

ELECTRICAL NOTES

- GENERAL ELECTRICAL SYSTEMS SHALL BE DESIGNED, COORDINATED AND INSTALLED AS A BRANCH OF THE MAIN SERVICE WITH THE EXCEPTION OF THE MAIN SERVICE.
- ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
- ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
⊕	DUPEX/QUAD/EXHAUST OUTLET BY AFF.
⊕	DUPEX W/ GROUND FAULT CIRCUIT INTERRUPTER
⊕	DEDICATED APPLIANCE OUTLET
⊕	SINGLE POLE / THREE WAY / DIMMER SWITCHES
⊕	SURFACE MTD. LIGHT FIXTURE
⊕	4" DIA. TYPE IC RATED RECESSED MTD. LIGHT FIXTURE
⊕	4" DIA. TYPE IC RATED RECESSED MTD. LISTED FOR WET LOCATION
⊕	WALL MTD. EXTERIOR / INTERIOR LIGHT FIXTURE
⊕	PERMANENT MTD. LIGHT FIXTURE
⊕	CIC MTD. CHANDELIER / SPECIALTY LIGHT FIXTURE
⊕	CEILING MTD. EXHAUST FAN
⊕	CEILING MTD. SMOKE DETECTOR
⊕	CEILING MTD. CARBON MONOXIDE/SMOKE DETECTOR

CODE SUMMARY

DESCRIPTION	REQ'D	PROV'D	DEFICIT
RESIDENTIAL	150 SF	150 SF	0
COMMERCIAL	0	0	0
INDUSTRIAL	0	0	0
TOTAL	150 SF	150 SF	0

ZONING SUMMARY

LOCAL ZONING DISTRICT	PERMITTED USES
R-1	RESIDENTIAL SINGLE-FAMILY DWELLING
R-2	RESIDENTIAL SINGLE-FAMILY DWELLING
R-3	RESIDENTIAL SINGLE-FAMILY DWELLING
R-4	RESIDENTIAL SINGLE-FAMILY DWELLING
R-5	RESIDENTIAL SINGLE-FAMILY DWELLING
R-6	RESIDENTIAL SINGLE-FAMILY DWELLING
R-7	RESIDENTIAL SINGLE-FAMILY DWELLING
R-8	RESIDENTIAL SINGLE-FAMILY DWELLING
R-9	RESIDENTIAL SINGLE-FAMILY DWELLING
R-10	RESIDENTIAL SINGLE-FAMILY DWELLING
R-11	RESIDENTIAL SINGLE-FAMILY DWELLING
R-12	RESIDENTIAL SINGLE-FAMILY DWELLING
R-13	RESIDENTIAL SINGLE-FAMILY DWELLING
R-14	RESIDENTIAL SINGLE-FAMILY DWELLING
R-15	RESIDENTIAL SINGLE-FAMILY DWELLING
R-16	RESIDENTIAL SINGLE-FAMILY DWELLING
R-17	RESIDENTIAL SINGLE-FAMILY DWELLING
R-18	RESIDENTIAL SINGLE-FAMILY DWELLING
R-19	RESIDENTIAL SINGLE-FAMILY DWELLING
R-20	RESIDENTIAL SINGLE-FAMILY DWELLING

DEMOLITION NOTES

- REMOVE INTERIOR PARTITIONS, DOORS & CEILING FINISHES AS REQUIRED TO MATCH EXISTING FLOOR FINISHES. REPLACE ANY DEFERIORATED DAMAGED FINISHES.
- REMOVE EXISTING EXTERIOR WALLS, ROOFING & PORCHES AS REQUIRED TO MATCH EXISTING EXTERIOR WALLS, ROOFING & PORCHES.
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- REMOVE EXISTING EXTERIOR WALLS, ROOFING & PORCHES AS REQUIRED TO MATCH EXISTING EXTERIOR WALLS, ROOFING & PORCHES.

CONSTRUCTION NOTES

- CONTRACTOR TO VERIFY & INSTALL NEW 6" x 6" CUSTOM HARDY PLY LIFT ASSEMBLY AT EXTERIOR SIDE FRAME NEW W/ 2" X 4" FRAMING AS DIRECTED BY OWNER. FINISH TOP W/ HARDWOOD TO MATCH EXISTING FLOORING & SET FRAMING PLAN ONE (1) FOR ADJUT. INFO.
- CONTRACTOR TO INSTALL NEW 4"-4" STAIRCASE CLOSET W/ OAK TYP. AS DIRECTED BY OWNER. PROVIDE NO. SHEETS & PALE AS DIRECTED BY OWNER. PROVIDE IN ROOM OPENING ABOVE THE ARCHWAY. COORDINATE W/ OWNER.
- REMOVE EXISTING EXTERIOR WALLS, ROOFING & PORCHES AS REQUIRED TO MATCH EXISTING EXTERIOR WALLS, ROOFING & PORCHES.
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- REMOVE EXISTING EXTERIOR WALLS, ROOFING & PORCHES AS REQUIRED TO MATCH EXISTING EXTERIOR WALLS, ROOFING & PORCHES.

FINISH NOTES & SPECS

- QUALITY FINISHERS OF ALL EXTERIOR WINDOWS & DOORS AS REQUIRED BY THE ARCHITECT.
- EXTERIOR WALLS TO BE FINISHED WITH ALUMINUM HEAD FLASHING ABOVE ALL EXTERIOR WINDOWS & DOOR CASING.
- ALL INTERIOR DOORS TO BE FINISHED WITH ALUMINUM HEAD FLASHING ABOVE ALL INTERIOR DOORS & WINDOW TRIM AS SELECTED BY OWNER. ALL WINDOW SILLS SHALL BE TRIMMED WITH STAINLESS STEEL FINISH AS SELECTED BY OWNER.
- ALL INTERIOR DOORS & WINDOW TRIM TO BE FINISHED WITH STAINLESS STEEL FINISH AS SELECTED BY OWNER. ALL WINDOW SILLS SHALL BE TRIMMED WITH STAINLESS STEEL FINISH AS SELECTED BY OWNER.
- ALL INTERIOR DOORS & WINDOW TRIM TO BE FINISHED WITH STAINLESS STEEL FINISH AS SELECTED BY OWNER. ALL WINDOW SILLS SHALL BE TRIMMED WITH STAINLESS STEEL FINISH AS SELECTED BY OWNER.

