

General Notes

1. The contractor shall verify all dimensions in the field and inform the Architect of any conditions which would prevent installation of work in accordance with contract documents.
2. The contractor shall at no additional cost to the owner obtain all required permits and arrange for all of the inspections required by the local department of buildings.
3. All work to be filed under and shall conform with the applicable codes and local requirements.
4. The contractor shall schedule and coordinate the work of all trades and be responsible for both daily and overall project site cleanup at the conclusion of work.
5. Should there be any conflict between what is shown on the construction drawings or specifications, the contractor shall bring such conflict to the attention to the Architect for resolution.
6. The contract documents indicate type of design and general construction and are intended to imply the finest quality of construction materials and the workmanship throughout.
7. The contractor shall maintain on-site a current and complete set of contract documents as approved by the local building department during all phases of work for use by all trades and reference. All out of date drawings shall be removed from the job site.
8. Upon acceptance of the contract documents, the contractor assumes full responsibility for the various construction materials and workmanship of the scope of work described in those documents and will execute the work to comply with the spirit in which they were produced.
9. Owner shall supply access to the site, a clean and potable water and an 110v ac source of electricity for small hand held power tools.
10. Contractor to provide security fencing, on-site fire extinguishers and all necessary provision to prevent access during the course of construction so as to attain safety standards acceptable to all state and local jurisdictions.

Special Notes

**Indemnification Clause:**  
The owner shall release, hold harmless and indemnify the architect with respect to any changes made to the construction documents by anyone other than the architect, or changes in any aspect of the work, or failure by the contractor to build in accordance with these construction documents.

**Permits and Related Fees:**  
Contractor to procure all required construction permits as part of the scope of work. Owner to pay all permit and required survey costs.



Photo Reference

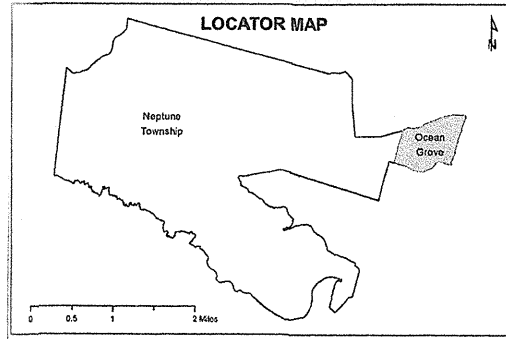
Legend

- WALLE TO BE REMOVED
- ===== EXISTING WALLS
- ===== NEW WOOD STUDS WALLS
- EXISTING WINDOW LOCATION
- NEW WINDOW LOCATION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- ===== NEW CONCRETE FOOTING AND FOUNDATION
- STRUCTURAL BEAM
- JOIST FRAMING
- ROOF OVERHANG OR SOFFIT LINE
- ELEC. WALL SWITCH
- ELEC. WALL DIMMER
- ELEC. 3 WAY SWITCH
- ELEC. WALL OUTLET
- ELEC. FLOOR OUTLET
- ELEC. HALF-HOT WALL OUTLET
- CEILING MOUNTED LIGHT
- BRACKET/WALL MOUNTED LIGHT
- RECESSED CEILING LIGHT
- RECESSED DIRECTIONAL LIGHT
- EXHAUST FAN/HEAT LAMP
- SMOKE DETECTOR
- TV/CABLE JACK
- TELEPHONE JACK
- DUAL FLOOD/MOTION LIGHT
- SECTION CUT

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Zoning Summary Table

Applicant:	Jeffrey Rudell/Albert Wilcox 112 Main Avenue Ocean Grove, New Jersey 07756		
Site Address:	118 Main Avenue, Ocean Grove, NJ 07756 Block #204, Lot #5; ZONE: HD-R1		
Description:	Proposed exterior renovations, window replacement, exterior siding and roofing repairs, new AC condensers and existing enclosed covered porch areas to be restored, at the existing 1880 landmarked 2 ½ story wood frame single-family dwelling located at 118 Main Avenue, Ocean Grove, New Jersey.		
LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	60.00 ft	no change	30.0 ft
Lot Width	60.00 ft	no change	30.0 ft
Depth	120.50 ft	no change	60.0 ft
Area	7,230.0 sf	no change	1,800 sf
SETBACK	EXISTING	PROPOSED	ALLOWED
Front <i>(to edge of dwelling)</i>	17.74 ft	Same	10.0 ft
Front <i>(to edge of covered porch)</i>	10.00 ft	Same	4.0 ft
East Side <i>(to edge of dwelling)</i>	18.23 ft	Same	2.0 ft
East Side <i>(to edge of covered porch)</i>	18.23 ft	Same	2.0 ft
West Side <i>(to edge of dwelling)</i>	1.63 ft*	Same	2.0 ft
West Side <i>(to edge of overhang)</i>	0.63 ft*	Same	2.0 ft
Rear <i>(to edge of dwelling)</i>	10.08 ft	Same	3.1 ft
Floor Levels	2.5 stories	2.5 stories	2.5 stories
Height	44.5 ft*	44.5 ft*	35.0 ft
LOT COVERAGE:			
	EXISTING	PROPOSED	PERMITTED
Dwelling:	1,922.0 sf	1,922.0 sf	
Covered Porch:	313.0 sf	368.0 sf	
Enclosed Porch:	55.0 sf	0.0 sf	
Building Cover: <i>(includes covered porch)</i>	2,290.0 sf(31.7%)	2,290.0 sf(31.7%)	< (85.0%)
Front Steps:	44.0 sf	44.0 sf	
Other Steps:	00.0 sf	23.5 sf	
Front Piers:	30.0 sf	0.0 sf removed	
Front Walk:	102.0 sf	102.0 sf	
Misc.Walks/Pads:	701.0 sf	750.0 sf	
Driveway:	300.0 sf	300.0 sf	
Basement Access:	20.0 sf	20.0 sf	
AC Units:	none	19.0 sf	
Total Cover	3,487.0 sf(48.2%)	3,548.5 sf(49.1%)	< (90.0%)
*PRE-EXISTING NON-CONFORMITY **VARIANCE REQUIRED			
TOTAL DWELLING & PORCH AREA:			
	EXISTING	PROPOSED	
Total Area:	2,290.0 sf	2,290.0 sf	



Zoning Map  
Ocean Grove  
Township of Neptune  
Monmouth County, New Jersey



Location Map

List of Drawings

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- A-11 Specifications
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- A-13 Typical Construction Details & Riser Diagram (NOT INCLUDED)
- A-14 REScheck Energy Compliance (NOT INCLUDED)
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- E-2 Second Floor Electrical Plan (NOT INCLUDED)
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- E-4 Basement Level Electrical Plan & Specification

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**Proposed Renovations  
& Various Repairs to  
the Existing 2 ½ Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5**

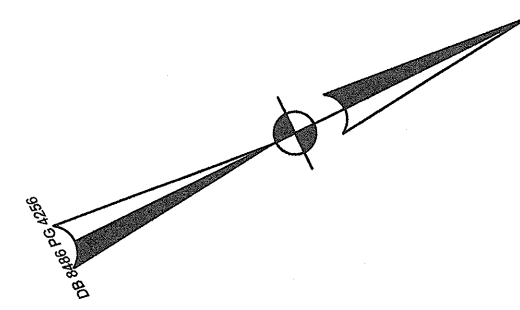
**Use Group: R5  
Construction Type: 5B**



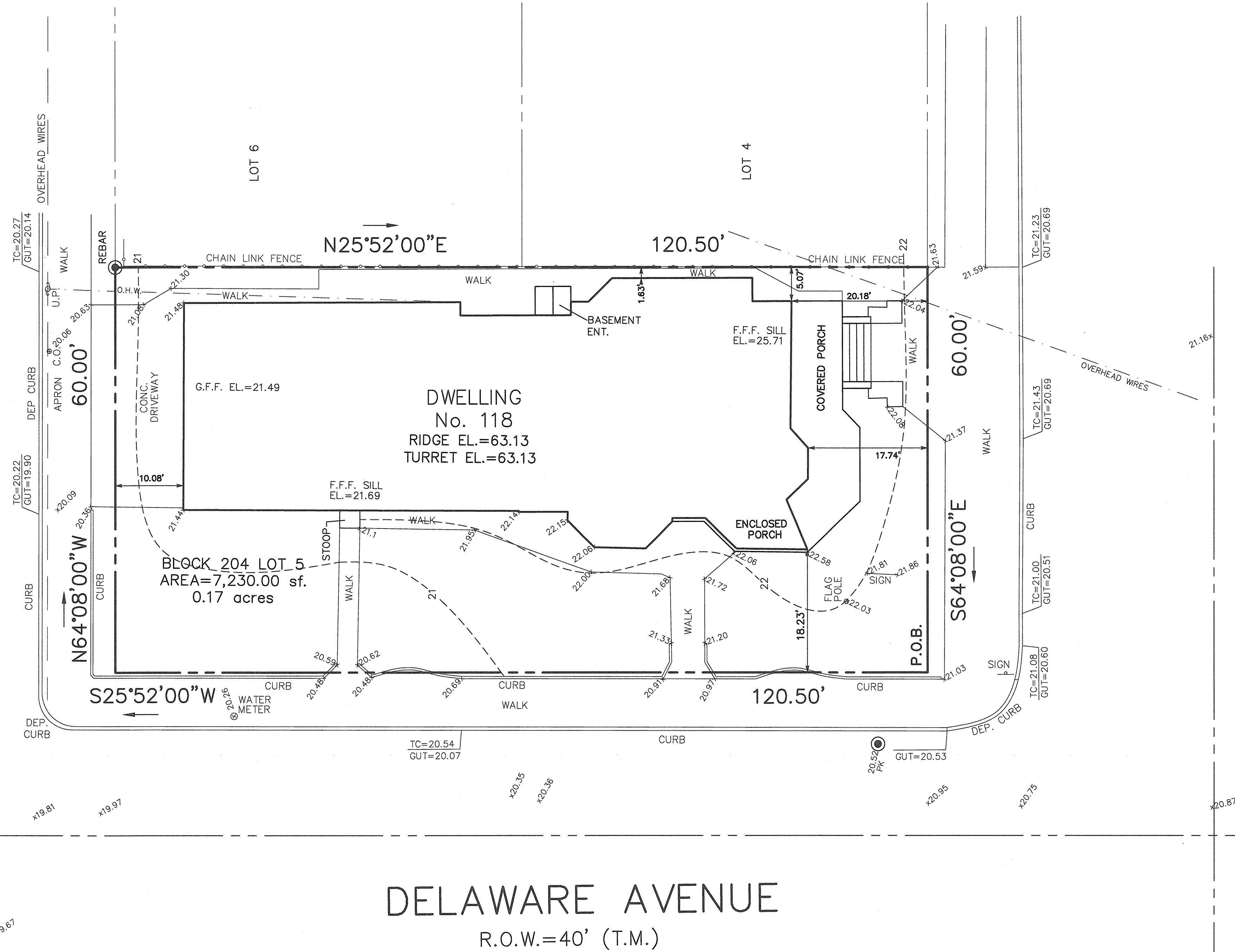
Historic Photo Reference  
Credit: 1894 Ocean Grove Camp Meeting (CMA)

PROJECT NAME	
118 Main Avenue Ocean Grove, NJ	
DRAWING TITLE	
General Notes, Zoning & Area Summary Table	
SCALE As Noted	JOB No. 2024990113
DATE 3/13/25	DRAWING No.
DRAWN BY MP	A1
CHECKED BY MP	





HECK AVENUE  
R.O.W.=60' (T.M.)



