

~ MORGAN RESIDENCE ~  
NEW PRIVATE RESIDENCE



mode  
Monmouth Ocean Design Experts  
DANIEL M. CONDATORE, RA  
621 LAKE AVENUE / 3A  
ASBURY PARK, NJ 07712  
NJ LICENSE #21A10798000  
t: 732 800 1958  
e: dcondatore@mode-arch.com

ENGINEER  
ARCHITECT & ENGINEER  
SIGNATURE & SEAL BOX  
17980  
SIGNATURE  
SEAL DATE

~ MORGAN RESIDENCE ~  
NEW PRIVATE RESIDENCE  
129 INSKIP AVENUE  
OCEAN GROVE, NEW JERSEY 07756  
BLOCK: 287, LOT: 7

ARCHITECTURAL ABBREVIATIONS				INDEX OF DRAWINGS		BUILDING CODES & GUIDELINES		SYMBOLS LEGEND		MATERIALS LEGEND		VICINITY MAP						
A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM	DWG. # .C-1 .ST-1 A-1 A-2 A-3	DRAWING TITLE COVER SHEET SITE PLAN FLOOR PLANS FLOOR PLANS ELEVATIONS	INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION 2018		<div><div>1</div><div>A101</div></div> <div>SIM</div>	SECTION	<div></div>	CONCRETE PAVERS	<div><div><div></div><div>SITE</div></div></div>	OWNER	PROJECT LOCATION				
B.O	BOTTOM OF	NO.	NUMBER			NATIONAL STANDARD PLUMBING CODE (NSPC), 2018		<div><div>FIN. FLOOR</div><div>EL. X'-XX"</div></div>	DATUM	<div></div>	CONCRETE				<div>No.</div> <div>REVISIONS / ISSUES</div> <div>DATE</div>			
CONC.	CONCRETE	N.T.S.	NOT TO SCALE			INTERNATIONAL MECHANICAL CODE, 2018				<div>1</div> <div>Revision 1</div> <div>08/01/2022</div>								
CTR.	COUNTERTOP	O.C.	ON CENTER			NATIONAL ELECTRIC CODE (NEC), 2017 W/ AMMENDMENTS 5.23-3.16				<div>3</div> <div>HPC Comments</div> <div>12/06/2022</div>								
DEG.	DEGREES	REQ'D.	REQUIRED			<div>BUILDING CLASSIFICATION</div>		<div><div>1</div><div>A-4.1</div></div>	ELEVATION	<div></div>	CONT. WOOD BLOCKING							
DTL.	DETAIL	R.	RADIUS			BUILDING USE GROUP: R5				<div></div>	WOOD BLOCKING							
DWG.	DRAWING	T&G	TONGUE AND GROOVE			CONSTRUCTION CLASSIFICATION: VB				<div></div>	BATT INSULATION							
EL.	ELEVATION	T.O.	TOP OF			WIND SPEED: 120 MPH		<div><div>1</div><div>A101</div></div> <div>SIM</div>	DETAIL	<div></div>	CLOSED CELL INSULATION							
EQ.	EQUAL	TYP.	TYPICAL			DESIGN LOADS:												
EXIST.	EXISTING	U.N.O.	UNLESS NOTED OTHERWISE			ROOF LOAD (SNOW LOAD): 20 PSF LIVE, 10 PSF DEAD												
FL.	FLOOR	V.C.T.	VINYL COMPOSITION TILE			ATTIC FLOOR LOAD: 20 PSF LIVE, 10 PSF DEAD												
F.R.	FIRE RATED	V.I.F.	VERIFY IN FIELD			FIRST & SECOND FLOOR LOAD: 40 PSF LIVE, 10 PSF DEAD												
GA.	GAUGE	V.T.R.	VENT THROUGH ROOF			1ST FLOOR AREA: 920.98 SF												
GYP. BD.	GYPSUM BOARD	W/	WITH			2ND FLOOR AREA: 920.98 SF												
H.M.	HOLLOW METAL	&	AND			ATTIC FLOOR AREA: 290.36 SF												
MAX.	MAXIMUM	+/-	APPROXIMATE DIMENSION			TOTAL AREA: 2,132.32 SF												
MTL.	METAL	@	AT															
				</														



TOWNSHIP OF NEPTUNE, LAND DEVELOPMENT ORDINANCE			
BLOCK: 287	LOT: 7	LOT AREA: 0.041 ACRE (1,800 S.F.)	
BUILDING ZONE: HD-R-1			
BUILDING USE: DETACHED SINGLE FAMILY DWELLING			
	<u>MIN. REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
LOT AREA:	1,800 SF	1,800 SF	1,800 SF
LOT FRONTAGE:	30 FT	30 FT	30 FT
LOT WIDTH:	30 FT	30 FT	30 FT
LOT DEPTH:	60 FT	60 FT	60 FT
BUILDING COVERAGE:	85% MAX	VACANT LOT	65.55%
LOT COVERAGE:	90% MAX	VACANT LOT	71.11%
FRONT SETBACK:	10 FT TO HOUSE, 4 FT TO PORCH	VACANT LOT	12 FT TO HOUSE, 4 FT TO PORCH
REAR SETBACK:	3.1 FT	VACANT LOT	3.25 FT
SIDE SETBACK:	2 FT	VACANT LOT	3 FT/ 3 FT
COMBINED SIDE:	4 FT	VACANT LOT	6 FT
BUILDING HEIGHT:	35 FT	VACANT LOT	30.75 FT
STORIES:	2.5	VACANT LOT	2.5

<b>PROPERTY DESCRIPTION</b>	
LOT DIMENSION:	LOT AREA:
30' x 60'	1,800 SF
<b>BUILDING COVERAGE</b>	
STRUCTURE:	AREA:
HOUSE	954.98 SF
FRONT PORCH	192.00 SF
REAR DECK	33 SF
TOTAL	1,179.98 SF
<b>% OF BUILDING COVERAGE</b>	<b>65.55%</b>
<b>LOT COVERAGE</b>	
BUILDING COVERAGE	1,179.98 SF
CONDENSER SLAB	9 SF
FRONT WALKWAY	6 SF
REAR WALKWAY	60 SF
OUTDOOR SHOWER	25 SF
TOTAL	1,279.98 SF
<b>% OF LOT COVERAGE</b>	<b>71.11%</b>