WINDOW NOTES

- ALL PRE-FABRICATED/ENGINEERED FINISH MATERIALS AND/OR SPECIALTY MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL WINDOW SILLS SHALL BE TRIMMED WITH STAINLESS STEEL FINISH AS SELECTED BY OWNER.
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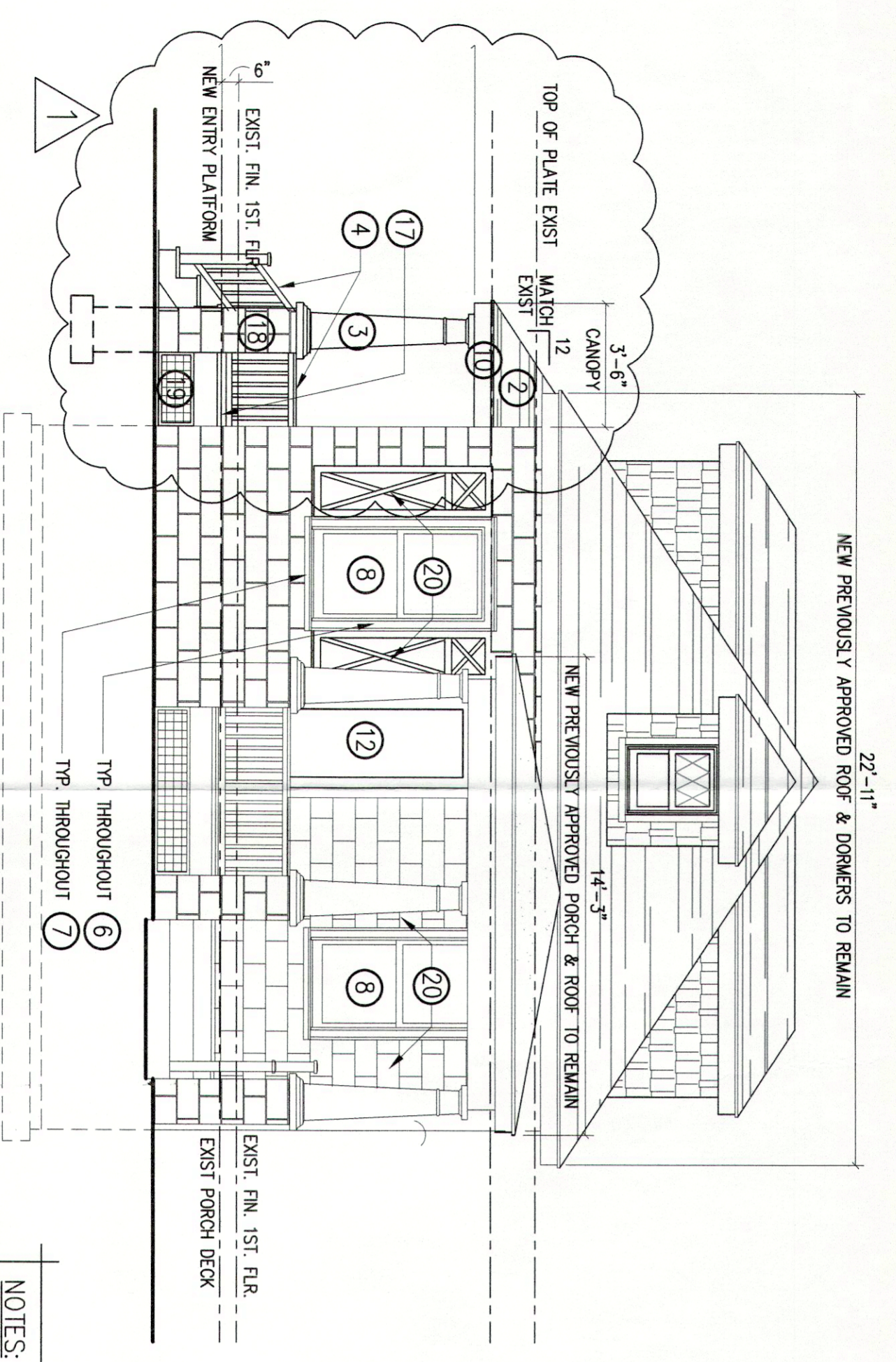
ARCHITECT: MICHAEL J. MOSS
 LIC. No. AI-15000

DRAWING No. **A-1**

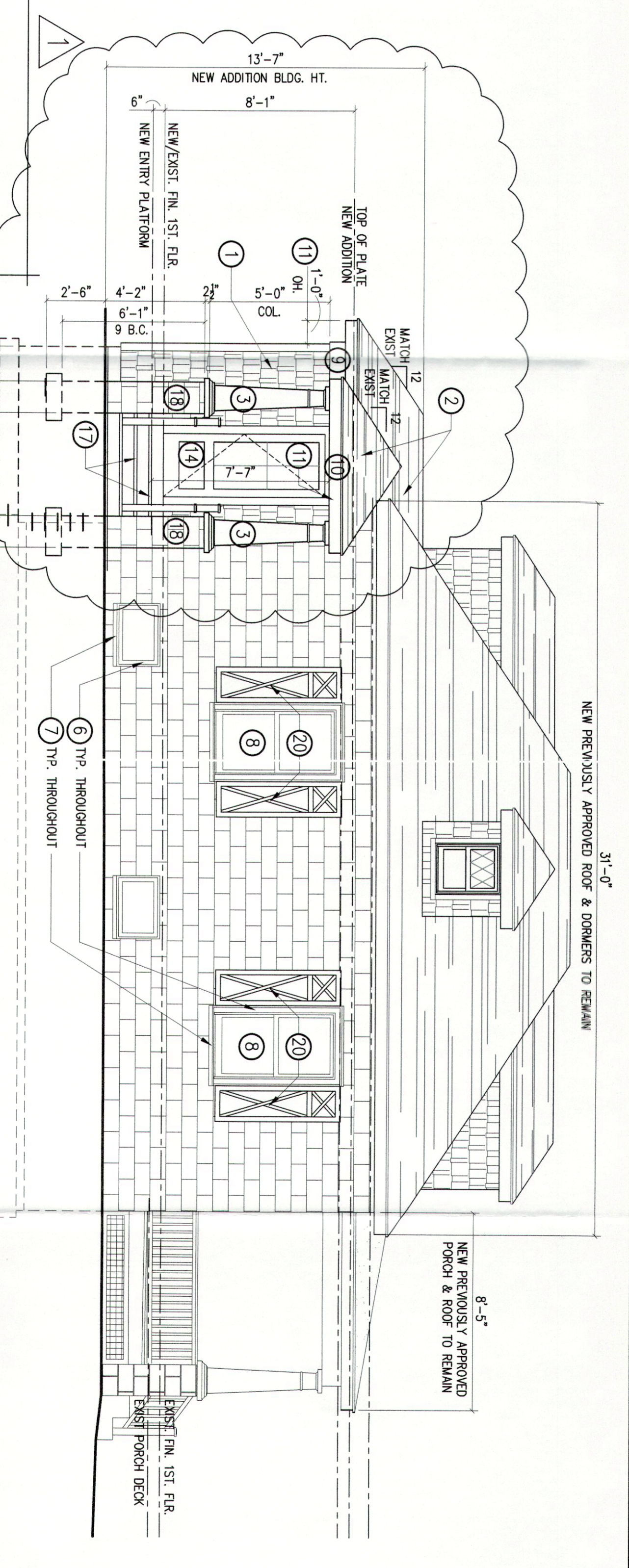
CLIENT: MS. CAROLYN RIPLEY
 50 ROHWEI ROAD
 IVYLAND, PA 18974

PROJECT: ADDITION & ALTERATIONS TO RIPLEY RESIDENCE
 BLOCK 140 / LOT 1412
 140 ABBOTT AVENUE
 OCEAN GROVE, NJ 07756

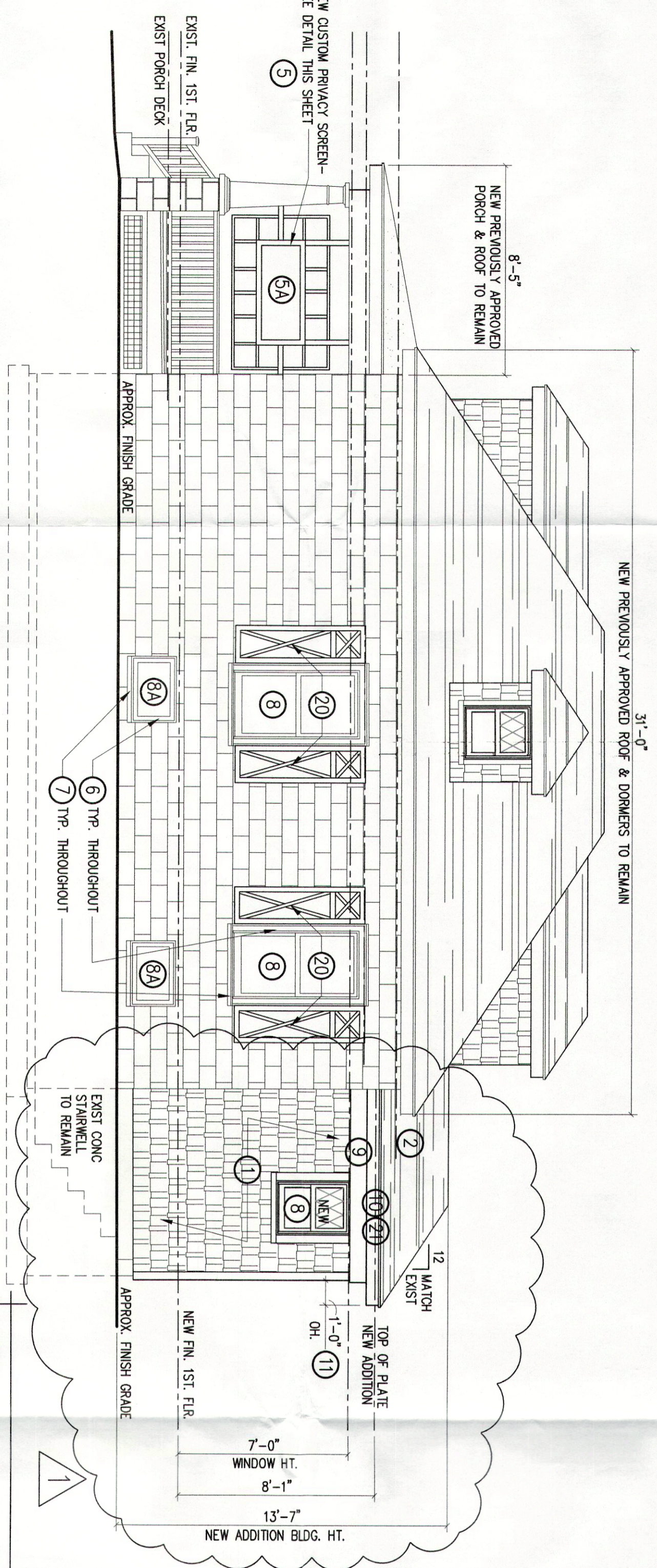
NO.	DATE	REVISION / ISSUED TO
1	12/2/24	REVISED PER HPC REVIEW COMMENTS
2	7/29/24	REMOVE FRONT PORCH WORK
1	6/16/23	REVISE SIDE ENTRY PLATFORM
-	9/28/21	ISSUED FOR ZONING & HPC APPROVALS
-	9/21/21	REVISED/RE- ISSUED TO CLIENT FOR REVIEW & COMMENT
-	9/14/21	ISSUED TO CLIENT FOR REVIEW & COMMENT
No.	DATE	REVISION / ISSUED TO



