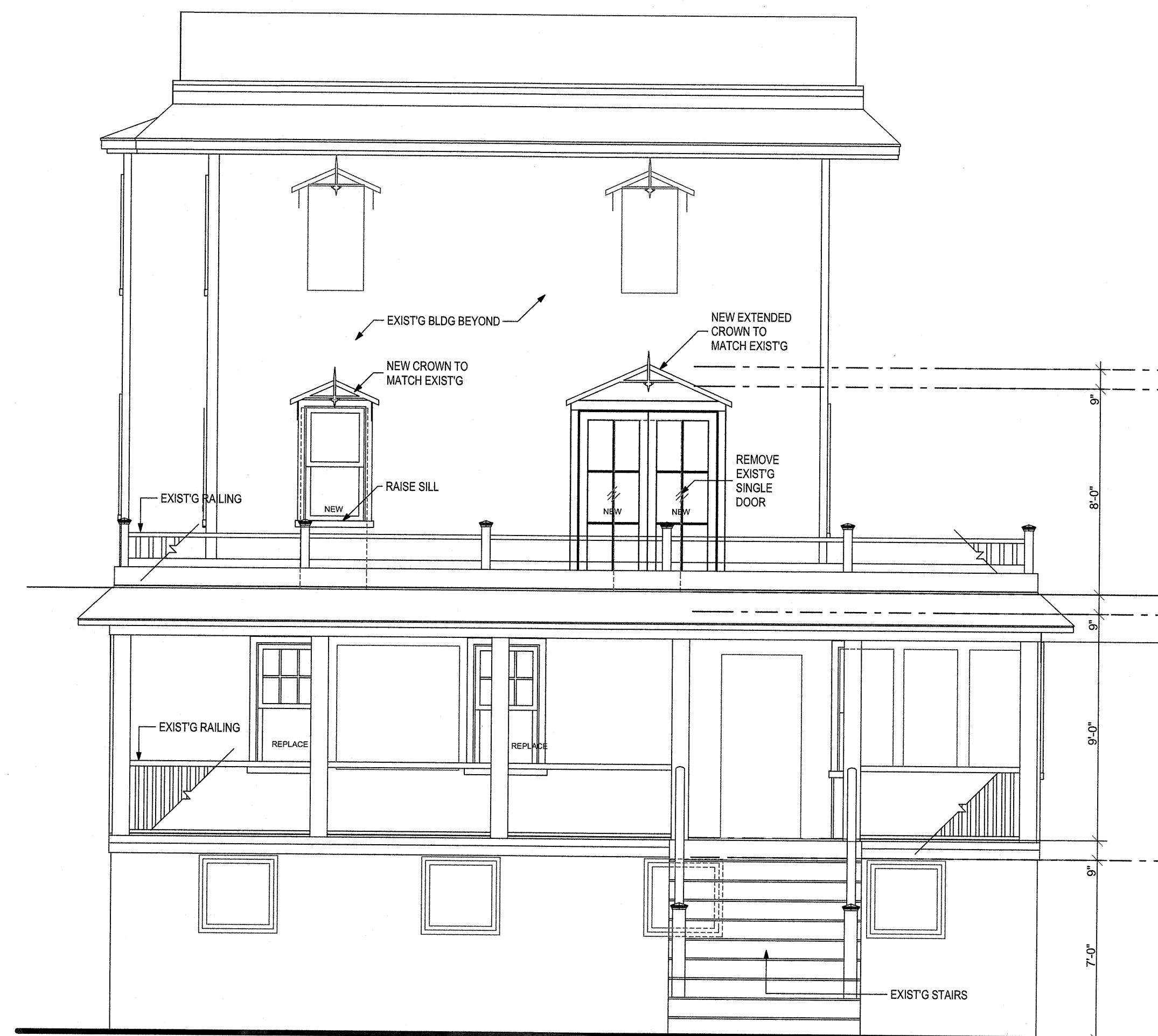


Side Elevation (East)
Scale: 1/4" = 1'-0"



Front Elevation (South)
Scale: 1/4" = 1'-0"

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REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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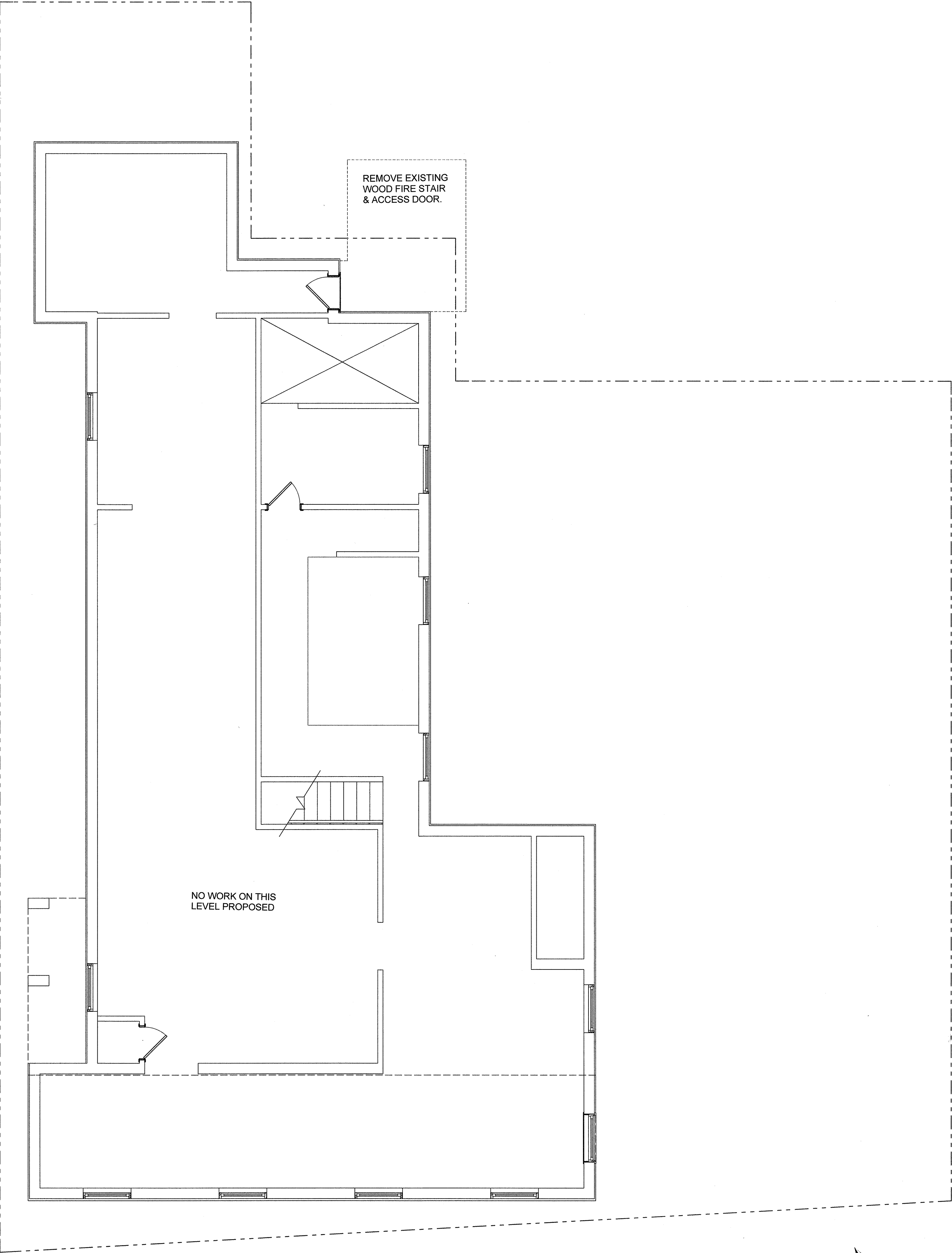
Mark Alexander Pavliv
Signature

**Proposed Renovations
to the Existing 3-Story
Wood Frame Dwelling
and conversion into a
Single-family Dwelling**
Block #246, Lot #10
Use Group: R5
Construction Type: 5B

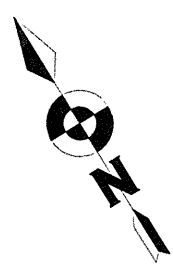
PROJECT NAME
Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

DRAWING TITLE
**Front & East
Elevations**

SCALE As Noted	JOB No. 202199019
DATE 2/21/22	DRAWING No.
DRAWN BY EAC	A2
CHECKED BY MR	



Basement Level Plan
Scale: 1/4" = 1'-0"



REVISIONS		
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ISSUES		
No.	Description	Date

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**Proposed Renovations
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Wood Frame Dwelling
and conversion into a
Single-family Dwelling**
Block #246, Lot #10
Use Group: R5
Construction Type: 5B

PROJECT NAME
**Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ**

DRAWING TITLE
Basement Plan

SCALE As Noted	JOB No. 202199019
DATE 2/21/22	DRAWING No. A4
DRAWN BY ENC	
CHECKED BY WP	

Snow and Roof Load:	20 pounds per sq. ft.
Attic Live Load:	20 pounds per sq. ft.
First Floor Live Load:	40 pounds per sq. ft.
Second Floor Live Load:	30 pounds per sq. ft.
Design Wind Load:	120 miles per hour

PROVIDE INSULATION IN AREAS OF WORK WHERE FRAMING AT EXTERIOR PERIMETER WALLS ARE EXPOSED. INSTALL NEW 3 1/2" R-15 HIGH DENSITY FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, AND NEW 9" FIBERGLASS BATT IN ALL EXPOSED CEILINGS.