ENGINEER

ARCHITECT & ENGINEER

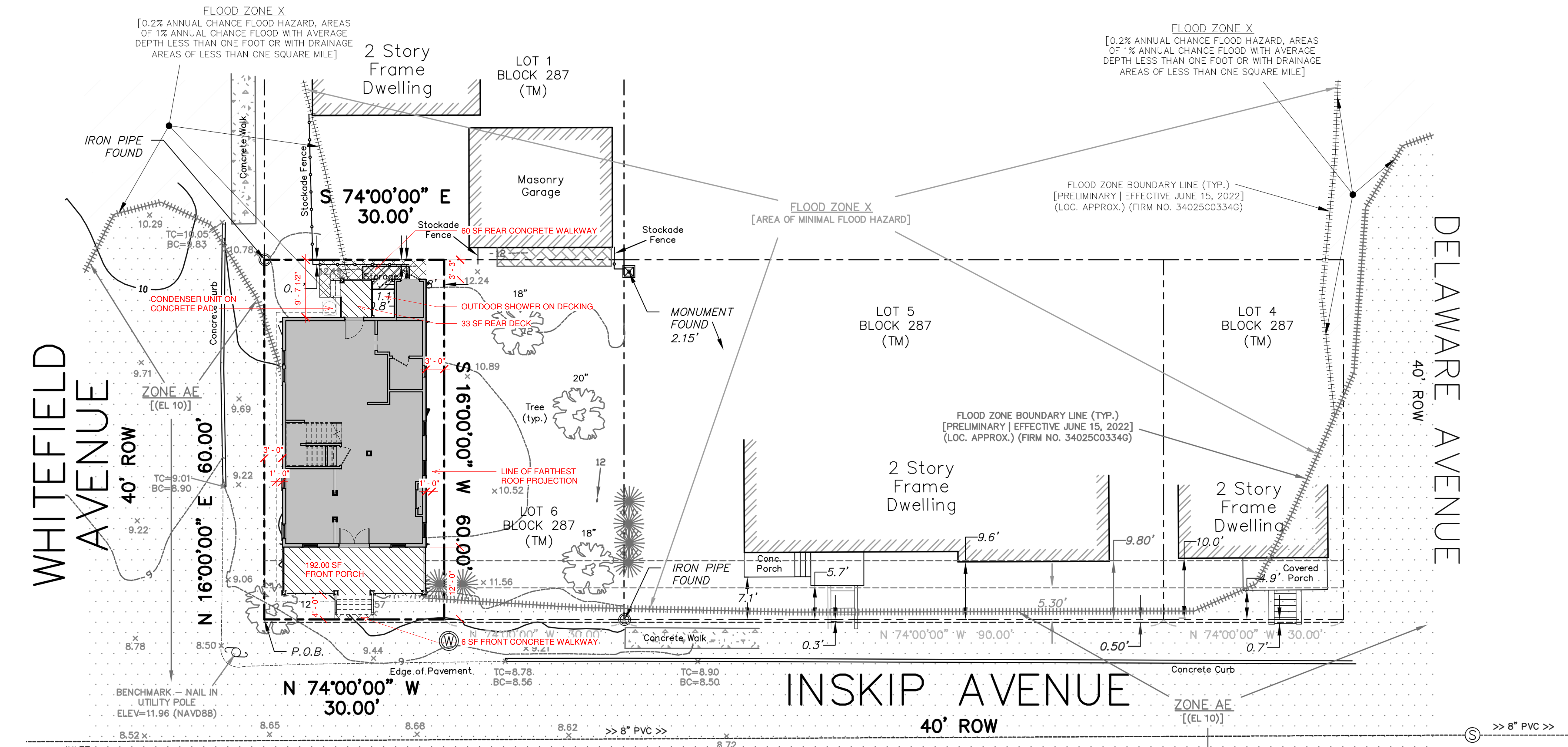
SIGNATURE & SEAL BOX

STATE OF NEW JERSEY  
DANIEL M. CONNOR, P.E.  
17980  
REGISTERED ARCHITECT  
EXPIRATION DATE 12/31/2018

SIGNATURE

SEAL DATE

OWNER		PROJECT LOCATION	
No.	REVISIONS / ISSUES	DATE	
1	Issued for Zoning	08/01/2022	
3	Revision 1	08/16/2022	
	HPC Comments	12/06/2022	
CHECKED BY: DMC		DRAWN BY: CW	
SCALE:			
DRAWING TITLE:			
<div style="text-align: center;"> <h1>SITE PLAN</h1> </div>			
DRAWING No.			
<div style="text-align: center;"> <h1>.ST-1</h1> </div>			



1 Site Plan  
1" = 10'-0"



WALL LEGEND	
	EXISTING WALLS
	NEW STUD WALLS 2X4 WOOD STUDS (2X6 EXTERIOR) @ 16" O.C. WITH 1/2" GYP BD AT EACH SIDE
	NEW CMU FOUNDATION WALLS