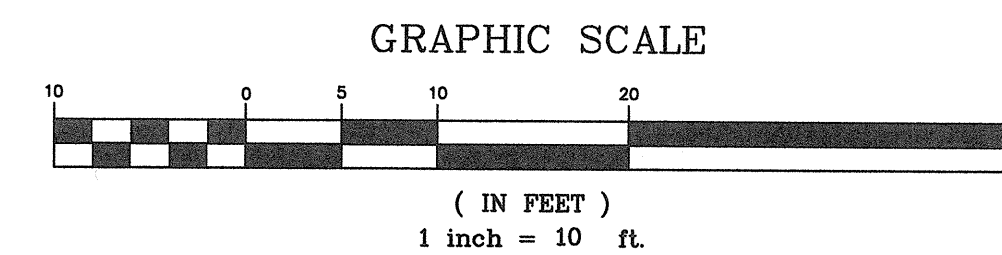
### Site Reference Plan

Scale: 1" = 10'

#### Note:

Survey as provided, dated November 26, 2024, has been prepared by Landmarks Engineering & Surveying, 813 Main Street, Avon-by-the Sea, New Jersey, a licensed New Jersey Land Surveyor.

The Applicant shall submit a Site Plan indicating all impacted Site Work with a Grading and Drainage Plan for review and approval by the Township Engineer, when so required, prior to the procurement of the locally required Construction Permit.



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Proposed Renovations  
& Various Repairs to  
the Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B

PROJECT NAME  
118 Main Avenue  
Ocean Grove, NJ

DRAWING TITLE  
Site Reference Plan

SCALE As Noted	JOB No. 2024990118
DATE 3/15/25	DRAWING No.
DRAWN BY JMP	A2
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Special Notes:

All proposed work to comply with the 2021 International Residential Code New Jersey Edition

Exterior siding, roofing and windows shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds.

Contractor to provide hurricane/wind rafter tie downs and structural hold downs in accordance with details and all fasteners in accordance with R802.11 and specified on Typical Section Detail.

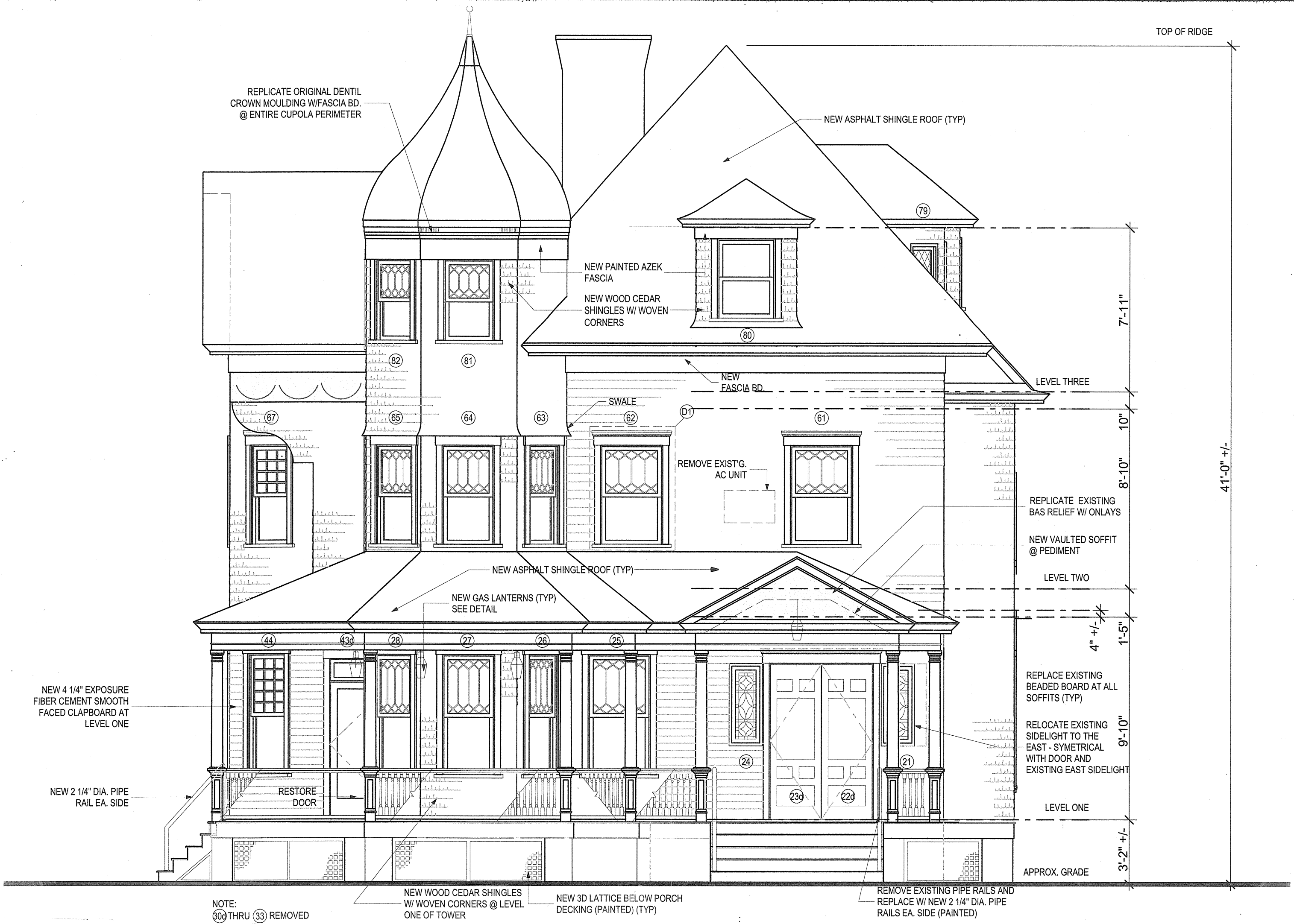
Contractor to utilize wall bracing panel construction method R602.10.3 which states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with Table R602.3 as provided in the Construction Documents or otherwise required by the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition.

All sheathing to utilize the 6 and 12 method in which all perimeter sheathing is to be nailed with 8d nails at 6 inch on center in staggered fashion at sheathing edges and joining seams and at 12 inch on center along exterior stud spacing.

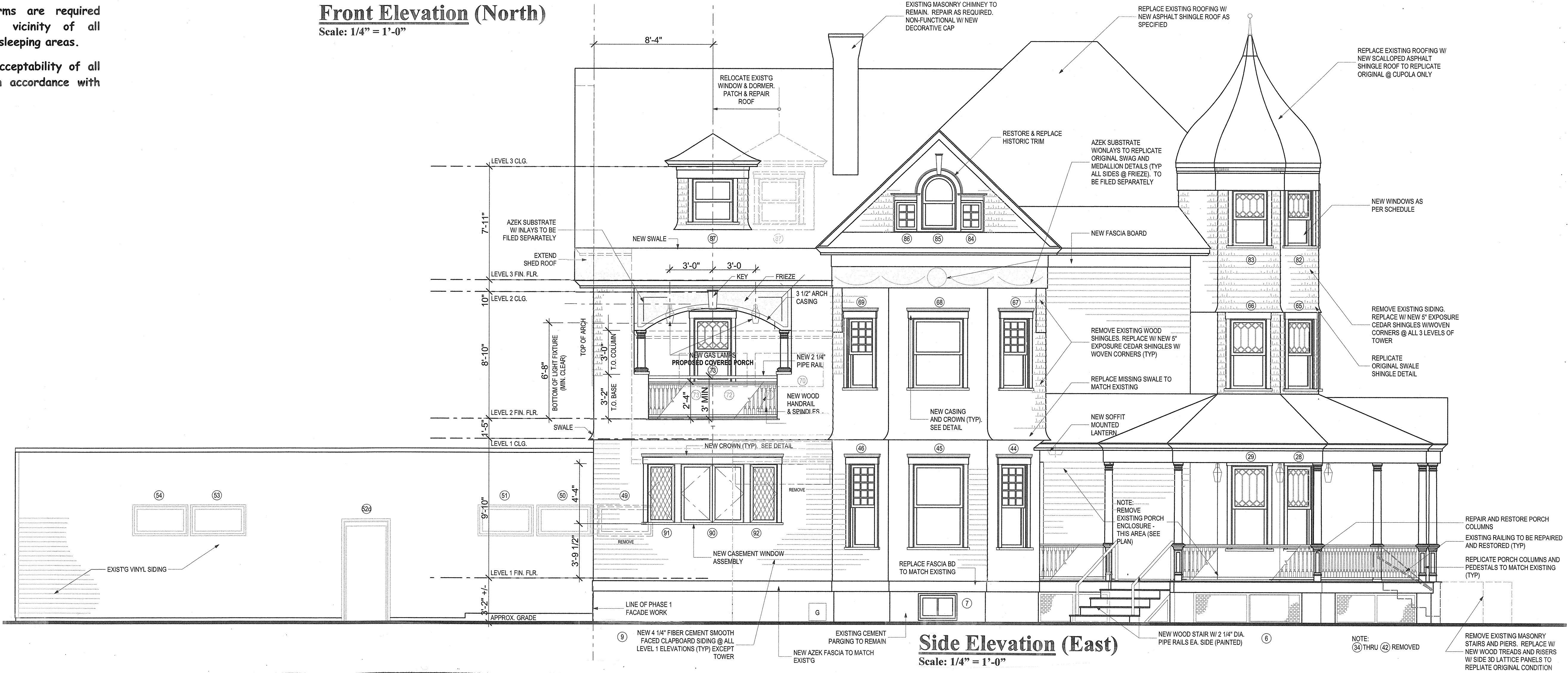
Controlled Roof Drainage to be maintained via a gutter and leader system which must collect and discharge roof water to the ground surface to a minimum distance of 5 feet from the foundation wall onto permeable soil so as to recharge the site.

Carbon Monoxide Alarms are required within the immediate vicinity of all bedrooms or identified sleeping areas.

Contractor to verify acceptability of all egress window sizes in accordance with Code.



Front Elevation (North)  
Scale: 1/4" = 1'-0"



Side Elevation (East)  
Scale: 1/4" = 1'-0"

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Exterior Lighting Compliance Note:

All new exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent properties.

Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.

Window Sill Height Note:

Contractor to verify all new second and attic floor window sill heights to be at or above 24 inches of finish floor in accordance with Code.