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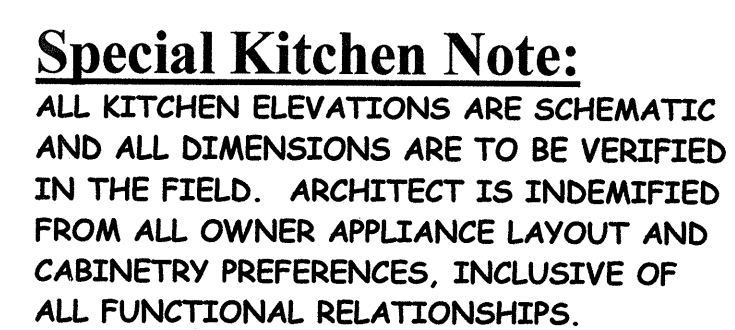
Use Group: R5
Construction Type: 5B

PROJECT NAME
Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

DRAWING TITLE

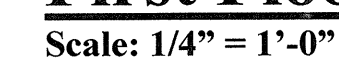
First Floor Plan

SCALE As Noted	JOB No. 202199019
DATE 2/21/22	DRAWING No.
DRAWN BY EAC/MP	A5
CHECKED BY MP	



CABINETRY FABRICATOR TO COORDINATE ALL ASPECTS OF CABINET DOOR TYPES, DOOR STYLE SELECTION AND APPLIANCE SIZES WITH OWNERS. COOKTOP SHOWN AS 36" MAY BE SUBSTITUTED WITH A NEW 48" UNIT WHEN SO REQUESTED BY OWNER.

Scale: 1/4" = 1'-0"



Insulation Notes:
PROVIDE INSULATION IN AREAS OF WORK WHERE FRAMING AT EXTERIOR PERIMETER WALLS ARE EXPOSED. INSTALL NEW 3 1/2" R-15 HIGH DENSITY FIBERGLASS BATT INSULATION IN ALL EXTERIOR WALLS, AND NEW 9" FIBERGLASS BATT IN ALL EXPOSED OR NEW CEILINGS.

[illegible][illegible]

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Signature _____

Construction Type: 5B

Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

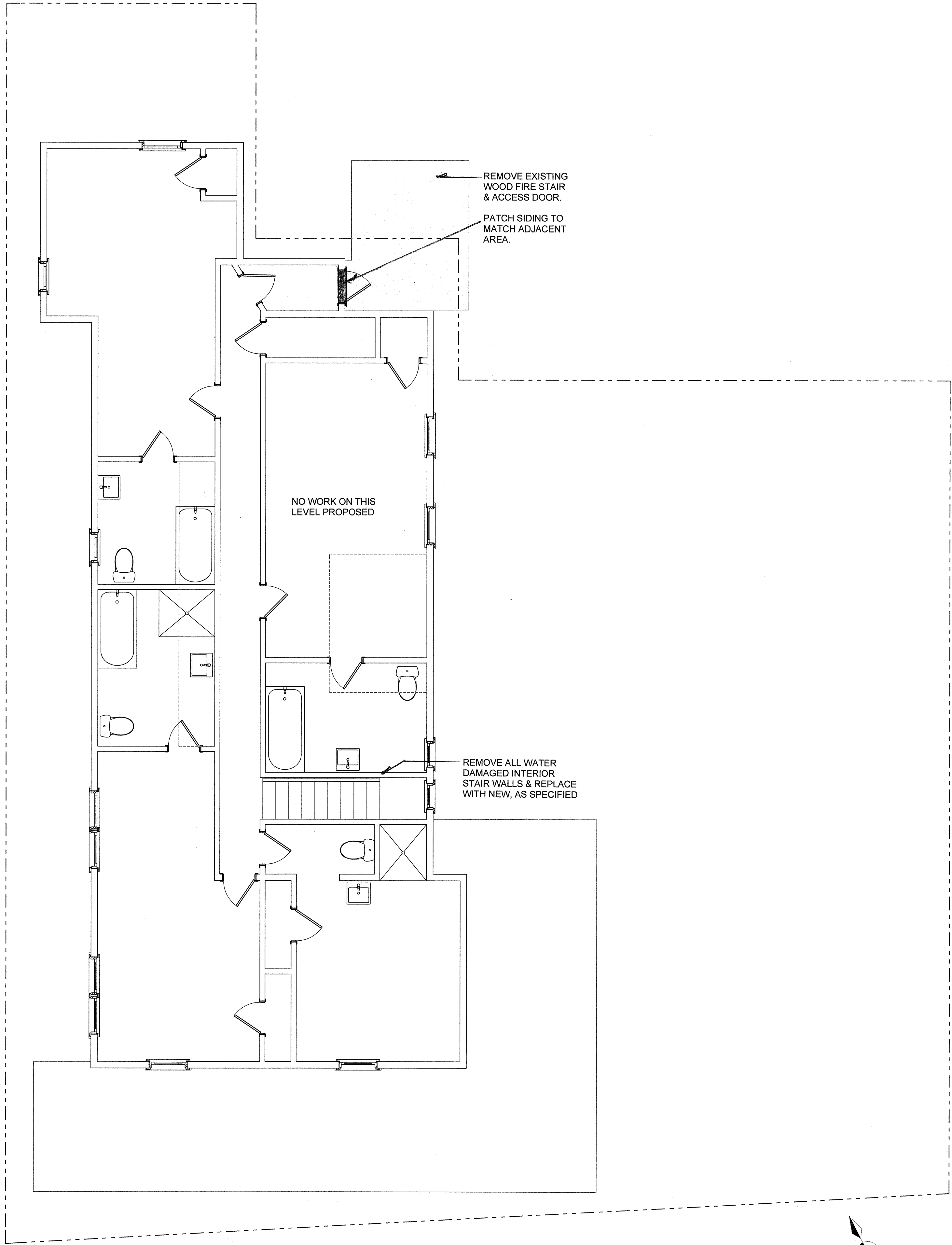
Second Floor Plan

CHECKED BY

A0

A6

Scale: 1/4" = 1'-0"



Third Floor Plan
Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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**Proposed Renovations
to the Existing 3-Story
Wood Frame Dwelling
and conversion into a
Single-family Dwelling**
Block #246, Lot #10
Use Group: R5
Construction Type: 5B