GENERAL NOTES	
1.	ALL WOOD FRAMING MATERIAL SHALL BE NO.2, KILN DRY, OF ANY SPECIES GRADED UNDER WESTERN WOOD PRODUCTS ASSOCIATION (WWPA). ALL WOOD BELOW BASE FLOO ELEVATION (BFE) SHALL BE PRESERVATIVE TREATED.
2.	GLUE-LAMINATED BEAMS SHALL BE GEORGIA-PACIFIC 2.0E OR 1.8E LAMINATED VENEER LUMBER (LVL) OR PARALLEL STRAND LUMBER (PSL) BEAMS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
3.	WOOD FRAMING AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH METHODS OUTLINED IN THE WOOD FRAMED CONSTRUCTION MANUAL.
4.	ALL CONCRETE SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH STANDARD PROVIDED ASTM C94. EXTERIOR SLABS ON GRADE SHALL MEET A COMPRESSIVE STRENGTH OF 4500 PSI WITH A MAXIMUM WATER-CEMENTITIOUS RATIO OF .45 AND 6% AIR ENTRAINMENT. INTERIOR SLABS ON GRADE AND STRUCTURAL CONCRETE SHALL MEET A COMPRESSIVE STRENGTH OF 3000 PSI WITH A MAXIMUM WATER-CEMENTITIOUS RATIO OF .55 AND 6% AIR ENTRAINMENT.
5.	ALL DECORATIVE ELEMENTS AND FINISHES ARE TO BE SELECTED BY OWNER. VERIFY WITH OWNER BEFORE ORDERING AND INSTALLATION, TYP. FOR ENTIRE PROJECT.
6.	DOUBLE UP ALL FLOOR JOISTS OR PROVIDE SOLID BLOCKING BETWEEN ALL JOISTS BELOW ALL BEARING WALLS, TUBS, AND APPLIANCES.
7.	PLUMBING CONTRACTOR TO PROVIDE WASTE AND SUPPLY WATER LINES AND GAS DIAGRAM TO BUILDING DEPARTMENT FOR APPROVAL.

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STATE OF NEW JERSEY

PROFESSIONAL ARCHITECT

17980

SEAL DATE

OWNER

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NEW PRIVATE RESIDENCE

129 INSKIP AVENUE  
OCEAN GROVE, NEW JERSEY 07756  
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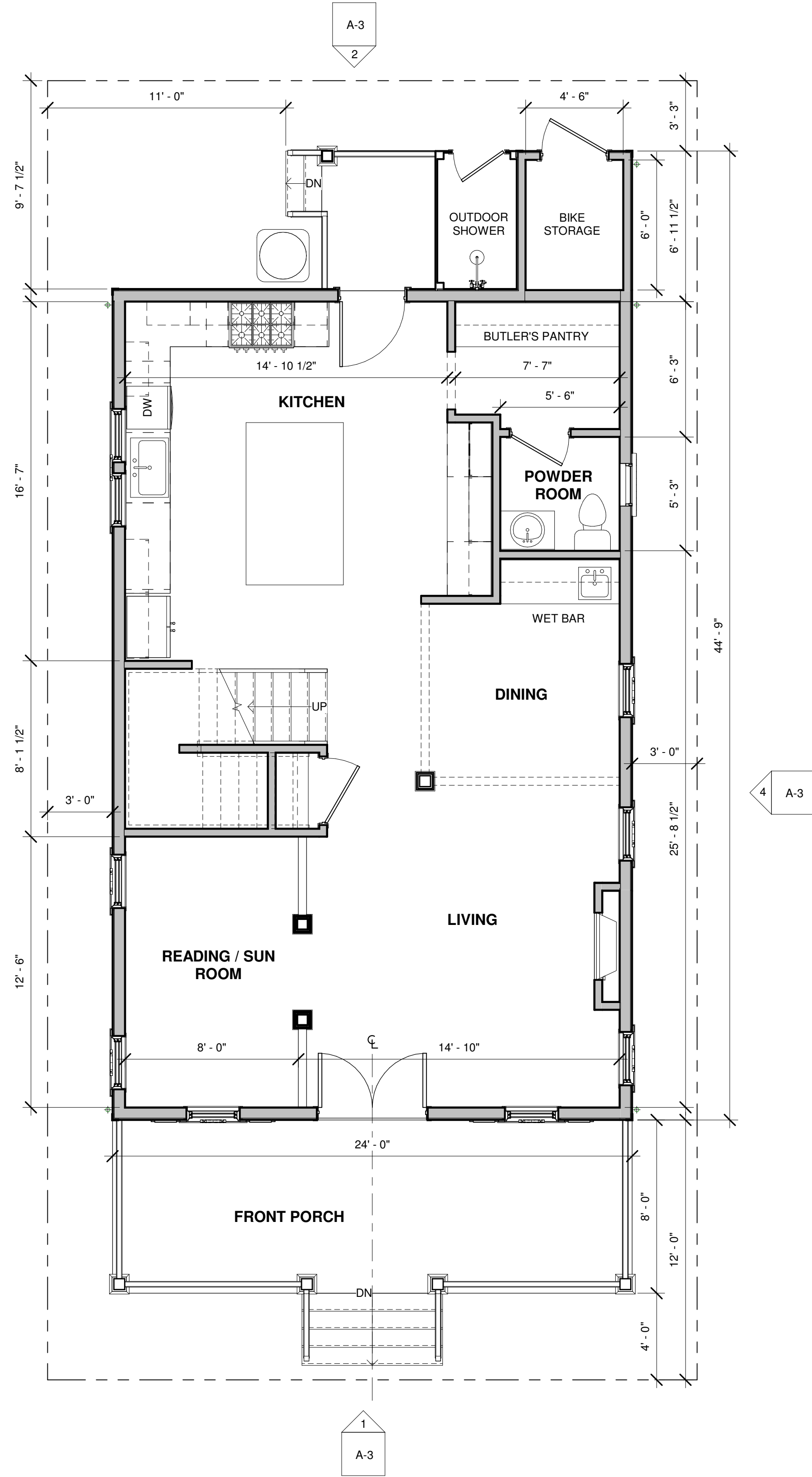
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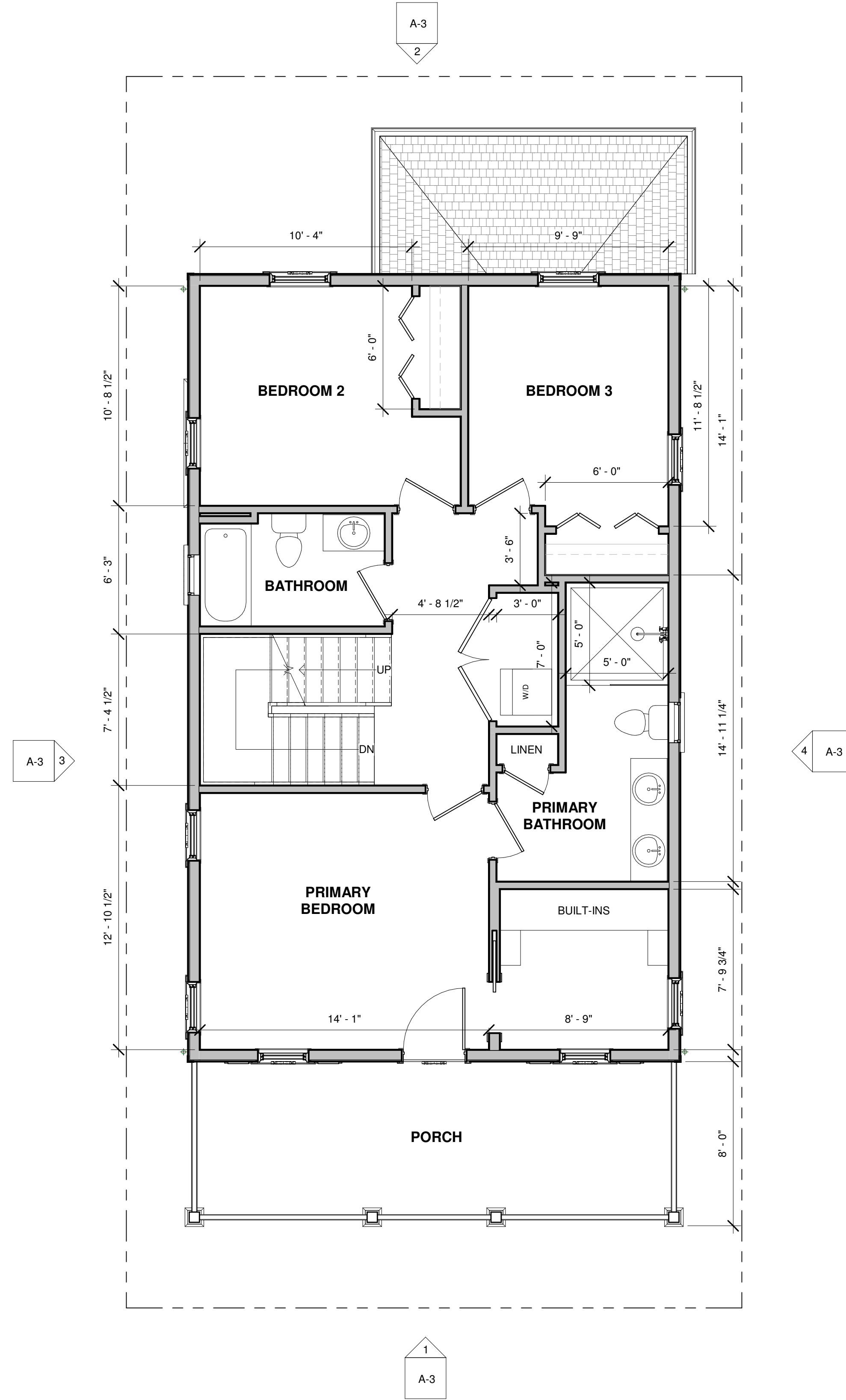
FLOOR PLANS