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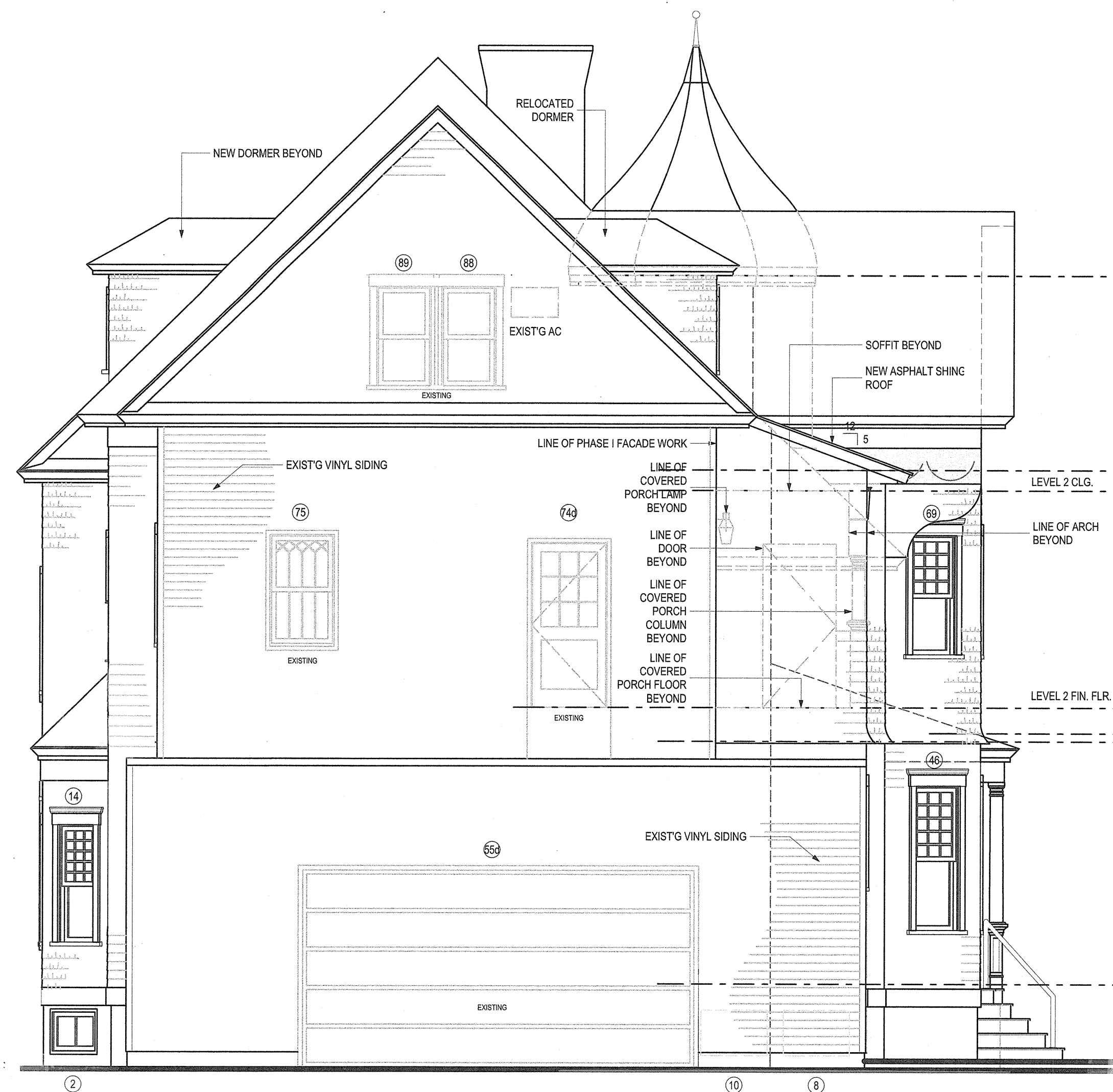
Proposed Renovations  
& Various Repairs to  
the Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B

PROJECT NAME  
118 Main Avenue  
Ocean Grove, NJ

DRAWING TITLE  
Front & East  
Elevations

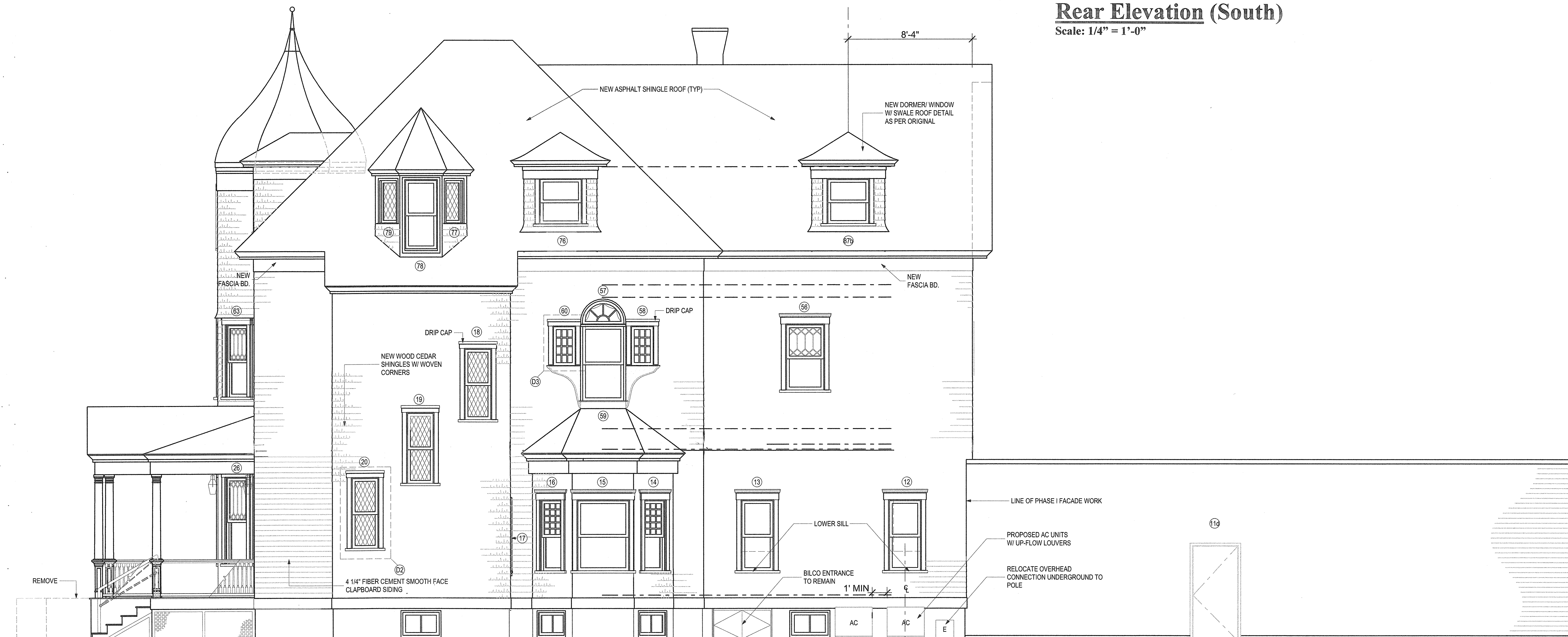
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DATE 3/15/25	DRAWING No.
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**Rear Elevation (South)**

Scale: 1/4" = 1'-0"




**Side Elevation (West)**

Scale: 1/4" = 1'-0"

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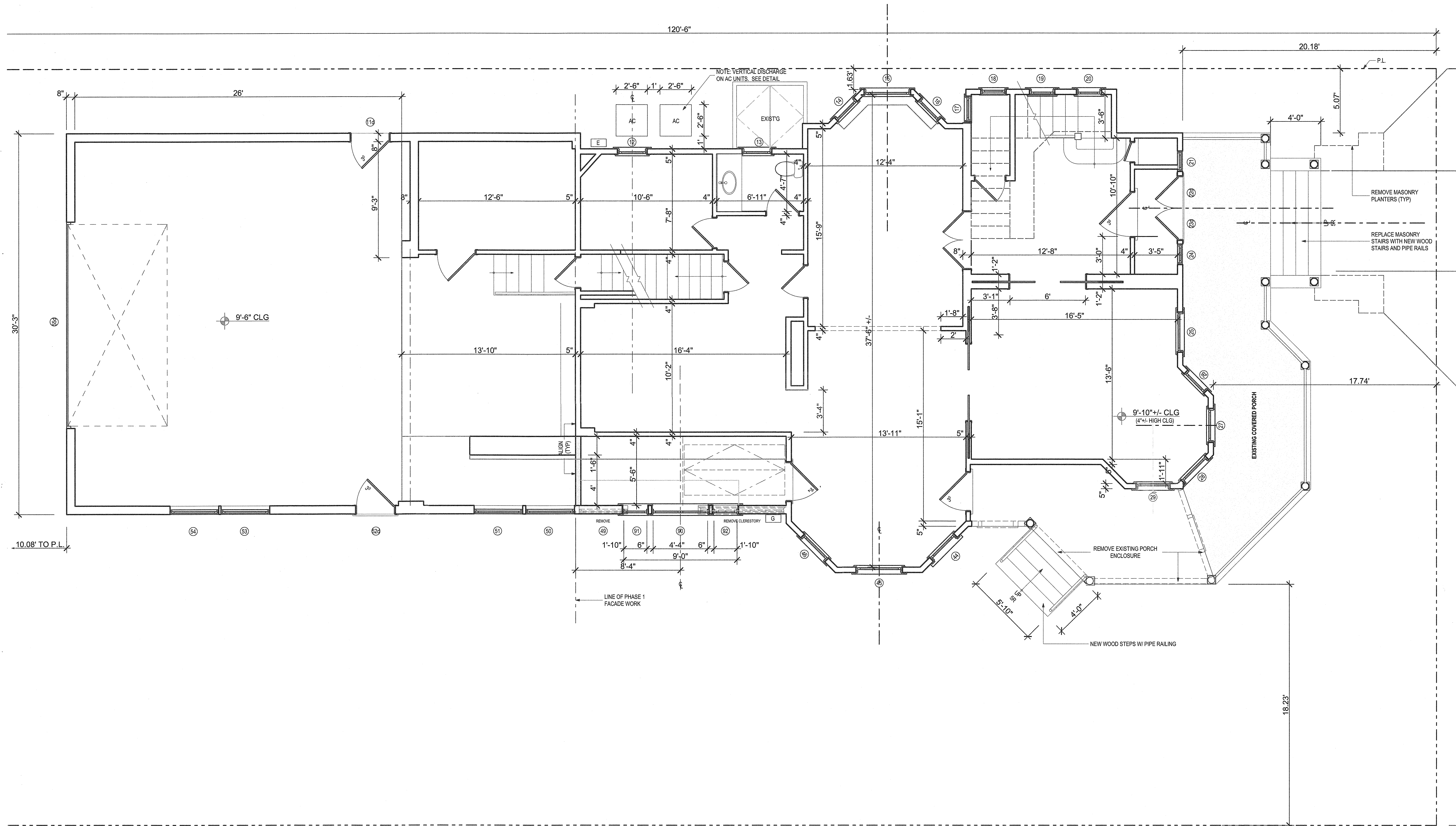
  
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**Proposed Renovations  
& Various Repairs to  
the Existing 2 ½ Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B**

**PROJECT NAME**  
**118 Main Avenue  
Ocean Grove, NJ**

**DRAWING TITLE**  
**Rear & West  
Elevations**

SCALE As Noted	JOB No. 2024990118
DATE 9/15/25	DRAWING No.
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# First Floor Plan

Scale: 1/4" = 1'-0"

## Design loads in accordance with 2021 IRC/NJ Edition:

Snow and Roof Load: 20 pounds per sq. ft.  
Attic Live Load: 20 pounds per sq. ft.  
First Floor Live Load: 40 pounds per sq. ft.  
Second Floor Live Load: 30 pounds per sq. ft.  
Design Wind Load: 120 miles per hour

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the Existing 2 1/2 Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B

PROJECT NAME  
118 Main Avenue  
Ocean Grove, NJ

DRAWING TITLE  
First Floor Plan

SCALE As Noted	JOB No. 2024990118
DATE 3/15/25	DRAWING No.
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No.	Description	Date

