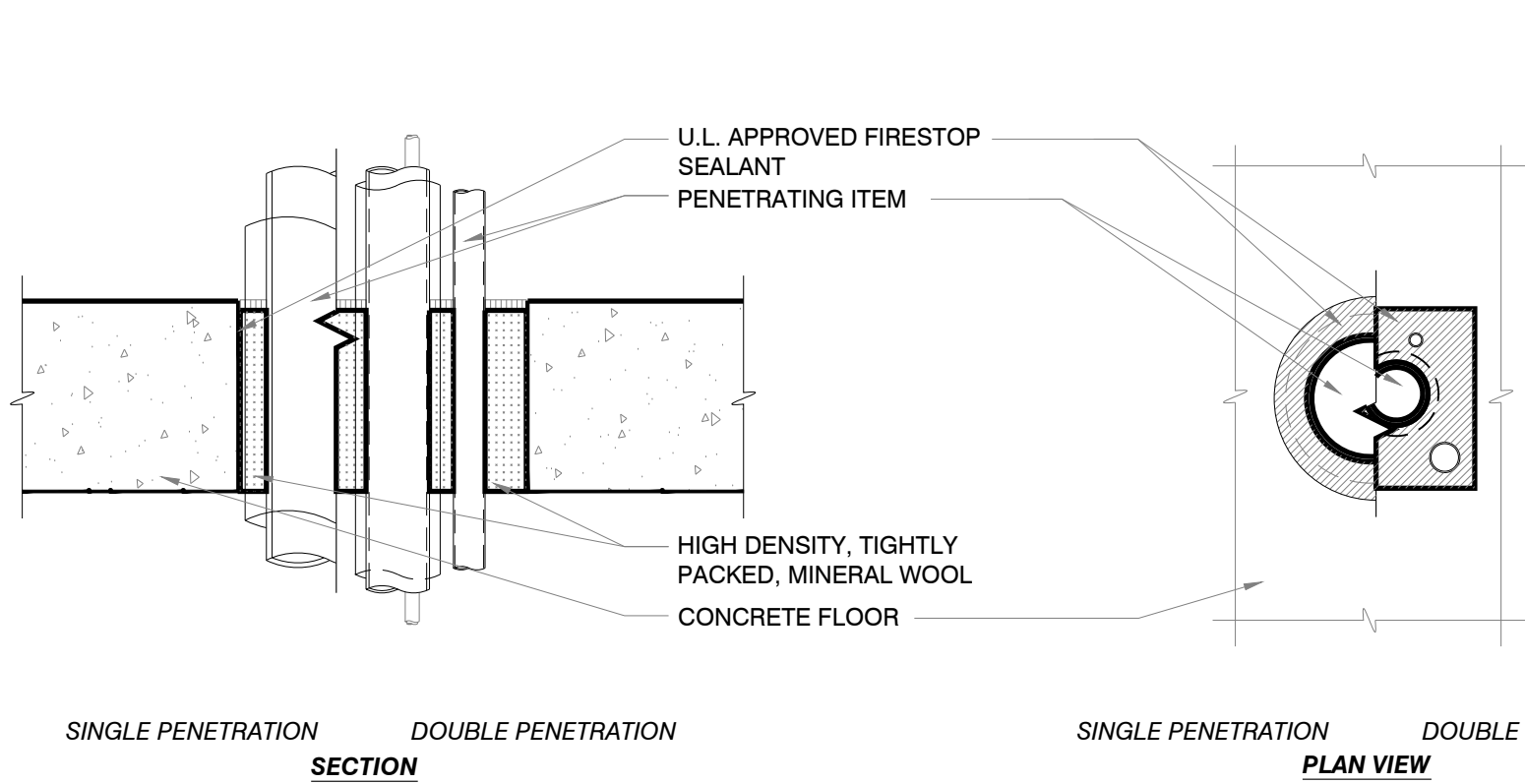
Date: MARCH 27, 2023

Scale: 1/4" = 1'-0"

Drawing:

A-100

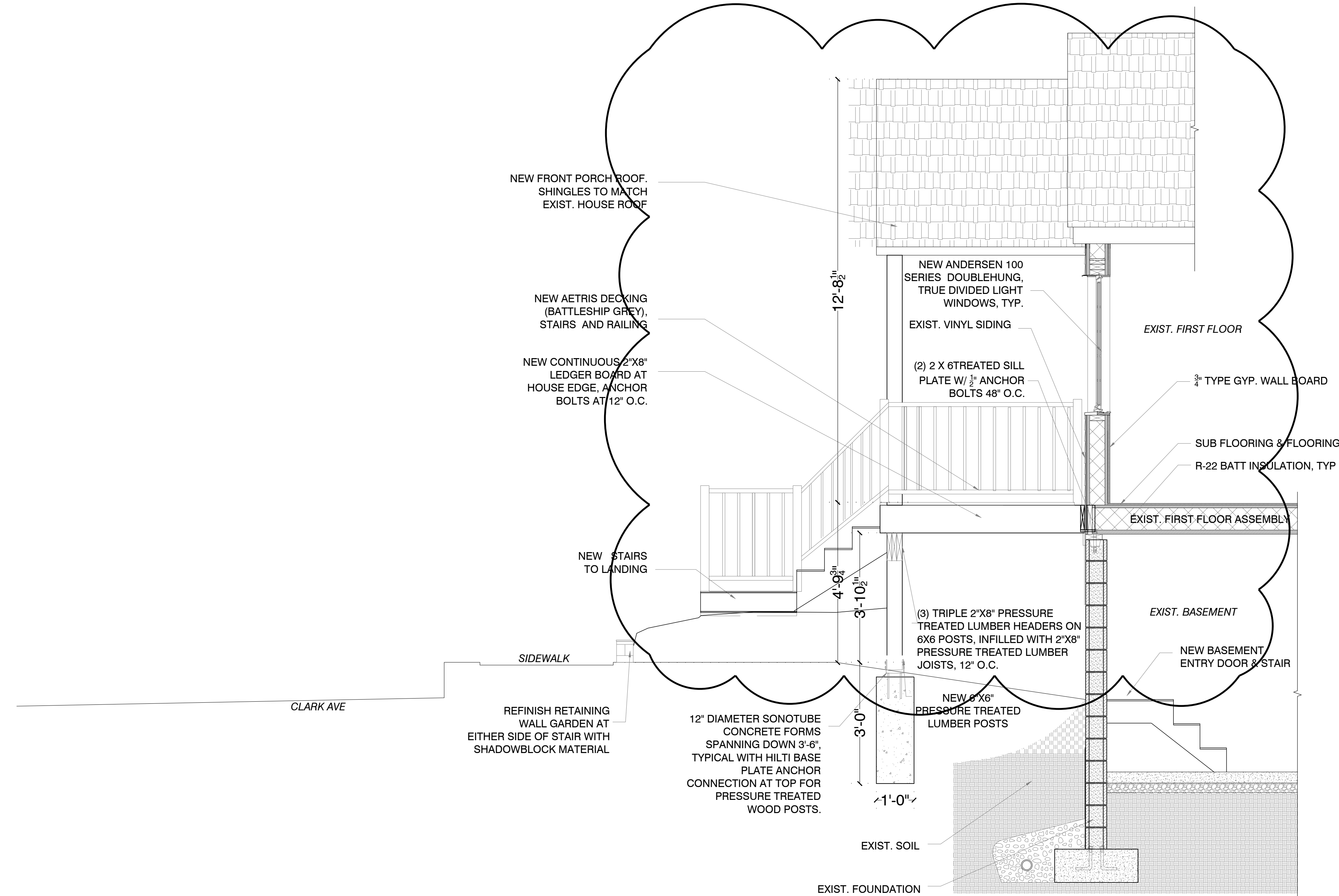




1 FIRESTOPPING THROUGH FLOOR PENETRATIONS - SCALE: 1-1/2"=1'-0"

2 FIRESTOPPING THROUGH PARTITIONS - SCALE: 1-1/2"=1'-0"

3 FIRESTOPPING DETAILS - SCALE: 1-1/2"=1'-0"



GENERAL NOTES

- MODIFICATIONS TO THESE PLANS BY THE OWNER OR CONTRACTOR SHALL NOT BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY MODIFICATIONS MADE WITHOUT THE ARCHITECTS PERMISSION WILL BE THE SOLE RESPONSIBILITY OF THE PARTY ENACTING SUCH MODIFICATION.
- ALL WORK OF THIS APPLICATION SHALL BE IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE, INTERNATIONAL BUILDING CODE NEW JERSEY EDITION/2009, AND LATEST SUB CODE ADDITIONS, REVISIONS, AMENDMENT AND SUPPLEMENTS.
- THE CONTRACTOR SHALL REFER TO DIMENSIONS AND NOT SCALE THESE DRAWINGS.
- ALL DIMENSIONS ARE SHOWN TO FACE OF ROUGH EXCEPT WHERE OTHERWISE INDICATED.
- THE CONTRACTOR IS RESPONSIBLE FOR AND SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS PRIOR TO PROCEEDING WITH ANY WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK DURING THE COURSE OF CONSTRUCTION. ANY DAMAGES RESULTING FROM CONSTRUCTION PROCEDURES SHALL BE THE RESPONSIBILITY OF THOSE CONTRACTORS CAUSING SUCH DAMAGE.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, COORDINATES, BONDS, INSURANCE, PERMITS, AND INSPECTIONS AS NECESSARY FOR THE COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL PERFORM ALL INDICATED WORK AND RELATED WORK EVEN IF NOT CLEARLY INDICATED ON THE DRAWINGS AS MAY BE REASONABLY CONSIDERED AS NECESSARY FOR COMPLETION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE WORK TO BE DONE PRIOR TO CONSTRUCTION AND INCLUDE SUCH WORK IN HIS BID ESTIMATE.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS AND PRODUCTS IN ACCORDANCE WITH THE REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SERVICES AND ASSOCIATED HOOK-UPS.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS, APPROVALS AND INSPECTIONS NECESSARY FOR PERFORMANCE OF WORK DESCRIBED HEREIN. CONTRACTOR SHALL APPLY AND SECURE A CERTIFICATE OF OCCUPANCY ON BEHALF OF THE OWNER AT THE CONCLUSION OF THE WORK.