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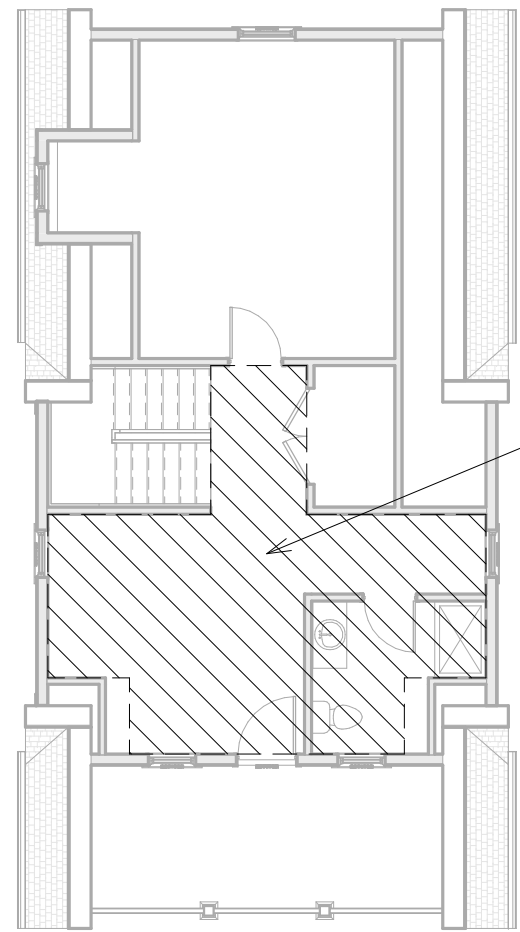
A-1



① Level 1 Floor Plan  
1/4" = 1'-0"



② Level 2 Floor Plan  
1/4" = 1'-0"