PROJECT NAME
**Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ**

DRAWING TITLE
Third Floor Plan

SCALE As Noted	JOB No. 202199019
DATE 2/21/22	DRAWING No. A7
DRAWN BY EAC	
CHECKED BY MP	

Fastener Schedule for Structural Members

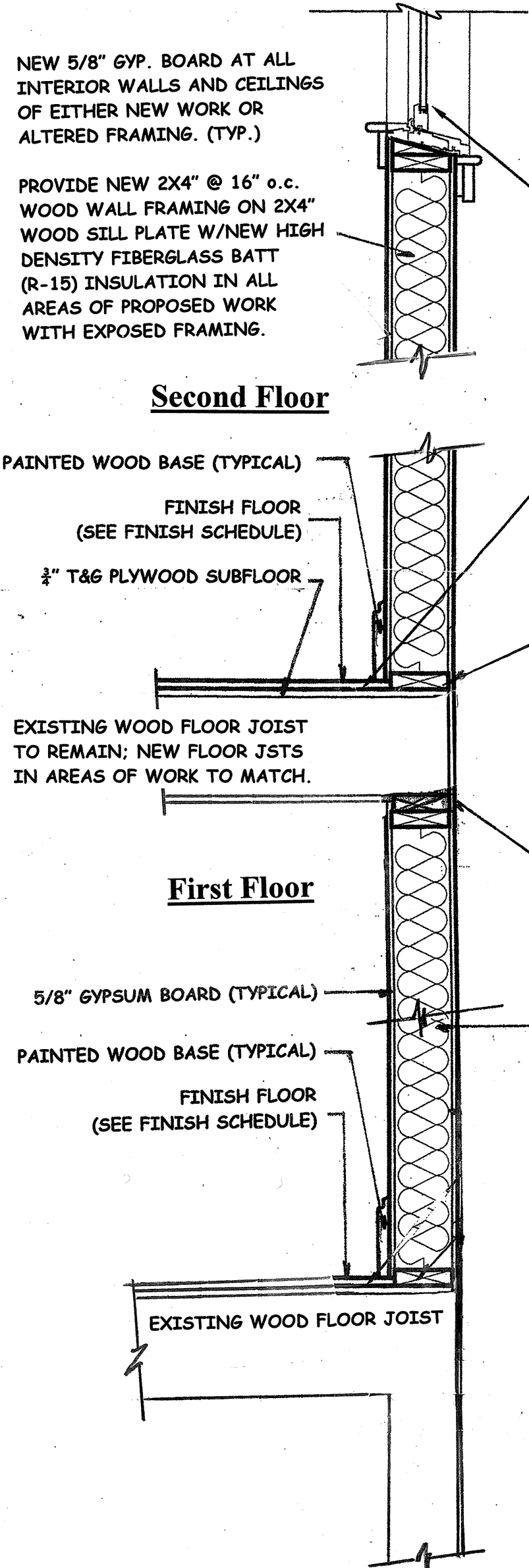
TABLE R602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS***	SPACING OF FASTENERS
Joist to sill or girder, toe nail	3-8d	—
1" x 6" subfloor or less to each joist, face nail	2-8d 2 staples, 1 1/4"	—
2" subfloor to joist or girder, billed and face nail	2-16d	—
Sole plate to joist or blocking, face nail	16d	16" o.c.
Top or sole plate to stud, end nail	2-16d	—
Stud to sole plate, toe nail	3-8d or 2-16d	—
Double studs, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
Sole plate to joist or blocking at braced wall panels	3-16d	16" o.c.
Double top plates, minimum 24-inch offset of end joints, face nail in lapped area	3-16d	—
Blocking between joists or rafters to top plate, toe nail	3-8d	—
Rim joist to top plate, toe nail	8d	6" o.c.
Top plates, laps at corners and intersections, face nail	2-10d	—
Built-up header, two pieces with 1/2" spacer	16d	16" o.c. along each edge
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	3-8d	—
Continuous header to stud, toe nail	4-8d	—
Ceiling joist, laps over partitions, face nail	3-10d	—
Ceiling joist to parallel rafters, face nail	3-10d	—
Rafter to plate, toe nail	2-16d	—
1" brace to each stud and plate, face nail	2-8d 2 staples, 1 1/4"	—
1" x 6" sheathing to each bearing, face nail	2-8d 2 staples, 1 1/4"	—
1" x 8" sheathing to each bearing, face nail	2-8d 3 staples, 1 1/4"	—
Wider than 1" x 8" sheathing to each bearing, face nail	3-8d 4 staples, 1 1/4"	—
Built-up corner studs	10d	24" o.c.
Built-up girders and beams, 2-inch lumber layers	10d	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
2" planks	2-16d	At each bearing
Roof rafters to ridge, valley or hip rafters: toe nail	4-16d	—
face nail	3-16d	—
Rafter ties to rafters, face	3-8d	—
Wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing		
1/2" x 1/2"	6d common nail (subfloor, wall) 8d common nail (roof)	6 12"
3/4" x 1"	8d common nail	6 12"
1 1/2" x 1 1/2"	10d common nail or 8d deformed nail	6 12

DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER ^{a,c,d,e}	SPACING OF FASTENERS	
		Edges (inches)	Intermediate supports ^{a,b} (inches)
Other wall sheathing ^b			
1/2" regular cellulose fiberboard sheathing	1 1/2" galvanized roofing nail 6d common nail staple 16 ga., 1 1/2" long	3	6
1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail 8d common nail staple 16 ga., 1 1/2" long	3	6
5/8" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail 8d common nail staple 16 ga., 1 1/2" long	3	6
1/2" gypsum sheathing	1 1/2" galvanized roofing nail; 6d common nail; staple galvanized, 1 1/2" long; 1 1/4" screws, Type W or S	4	8
5/8" gypsum sheathing	1 1/2" galvanized roofing nail; 8d common nail; staple galvanized, 1 1/2" long; 1 1/4" screws, Type W or S	4	8
Wood structural panels, combination subfloor underlayment to framing			
3/4" and less	6d deformed nail or 8d common nail	6	12
3/4"-1"	8d common nail or 8d deformed nail	6	12
1 1/4"-1 1/2"	10d common nail or 8d deformed nail	6	12

Interior Door Schedule

Room or Area	Quantity	Dimensions(w x h)	Thickness	Door Type	Material	Pattern/Style/Special Notes
FIRST FLOOR						
Guest Bedroom	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	4-Panel
Guest BR Closet	1 pair	24" x 80" (2068)	1 3/4"	Hinged	MDF	4-Panel
Guest Bath	1	24" x 80" (2068)	1 3/4"	Pocket	MDF	4-Panel
Powder Room	1	24" x 80" (2068)	1 3/4"	Pocket	MDF	4-Panel
Hall Closet	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	4-Panel
Pantry	2	24" x 80" (2068)	1 3/4"	Pocket	MDF	4-Panel
SECOND FLOOR						
MBR	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	4-Panel
MBR Wall Closets	1 pair	24" x 80" (2068) 24" x 80" (2068)	1 3/4" 1 3/4"	Hinged Hinged	MDF MDF	4-Panel 4-Panel
MBath	1	30" x 80" (2668)	1 3/4"	Pocket	MDF	4-Panel
MBR WIC	1	30" x 80" (2668)	1 3/4"	Hinged	MDF	4-Panel
Laundry	1	32" x 80" (2868)	1 3/4"	Hinged	MDF	Louvered & Undercut
Linen	1	24" x 80" (2068)	1 3/4"	Hinged	MDF	4-Panel

Special Notes:
Contractor to verify all interior door dimensions in field prior to placement of order and installation.
All interior doors to be 4 panel type. Any upgrades and/or deviations from the above are to be submitted to Owner for review approval.
All final hardware selections subject to Owner approval. Refer to provided Specifications for manufacturer and finishes.



WHERE WINDOW OR DOOR WORK REQUIRES PATCHING OF SIDING PROVIDE NEW TYVEK VAPOR BARRIER ON NEW CDX 1/2" (MIN) EXTERIOR SHEATHING; DOUBLE TAPE ALL OVERLAPPING SEAMS; INSTALL VYCOR WEATHERSTRIPPING AT ALL NEW WINDOW OPENINGS.

NEW WINDOWS AS PER WINDOW SCHEDULE; PROVIDE 5/4" AZEK CASINGS AS PER ELEVATION DRAWINGS. (TYP.)

NEW T&G 3/4" PLYWOOD SUBFLOOR AS SPECIFIED AT ATTIC FLOOR TO BE GLUED AND SCREWED OVER ALL NEW FIRST FLOOR TJ1 CEILING JOISTS @ 16" o.c. (TYP.)

EXISTING 2X4" SILL PLATE; FIREBLOCK ANY EXPOSED BALLOON FRAMING IN AREAS OF WORK

NEW 2X10 WOOD FLOOR JOISTS @ 16" o.c. IN AREAS OF WORK WHERE ADDITIONAL JOIST ARE REQUIRED, AS DIRECTED BY THE ARCHITECT

EXIST'G (2) 2X4" WOOD PLATES & NEW (2) 2X10" HEADERS IN AREA OF NEW WORK, AS REQ'D.

PROVIDE NEW 2X4" @ 16" o.c. WOOD WALL FRAMING ON 2X4" WOOD SILL PLATE W/NEW HIGH DENSITY FIBERGLASS BATT (R-15) INSULATION IN ALL AREAS OF PROPOSED WORK WITH EXPOSED FRAMING.

Special Section Detail Notes:

1. PROVIDE NEW SHEATHING IN ALL AREAS OF RE-SIDING WHERE NO SHEATHING EXISTS.
2. ALL EXPOSED WALL CONDITIONS WILL REQUIRE THAT INSULATION IS TO BE PROVIDED IN ACCORDANCE WITH ENERGY COMPLIANCE AND SPECIFICATIONS.
3. ALL EXPOSED ELECTRICAL WIRING AND SERVICE DEVICES WITHIN ALL EXPOSED INTERIOR WALL PARTITIONS AND CEILINGS ARE TO BE UPGRADED TO MEET CODE AS REQUIRED.