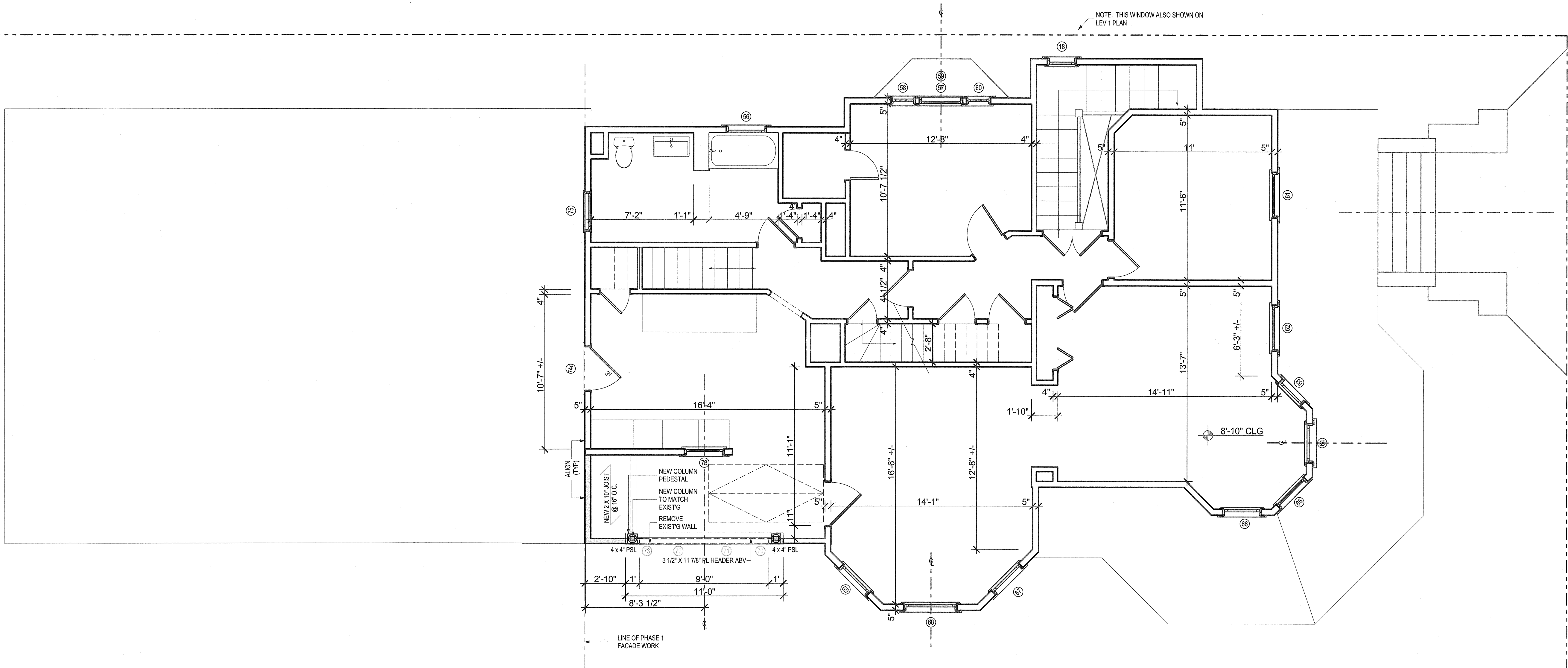
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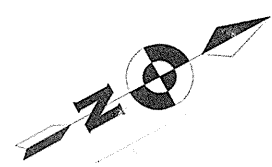
Proposed Renovations  
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the Existing 2 ½ Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B

PROJECT NAME	
118 Main Avenue Ocean Grove, NJ	
DRAWING TITLE	
Second Floor Plan	
SCALE	JOB No.
As Noted	2024990113
DATE	DRAWING No.
8/15/25	
DRAWN BY	A6
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**Second Floor Plan**  
Scale: 1/4" = 1'-0"

**Window Sill Height Note:**  
Contractor to verify all new second and attic floor window sill heights to be at or above 24 inches of finish floor in accordance with Code.



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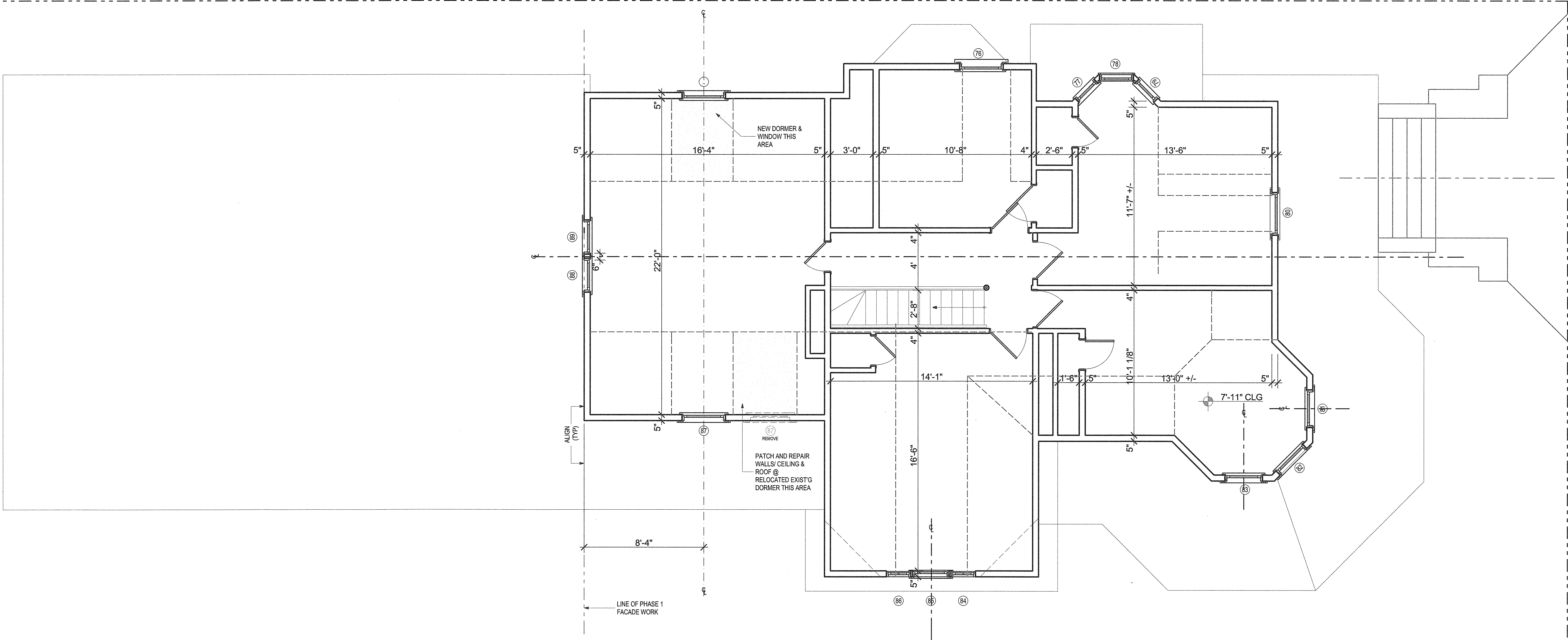
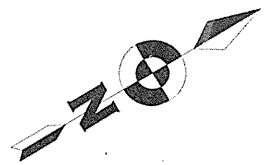
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Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B

PROJECT NAME  
118 Main Avenue  
Ocean Grove, NJ

DRAWING TITLE  
Half-story Plan

SCALE As Noted	JOB No. 2024990118
DATE 3/15/25	DRAWING No.
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Half-story Plan  
Scale: 1/4" = 1'-0"







PROJECT NAME	
118 Main Avenue Ocean Grove, NJ	
DRAWING TITLE	
Basement Level Floor Plan	
SCALE	JOB' No.
As Noted	2024990118
DATE	DRAWING No.
3/15/25	
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MP	



Window & Exterior Door Schedule

Window #	Significance	Window Type	Req'd Action	Manuf #	Glazing	Muntin Pattern	Casing
1	Basement Non-original	Awning	Remove	N/A	N/A	N/A	N/A
2-7	Basement	Awning (v.i.f)	Replace w/New	A-Series AAN2410	insulated	2 lite (see elevation)	None
8	Basement	Awning	Blocked/Abandoned	N/A	N/A	N/A	N/A
9-10	Basement	Awning (v.i.f)	Replace w/New	A-Series AAN28110	insulated	2 lite (see elevation)	Replicate w/ 5/4" Azek
11	Other (door)	Rear Alley Door	Replace w/New	Therma-tru	N/A	N/A	Replicate w/ 5/4" Azek
12	Secondary	Double-Hung	Replace w/New Re-sized DH	A-Series ADH2648	insulated	1 over 1 lite; lower sill to match	Replicate w/ 5/4" Azek
13	Secondary	Double-Hung	Replace w/New Re-sized DH	A-Series ADH2648	insulated	1 over 1 lite; lower sill to match	Replicate w/ 5/4" Azek
14	Secondary	Double-Hung	Replace w/New	A-Series ADH2060	insulated	Top Sash Georgian over 1 lite	Replicate w/ 5/4" Azek
15	Vinyl	Double-Hung	Replace w/New	A-Series ADH3460	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
16	Secondary	Double-Hung	Replace w/New	A-Series ADH2060	insulated	Top Sash Georgian over 1 lite	Replicate w/ 5/4" Azek
17	Original Wood	Fixed Non-restorable	Replicate w/New Wood	N/A	insulated	Diamond Muntins to match Original	Replicate w/ 5/4" Azek
18	Non-Original Stained Glass	Double-Hung	Replace with new Diamond Muntins w/New Wood	N/A	existing	Diamond Muntins to match Window #17	Replicate w/ 5/4" Azek
19	Non-Original Stained Glass	Double-Hung	Replace with new Diamond Muntins w/New Wood	N/A	existing	Diamond Muntins to match Window #17	Replicate w/ 5/4" Azek
20	Non-Original Stained Glass	Double-Hung	Replace with new Diamond Muntins w/New Wood	N/A	existing	Diamond Muntins to match Window #17	Replicate w/ 5/4" Azek
21	Original	Fixed	Retain & Restore Wood Frame	existing	existing	Ornamental	Replicate w/ 5/4" Azek
22	Original(door) Front Door		Retain & Restore	existing	existing	Existing upper lite	Replicate w/ 5/4" Azek
23	Original(door) Front Door		Retain & Restore	existing	existing	Existing upper lite	Replicate w/ 5/4" Azek
24	Original	Fixed	Retain & Restore Wood Frerame	existing	existing	Ornamental	Replicate w/ 5/4" Azek
25	Secondary	Double-Hung	Replace w/New	A-Series ADH3060	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
26	Secondary	Double-Hung (v.i.f)	Replace w/New	A-Series ADH2060	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
27	Secondary	Double-Hung	Replace w/New	A-Series ADH2660	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
28	Secondary	Double-Hung	Replace w/New	A-Series ADH2660	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
29	Secondary	Double-Hung	Replace w/New	A-Series ADH2660	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
30d	Other		Remove				
31d	Other		Remove				
32d	Other		Remove				
33	Other/Clerestory Window Panel		Remove				
34	Other/Clerestory Window Panel		Remove				
35	Other		Remove				
36	Other		Remove				
37	Other		Remove				
38	Other Clerestory Window Panel		Remove				
39	Other		Remove				
40	Other		Remove				
41d	Other (door) Part of Enclosed Porch		Remove				
42	Other Clerestory Window Panel		Remove				
43d	Original(door) Door		Retain & Restore	existing	existing	existing	Replicate w/ 5/4" Azek
44	Other	Double-Hung	Replace w/New	A-Series ADH2660	insulated	Top Sash Georgian over 1 lite	Replicate w/ 5/4" Azek
45	Other	Double-Hung	Replace w/New	A-Series ADH3460	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
46	Other	Double-Hung	Replace w/New	A-Series ADH2660	insulated	Top Sash Georgian over 1 lite	Replicate w/ 5/4" Azek