**AREA OF FLOOR BELOW**  
920.98 SF

**ALLOWABLE ATTIC FINISHED SPACE**  
306.99 SF

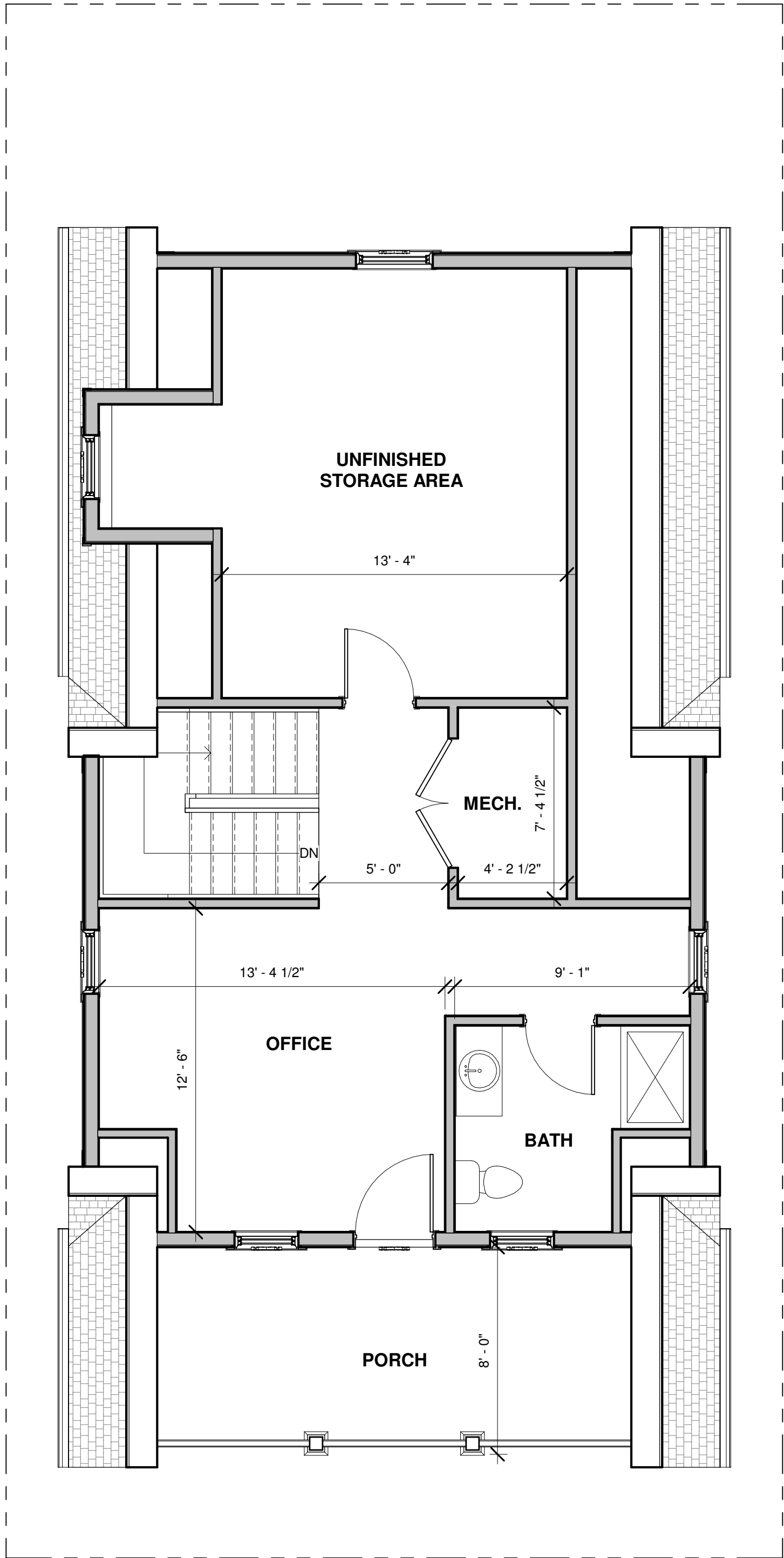
**ATTIC FLOOR AREA**  
646.11 SF

**ATTIC FLOOR FINISHED AREA WITH 7'-0" HEIGHT**  
290.36 SF

FINISHED ATTIC SPACE WITH 7' - 0"  
HEIGHT OR GREATER

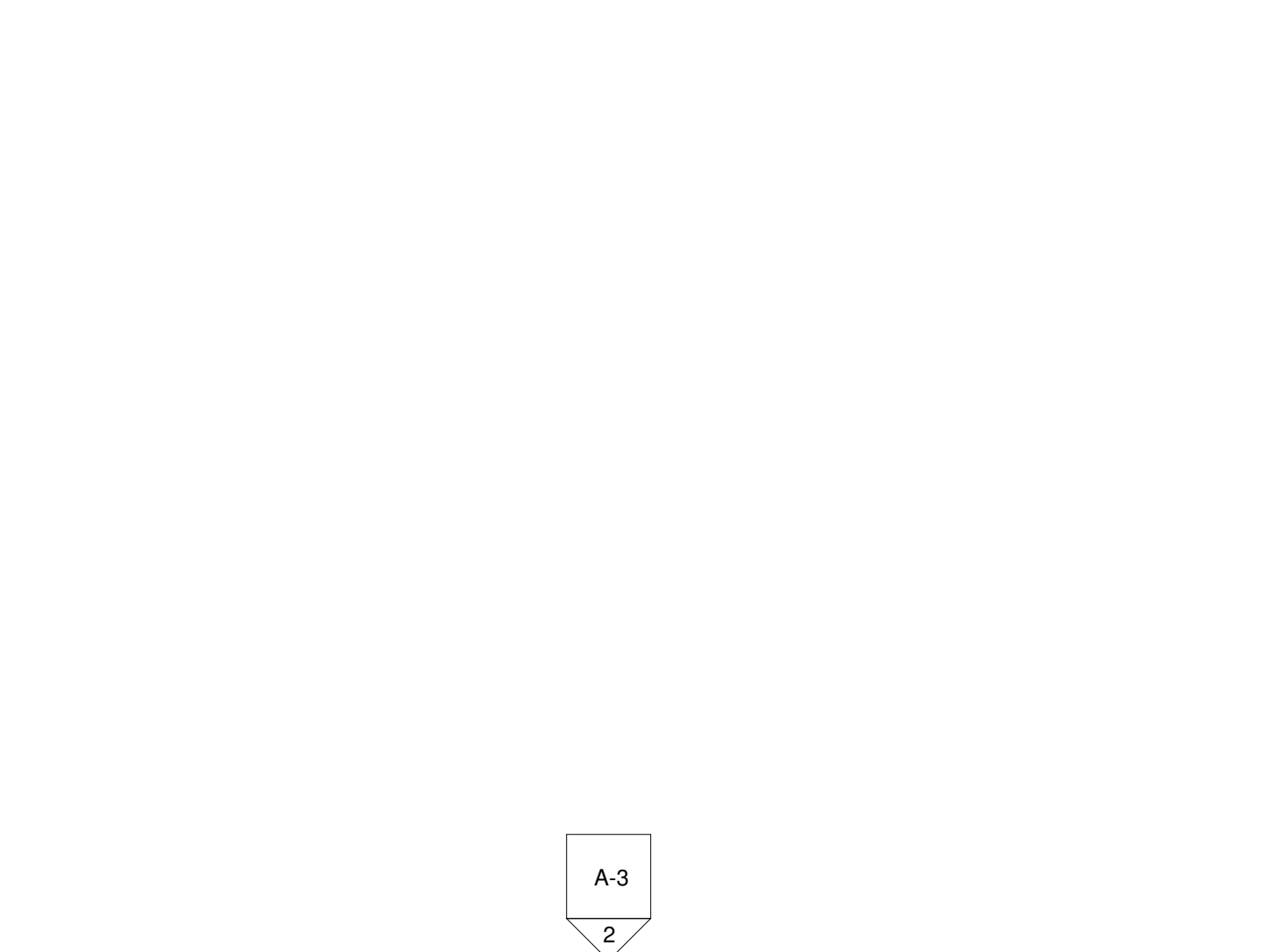
3 Attic Level Area Plan  
1" = 10'-0"