Typical Wall Section

Scale: 1" = 1'-0"

Window and Exterior Door Schedule

Room or Area	Quantity	Manufacturer #	Glazing	Egress	SDL Detail	Type/Comments
FIRST FLOOR						
Great Room	2	TW3246 (Verify)	Low E4	N/A	6 over 1 lite	Double Hung South
Dining Area	2	TW2650 (Verify)	Low E4	N/A	1 over 1 lite	Double Hung West
SECOND FLOOR						
MBR	2	TW2850	Low E4	N/A	1 over 1 lite	Double Hung East
	1	TW2650	Low E4	N/A	1 over lite	Double Hung South
	1	FWHID54611APLR	Low E4	Yes	2 over 3 lite	Patio Door South
MBath	1	TW2442	Tempered Low E4	N/A	1 over 1 lite	Double Hung East

Special Notes:
Window sizes as per Schedule to be verified in field by Contractor. Screens are to be provided throughout. Window Designations are referencing Andersen Windows and Doors – Tilt-wash 400 Series unless otherwise noted or approved by the Architect. Equivalent sizes by alternate manufacturers must be approved by Architect.

Windows to be solid core wood with full raised profile divided lites with spacer bars and be manufactured with High-Performance Insulated Low-E4 Glazing, rated for maximum fade resistance, and have a factory painted interior finish as manufactured by Andersen Windows and Doors. Provide window sash configuration as per elevations and provided Window Schedule as approved by HPC and Architect.

All windows and doors to be factory clad exterior with factory finished interior wood core primed and painted pine. Solid wood exterior doors are to be provided where noted on Schedule and subject to Shop Drawing and/or Catalog Cut approval by Architect and HPC.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval. Manufacturer's shop drawing and order list is to be submitted to Architect for review prior to placement of final order. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. Exterior door hardware and locksets to be Oil Rubbed Bronze, or as otherwise selected and approved by Owner and with polished interior finish. All exterior hardware finishes are to be acceptable for exposure to salt air with warrantee against pitting. All new door hardware to be provided and installed by the Contractor.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24" arc of all hinged doors; or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Finish Schedule

Room or Area	Floor	Base/Trim	Wall	Ceiling	Special Notes
FIRST FLOOR					
Great Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	Refinish Front Entry Door;
East Sun Room	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
Dining Area	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd. w/Crown Molding	
New Kitchen	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Stone Countertops w/Custom Edge Detail; Custom Finished Cabinets w/Integral Crown Molding
Pantry	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Guest Bedroom	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
Guest Bath	New Stone Tile	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Vanity w/Stone Top
Powder Room	New Stone Tile	Painted Wood	Painted WR Gyp.Bd.	Painted Gyp.Bd; 36" High Beaded Board Wainscot	Vanity w/Stone Top
SECOND FLOOR					
Second Floor Hall	Refinish Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	Patch as Req'd. to the Limits shown on plan;
MBR	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
MBR Bath	New Stone Tile	Painted Wood	Full Stone Walls; in Shower Stall on WR Cement. Bd; 36" High Beaded Board Wainscot	WR Cement Bd. Stone Ceiling in Shower Stall;	Stone Counter Top; Frameless Tempered Glass Door in Shower;
MBR WIC	New Hardwood	Painted Wood	Painted Gyp. Bd.	Painted Gyp. Bd.	
New Laundry	New Stone Tile	Painted Wood	Painted WR Gyp.Bd.	Painted WR Gyp.Bd;	

NOTES:
-All interior trim, casings and baseboard profiles to be Painted Pine as detailed and approved by Owner.
-Provide Crown Mouldings as per Finish Schedule. Crown mouldings may be painted MDF in lieu of Painted Wood.
-All references to "Hardwood" indicate new 3 1/2" wide plank white oak hardwood floors with natural finish to be approved by Owner.
-All references to "Stone" indicate all new stone or tile with final selection to be by Owner.

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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Proposed Renovations
to the Existing 3-Story
Wood Frame Dwelling
and conversion into a
Single-family Dwelling
Block #246, Lot #10
Use Group: R5
Construction Type: 5B

PROJECT NAME
Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

DRAWING TITLE
Interior Door, Window
& Finish Schedules,
Typical Details

SCALE As Noted	JOB No. 202199019
DATE 2/21/22	DRAWING No.
DRAWN BY CJ/MP	A8
CHECKED BY MP	

Special Conditions:

Owner to Purchase and Supply the following:

- Kitchen cabinetry;
- Stone counter tops;
- Bathroom fixtures, accessories and faucet/shower fittings;
- Bathroom sink vanities;
- Medicine cabinets;
- Kitchen appliances,
- Interior stone flooring and wall tile;
- All surface mounted fans and lighting fixtures;

Owner's cabinetry fabricator to be responsible for installation of product. Contractor to be responsible for installation of all other items Purchased and Supplied by the Owner as listed above unless otherwise determined by Owner.

Contractor to be responsible for the storage and protection of all above items immediately upon and after delivery to the project site until issuance of the final Certificate of Occupancy.

All spliced, split or defective wood floor joists to be removed and replaced or sistered with new joist framing at 16" o.c. or better.

All exposed balloon stud framing to be fire blocked. All partition stud framing found to be less than 3 ½" in depth shall be paired with new 2x4" wood stud framing within existing attic and garage shed locations.

Specifications:

Division 1 - General Conditions

All work to comply with the 2015 International Building Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, the General Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

Zoning Permit and Historic Preservation Commission (HPC) Certificate of Appropriateness to be procured by the Architect. All construction permits are to be procured by General Contractor and paid by Owner.

The Contractor is responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. General specifications have been provided to assist the Contractor in the implementation of the project.

Lead Paint, Asbestos or other Hazardous Material:

Contractor responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

Demolition and Removals:

All existing partitions, fixtures and finishes within the proposed area of work graphically indicated on plans or otherwise required to be removed to complete the proposed renovations, and include all existing cabinetry and appliances to be discarded as directed by Owners.

Removals to also include removal of existing rear wood egress stair and existing exterior egress due to the proposed change of use.

Contractor is responsible for the provision and associated costs of all required demolition, dumpsters, removals and disposal of debris in accordance with local regulations.

Division 2 - Site Work

Site Work:

Contractor to restore all conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Division 3 - Concrete

Footings & Foundations:

Not included.

Division 4 - Masonry

Masonry:

Not included.

Division 5 - Metals

Fasteners & Hangers:

Any new joist to receive metal joist end hangers, ties and connectors as manufactured by "Simpson" or equal.

All metal hangers and other ties in contact with pressure treated ACQ lumber shall be zinc coated and compliant with ASTM A-153 so as to be compatible with ACQ as required.

Division 6 - Woods & Plastics

Lumber:

All new framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. Nail and all fastening applications to Code.

All new window and/or door headers to be (2) 2"x10" unless otherwise noted or amended by Architect in writing. Provide double joists under parallel partitions where framing is exposed during the course of work, as required by Code. Any new wood joists shall have full bearing to limits of the rim joist at sills. Level all first and second floor ceiling and floor joists or provided new floor levelling material and underlayment where required.

Use of long span manufactured lumber and laminated beams as an alternate or in deviation from that specified on the drawings is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect prior to such substitution or change.

Contractor to utilize wall bracing panel construction method which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition and comply with 110 mph minimum three (3) second wind gust conditions and structural design in this area.

Sheathing:

Where required within areas of exterior wall repairs, all new exterior new wall sheathing to be 5/8" CDX plywood nailed to Code at 6 inch o.c.

Sub-floor:

Patch any removed, missing or structurally disturbed sub-flooring as required. New sub-floor to be 3/4" T&G applied and glued and fastened with screws. All screws to be at 6" o.c. and spaced to Code.

Division 7 - Thermal & Moisture Protection

Energy Code Compliance:

Energy Code compliance to be in accordance with ResCheck as provided in the construction documents for a 5000 Degree-Day Region. Compliance shall conform with all ratings and description, or otherwise indicated on plans.

Insulation:

Provide insulation in areas of work where framing at exterior perimeter walls are exposed. Install new 3 ½" R-15 high density fiberglass batt insulation in all exterior walls, and new 9" fiberglass batt in all exposed or new ceilings. Install a minimum new 9" R-30 fiberglass batt insulation in any areas over unconditioned spaces including existing basement and crawl areas.

All perimeters at new windows and doors are to be adequately sealed and caulked so as to eliminate perimeter air infiltration. Application of caulk at window and door perimeters as well as other through wall penetrations and resulting construction joints are subject to approval by the Architect on-site.

Exterior Siding and Other Facings:

Exterior siding, or other facings, in areas of patching at window and door openings, shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph wind gusts in this zone.