Window #	Significance	Window Type	Req'd Action	Manuf #	Glazing	Muntin Pattern	Casing
47	Original(door) Door		Retain & Restore as an interior Door	existing	existing	existing	Replicate w/ 5/4" Azek
48	Other Clerestory Window Panel		Remove				
49	Non-Original	Awning (to be addressed under separate application)	existing	existing	existing	existing	existing
50	Non-Original	Awning (to be addressed under separate application)	existing	existing	existing	existing	existing
51	Non-Original	Awning (to be addressed under separate applications)	existing	existing	existing	existing	existing
52d	Non-Original	Door (to be addressed under separate application)	existing	existing	existing	existing	existing
53	Non-Original	Awning (to be addressed under separate application)	existing	existing	existing	existing	existing
54	Non-Original	Awning (to be addressed under separate application)	existing	existing	existing	existing	existing
55	Other (door)	Garage Door (to be addressed under separate application)	Replace w/New	N/A	N/A	N/A	N/A
56	Original	Double-Hung	Replace w/New	A-Series ADH2848	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
57	Original	Palladian	Replicate w/New Wood	N/A	reuse existing w/added Insulated glass	Fan lite	Replicate w/ 5/4" Azek
58	Original	Fixed	Replicate w/New Wood	N/A	reuse existing w/added insulated glass	Georgian lites to match existing	Replicate w/ 5/4" Azek
59	Original	Double-Hung	Replicate w/New Wood	N/A	reuse existing w/added insulated glass	1 over 1 lite	Replicate w/ 5/4" Azek
60	Original	Fixed	Replicate w/New Wood	N/A	reuse existing w/added insulated glass	Georgian lites to match existing	Replicate w/ 5/4" Azek
61	Vinyl	Double-Hung	Replace w/New	A-Series ADH3050	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
62	Secondary	Double-Hung	Replace w/New	A-Series ADH3050	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
63	Secondary	Double-Hung	Replace w/New	A-Series ADH2050	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
64	Secondary	Double-Hung	Replace w/New	A-Series ADH2650	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
65	Secondary	Double-Hung	Replace w/New	A-Series ADH2650	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
66	Secondary	Double-Hung	Replace w/New	A-Series ADH2650	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
67	Secondary	Double-Hung	Replace w/New	A-Series ADH2650	insulated	Top Sash Georgian over 1 lite	Replicate w/ 5/4" Azek
68	Secondary	Double-Hung	Replace w/New	A-Series ADH3450	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
69	Secondary	Double-Hung	Replace w/New	A-Series ADH2650	insulated	Top Sash Georgian over 1 lite	Replicate w/ 5/4" Azek
70	Vinyl	Awning (this area to be reconstituted as an open porch)	Remove	N/A	N/A	N/A	N/A
71	Vinyl	Awning (this area to be reconstituted as an open porch)	Remove	N/A	N/A	N/A	N/A
72	Vinyl	Awning (this area to be reconstituted as an open porch)	Remove	N/A	N/A	N/A	N/A
73	Vinyl	Awning	Remove & Replace	A-Series ADH3050	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
74	Non-Original	Door (to be addressed under separate application)	existing	existing	existing	existing	existing
75	Original	Double-Hung (to be addressed under separate application)	Replace w/New	A-Series ADH2848	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
76	Vinyl	Double-Hung	Replace w/New	A-Series ADH21034	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
77	Original	Fixed Non-restorable	Replicate w/New	APW1830	insulated tempered	Diamond lites to Match Window #17	Replicate w/ 5/4" Azek
78	Original	Double-Hung Non-restorable	Replace w/New	A-Series ADH2440	insulated tempered	1 over 1 lite	Replicate w/ 5/4" Azek
79	Original	Fixed Non-restorable	Replicate w/New	APW1830	insulated tempered	Diamond lites to Match Window #17	Replicate w/ 5/4" Azek

Window #	Significance	Window Type	Req'd Action	Manuf #	Glazing	Muntin Pattern	Casing
80	Secondary	Double-Hung	Replace w/New	A-Series ADH2840	insulated	1 over 1 lite w/ 5/4" Azek	Replicate w/ 5/4" Azek
81	Secondary	Double-Hung	Replace w/New	A-Series ADH2640	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
82	Secondary	Double-Hung	Replace w/New	A-Series ADH2640	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
83	Secondary	Double-Hung	Replace w/New	A-Series ADH2640	insulated	Custom Queen Anne Diamonds w/Bar Upper Sash over 1	Replicate w/ 5/4" Azek
84	Original	Fixed Non-restorable	Replicate w/New Wood	N/A	reuse existing w/added insulated	Georgian lites to match existing	Replicate w/ 5/4" Azek
85	Original	Palladian DH Non-restorable	Replicate w/New Wood	N/A	insulated	Arch over 1 lite	Replicate w/ 5/4" Azek
86	Original	Fixed Non-restorable	Replicate w/New Wood	N/A	reuse existing w/added insulated	Georgian lites to match existing	Replicate w/ 5/4" Azek
87 & 87b	Vinyl	Double-Hung	Replace w/New	A-Series ADH21034	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
88	Vinyl	Double-Hung (to be addressed under separate application)	Replace w/New	A-Series ADH2444	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
89	Vinyl	Double-Hung (to be addressed under separate application)	Replace w/New	A-Series ADH2444	insulated	1 over 1 lite	Replicate w/ 5/4" Azek
90	New	Casement Pair	Mulled Casement	A-Series ACW2040L & ACW2040R	insulated	none (see elevation)	New Casing w/ 5/4" Azek
91	New	Casement	New	A-Series ACW2040L	insulated	Diamond	New Casing w/ 5/4" Azek
92	New	Casement	New	A-Series ACW2040R	insulated	Diamond	New Casing w/ 5/4" Azek

Special Notes:

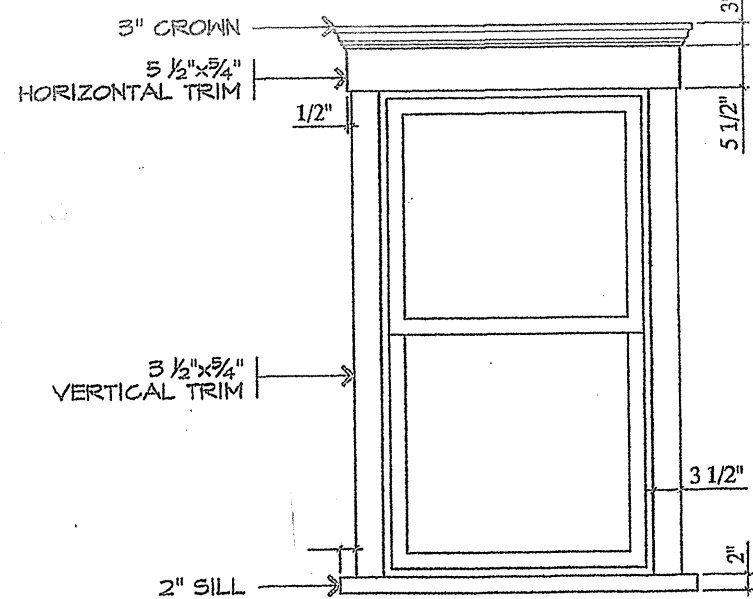
Window sizes as per Schedule to be verified in field by Contractor. Window Designations are referencing Andersen Windows and Doors – A-Series unless otherwise noted or approved by the Architect. Equivalent sizes by alternate manufacturers must be approved by Architect. All window frame and sash color to be “Black”. Provide matching “Black” transparent screens at all new and replacement double-hung windows. All listed double hung windows to have standard Andersen tilt-wash operation feature.

Any upgrades and/or deviations from the above are to be submitted to Owner and Architect for review approval. Manufacturer’s shop drawing and order list is to be submitted to Architect for review prior to placement of final order. Contractor is responsible to verify all window designations, egress compliance and sizes in field and notify Architect of any conflicts.

Windows to be solid core wood with full divided lites with “Black” spacer bars and be manufactured with High-Performance Insulated Low-E4 Glazing, rated for maximum fade resistance, and have a factory painted interior finish as manufactured by Andersen Windows and Doors A-Series. Provide window sash configuration as per elevations and provided Window Schedule as approved by HPC and Architect.

Interior window hardware to be factory white finish unless otherwise requested and approved by Owner. Exterior door hardware and locksets to be Oil Rubbed Bronze, or as otherwise selected and approved by Owner and with brushed satin nickel finish on the interior. Original exterior door hardware to be re-set and/or re-purposed. As per Owner. All exterior hardware finishes are to be acceptable for exposure to salt air with warrantee against pitting.

All glass to be tempered where bottom edge of glass is less than 5 feet from the floor at tub and shower areas, within a 24” are of all hinged doors; or within 36” of any walking path and not separated by a railing with at least an 18” space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge to edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. Egress Windows (Doors) shall be provided with an operable opening having a sill height of not more than 44 inches, have a width of at least 20 inches and height of at least 24 inches, and have a minimum total area of 5.7 square feet measured from head to sill and side to side.

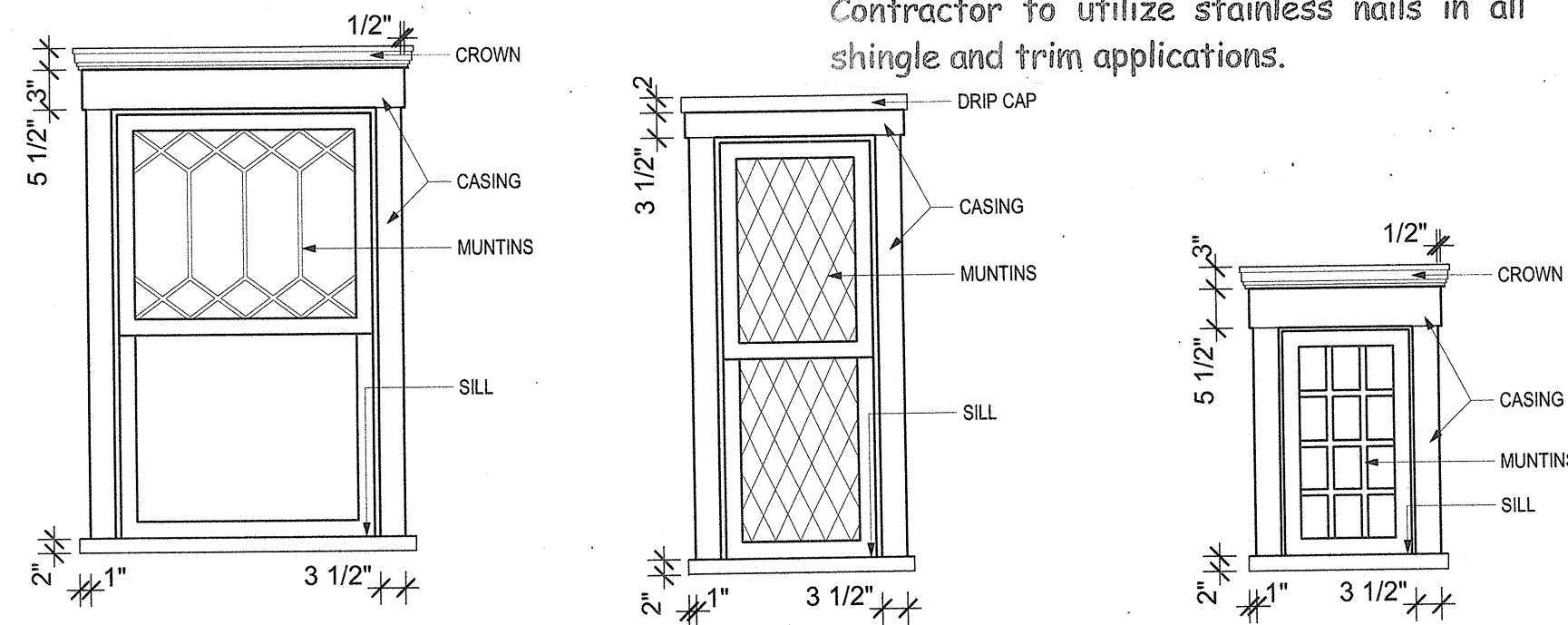


Typical Window Trim Detail

Scale: 1/2" = 1'-0"

Exterior Siding Nails:

Contractor to utilize stainless nails in all shingle and trim applications.



REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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Proposed Renovations  
& Various Repairs to  
the Existing 2 ½ Story  
Wood Frame  
Single-Family Dwelling  
Block #204, Lot #5  
Use Group: R5  
Construction Type: 5B

PROJECT NAME 118 Main Avenue Ocean Grove, NJ	
DRAWING TITLE Window Schedule	
SCALE As Noted	JOB No. 2024990118
DATE 3/15/25	DRAWING No.
DRAWN BY CPA/BJM	A9
CHECKED BY WP	



# Specifications:

## Division 1 - Special Conditions

### Overview:

Owner to Purchase and Supply the following:

- Surface Mounted Lighting Fixtures;
- Kitchen and Laundry Appliances;
- Kitchen Cabinetry and Countertops;
- Bathroom Fixtures, Fittings and Vanities;
- All new Stone or Tile Flooring or other surfaces;
- All Interior and Exterior Door Hardware;

General Contractor (Contractor) is to coordinate installation of all equipment, appliances and cabinetry.

Immediately upon and after delivery to the project site, the Contractor will be responsible for the storage, installation and protection of all materials and items related to the scope of work until Certificate of Occupancy is issued or accepted by Owner as substantially complete.

## Division 1 - General Conditions

All work to comply with the 2021 International Building Code/New Jersey Edition.

Upon acceptance of the Contract Documents and Agreement with the Owner, Contractor assumes full responsibility for the construction, materials, methods and workmanship necessary to complete the scope of the project as described in those documents and will execute the work in the conceptual spirit and design intent in which the documents have been produced.

Construction permits are to be procured by the Contractor. Fees for professional services, permits and other required approvals to be paid by Owner.

All Vendors and Sub-Contractors are responsible for becoming familiar with all existing site conditions and circumstances prior to the signing of the Agreement.

The Contractor is to comply with all General Notes and Requirements listed in the construction documents. Specifications have been provided to assist in the implementation of the project.

### Siding Probes, Demolition and Removals:

Deteriorated exterior siding, gutters, roofing, and other material within the areas of renovation, and not cited for restoration or reuse, are to be removed to the extent approved by Owner and HPC.

Contractor is also responsible for the identification and removal of any of the above noted environmentally sensitive materials in a manner that is safe and in compliance with all health and safety requirements, in the event such materials are found during the course of demolition, or construction, at no additional cost to the Owner.

## Division 2 - Site Work

### Site Work:

Contractor to clean-up and restore all conditions immediately adjacent to work areas in an orderly and workmanlike manner as may be required at the completion of the project.

Contractor to protect and coordinate all proposed work with the sidewalk pavement interface and be responsible for the installation and/or replacement of any sidewalk or public right-of-way materials, or amenities with the Township of Neptune.

Controlled Roof Drainage to be maintained or provided via a 6" half round aluminum gutter system with exposed hangers at 24" on center and a round leader pipe system which sized to collect and discharge roof water to the storm drainage system as indicated on the site drainage and grading plan prepared by the Site Engineer.

## Division 3 - Concrete

### Footings & Foundations:

All interior positioned Basement Level placed concrete footings, as engineered by the Architect. All footings to sound bearing of a minimum of 3'-0" below grade and be of an ultimate strength of not less than 3,500 psi in 28 days or as otherwise indicated on the Structural details. Minimum footing width to be 24".

### Concrete Slabs:

Fill compaction for poured concrete slabs to be 90% maximum density with modified proctor test ASTM D-698 or 95% maximum density with standard proctor test ASTM D-698. Any disturbed soil to be re-compacted in lifts of not greater than 12 inches in depth. Provide new 10 mil polyethylene dampness barrier at any new placed interior Basement Level concrete slab conditions.

### Concrete Curb Cuts and Aprons:

Maintain existing curb cut, apron and paved driveway at rear of dwelling.

## Division 4 - Masonry

### Masonry:

Any new concrete block foundations as may be required, to be 8" concrete block and filled solid at all bearing point loads and in accordance with structural engineering details and specifications or otherwise indicated on the plans.

Provide wire mesh at alternating courses of concrete block and all vertical steel reinforcement bars as indicated in details.

## Division 5 - Metals

### Fasteners:

All joist metal hangers, straps and fasteners to be as manufactured by "Simpson" or equal, as approved by Architect.

All metal hangers, straps or fasteners in contact with pressure treated ACQ lumber shall be zinc coated and compliant with ASTM A-153 and compatible with ACQ.

## Division 6 - Woods & Plastics

### Lumber:

All required framing lumber to be Douglas Fir, Standard Grade and better with a minimum fiber stress of 1250 psi. Any framing in contact with concrete to be pressure treated ACQ lumber.

Contractor to utilize wall bracing panel construction method R602.10.3 which specifically states that "Wood structural panel sheathing with a thickness not less than 5/16" shall be used for 16" stud spacing" and all structural panels shall be installed in accordance with the Wood Framing Construction Manual ANSI/AF&PA WFCM-2001 Edition and comply with a minimum of 120 mph three (3) second wind gust for structural design in this area.

Use of any alternate long span manufactured lumber in deviation from that specified on the drawings, for interior framing alterations and repairs, is subject to compliance with manufacturer's recommended load and span tables and must be approved by the Architect prior to such substitution or change.

All window and door headers to be (2) 2"x10" unless otherwise noted. Double joists under all parallel partitions. Any new floor and ceiling joists to have cross bridging at 8'-0" o.c.

Repair all existing covered porch outer rim joists to with new similar sized lumber and clad with Azek fascia trim boards in accordance with the drawings.

### Sheathing:

When required, exterior wall sheathing to be 5/8" CDX plywood fastened to Code at 6" o.c. Sheathing within 3'-0" of property line to be 1-hour fire rated exterior grade gypsum board. Such wall assemblies shall be 1-hour fire rated for exposure on both sides. Alternative Sheathing may be OSB Windstorm oriented vertically so as to minimize horizontal blocking requirements, when approved by Architect.

### Exterior Architectural Trim:

All ornamental architectural scrollwork, fascia and trim, as shown on the Elevations, to be retained and restored or replaced with new fabricated wood or Azek material in size and configurations as noted on elevations and recorded in the field utilizing templates, photo documentation and detailed shop drawings where appropriate. Where long spans of Azek over 10 feet in length are proposed, Contractor to provide score or expansion joints to address expansion and contraction concerns. All profiles subject to review and approval by Architect.

### Sub-floor:

Where Sub-floor is to be patched or replaced, new sub floor to be 3/4" T&G applied and fastened with glue and screwed to Code, or to be of dimension equivalent to adjacent conditions when patching is necessary.

## Division 7 - Thermal and Moisture

### Protection

#### Exterior Facings:

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings and installed as per manufacturer's recommendations so as to withstand 120 mph winds in this zone. Contractor to provide Samples and color choices subject to approval by the HPC, Owner and Architect. All off-site and on-site painting to comply with the colors as selected by Owners and as approved by HPC.

#### Siding:

All existing wood clapboard siding to be replaced with new factory primed 4 1/4" exposure smooth faced cement type clapboard siding as manufactured by James Hardie Siding with all 90 degree corners to be "woven" and without any corner board treatment. Areas of angled clapboard siding to be wood with woven cut corner conditions without cracks, gouges or other imperfections where clapboard is joined.

#### Wood Cedar Shingle Siding:

New wood cedar shingle shake siding, where noted on elevations, to be double dipped perfect cut shingles with 5" exposure and be woven at all corner conditions and applied in accordance to all exterior swale and skirting details. Cedar Shingle siding to be applied over the below specified Vapor Barrier or other Architect approved membrane.

As an Alternate, Contractor to provide cost for the use of NuCedar Singles in lieu of the specified wood cedar shingle material.

All exterior finishes, materials and facings are to be as shown on the Elevation Drawings.

#### Roofing:

New roofing shall be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds in this zone. Contractor to install "Timberline" Ultra self-sealing asphalt shingle roofing as manufactured by GAF. Shingles shall conform to ASTM 3462 with a minimum of 8 fasteners per shingle. Color to be as approved by HPC.

Alternate roof shingle is subject to further examination of conditions and selection by Owner with HPC approval.

#### Vapor Barrier Paper and Wraps:

Contractor to install Henry "Blueskin" vapor barrier, in all areas of siding or roofing where sheathing conditions are exposed. All seams and methods of installation in accordance with manufacturer specifications. Install ice and water shield over all roof conditions with a slope of less than 4 over 12.

#### Foundation Damp Proofing:

Any alterations to or other new concrete foundation work to receive two coats of rubberized waterproofing, or equal damp proofing.

#### Insulation:

Exterior Thermal Wall Insulation to comply with a minimum of R-21. Provide R-30 in floor over unconditioned spaces and R-60 in ceilings as noted on the Typical Wall Section Detail or as required by the REScheck Certification in accordance with the IECC 2021 Energy Compliance Guidelines.

All perimeters at windows and doors are to be adequately sealed and caulked so as to eliminate perimeter air infiltration. Application of caulk at window and door perimeters as well as other through wall penetrations and resulting construction joints are subject to approval by the Architect on-site.

#### Sealants:

Provide required fire stopping sealants and systems at all rated wall, floor and ceiling penetrations in accordance with listed UL designation.

### Shower Fiberglass Application and Pan:

All bathroom showers, benches and integral shampoo storage recesses to be fiberglass and water tested. Provide stepless curb shower floor with linear infinity type floor drains.

### Covered Porch Decking:

Replace deteriorated wood decking with new 5/4" tongue and Mahogany hardwood material ready for stain, as approved by HPC.

All covered porch soffits to be replaced with tongue and groove Azek beaded board soffit material at the underside of the porch decking. Application of beaded board to replicate the fan shaped pattern which currently exists. Soffit below the front entry pediment to be vaulted with a beaded board finish, so as to allow for a hanging gas lantern in that location.

## Division 8 - Doors & Windows

### Windows:

Windows designated for retention and full restoration are to be removed, examined on site and restored by qualified historic window craftsmen in remote shop locations. All replacement windows, where windows are either vinyl or confirmed to be non-original, shall be high performance glass with a low SHGC and be rated and installed as per manufacturer's recommendations so as to withstand 120 mph winds in this zone.