A-3  
2

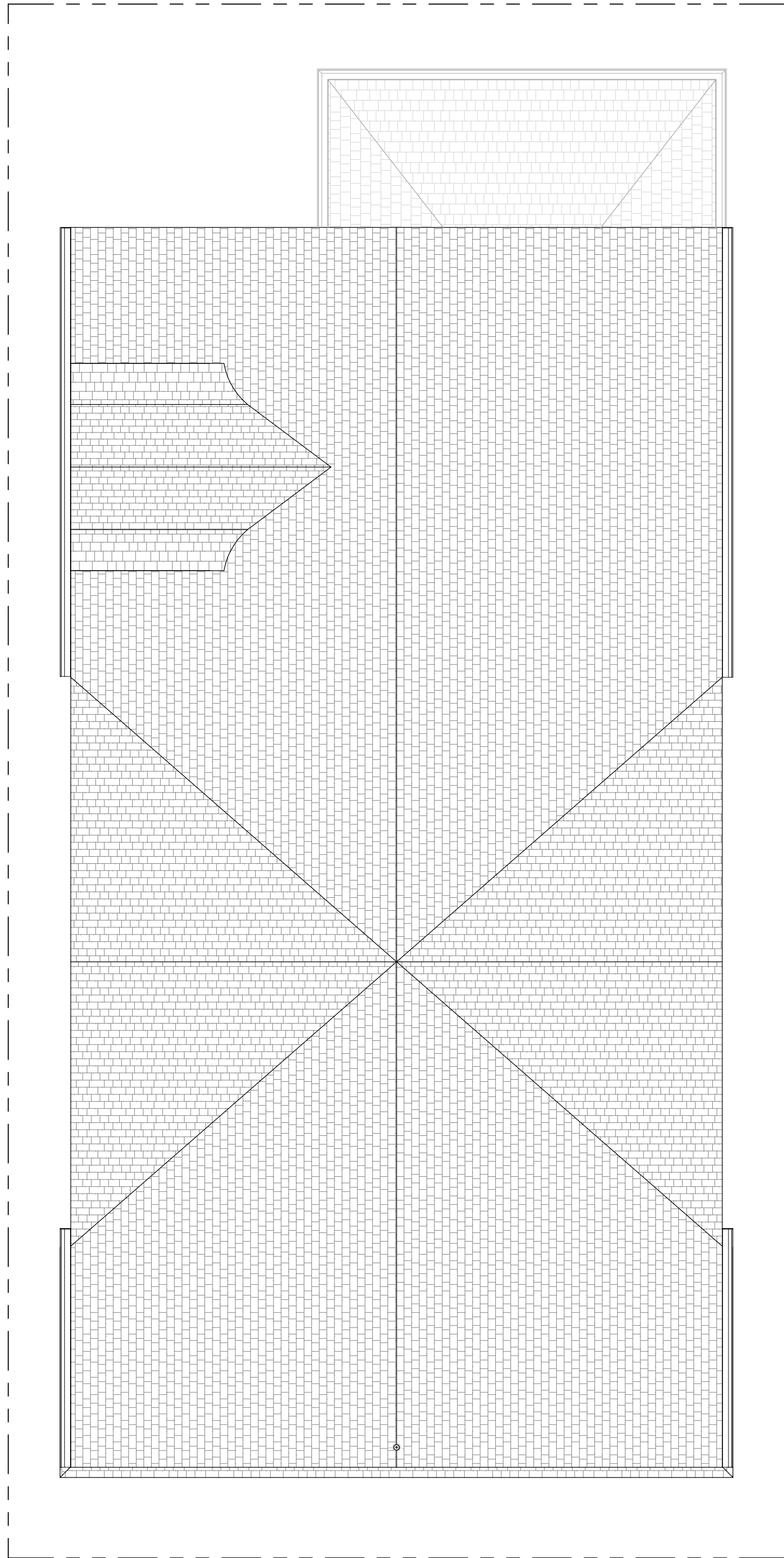


1 Attic Level Plan  
1/4" = 1'-0"

1  
A-3



A-3  
2



2 Roof Plan  
1/4" = 1'-0"

1  
A-3

## WALL LEGEND

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## GENERAL NOTES

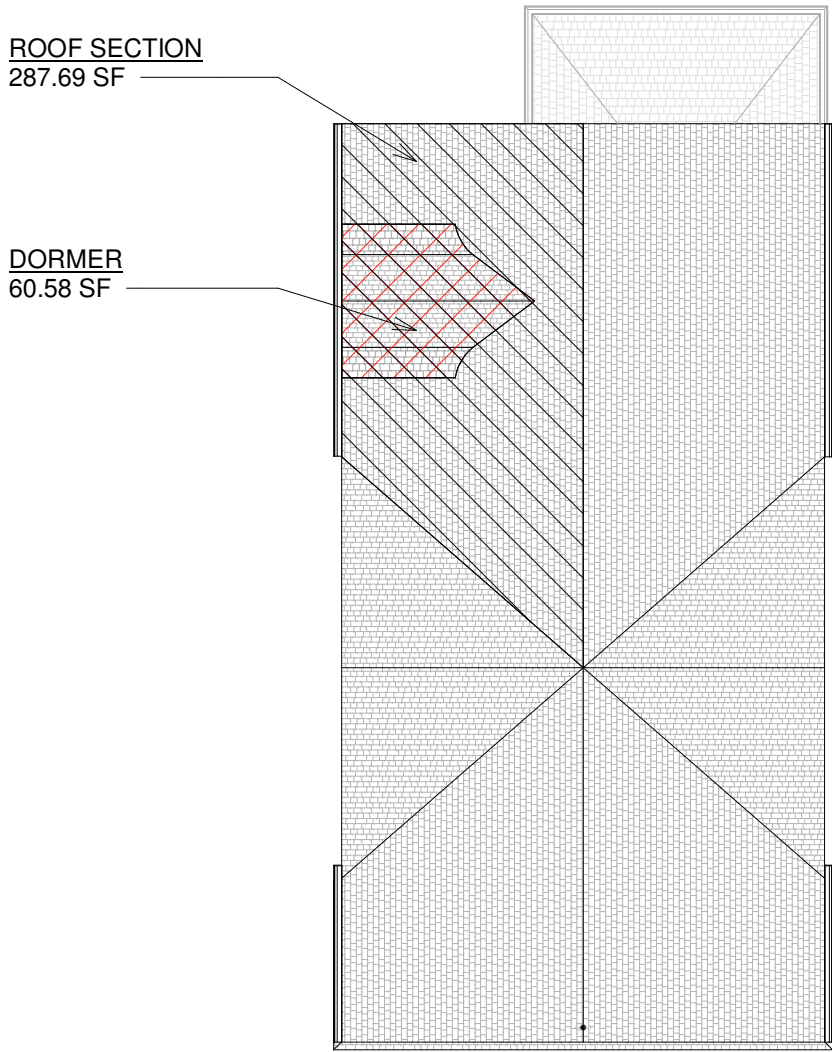
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**ORDINANCE NO. 15-28:**  
DORMER - A STRUCTURE PROJECTING FROM A SLOPING ROOF, CONTAINING A WINDOW OR A VENT