New siding where repair or patching is required due to window or door replacement or other repair work, shall be cement lap board to match existing or otherwise noted on plans. New siding and trim shall be configured as shown on elevations. All exterior fasteners and shall be stainless steel. Paint color to match existing or as otherwise submitted via application and approved by HPC.

Exterior Window Crowns, Casings & Surrounds:

All ornamental architectural trim, crowns, window, drip and door caps, and articulated door and window surrounds, as shown on the elevations and details, are to be synthetic polymer as manufactured by Azek and be 5/4" in thickness in order to attain proper window and door casing dimensional relief, and be painted or in factory applied color as approved by HPC Resolution. New crowns and sills to have one half inch extensions, as per Typical Casing Trim Detail or replicate historic casing detailing to match other existing trimmed openings.

Vapor Barrier Paper and Wraps:

All exterior wall sheathing, where patchwork and repairs are required, are to receive Dupont Tyvek Housewrap in accordance with manufacturer recommended installation methods and drainage requirements and secure all seams with Tyvek tape and use flashing tape at all openings.

Shower Stall Fiberglass Application:

New bathroom shower stalls to receive fiberglass formed water proofing membrane and be water tested by local authorities prior to finish tile application. Shower floors to be stone tile with full height wall and ceiling tile surrounds, as per Finish Schedule.

Shower Shampoo Shelf Storage Recess:

Provide integral shower stall soap and shampoo storage recess in new shower stall ad detailed. Final location and size to be verified and coordinated with Owner.

Division 8 - Doors & Windows

All new windows and doors, where noted on Plans, Elevations and Window and Door Schedules shall be rated and installed as per manufacturer's recommendations so as to comply with coastal wind design pressures in this zone and be in accordance with all requirements.

Where required or otherwise noted on plans, egress windows shall be provided with an operable window vent or sash having a sill height of not more than 44 inches, and have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

Windows:

New windows, where indicated on plans, to be full divided lite with raised profiles and spacer bars, clad, solid core wood units with Low-E4 insulated clear glass as manufactured by Andersen Windows and Doors, Tilt-wash 400-series.

Sizes for windows to be verified in the field or as otherwise identified on plans. Interior sash and frame to be factory finished in white. All window hardware and latches to be factory finished White. Exterior color finish to be white.

Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts. Screens are to be provided by Contractor. All new glass to be tempered where bottom edge of glass is greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door. All such conditions must be tempered.

Contractor to submit vendor prepared scaled shop drawings for approval by Architect prior to placement of order.

Solid Panel Interior Doors:

Any new doors within the area of work to be pre-hung for-panel smooth face solid core composite doors as manufactured by Lemieux Doors, or Architect approved equal, and be ready for paint or as otherwise approved by Owner. All interior door dimensions to be as indicated in the provided Interior Door Schedule. Contractor to confirm acceptability of all sizes in the field.

Division 9 - Finishes

Gypsum Board:

All new interior Gypsum Board to be screwed and glued and 5/8" minimum unless otherwise noted on plans or Typical Wall Section Detail or fire rating requirements for exterior walls within 5 feet of side and rear property lines.

All areas of new or altered partition or building envelope work are to be received new drywall, tape, spackle and paint.

Interior Trim, Moldings & Hardware:

All new trim to be painted wood, clear grade poplar and finished to highest quality in accordance with proposed configuration and Owner's requirements. Baseboard, window and door casings to be in accordance with specified profiles in pattern and detail as per an approved sample mock-up in field to be provided by Contractor. Wood trim with knots will not be acceptable.

New interior door hardware to be as manufactured by Baldwin, or Owner approved equal with oil rubbed bronze finish, or owner approved equal. All hardware to for all door knobs and hinges to match and be approved by the Owner and provided and installed by Contractor. Privacy locksets to be provided in all new bedroom access and bathroom entry doors. Passage locksets to be provided in all other areas with the exception of doors at closet locations.

Interior Paint:

All interior walls to receive two coats of Benjamin Moore eggshell paint all interior trim and moldings on first floor level and in areas of work on second floor to receive two coats of Benjamin Moore semi-gloss paint. Ceilings on first floor level and within areas of work on second floor to be primed in areas of new gypsum board application and receive Benjamin Moore ceiling white. All paint colors and finishes subject to approval by Owner.

Exterior Paint:

All new and repaired siding and trim where window or doors are to be added, altered or removed, are to be painted. All new Azek trim to be painted in accordance with manufacturer's specifications and include primer and prep to accept finish paint.

Front Entry door to be Refinished:

Existing front solid core wood door to be refinished with stain and finish as selected by Owner. New wood screen door to be provided by Owner and installed by others.

Hardwood Flooring:

Contractor to provide and install all new interior wood flooring to be 3 ½" White Oak of highest quality with natural finish with a minimum of 2 coats of semi-gloss polyethelene finish, as per Owner and where indicated on Finish Schedule. Sample of finished wood floor product to be provided for approval by Owner.

Tile:

Utilize thin set application for all ceiling and wall tile and mud floors in all new bathrooms on first floor and second floor master bath, in accordance with Finish Schedule.

Tile material to be provided by Owner. Grout color to be selected by Owner and then provided by Contractor.

Marble door saddles to be bevelled and provided and installed by Contractor in color approved by Owner.

All new tile to be cleaned and sealed prior to Owner acceptance of work.

Kitchen/Vanity Countertops:

Countertop slabs to be a minimum of 3/4" Quartzite as selected and provided by Owner. As an alternative, Owner to provide Caesar stone at new bathroom vanities. Edge detail and color as per Owner. Fabricator to assume an Ogee edge in Kitchen unless otherwise selected by Owner.

Interior Panel Wainscot:

Proposed interior wainscot beaded board panels to utilize Poplar Vener and moldings to attain wall height with chair rail as detailed and/or specified in Finish Schedule. Interior wainscot beaded board wall panels to be applied to finished gypsum board walls. Sample panel to be provided in field for review and final approval by Owner. Wainscot Panels to be painted as specified and coordinated with placement of all openings, doors, window, crown and base trim.

Closet Rods & Shelving:

All interior broom, linen and storage closet shelving to be factory finished white melamine board. All hanging rods to be stainless steel tube.

Bathroom Fixture and Trim:

All bathroom fixtures, fittings and accessories to be selected and provided by Owner. Fixtures and fittings to be re-purposed in new bathroom work areas are to be identified and tagged by Owner prior to the start of demolition work. For purposes of Owner selection, owner to provide all new Kohler toilets from the Kohler "Memoirs Suites" Collection, or equal.

When no specific finish is identified by the Owner, chrome finish is to be provided. Any exposed sink plumbing traps, valves and fittings to be chrome finished.

Shower Fittings:

Owner to provide and Contractor to install new single-function shower with scald proof diverter in each Bathroom with scald proof diverters. Provide additional hand held wand in Master Bath shower.

Steam Shower:

Contractor to provide and install all equipment, piping and connections for a new Steam Shower Unit in the Master Bath shower stall. Install new steam shower unit for Master Bath within dedicated enclosure as depicted of floor plan or with drop ceiling over toilet niche, as an acceptable alternative. Final location to be approved by Owner. The team shower equipment to be provided with finished access panel.

Glass Shower Doors:

New frameless shower doors with clear tempered 3/8 inch glass to be provided and installed by Contractor.

Mirrors & Medicine Cabinets:

Medicine cabinets to be mirrored and recessed into interior walls as provided by Owner and installed by Contractor. Contractor to coordinate and confirm all medicine cabinets size and framing requirements. Any medicine cabinet located on exterior walls are to maintain insulation continuity by being wall mounted type.

Division 10 - Specialties

Internet Access:

Coordinate access and all requirements with Owner in providing one (1) new fax line and one (1) optional Cat6 Internet hook-up with final location selected by Owner.

Division 11 - Equipment

Kitchen Cabinetry:

Kitchen cabinetry to be as configured and selected by the Owner. Cabinet fabricator to provide samples and shop drawings for approval prior to manufacture. Cabinet fabricator to be responsible for coordination of all appliance dimensions, with the cabinet fabricator, as selected by Owner.

Contractor to be responsible for the storage and protection of all cabinetry delivered to and while stored on site.

Appliances:

All appliances to be purchased and supplied by Owner and installed by Contractor or vendor when required. Cooking Range and Laundry Dryer to be Gas. Ovens, Dishwasher, Laundry Washer to be Electric.

Division 12 - Furnishings

Not included.

Division 13 - Special Construction

Fireplace:

Provide and install new direct vent gas burning fireplace with new Owner selected and provided mantel and marble hearth opening surround to be installed by Contractor. Existing fireplace unit and adjacent shelving to be removed. All associated new built-in shelving and built-in cabinetry to be provided and installed by Owner.