- TO AID IN MAINTAINING SITE SECURITY, CONTRACTOR SHALL COORDINATE THE ACTIVITIES OF HIS WORKERS AND THAT OF HIS SUBCONTRACTORS WITH SITE MANAGEMENT. CONTRACTOR SHALL PROVIDE NOTICE TO SITE MANAGEMENT OF PROPOSED ACTIVITIES, DURATION AND IDENTIFY PERSONNEL INVOLVED.
- DEBRIS SHALL BE REMOVED FROM SITE TO LEGAL DISPOSAL BY CONTRACTOR.

GENERAL TIMBER NOTES

- TIMBER SHALL BE DOUGLAS FIR LARCH #2 GRADE OR APPROVED EQUAL. MINIMUM ALLOWED STRESSES:
FB= 1200 PSL. FC= 385 PSL. FB= 2800 PSL
FT= 850 PSL. FC'= 1150 PSL. FV= 285 PSL
FV= 95 PSL. E= 1600 KSL. E= 2000 KSL
- LUMBER SHALL CONFORM TO THE AMERICAN LUMBER STANDARDS SIMPLIFIED RECOMMENDATIONS 16-33 OF THE US DEPARTMENT OF COMMERCE BUREAU OF STANDARDS AND SHALL BE CLEARLY MARKED.
- GRADES OF ALL LUMBER SHALL CONFORM TO THE GRADING RULES OF THE MANUFACTURER ASSOCIATION UNDER WHOSE RULES THE LUMBER IS PRODUCED AND EACH PIECE SHALL BE OF GRADE AND TRADEMARK OF THAT ASSOCIATION.
- MOISTURE CONTENT SHALL OF ALL STRUCTURAL LUMBER SHALL BE 19% OR LESS AVERAGE WITH NO PIECE CONTAINING OVER 21% EXPRESSED AS A WEIGHT PERCENT OF OVEN-DRYED.
- ROOF AND FLOOR DECKING SHALL BE IN ACCORDANCE WITH PS-1-83 STRUCTURAL GRADE STANDARD BUILDING CODE SUPPLEMENT OF CHAPTER XVII AND SHALL BEAR APA MARKING.
- DESIGN LOAD CRITERIA:
ROOF LOADS: EXISTING
FLOOR LOADS: EXISTING
- SOLID BRIDGING SHALL BE PROVIDED AT ALL BEARING POINTS, BEARING WALLS AND OVER ALL GIRDERS. CROSS BRIDGING SHALL BE PROVIDED AT 8'-0" O.C. MAX.
- PROVIDE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING DIRECTION.
- ALL FRAMING IS TO BE DOUBLED UP SKYLIGHT OPENINGS.
- ALL HEADERS AT DOORS AND WINDOWS ARE TO BE (2) 2X8 UNLESS OTHERWISE INDICATED.

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DETAIL DRAWINGS & NOTES

Date: MARCH 27, 2023

Scale: AS NOTED

Drawing:
A-600

4 BUILDING SECTION DETAIL - SCALE: 1/2"=1'-0"