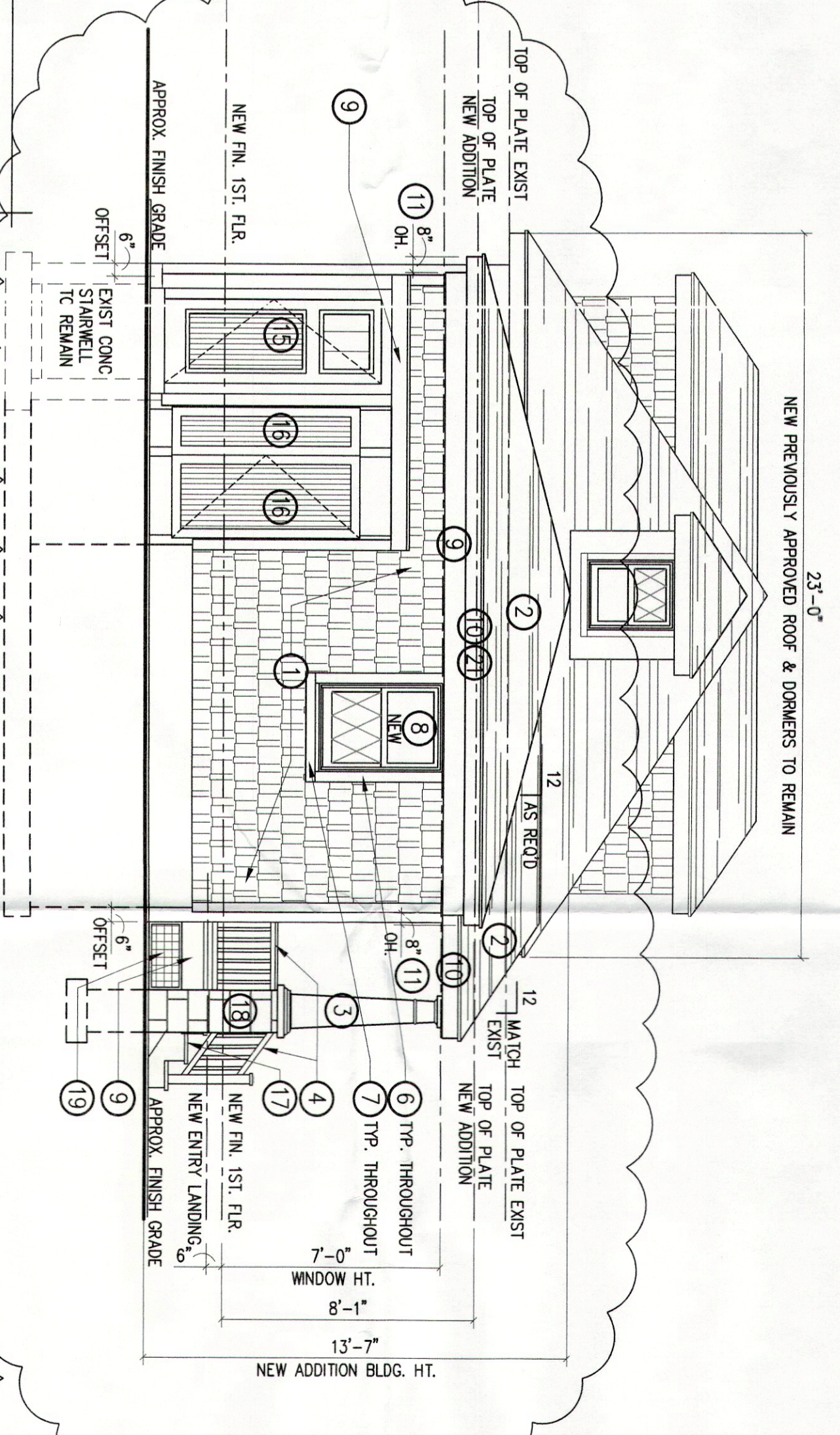
1 FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



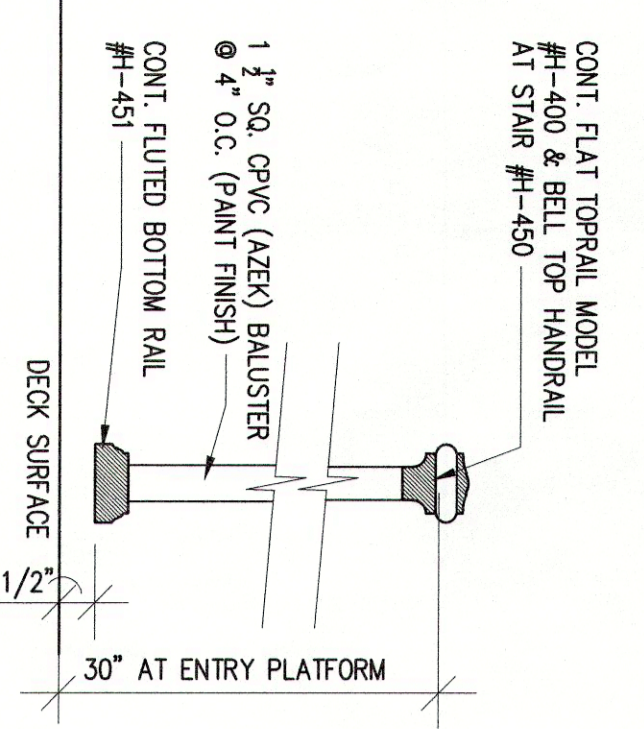
2 LEFT SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