Division 14 - Conveying Systems

Not included.

Division 15 - Mechanical/Plumbing

Unless shown on drawings, all mechanical work such as, but not limited to the existing high velocity heating and air conditioning are to be established and engineered by others. Location of all related piping, related ductwork, venting, returns and required equipment are to be approved by the Owner and Architect. All new or altered high velocity ductwork to be sealed upon installation and remain sealed during the course of construction in order to eliminate dust and debris infiltration into the system.

The four (4) existing wi-fi Thermostats are new, as reported by the Owner, and are to remain. Any replacement, if requested by Owner, to be programmable digital type as manufactured by Honeywell, or equal.

Any new air supply vents to be either floor or ceiling mounted. Supply and return ductwork shall not be located in perimeter exterior walls unless fully insulated and encapsulated with insulation equivalent to the R-value of the Typical Wall Section in the Construction Documents.

Venting:

Venting of bathrooms and kitchen areas by Contractor is to be included. Provide new make-up air, as required by code, for proposed kitchen exhaust hood which exceeds 600 cfm.

Provide 120 cfm minimum in each of the new first floor bathrooms and new Master bathroom. Bathroom exhaust fans are to be silent running as manufactured by Panasonic, or equal.

Piping & Plumbing:

All connections to water supply and sewer to be included. Contractor to make all connections to dishwasher, refrigerator, and other components requiring plumbing hook-up as per proposed scope of work indicated on plans. Contractor to abandon and remove existing galvanized water supply piping where exposed during the course of construction and replace with new copper piping.

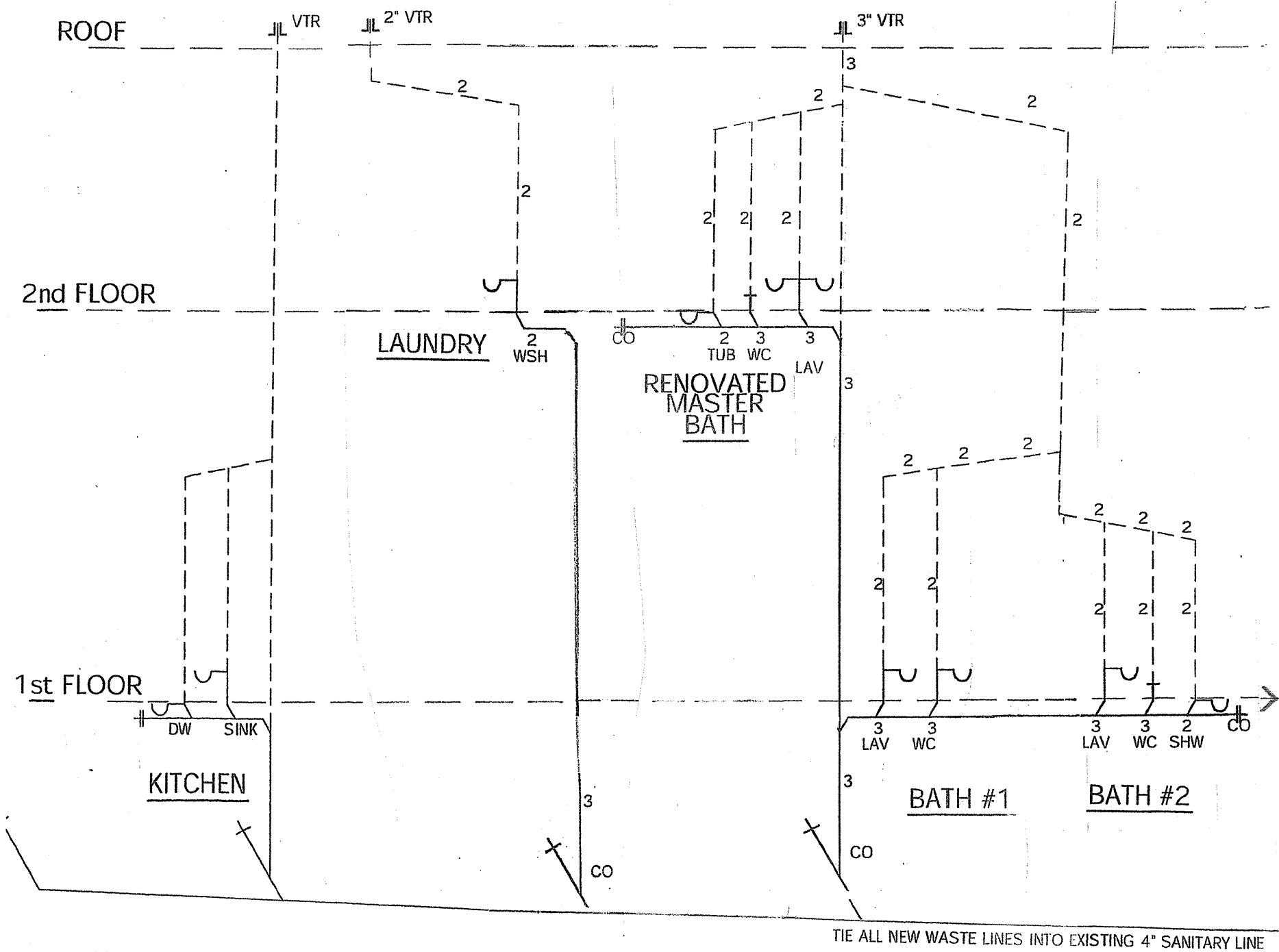
All supply lines to be in compliance with Code with waste lines to be PVC drops and laterals. Scope of work to include supply and installation of all piping and all related pipe fittings and equipment. Use of Pex piping in the connection to all fixtures is acceptable.

Provide all plumbing for all bathrooms, kitchen uses and laundry.

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F to be insulated with R-3. Contractor to include all copper piping, materials and related fittings and equipment.

Grab Bar provisions in Shower Stalls:

Provide double stud and blocking provisions for shower stall grab bar installation in accordance with ADA positioning and requirements in MBath shower and First Floor Bathroom shower stall for future potential grab bar installation. Grab bar fastening points to attain a 200 pound static load.



Plumbing Riser Diagram

Scale: Schematic/Not to Scale

Division 16 - Electrical

Unless shown on these drawings, all electrical work is to be connected to service and service panels by Contractor.

Electrical Service:

Contractor to verify adequacy of existing Amp electrical service prior to preparing an application for construction permit. Contractor to coordinate all aspects of application, permit procurement, including connection to existing electrical service utility.

Electrical HVAC Connections:

Contractor to provide all electrical hook-up as indicated on plans including HVAC as required.

Electrical Wiring and Requirements:

All unsafe exposed and other existing knob and tube or other sub-standard electrical wiring, unsafe fixtures and devices are to be removed. Contractor to install all new circuits and services as schematically indicated on drawings.

Prior to installation, Owner, Architect and Electrical Sub-Contractor are to walk the entire project site and review all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

All electrical wall switches to be standard rocker type by Decora with integral dimmers where dimmers are noted on electrical plans. Convenience outlets and all related devices shall be appropriate for their intended uses and have Underwriters Laboratory Certification.

All wall switches shall be mounted at standard 4'-2" height above finished floor. GFI's are to be provided as required and where indicated on schematic electrical plans.

Lighting Fixtures:

All surface mounted lighting fixtures and any paddle fans to be supplied by the Owner and installed by the Contractor.

New recessed mounted or under cabinet or in cabinet lighting to be supplied by Contractor with trim kits to be approved by Owner prior to installation.

New recessed lighting to be supplied by Contractor and to accommodate LED lamping and be 5" aperture with white trim kits and reflectors. Provide 4" aperture lighting housings in select areas where noted on electrical plans. All recessed lighting to be as manufactured by Halo or equal.

Electrical Life-safety System Connections:

New Carbon Monoxide and Smoke Detection Alarms to be provided at area of proposed work as required by Code and indicated on the floor plans and as required by Code. New Carbon Monoxide and Smoke Detection Alarms to be within 10 feet of any sleeping area entry door, and within all bedrooms or sleeping areas in accordance with the IRC NJ Code.