Egress Windows, within any "new" designated "sleeping areas" shall be provided with an operable window having a sill height of not a clear width of greater than 44" and have a minimum total clear area of 5.7 square feet measured from head to sill and side to side.

All replacement Windows to be solid core wood with factory finished interior sash and frame and be "Fibrex" clad on the exterior and to be full divided wood units with color matching spacer bars, with Low-E4 insulated clear glass, unless otherwise noted on the Window Schedule. All replacement windows to be as manufactured by Andersen Windows & Doors A-Series unless otherwise approved by Architect. All double hung Andersen A-Series windows to be equipped with the tilt-wash feature. All muntin grillwork to be 7/8" profile type and to be as shown on elevation drawings and noted in the Window Schedule.

Where original windows are noted to be reconstructed in wood, custom window fabricator to remove such windows and re-assemble with specified glazing, be complete with all hardware for window operation, and be primed so as to be ready to accept finish paint on both the interior and exterior surfaces.

Contractor is responsible to verify all sizes in field and notify Architect of any conflicts. Transparent Screens to be included at all operational Andersen A-Series windows.

#### Tempered Glass:

Provide tempered where bottom edge of glass is within a 24" arc of all Hinged Doors: or within 36" of any walking path and not separated by a railing with at least an 18" space between the railing and glazed surface. All glazed panels greater than 9 square feet in area or greater than 36 inch in edge-to-edge dimension or within 1 foot distance from adjacent doors or within the swing distance of a hinged door must be tempered. All tempered glass to be clearly etched by manufacturer to reflect tempered glass condition.

#### Exterior Entry Doors:

All existing solid core hardwood doors, as indicated on elevations, are to be retained and restored.

#### Entry Door Hardware:

Select exterior hardware is subject to Owner preference to retain and restore existing. Any new Door Hardware to be as selected by Owner and provided by Contractor. Finish to be oil rubbed bronze, or as otherwise selected by Owner.

### Interior Doors:

Existing upper level Wood Doors and operable upper transoms to be retained, repaired where required, and painted. Any new interior doors within dwelling units to be 1 3/4" x field verified height dimension with pre-hung panel configuration to match adjacent units or as otherwise noted on the Interior Door Schedule. In lieu of solid core wood doors, a smooth faced MDF type door as manufactured by Lemieux Doors, may be provided when approved by Owner.

#### Interior Door Hardware:

Install all new door hardware as required by plan with all Owner selected and approved privacy, passage and keyed locksets. Hardware to be as manufactured by Baldwin, or Owner approved equal.

## Division 9 - Finishes

### Gypsum Board:

All interior Gypsum Board to be glued and screwed in place and be 5/8" minimum and in accordance with assembly type as noted in the provided Typical Wall Section Details. Finished drywall to have no "orange peel" visual effect and attain a quality finish throughout.

Provide and Install 5/8" water resistant gypsum board in all wet bathroom wall and ceiling areas.

#### Exterior Railing System:

All exterior railings to be restored and replicated where new railings are specified.

#### Exterior Architectural Trim:

All window and door casing, ornamental architectural trim, brackets and cornices to be repaired, restored or replicated, as detailed in the Window Schedule and exterior Elevation Drawings. Where retention is determined to be unfeasible in the field, new trim is to be replicated, utilizing Azek material, and painted as specified and approved by HPC.

#### Kitchen Cabinetry:

Cabinetry to be painted wood with inset doors and soft close drawers. Cabinets to be provided with pulls selected and approved by Owner. Custom 37 1/2" counter top height and a 5 1/2" kick to be provided, as required by Owner.

#### Interior Stairs:

Existing primary core stair to remain and be restored and expanded up to the half-story level a indicated on the plans. All new secondary interior stairs to be New Oak treads to be finished to match wood flooring. Risers to be painted Poplar wood. Railing to include a top articulated profile handrail to be stained hardwood in Owner's stain color choice. Balustrade spindles to be painted wood spindles to be selected by the Owner.

#### Interior Paint:

All interior walls, as indicated in the provided Finish Schedule, to receive two coats of Benjamin Moore Aura flat finish VOC free acrylic latex interior paint. Specified paint is self-priming. All interior paint color subject to approval by Owner.

Painting Sub-contractor to provide a minimum of two (2) rounds of touch-up. Touch-up paint to include wall to wall and point to point finish.

Painting Sub-contractor to store all paint between 50 and 85 degrees F. Apply all paint at temperature of air and substrate between 50 and 85 degrees. Temperature of substrate is to be above dew point. Substrate to be dry to touch. Protect all surfaces not to be coated. Contractor to provide adequate illumination, and ventilation during application.

Prior to surface preparation and application operations, completely mask, remove, or otherwise protect hardware, accessories, plates, lighting fixtures, floors, and similar items in contact with or in the vicinity of coating surfaces, but not scheduled to receive paint. Re-install all removed items after completion of coating application.

Surfaces shall be clean, dry, and adequately protected from dampness. Surfaces shall be smooth, even and true to place, and free of any foreign material which will adversely affect adhesion or appearance of paint. Paint shall be applied under adequate illumination, evenly spread, and smoothly applied, free of runs, sags, lap marks, air bubbles, and pinholes to assure a smooth finish.

At the conclusion of work, the Painting sub-contractor shall remove all paint spatters from adjoining surfaces. Remove debris from job site and leave paint storage area clean.

### Basement Concrete Floor Paint:

Apply BEHR Premium #902 Slate Gray 1-Part Epoxy Concrete Floor Paint in all basement floor areas where indicated on Finish Schedule or where no other finished flooring is to be installed. Concrete floor to be clear of all dust and debris and paint application to be in strict compliance with manufacturer's instructions.

#### Exterior Paint:

Apply a minimum of two finish coats of Sherwin Williams Latex or approved equal, to all clapboard siding, soffit, column and fascia assemblies. Color to be as per Owner as approved by HPC.

#### Columns:

All exterior columns to be restored or replicated as per the original configuration and tooling in accordance with architectural elevations, historic photos and field documentation at the front porch and enclosed covered porch areas to be reopened to open air conditions.

#### Exterior Railing System:

All exterior railings to be restored and replicated where new railings are specified.

#### Exterior Architectural Trim:

All window and door casing, ornamental architectural trim, brackets and cornices to be repaired, restored or replicated, as detailed in the Window Schedule and exterior Elevation Drawings. Where retention is determined to be unfeasible in the field, new trim is to be replicated, utilizing Azek material, and painted as specified and approved by HPC.

#### Kitchen Cabinetry:

Cabinetry to be painted wood with inset doors and soft close drawers. Cabinets to be provided with pulls selected and approved by Owner. Custom 37 1/2" counter top height and a 5 1/2" kick to be provided, as required by Owner.

Cabinet maker to be responsible for all field measurement, appliance size coordination and hook-up requirements, and fabrication. Cabinet maker to supply to site and install all respective materials and product. Contractor to be responsible for the storage and protection of all cabinetry on site

#### Counter Tops & Backsplash:

Kitchen Counter top fabricator/supplier to be responsible for the field measurement and verification, fabrication, supply and installation of all counter tops to be 1 1/2" Quartzite with edge detail as approved by Owner. Backsplash tile to be approved by Owner and complement stone top as selected by Owner.

Bathroom Vanity counter tops to be Quartzite, or other stone top a selected by Owner, with standard 1/2" bevelled edge and cut to accommodate an under-mount sink.

#### Wood Flooring:

All interior wood flooring to be in accordance with the detailed room by room Finish Schedule. Wood flooring repairs, replacement, and stain and/or finish subject to final approval by Owner. Provide 3 coats of satin polyethylene throughout all areas of new or refinished wood flooring.

#### Stone, Porcelain and Ceramic Tile:

Install all floor and wall tile in accordance with the Finish Schedule utilizing thin set latex mortar on waterproof membrane.

Thin set mortar type to be Laticrete 254 Platinum Polymer modified latex Portland Cement. Grout to be Laticrete Spectralock Pro Type, or equal. Mud floor setting beds to be provided in areas where subfloor found to be uneven or substandard.

Waterproof membrane to be fabric reinforced liquid latex product as manufactured by Laticrete International, Inc. Installer to use Laticrete 9235 Waterproofing Membrane - self curing liquid rubber polymer with reinforcing fabric. Installation in accordance with manufacturer's guidelines. Grout color to be approved by Owner.

Use of any new transition strips, thresholds, saddles and reducers tile color, size and final patterns subject to review and approval by Owner.

Installer to supply and install all mortar, waterproof membranes, grout, and all similar and related installation materials. Stone tile to be supplied by Owner. Installer to be responsible for all stone tile quantity measurements and calculations.

#### Acoustic Treatment:

Contractor to provide and install a minimum a minimum of 3 1/2" fiberglass batt insulation in all floor and ceiling cavities between rooms and each floor level in order to maximize sound attenuation to a STC 52 rating or better. Provide full cavity fiberglass batt insulation at all utility and bath wall partitions and at elevator shaft perimeter and plumbing shafts for added sound attenuation. Application of open cell spray foam insulation to be utilized between floor levels where joist cavities are exposed.

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

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Signature

**Proposed Renovations  
& Various Repairs to  
the Existing 2 ½ Story  
Wood Frame  
Single-Family Dwelling**  
  
**Block #204, Lot #5**  
  
**Use Group: R5  
Construction Type: 5B**

PROJECT NAME  
**118 Main Avenue  
Ocean Grove, NJ**

DRAWING TITLE  
**Specifications  
(Construction)**

SCALE  
**As Noted**

DATE  
**3/15/25**

DRAWN BY  
**MP/CP**

CHECKED BY  
**WP**

JOB No.  
**2024990118**

DRAWING No.  
  
**A10**



Division 10 - Specialties

Telephone:  
All cable and Cat6 wiring, as indicated on electrical plans, or directed by Owner to be provided by others. Contractor to provide third party entity access to all areas

TV/Cable and Audio Speaker System:

Coordinate and provide installation of any hard wiring for all TV/Cable locations as required in all locations noted on all floor plans. Refer to electrical floor plans for all locations. Provide flat panel wall boxes (PWB) in each proposed wall mounted digital TV flat screen position where indicated on plan.

Gutters and Leaders:

Contractor to provide new 6" minimum aluminum half-round type gutters with "exposed hangers" with round leader pipes and connection to drain as per local requirements. Color to match trim boards.

Attic Access Panels and Doors:

Attic access to be as specified and be a minimum of 22" x 30" in clear opening into non habitable attic voids. All access panels and doors to have insulating gasket at door perimeter to assure tight fit and eliminate both air and mechanical noise transmission. All such access doors to maintain R-value continuity of assembly onto which such access panel is located.

Built-in Storage and Cabinetry Work:

Contractor to provide all built-in elements and bench work, as indicated on plans. Built-ins and bench work to be painted clear grade fir and finished to highest quality.

Security System:

Contractor to provide all coordination related to the installation of the Owner's Security System.

Division 11 - Equipment

Appliances:  
All appliances to be purchased and supplied by Owner and installed by Contractor as per the Appliance List provided by Owner. Cabinet fabricator to verify all final appliance selections sizing and requirements prior to fabrication of cabinetry.