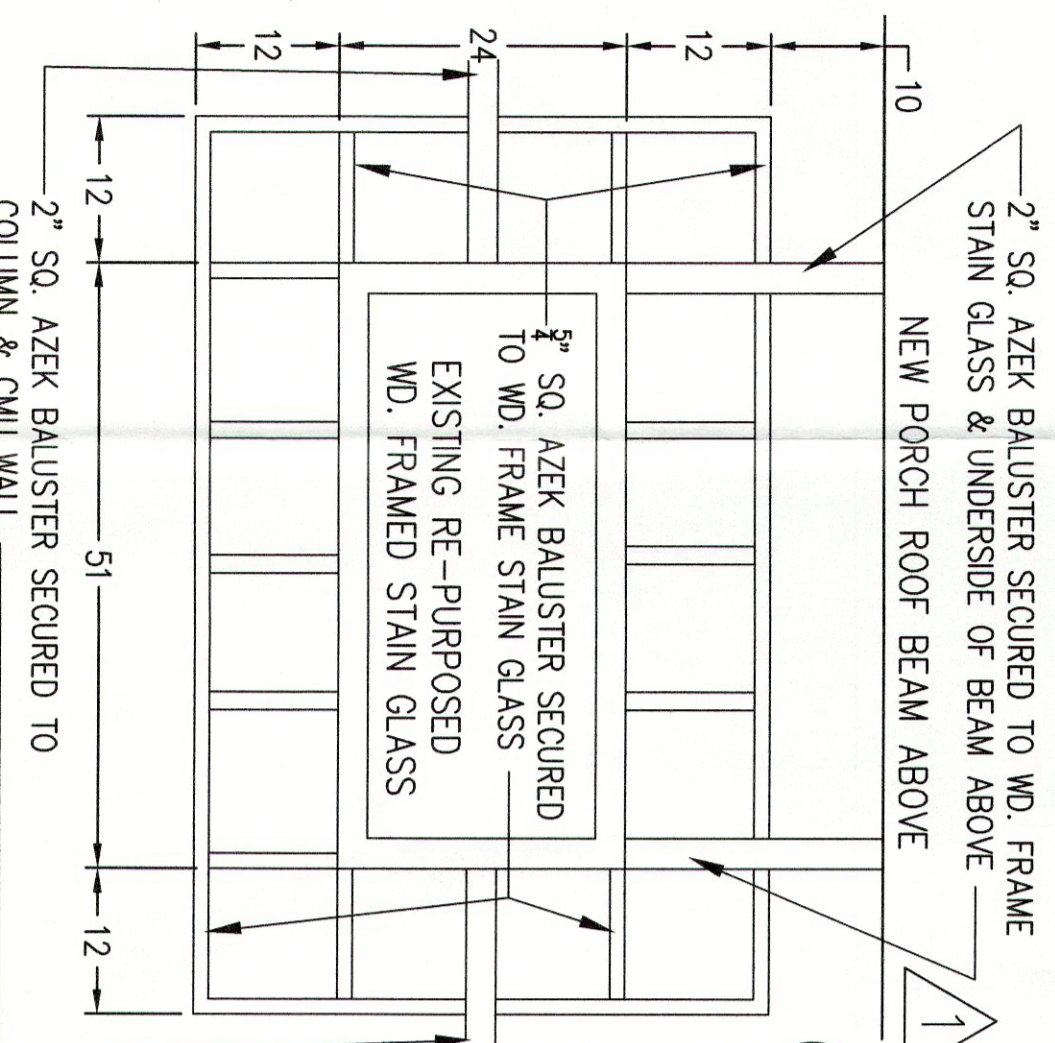
4 RIGHT SIDE (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



A TYP RAIL/BALUSTER SECTION
SCALE: 1 1/2" = 1'-0"



B PRIVACY SCREEN DETAIL
SCALE: 1 1/2" = 1'-0"

EXTERIOR FINISH SCHEDULE			EXTERIOR FINISH SCHEDULE (CONT.)				
ITEM	DESCRIPTION	MANUFACTURER/ MODEL #/ STYLE	COLOR	ITEM	DESCRIPTION	MANUFACTURER/ MODEL #/ STYLE	COLOR
1	CEDAR SHAKE SIDING	HARBORBOARD - HARDIE SHINGLE OR APPROVED EQUAL. 7" EXPOSURE, STAGGERED PROFILE	CADOT TERRA GOYA STAIN (SEE NOTE #1)	12	FRONT ENTRY DOOR	3'-0" W x 6'-8" H CUSTOM RE-IMPREGNATED WOOD DOOR W/ STAINED GLASS PANEL AS PROVIDED BY OWNER. PROVIDE SILL & WEATHERSTRIPPING KIT AS REQ'D.	BEN MOORE HC-8 DORSET GOLD
2	FIBERGLASS ASPHALT ROOF SHINGLES	PRODUCT SPEC. STYLE TO MATCH EXISTING MAIN ROOF	COLOR TO MATCH EXISTING	14	SIDE ENTRY DOOR	2'-8" W x 6'-8" H CUSTOM RE-IMPREGNATED WOOD DOOR W/ SILL & WEATHERSTRIPPING KIT AS REQ'D.	BEN MOORE HC-8 DORSET GOLD
3	FIBERGLASS DECORATIVE TAPERED COLUMNS	5 FT COLUMN - REAR PRECAST 18 x 9 TAPERED COLUMN W/ TUSCAN STYLE CAP & BASE.	BEN MOORE HC-51 AUDUBON RUSSETT	15	BASEMENT ENTRY DOOR	THEIRMA-TRU SMOOTHSTAR 2-PANEL W/NOTE: MUST BE SOLID CORE DOOR AND/OR 2 1/4 HOUR FIRE RATED.	COLOR AS SELECTED BY OWNER
4	PVC DECORATIVE PORCH RAILING	PVC BALUSTERS AS SHOWN (4" O.C. REQUIRED) - SEE DETAIL A THIS SHEET	BEN MOORE HC-51 AUDUBON RUSSETT	16	CUSTOM COMPOSITE BEARBOARD PANEL DOOR & PRIVACY PANEL W/FRAMES	ARABIS TRADITIONS' FIRE RATED T&G BECKING (TYPE ENTIRE FROM PORCH REPLACEMENT); NEW SIDE ENTRY LANDING & STAIRS	BEN MOORE HC-51 AUDUBON RUSSETT
5	DECORATIVE PORCH PRIVACY SCREEN	CUSTOM FABRICATED SQUARE PATTERN AS SHOWN (SEE DETAIL B THIS SHEET)	BEN MOORE HC-126 AVON GREEN	17	COMPOSITE T&G BECKING	ENTER FROM PORCH REPLACEMENT; NEW SIDE ENTRY LANDING & STAIRS	COLOR AS SELECTED BY OWNER
5A	GOLD WITAGE ARTS & CRAFTS CUSTOM STAINED GLASS PANEL	RE-IMPREGNATED WOOD FRAMED STAIN GLASS ART PANEL AS PROVIDED BY OWNER. INSTALL IN NEW CUSTOM PRIVACY SCREEN AS SHOWN (SEE DETAIL A THIS SHEET)	BEN MOORE HC-126 AVON GREEN	18	DECORATIVE ROCK FACE MASONRY BLOCK W/ 2" PRECAST CAP	HISTORIC ROCK FACE CO. (518) 279-1466 OR CLASSIC ROCK FACE CO. (280) 755-1056	BEN MOORE HC-126 AVON GREEN
6	COMPOSITE WINDOW/DOOR TRIM	5/4 x 4 TRIMBOARD - AZEK OR APPROVED EQUAL	BEN MOORE HC-126 AVON GREEN	19	CUSTOM COMPOSITE AZEK FRAME	INSTALL ALL SCREEN PANELS HORIZONTAL/VERTICAL 90 DEGREES PER HPC DIRECTIVE - PROVIDE FINISH & PULL HARDWARE WHERE INDICATED	BEN MOORE HC-126 AVON GREEN
7	COMPOSITE WINDOW SILL TRIM	HISTORIC SILL - AZEK MODEL #AZK-6930	BEN MOORE HC-126 AVON GREEN	20	CUSTOM COMPOSITE WINDOW SHUTTER	1/2" SHEET W/ 1/2" FRAME & RASSED TRIM PER DETAIL - ALL COMPONENTS AZEK OR APPROVED EQUAL	BEN MOORE HC-51 AUDUBON RUSSETT
8	EXISTING VINYL WINDOW/NEW WINDOWS VINYL GLAZ	ALL NEW WINDOWS - ANDERSEN 400 SERIES DOUBLE HANG COLOR CAVINGS	BEN MOORE HC-126 AVON GREEN	21	NEW ALUM GUTTER & LEADER	HALT ROUND BRIGGLE W/ TURNED OUT EDGE - AMERIKAX 5" ALUM HALF RND SINGLE END H-CROSS WHITE W/ ROUND DOWNSPOUT	COLOR TO MATCH EXISTING
9	COMPOSITE CORNICE/FASCIA TRIM	5/4 x 8 TRIMBOARD - AZEK OR APPROVED EQUAL W/ 2" PRECAST CAP	BEN MOORE HC-51 AUDUBON RUSSETT	NOTES: 1. PAINT & ROOF COLOR TO MATCH PREVIOUSLY APPROVED HPC PAINT COLOR SCHEME FOR PHASE 1 CONSTRUCTION (HPC APPROVAL DECEMBER 2020). ALL PAINT SHALL BE BENJAMIN MOORE OR APPROVED EQUAL OR BETTER EXCEPT WHERE NOTED.			
10	COMPOSITE FASCIA BOARD	5/4 x 8 TRIMBOARD - AZEK OR APPROVED EQUAL	BEN MOORE HC-51 AUDUBON RUSSETT	2. ALL COMPOSITE COLUMNS TO BE PAINTED PER MANUFACTURERS WRITTEN SPECIFICATIONS W/ (1) COAT 100% ACRYLIC PRIMER AND TWO (2) COATS 100% ACRYLIC EXTERIOR FINISH PAINT.			
11	COMPOSITE BEARBOARD UNDERLIE OF CANOPY CEILING & ROOF OVERHANGS	1/2" SHEET - CERTAINTED RESTORATION MILKWORK OR APPROVED EQUAL	PANT - COLOR MATCH WINDOW FRAME PAINT	3. ALL NEW GUTTERS & LEADERS MATERIAL, STYLE, COLOR AS APPROVED BY HPC FOR NEW ROOF CONSTRUCTION PHASE (DECEMBER 2020).			
4. ALL PRE-MANUFACTURED/ENGINEERED ROOF SYSTEMS, FINISH MATERIALS, PRODUCTS AND/OR SPECIALTY ITEMS AS SPECIFIED ON THESE DRAWINGS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURERS WRITTEN SPECIFICATIONS, INSTALLATION INSTRUCTIONS & DETAILS.							