REVISIONS		
No.	Description	Date

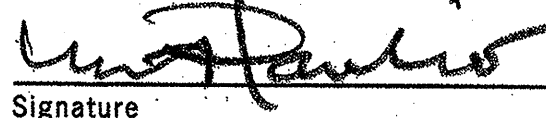
ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA

Architects and Planners

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Signature

Proposed Renovations to the Existing 3-Story Wood Frame Dwelling and conversion into a Single-family Dwelling

Block #246, Lot #10

Use Group: R5
Construction Type: 5B

PROJECT NAME

Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

DRAWING TITLE

Specifications

SCALE As Noted	JOB No. 202199019
DATE 2/21/02	DRAWING No.
DRAWN BY CP/MP	A9
CHECKED BY MP	



Generated by REScheck-Web Software Compliance Certificate

Project 19 BROADWAY Interior Renovation

Energy Code: 2015 IECC
Location: Ocean Grove, New Jersey
Construction Type: Single-family
Project Type: Alteration
Orientation: Bldg. faces 180 deg. from North
Climate Zone: 4 (5253 HDD)
Permit Date:
Permit Number:

Construction Site: 19 BROADWAY
OCEAN GROVE, New Jersey 07756
Owner/Agent: RIC & CYNDI KLEINBART
19 BROADWAY
OCEAN GROVE, New Jersey 07756
732-618-4354
kkleinbart@gmail.com,
Designer/Contractor: MARK PAVLIV
THE ARCHITECT'S STUDIO
77 MAIN AVENUE, SUITE 101
OCEAN GROVE, New Jersey 07756
732-776-8777
mp77aia@aol.com

Compliance: Passes using prescriptive requirements for alteration projects

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat or Scissor Truss Exemption: Framing cavity filled with insulation	---	---	---	---	---	---	---
Wall: Wood Frame, 16in. o.c. Orientation: Unspecified Exemption: Framing cavity filled with insulation	---	---	---	---	---	---	---
Window: Wood Frame, 2 Pane w/ Low-E SHGC: 0.28 Orientation: Unspecified Exemption: Glazing replacement in existing sash or frame.	---	---	---	---	---	---	---
Floor: All-Wood Joist/Truss Over Uncond. Space Exemption: Framing cavity filled with insulation	---	---	---	---	---	---	---

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version: REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

MARK ALEXANDER PAVLIV, AIA
Name - Title Signature Date 2/23/22

Project Notes:
INTERIOR RENOVATIONS, ELECTRICAL AND PLUMBING UPGRADES, REPLACEMENT OF SELECT WINDOWS, VARIOUS
REPAIRS AND PAINTING WITH ANY EXPOSED FRAMING TO RECEIVE NEW INSULATION.



REScheck Software Version : REScheck-Web Inspection Checklist

Energy Code: 2015 IECC

Requirements: 100.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2, 403.7 (PR3) ¹	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, A10, E1, E2
103.1, 103.2, 403.7 (PR3) ¹	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, A10, E1.
302.1, 403.7 (PR2) ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10

Additional Comments/Assumptions:

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1 (FO11) ²	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable. Location on plans/spec: A7
403.9 (FO12) ²	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.

Additional Comments/Assumptions:

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 (FR2) ¹	Glazing U-factor (area-weighted average).	U-_____	U-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 (FR4) ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10
402.4.1.1 (FR23) ¹	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, A10
402.4.3 (FR20) ¹	Fenestration that is not site built is listed and labeled as meeting AAMA/WDMA/CSA 101/1.5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.4.5 (FR16) ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10, E1, E2
403.3.1 (FR12) ¹	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Ducts located completely inside the building envelope. Location on plans/spec: A9, A10
403.3.5 (FR15) ¹	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.4 (FR17) ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥ R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.4.1 (FR24) ¹	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.5.3 (FR18) ²	Hot water pipes are insulated to ≥ R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.6 (FR19) ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: 19 BROADWAY Interior Renovation
Data filename:

Report date: 02/23/22
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 (IN13) ²	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
402.1.1, 402.2.6 (IN1) ¹	Floor insulation R-value.	R-_____ Wood _____ Steel _____	R-_____ Wood _____ Steel _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2, 402.2.7 (IN2) ¹	Floor insulation installed per manufacturer's instructions and in substantial contact with the underside of the subfloor, or floor framing cavity insulation is in contact with the top side of sheathing, or continuous insulation is installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, A10
402.1.1, 402.2.5, 402.2.6 (IN3) ¹	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-_____ Wood _____ Mass _____ Steel _____	R-_____ Wood _____ Mass _____ Steel _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 (IN4) ¹	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, A10

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Project Title: 19 BROADWAY Interior Renovation
Data filename:

Report date: 02/23/22
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 (FI1) ¹	Ceiling insulation R-value.	R-_____ Wood _____ Steel _____	R-_____ Wood _____ Steel _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 (FI2) ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A8, A9, A10
402.2.3 (FI22) ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
402.2.4 (FI3) ¹	Attic access hatch and door insulation ≥ R-value of the adjacent assembly.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10
402.4.1.2 (FI17) ¹	Blower door test @ 50 Pa. ≤=5 ach in Climate Zones 1-2, and ≤=3 ach in Climate Zones 3-8.	ACH 50 = _____	ACH 50 = _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10
403.3.4 (FI4) ¹	Duct tightness test result of ≤=4 cfm/100 ft ² across the system or ≤=3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	R ² cfm/100	R ² cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable. Location on plans/spec: A10
403.3.3 (FI27) ²	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	R ² cfm/100	R ² cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: All ducts and air handlers are located within conditioned space. Location on plans/spec: A10
403.3.2.1 (FI24) ¹	Air handler leakage designated by manufacturer at ≤=2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10
403.1.1 (FI9) ¹	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.1.2 (FI10) ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.1 (FI11) ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 (FI25) ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10
403.2 (FI26) ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.5.1.1 (FI28) ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10
403.5.1.2 (FI29) ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
403.5.2 (FI30) ²	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A10
403.5.4 (FI31) ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable.
404.1 (FI6) ¹	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: A9, A10, E1
404.1.1 (FI23) ¹	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement is not applicable. Location on plans/spec: A9, A10

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 (FI7) ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
303.3 (FI18) ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

Additional Comments/Assumptions:



2015 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	0.00
Below-Grade Wall	0.00
Floor	0.00
Ceiling / Roof	0.00
Ductwork (unconditioned spaces):	---
Glass & Door Rating	U-Factor SHGC
Window	
Door	
Heating & Cooling Equipment	Efficiency
Heating System:	---
Cooling System:	---
Water Heater:	---
Name:	Date:
Comments	

REVISIONS

No.	Description	Date

ISSUES

No.	Description	Date

Mark Alexander Pavliv, AIA

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Signature

Proposed Renovations
to the Existing 3-Story
Wood Frame Dwelling
and conversion into a
Single-family Dwelling

Block #246, Lot #10

Use Group: R5

Construction Type: 5B

PROJECT NAME

Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

DRAWING TITLE

REScheck
Energy Compliance

SCALE

As Noted

JOB No.

202199019

DATE

2/21/22

DRAWING No.

DRAWN BY

mp

CHECKED BY

mp

A10

Electrical Specification:

Division 16 - Electrical

Unless shown on these drawings, all electrical work is to be connected to service and service panels by Contractor.

Electrical Service:

Contractor to verify adequacy of existing Amp electrical service prior to preparing an application for construction permit. Contractor to coordinate all aspects of application, permit procurement, including connection to existing electrical service utility.

Electrical HVAC Connections:

Contractor to provide all electrical hook-up as indicated on plans including HVAC as required.

Electrical Wiring and Requirements:

All unsafe exposed and other existing knob and tube or other sub-standard electrical wiring, unsafe fixtures and devices are to be removed. Contractor to install all new circuits and services as schematically indicated on drawings.

Prior to installation, Owner, Architect and Electrical Sub-Contractor are to walk the entire project site and review all switch, receptacle, recessed and surface mounted fixture locations for final approval.

All new wires to be concealed constructed of copper with thermoplastic insulation and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended use with UL Certification.

All electrical wall switches to be standard rocker type by Decora with integral dimmers where dimmers are noted on electrical plans. Convenience outlets and all related devices shall be appropriate for their intended uses and have Underwriters Laboratory Certification.

All wall switches shall be mounted at standard 4'-2" height above finished floor. GFI's are to be provided as required and where indicated on schematic electrical plans.

Lighting Fixtures:

All surface mounted lighting fixtures and any paddle fans to be supplied by the Owner and installed by the Contractor.

New recessed mounted or under cabinet or in cabinet lighting to be supplied by Contractor with trim kits to be approved by Owner prior to installation.