**ROOF SECTION AREA**  
287.69 SF

**ALLOWABLE DORMER AREA**  
25% OF ROOF AREA ON WHICH DORMER IS SITUATED  
SECTION = 71.92 SF

**ACTUAL DORMER AREA**  
60.58 SF = 21.06%



4 Roof Dormer Calculations  
1" = 10'-0"

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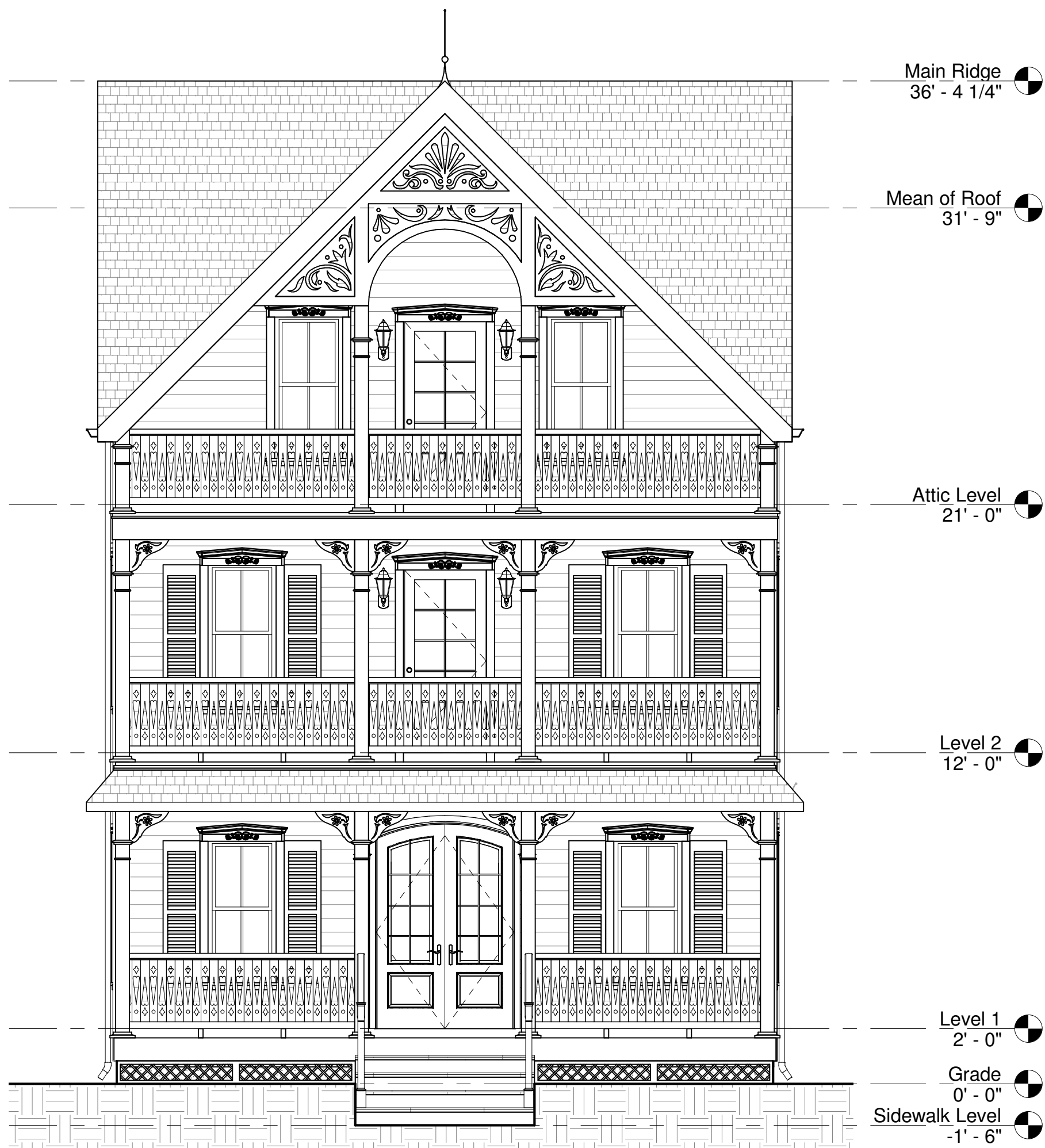
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FLOOR PLANS