NOTES:
PAINT COLOR TO MATCH PREVIOUSLY APPROVED HPC PAINT COLOR SCHEME FOR PHASE 1 CONSTRUCTION (HPC APPROVAL DECEMBER 2020). ALL PAINT SHALL BE BENJAMIN MOORE OR APPROVED EQUAL OR BETTER.

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ARCHITECT: MICHAEL J. MOSS
LIC. No. AI-15000

DRAWING No. **HPC - 1**

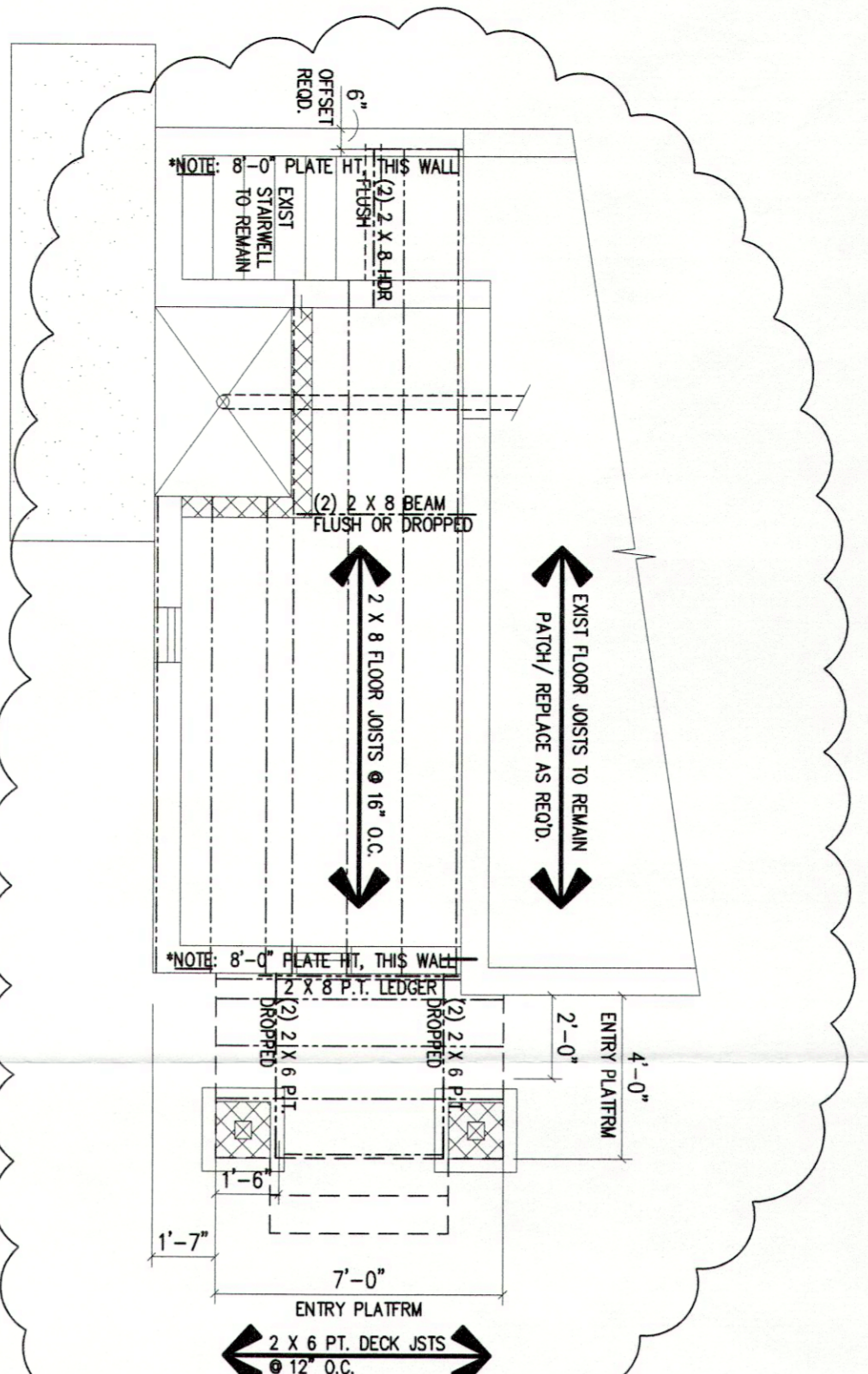
JOB NUMBER: 21-02R
PROJECT MANAGER: MJM
DRAWN BY: MJM
SCALE: AS NOTED
DATE: 05.08.21