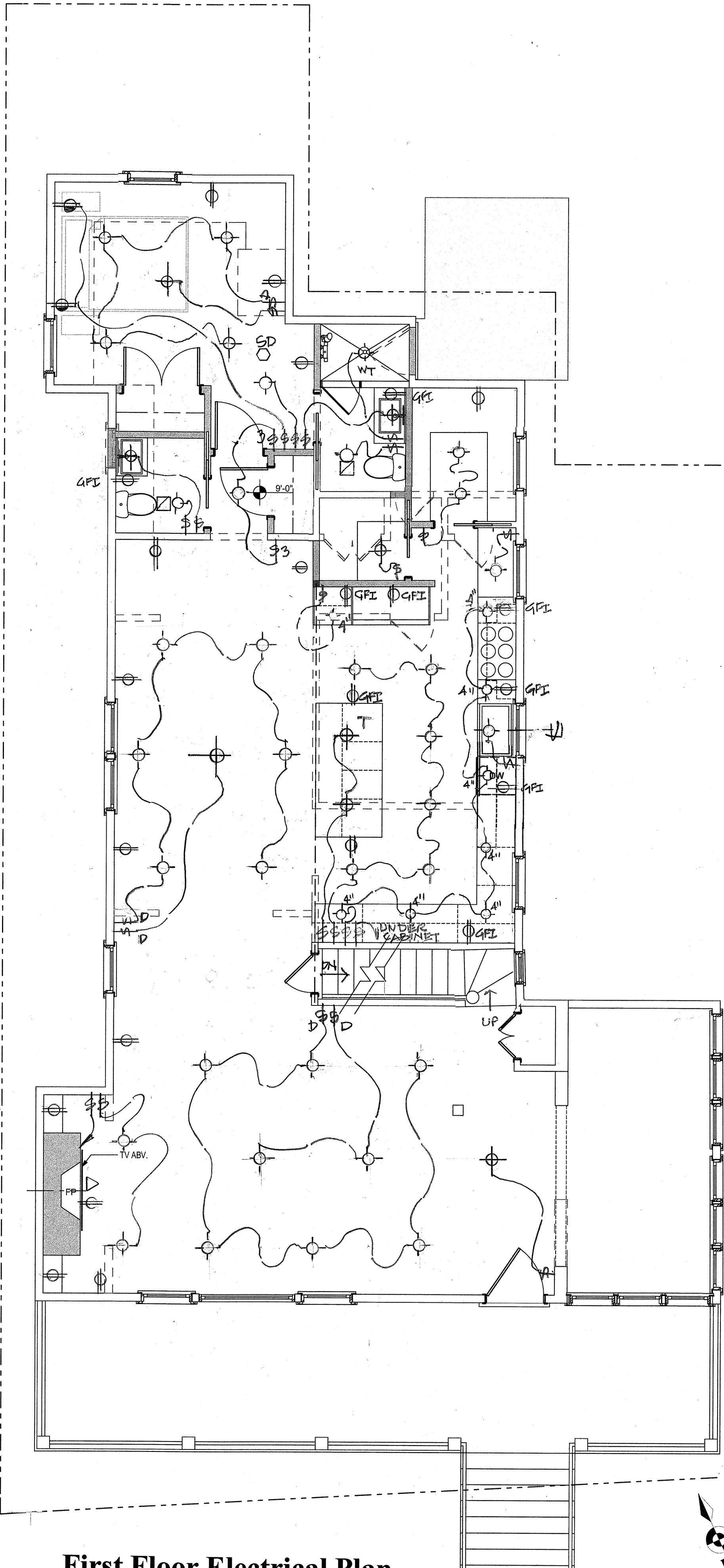
New recessed lighting to be supplied by Contractor and to accommodate LED lamping and be 5" aperture with white trim kits and reflectors. Provide 4" aperture lighting housings in select areas as noted on electrical plans. All recessed lighting to be as manufactured by Halo or equal.

Electrical Life-safety System Connections:

New Carbon Monoxide and Smoke Detection Alarms to be provided at area of proposed work as required by Code and indicated on the floor plans and as required by Code. New Carbon Monoxide and Smoke Detection Alarms to be within 10 feet of any sleeping area entry door, and within all bedrooms or sleeping areas in accordance with the IRC NJ Code.

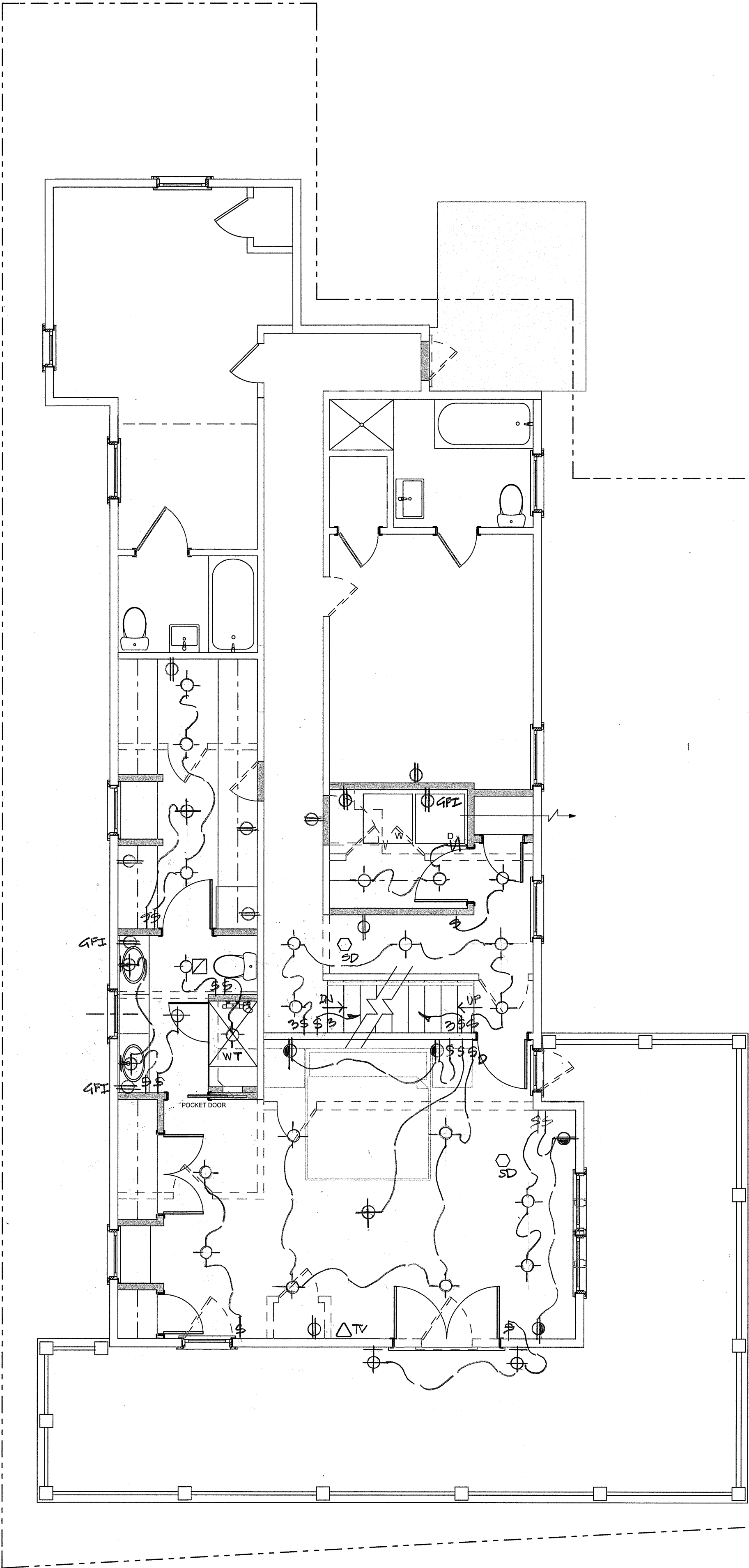
Legend

- ELEC. WALL SWITCH
- ELEC. WALL DIMMER
- ELEC. 3 WAY SWITCH
- ELEC. WALL OUTLET
- ELEC. FLOOR OUTLET
- ELEC. HALF-HOT WALL OUTLET
- CEILING MOUNTED LIGHT
- BRACKET/WALL MOUNTED LIGHT
- RECESSED CEILING LIGHT
- RECESSED DIRECTIONAL LIGHT
- EXHAUST FAN/HEAT LAMP
- SMOKE DETECTOR
- TV/CABLE JACK



First Floor Electrical Plan

Scale: 1/4" = 1'-0"



Second Floor Electrical Plan

Scale: 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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Use Group: R5
Construction Type: 5B

PROJECT NAME
Cyndi and Ric Kleinbart
19 Broadway
Ocean Grove, NJ

DRAWING TITLE
First & Second Floor
Electrical Plans
& Specifications

SCALE As Noted	JOB No. 202199019
DATE 2/21/22	DRAWING No. E1
DRAWN BY EAC/MP	
CHECKED BY MP	