DRAWING NO:

A-2

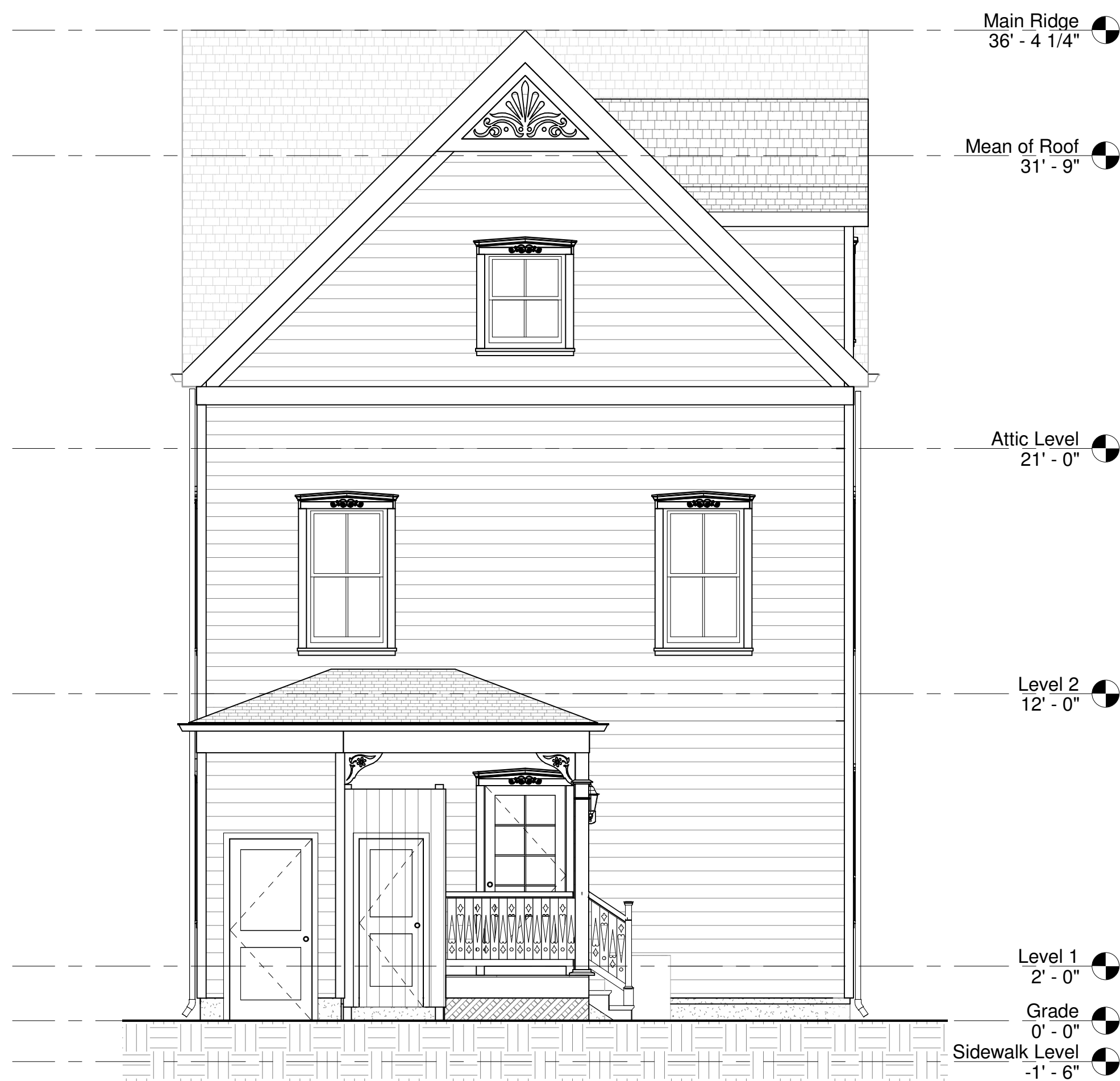




① South (Front) Elevation  
1/4" = 1'-0"



③ West (Left) Elevation  
1/4" = 1'-0"

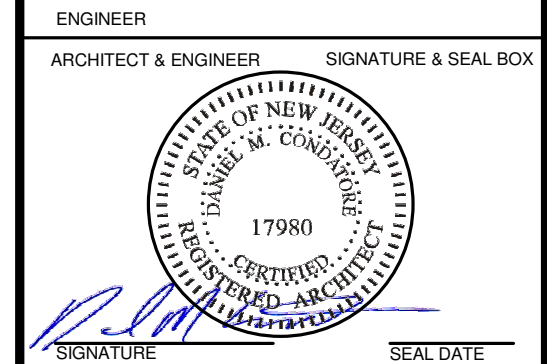


② North (Rear) Elevation  
1/4" = 1'-0"



④ East (Right) Elevation  
1/4" = 1'-0"

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ELEVATIONS

DRAWING No:

A-3