TITLE: ELEVATIONS, PAINT/COLOR SCHEDULE

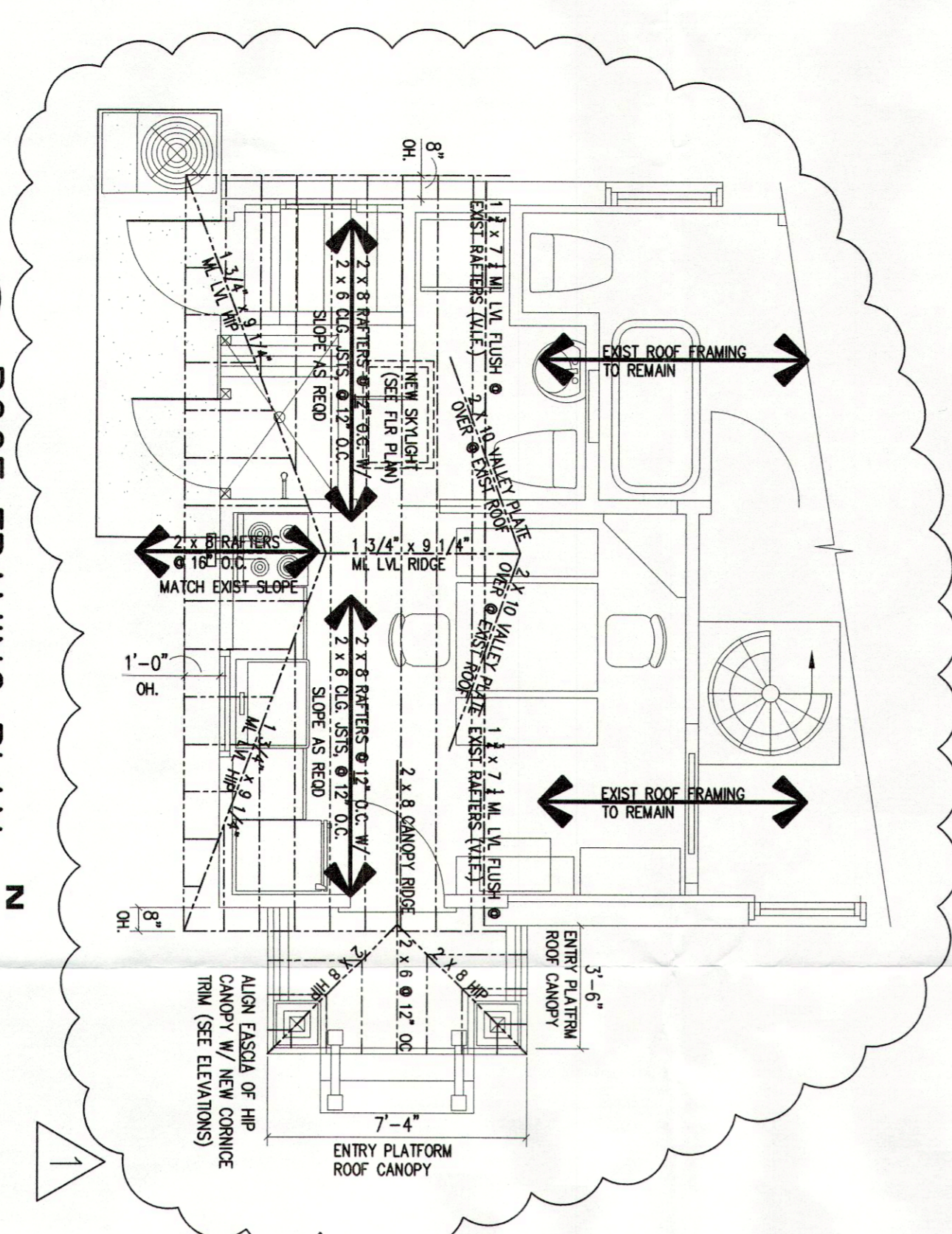
CLIENT: MS. CAROLYN RIPLEY
50 ROHWEI ROAD
IVYLAND, PA 18974

PROJECT: ADDITION & ALTERATIONS to
RIPLEY RESIDENCE
BLOCK 140 / LOT 1412
140 ABBOTT AVENUE
OCEAN GROVE, NJ 07756

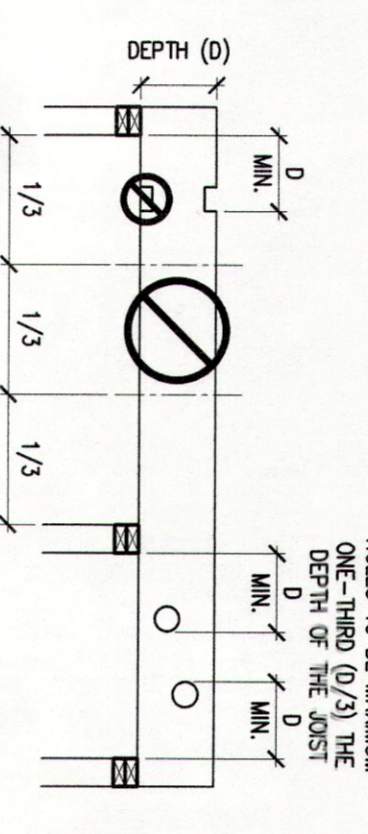
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2	7/29/24	REMOVE FRONT PORCH WORK
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1	6/16/23	REVISE SIDE ENTRY PLATFORM



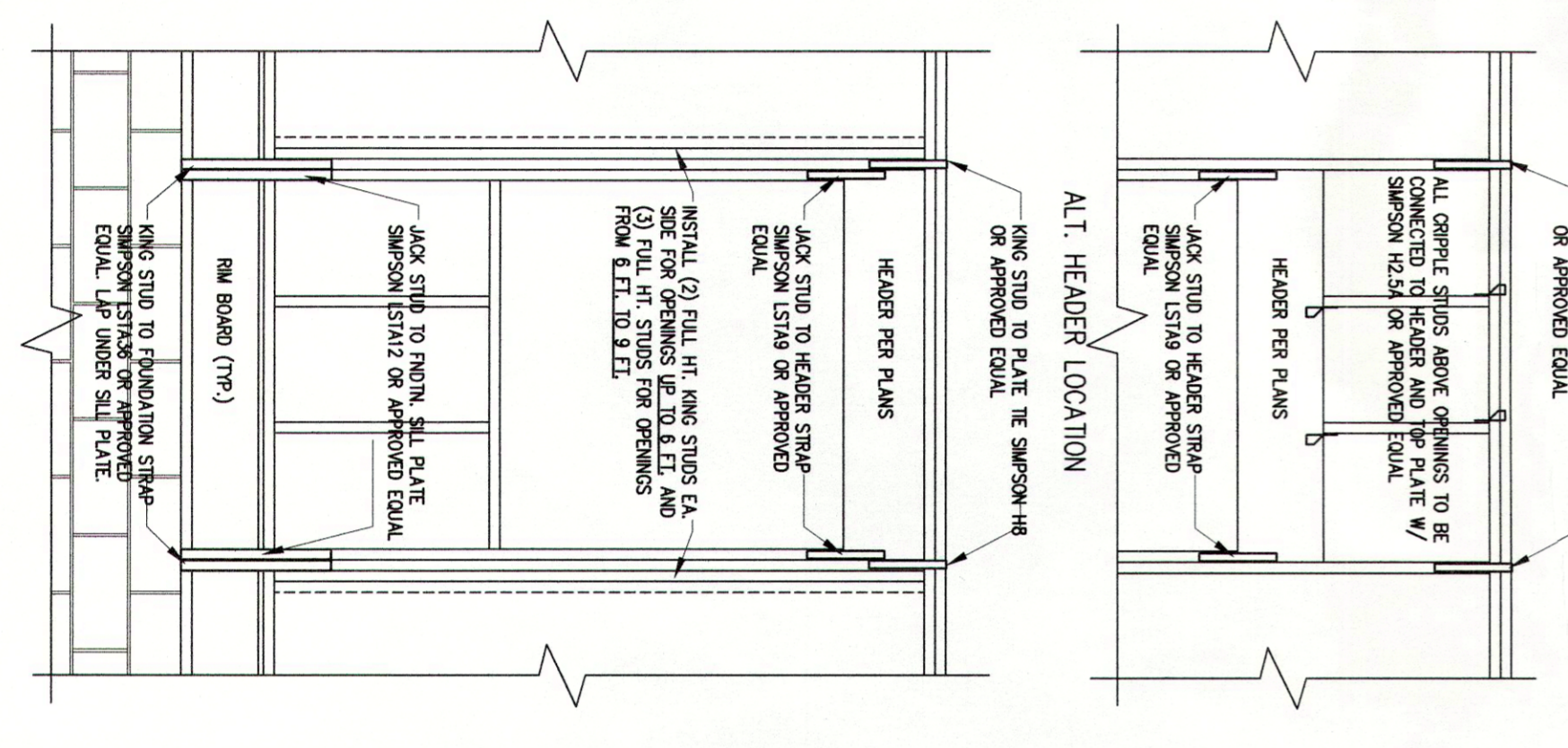
1 1ST FLR FRAMING PLAN
SCALE: 1/4" = 1'-0"