Appliances are to include two (2) wall ovens a microwave/convection oven combo, a gas cooktop, two (2) dishwashers flanking a farm sink, two (2) washers and two (2) dryers in the primary suite, a garbage disposal unit in the kitchen sink, side by side counter depth refrigerator and freezer, a wine refrigerator, and an additional refrigerator draw unit.

Contractor to be responsible for the storage and protection of all appliances and cabinetry on site and connections of all appliances to utilities.

Division 12 - Furnishings

Not Included

Division 13 - Special Construction

Bathroom Fixtures & Fittings:

All Bathroom fixtures, faucets, shower heads, grab bars and lavatory accessories to be purchased and supplied by Owner and installed by Plumbing Sub-Contractor. Owner to select and provide unlacquered brass fixtures throughout. Any exposed traps to be chromed.

All fittings and accessories to be same style and series with matching finish and fabricated of solid brass as manufactured by Rohl, or as otherwise specified by Owner.

Mirrors & Medicine Cabinets:

Provide and install full wall width and height mirrors over master bath vanity and recessed wall mounted medicine cabinet in all other bathrooms where indicated on plans or as supplied by Owner.

New Glass Shower Doors:

Provide and install frameless shower door in all shower stall areas. Shower doors to be clear tempered 3/8" clear glass.

Plumbing Sub-Contractor to be responsible for all required hook-ups, installations and supply all materials related to installation including all supply piping, couplings, traps, waste lines, fastener fittings, adhesives, clean outs, floor drains, floor drain covers, shut off valves, related pipe hangers related trenching and penetrations through wall partitions and all required connections for all plumbing related equipment as indicated on plans.

Shower Storage Recess:

Provide integral shower stall shampoo recess in each shower. Final location to be approved by Owner. Refer to Typical Shower Stall Bench Detail.

Grab Bars:

Install shower and toilet area grab bars as indicated on plans. Provide double stud framing and horizontal blocking on the flat behind all grab bar fastening points so as to attain a 200-pound static load. Contractor to install double stud on the flat behind all fastening points where towel bars and paper holders are to be provided.

Division 14 - Conveying Systems

Elevator:

Proposed new 2-stop, 3,500 pound capacity MRL (Machine Roomless Lift) elevator system, cab and all related equipment, to be compliant with all current operating standards as enforced by the New Jersey DCA.

Floor and ceiling finishes as selected by Owner. Provide and install all required interior cab grab bars, elevator control panel and related floor level signage. Control panel and grab bars to be new stainless steel brushed finish. Indirect interior cab lighting to be ceiling integrated.

All elevator operating equipment, requirements, and service connections to be engineered by others with the following design parameters. Cab size to accommodate a single wheelchair and be provided with a full height ceiling to limits established by elevator vendor. The finished 2x6" wood framed hoist way to be absolutely plumb with hinged door operation.

Division 15 - Mechanical/Plumbing

Unless indicated in the construction documents, all mechanical work such as, but not limited to heating and air conditioning are to be established and engineered by others. HVAC Sub-contractor is to be responsible for coordination of final location of all ductwork, returns and equipment which is subject to review and approval by the Architect.

HVAC Zones to be as follows:

- Zone 1: First Floor Living/Dining & Kitchen
- Zone 2: Basement Level
- Zone 3: Second Floor Primary Bath and Bedroom
- Zone 4: Second Floor Bedrooms, Baths & Hall
- Zone 5: Half Story Bedrooms & Bath

Air Conditioning:

Provide Trane XB13 Model #4TTB3018E, or equal with a minimum SEER of 13 utilizing the heating ductwork for distribution of air required with equipment as manufactured by Trane as specified or Architect approved equal, with low db noise emission rating and up-flow design.

Heating:

Provide new heating hybrid configuration where first floor level and finished basement spaces are heated utilizing the proposed cooling ductwork. The upper floors are to be heated via a hydronic hot water radiant floor heating system by ECOWARM, or equal. Radiant floor system hot water to be heated via gas fired furnace by Weil-McLain, or Architect approved equal.

Gas Furnaces:

Provide Trane XB90 Model #TUC1B040A9241A, with a 92.1% AFUE, or equal.

Forced Air Ductwork:

Contractor to provide new "high velocity" forced air insulated ductwork system with final alignment of supply and return floor and or cooling ceiling diffusers subject to review and approval by Architect. Contractor to coordinate all placement and connections to all HVAC systems and verify positioning of ductwork to be compliant with REScheck and all aspects of Energy Code.

All new supply vents to be either floor or ceiling mounted. Supply and return ductwork shall not be located in perimeter exterior walls unless fully insulated and encapsulated with insulation assembly equivalent to the R-value of the Typical Wall Section as illustrated in Construction Documents. Location of ductwork, returns and diffuser covers are to be approved by the Owner and Architect.

Supply ducts in unconditioned spaces are to be insulated with a minimum of R-8. All other ducts are to be insulated with a minimum of R-6 or otherwise stipulated in REScheck requirements for compliance with the Energy Code.

Duct joints and connections to flanges of air distribution equipment are to be mechanically fastened and sealed. All other joints, seams, and connections are to be securely fastened with welds, gaskets, mastics or tapes. Tapes and mastics to be rated UL 181A or UL 181B.

Venting:

Provide venting of laundry dryer, bathrooms and kitchen hood exhausts where indicated on plan. Provide and install quiet operating Panasonic 120 cfm minimum in each bathroom. Venting of kitchen and required make-up air provisions for all exhaust fans to be included, when required.

Plumbing Fixtures & Fittings:

Contractor to supply and install all bathroom fixtures, fittings and assemblies as listed and specified, upon receipt of final approval by Owner.

Piping:

Include all copper piping, materials and related fittings and equipment. Pex piping in lieu of copper is acceptable. Supply and waste lines to comply with Code with acoustically wrapped cast iron drops and PVC laterals.

Plumbing Sub-Contractor to be responsible for all required hook-ups, fixture and fitting installations and supply all materials related to installation including all supply piping, couplings, traps, waste lines, fastener fittings, adhesives, clean outs, floor drains, floor drain covers, shut off valves, related pipe hangers related trenching and penetrations through wall partitions and all connections for all plumbing related equipment as indicated on plans.

All connections to water supply and sewer to be included. Plumbing Sub-Contractor to make all connections to laundry area, refrigerator, other items requiring plumbing hook-up and floor area stainless steel drains in showers and each unit's laundry area. Owner is responsible for obtaining all approvals from the Ocean Grove Sewer Authority.

Provide accessible locations of various pipe shut-offs for easy "winterization".

Provide new gas line for Owner exterior BBQ operation.

Install all gas lines, as required, for a minimum of eight (8) new gas lanterns by Bevolo Gas Lantern Company. Fixtures to be selected and provided by Owner. All connections and associated permits are to be the responsibility of the Contractor.

HVAC piping conveying fluids above 105 degrees F or chilled fluids below 55 degrees F to be insulated with R-3.

Hot Water Heaters:

Provide and install energy efficient direct vent tankless gas fired hot water heater as manufactured by A.O Smith, Navien or equal, to service all areas. System to include three (3) tankless hot water heaters. Hot water heating zones to include Primary Bedroom Suite and Laundry, a second unit for the first and basement levels, and a third unit for the remaining second and half story bathroom areas.

Water Pressure:

Contractor to verify adequacy of existing water pressure and upgrade service as necessary.

Thermostatic Controls:

Thermostatic space controls are to be pre-programmable type by Nest or Honeywell Wi-Fi Smart Thermostat, as selected by Owner's preference.

Hose Bibs:

Provide one (1) exterior Hose Bib location at each level at each covered porch on each level, as indicated on plan or directed by Owner. Provide new hose bib at rear and east side of dwelling in locations determined by Owner. All garden and lawn irrigation systems to be engineered and provided by others.

Gas Service and Meter Re-location:

Contractor to coordinate gas service to west side of dwelling.

Division 16 - Electrical

Electrical Service:

Contractor to verify adequacy of existing electrical service prior to preparing an application for construction permit. Overhead wires to be eliminated with new underground service to existing exterior electrical meter location,

Electrical Connections:

All electrical work such as, but not limited to all HVAC, lighting, security systems, facility equipment, plumbing, air conditioning or other ventilating systems are to be connected to service and service panels by Electrical Sub-Contractor.

Electrical Sub-Contractor to provide all electrical wiring, service panels, sub-panels, breakers, junction boxes, convenience service and wall mounted switching receptacles and boxes, and any and all other materials required to complete operational hook-up of all electrical work as required.

Electrical Wiring and Requirements:

Contractor to install all new circuits and services to new fixtures as schematically indicated on plans.

All new wires to be concealed copper and be properly encased and sized in accordance with Code.

All switches, outlets and other devices shall be appropriate for their intended uses and have Underwriters Laboratory Certification.

Unless otherwise noted, all switches shall be mounted at standard 48" height above finished floor and convenience outlets shall be mounted in recessed floor boxes where indicated on plan. Other interior convenience receptacles to be within baseboards. GFI's to be provided in the bath and covered porch areas, as indicated on the electrical schematic floor plans.

Wall Switches & Lighting Controls:

All electrical wall switches to be rocker panel type with fully integrated dimmer preset slide switches so as to minimize number of wall switches. Selection of final switching devices to be approved by Owner.

Convenience Receptacles:

All electrical service convenience receptacles to be located in floor or interior wall baseboard, as per plan and be appropriate for their intended uses with Underwriters Laboratory Certification. Provide GFI receptacles in all wet areas as per Code including covered porch areas, as per plan.

Lighting Fixtures:

All electrical work such as, but not limited to connection of power to dwelling interior and exterior lights are to be connected to service panels by Contractor.

All recessed lighting to accommodate LED lamping with 5" aperture unless otherwise directed by Architect or Owner in specific locations during the required on-site rough electrical walk-through and review.

Provide 4" aperture at kitchen cabinetry perimeter and select areas where noted on electrical schematic plans. All recessed lighting to be as manufactured by Halo or approved equal.

Included for installation are under cabinet lighting, all exterior building mounted lighting and general ceiling and all bathroom and surface mounted lighting fixtures. Selection of fixtures to be subject to approval by Owner and purchased and supplied by the Contractor for installation. All site lighting to be engineered and installed by others.

All recessed light fixtures to be IC Rated in ceilings or unconditioned attic spaces, as required.

All under cabinet or in cabinet LED lighting strips to be supplied by Contractor to match cabinet color and be approved by Owner. Under cabinet lighting to include linear convenience receptacle strip.

Electrical Life-safety System Connections:

Carbon Monoxide and Smoke Detection Alarms to be provided at each floor level in hallways and all sleeping areas and within 10 feet of all bedroom entry doors as required by Code.

Provide two (2) motion activated exterior flood light at side yard positions, to be located in field.

Exterior Lighting Compliance:

All proposed exterior lighting to comply with Section 402 of the Neptune Township Land Use Ordinance for illumination levels and potential impact onto adjacent property occupancy.

REVISIONS		
No.	Description	Date

ISSUES		
No.	Description	Date

Mark Alexander Pavliv, AIA

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Signature

Proposed Renovations  
& Various Repairs to  
the Existing 2 ½ Story  
Wood Frame  
Single-Family Dwelling

Block #204, Lot #5

Use Group: R5  
Construction Type: 5B

PROJECT NAME		
118 Main Avenue Ocean Grove, NJ		
DRAWING TITLE		
Specifications (Specialties & Systems)		
SCALE As Noted	JOB No. 2024990118	
DATE 3/15/25	DRAWING No.	
DRAWN BY MP/CP	A11	
CHECKED BY MP		