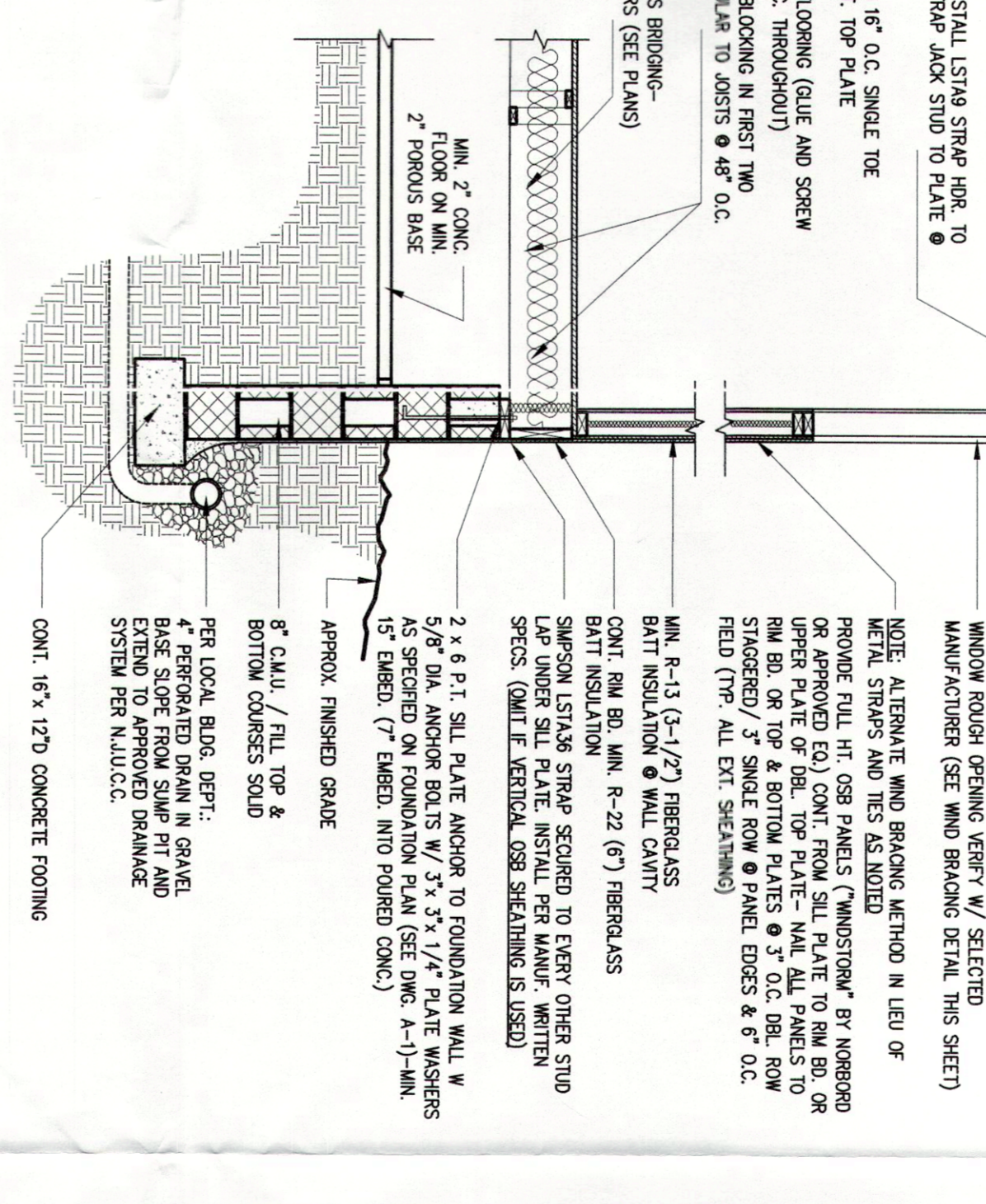
2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



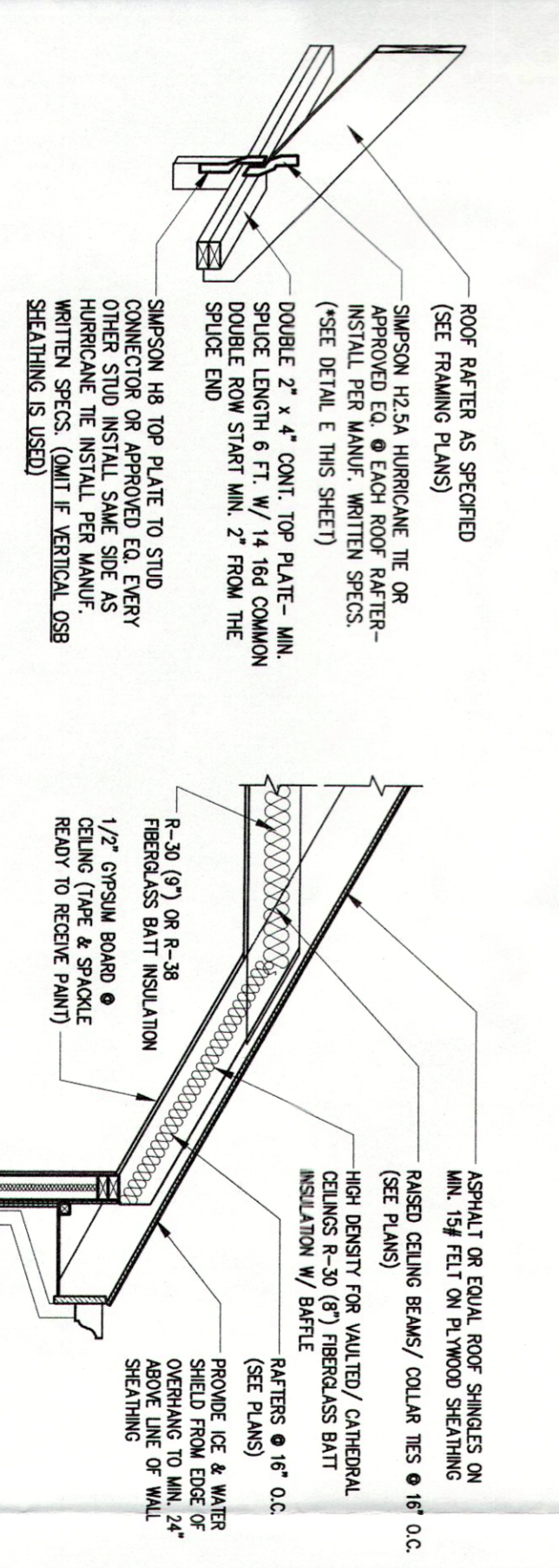
6 JOIST NOTCHES & HOLES
SCALE: 1/2" = 1'-0"



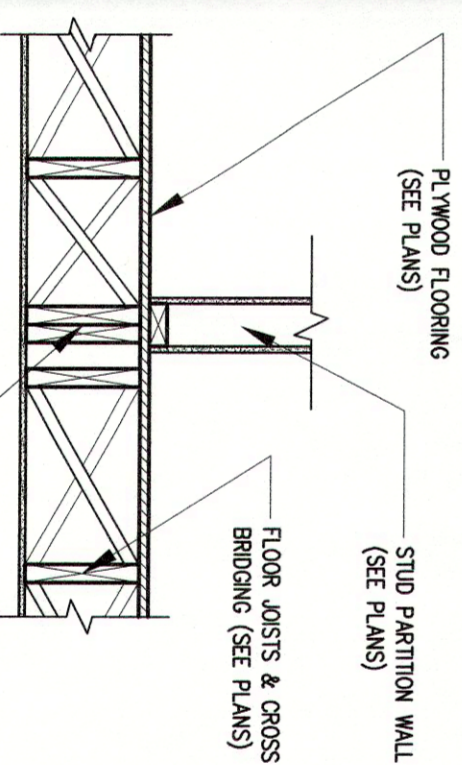
B WINDOW/DOOR OPENING STRAP DETAIL
SCALE: N.T.S. 110 MPH WIND ZONE



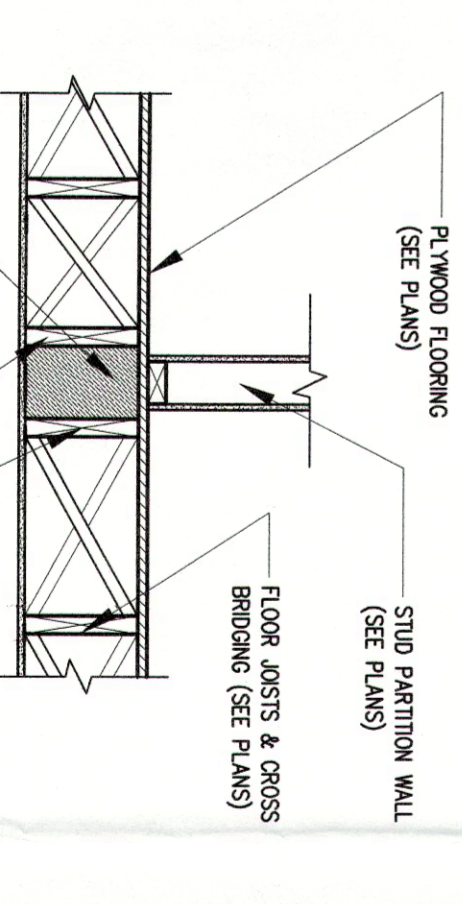
A TYPICAL BUILDING SECTION
SCALE: N.T.S.



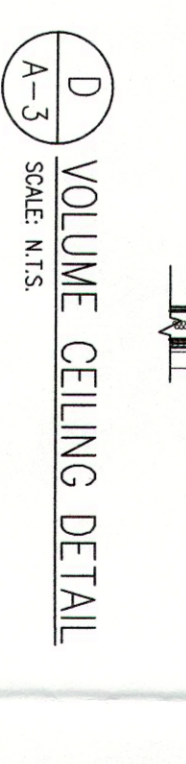
C RAFTER & PLATE TO STUD CONNECTOR DETAIL
SCALE: N.T.S.



E DOUBLE JOIST BELOW PARTITION
SCALE: N.T.S.



F DBL. JOIST BELOW PLUMBING WALL
SCALE: N.T.S.



D VOLUME CEILING DETAIL
SCALE: N.T.S.

GENERAL FRAMING NOTES—CONVENTIONAL FRAMING

NOTE: ALL DIMENSIONS FROM FACE TO FACE OF FINISHED WALLS UNLESS OTHERWISE SPECIFIED. PROVIDE DOUBLE FLOOR JOISTS BELOW ALL PERMANENT PARTITIONS, BATHROOMS, CABINETS, AND OTHER ISLANDS PER THE FOLLOWING (CONSULT PLANS FOR ADDITIONAL INFORMATION):

- (1) 2" x 4" AT 12" O.C. FOR SPANS NOT IN EXCESS OF 17'-0"
- (2) 2" x 6" AT 12" O.C. FOR SPANS NOT IN EXCESS OF 17'-0"

PROVIDE A DOUBLE JOIST BELOW EACH PARALLEL PARTITION WALL.

- ALL REQUIRED STRUCTURAL HEADERS ABOVE DOORS, WINDOWS, OPENINGS, ETC. SHALL BE NOTICED ON THE PLANS SHALL BE PER THE FOLLOWING:
 - (a) MINIMUM 6'-0" OPENING / FIRST FLOOR / (2) 2" x 12"
 - (b) MINIMUM 6'-0" OPENING / FIRST FLOOR / (2) 2" x 12"
- ALL REQUIRED STRUCTURAL HEADERS ABOVE DOORS, WINDOWS, OPENINGS, ETC. SHALL BE NOTICED ON THE PLANS SHALL BE PER THE FOLLOWING:
 - (a) FINISHED INTERIOR WALL DENOTES A STRUCTURAL BEARING PARTITION.
 - (b) UNFINISHED INTERIOR WALL DENOTES A NON-BEARING PARTITION.
 - (c) ALL PERIMETER WALLS INCLUDING THE WALLS OF THE GARAGE ARE TO BE CONSIDERED AS STRUCTURAL BEARING WALLS.
- DENOTES A STRUCTURAL WOOD POST UNLESS NOTED OTHERWISE ON THE PLANS. PROVIDE ALL HEADERS, BEAMS, JOISTS, AND/OR BLOCKING DOWN TO THE FOUNDATION OR THE SUPPORTING STRUCTURE BELOW. WOOD POSTS MAY BE SOLID OR BUILT UP USING 2x MEMBERS.

SCHEDULE OF STRUCTURAL MATERIALS

DESCRIPTION	PROPERTIES
DOUGLAS FIR #2 (SEE END SPACING)	F _b = 825 P.S.I. E = 1,800,000 P.S.I.
DOUGLAS FIR #2 (SEE DIMS. FOR SIZE AND SPACING)	F _b = 825 P.S.I. E = 1,800,000 P.S.I.
2x4 SUDAR-1 FLOOR / 2x4 SPAN FLOOR REINFORCEMENT	F _b = 95 P.S.I. E = 1,800,000 P.S.I.
3/4" 16G OSB	

GENERAL PLUMBING NOTES

- PLUMBING SYSTEMS SHALL BE DESIGNED, COORDINATED, AND INSTALLED AS A BUILDING SYSTEM BY THE ARCHITECT OR A REGISTERED PROFESSIONAL DESIGNER. ANY PLUMBING SYSTEMS SHALL BE INSTALLED AND SHOWN IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
- ALL PLUMBING SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
- DESIGN OF SANITARY AND VENT SYSTEMS SHALL BE PROVIDED BY THE ARCHITECT OR A REGISTERED PROFESSIONAL DESIGNER.
- ALL PLUMBING SYSTEMS SHALL CONFORM TO THE CURRENT PLUMBING AND/OR GAS CODES INCLUDING ANY AND ALL AMENDMENTS PER N.J.A.C.C.
- NOTE: INSTALLING CONTRACTORS SHALL NOT ALTER THE LOAD CARrying CAPACITY OF ANY STRUCTURAL MEMBERS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- SEE DETAIL "X" ON THIS SHEET FOR ALLOWABLE PENETRATIONS THRU FLOOR/CEILING JOISTS ONLY.

PLUMBING INFORMATION AND NOTES

- PLUMBING SYSTEMS ARE TO BE INSTALLED PER THE INFORMATION AND REQUIREMENTS IN THE CURRENT EDITION OF THE NATIONAL PLUMBING CODE.
- THE MINIMUM SLOPE TO DRAIN SHALL BE 1/4-INCH DROP PER 12-INCHES OF RUN.
- INSULATE ALL PIPES AS REQUIRED AND AS INDICATED ON THE PLANS.
- PROVIDE AND EQUIPMENT STYLE, TRIM, COLOR, FITTINGS, ACCESSORIES, ETC. AS SHOWN ON THE PLANS.
- NEW FLOOR FINISHES (ALL FINISHES TO BEGRADE FINISH):
 - CERAMIC TILE - 1
 - POLISHED CONCRETE - 2
 - LAMINATE/SUBFLOOR - 3
 - CARPET - 4
 - GYPSUM BOARD - 0
 - CLOTHES WASHER - 1

H.V.A.C. INFORMATION AND NOTES

- ALL H.V.A.C. SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COORDINATE WITH THE MECHANICAL CONTRACTOR'S DESIGN AND SHALL NOT BE THE RESPONSIBILITY OF THE ARCHITECT.
- NOTE: INSTALLING CONTRACTORS SHALL NOT ALTER THE LOAD CARrying CAPACITY OF ANY STRUCTURAL MEMBERS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- SEE DETAIL "X" ON THIS SHEET FOR ALLOWABLE PENETRATIONS THRU FLOOR/CEILING JOISTS ONLY.

No	DATE	REVISION / ISSUED TO
1	12/2/24	REVISED PER HPC REVIEW COMMENTS
2	7/29/24	ISSUED TO CLIENT FOR PERMIT/CONSTRUCTION

<p>MOSS ARCHITECTURE LLC</p> <p>429 MONMOUTH AVENUE BRADLEY BEACH, NJ 07720 BUS: 732-567-5675 Email: mjmossarch@gmail.com</p>	<p>CLIENT</p> <p>MS. CAROLYN RIPLEY 50 ROHIWEI ROAD IVYLAND, PA 18974</p>	<p>CONSULTANTS</p>
<p>PROJECT</p> <p>ADDITION & ALTERATIONS to RIPLEY RESIDENCE BLOCK 140 / LOT 1412 140 ABBOTT AVENUE OCEAN GROVE, NJ 07756</p>	<p>DATE: 05.08.21</p> <p>SCALE: AS NOTED</p> <p>DRAWN BY: M.J.M.</p> <p>PROJECT MANAGER: M.J.M.</p> <p>JOB NUMBER: 21-02R</p>	

DRAWING No. **A-3**

TITLE: FRAMING PLANS, ELEVATIONS, RISER DIAGS., TYP. DETAILS & NOTES