



JONATHAN WOLFE ARCHITECTURE + DESIGN
ARCHITECTURE - INTERIORS

Neptune Township
Department of Land Use
George Waterman, Zoning Officer
25 Neptune Boulevard
Neptune, NJ 07753

Neptune Township
Historic Preservation Commission
25 Neptune Boulevard
Neptune, NJ 07753

October 18, 2023

**Re: Removal of Non-Conforming, Open Rear Deck
at 110 Main Avenue, Ocean Grove**

Dear Mr. Waterman and HPC Commissioners,

I have recently been hired by the owner of 110 Main Ave., Ocean Grove, to produce Zoning and HPC applications for the following work associated with the prior removal of a rear-facing, open wood deck.

The renovation of the non-conforming, three-family home had been previously approved by the Township and a majority of the work has been completed.

The enclosed is a narrative summary of the events leading up to this point and a proposed solution for each element of the proposed scope of work in question.

Please do not hesitate to contact me if I can provide any additional information.

Sincerely,

Jonathan P. Wolfe, AIA, NCARB
Principal, Jonathan Wolfe Architecture + Design

Background:

During the course of the approved renovation of the three-family home, a contractor went beyond the approved scope of work and removed a rear-facing open wood deck without the approval of owner or architect. This was apparently done due to the deteriorated state of the deck and the contractor's concern for safety, as the deck would need to serve as a primary access point to the interior renovation work for tradesmen and materials. The removal of the deck without approval, given the non-conforming nature of the three-family home in the HD-R-1 Zone, resulted in the Township issuing a Stop Work Order.

We are currently seeking Zoning and HPC approval to resolve the following items and include this list of open items in addendum to our Zoning and HPC applications:

1. **Bilco Doors:** (Bilco doors for Basement access installed without approval) New, primed (red) Bilco doors were installed to replace previously existing deteriorated doors. This replacement was not included in either the original Zoning or HPC Applications.

Photos 1&2: Bilco Doors (New doors to replace existing)



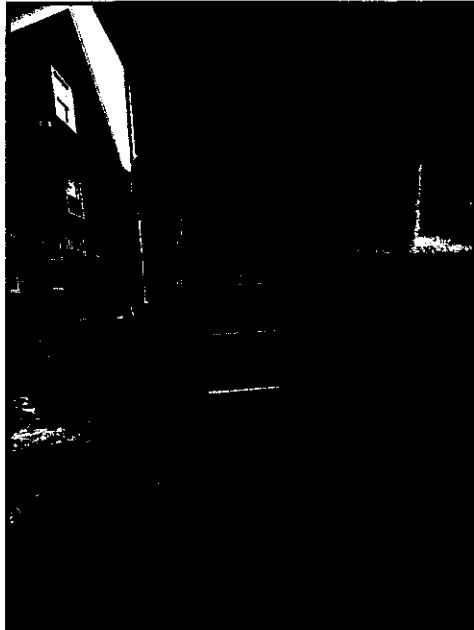
2. **Fire Stair:** New steps (2-3 risers) to connect existing wood fire stair to grade, as needed given the removal of the rear-facing, open wood deck, which had served as a landing for the Fire Stair prior to its removal. The Fire Stair is in good condition and will function as designed once the new stairs have been added. New newel post to match those on the front porch. This scope was approved by Zoning in our prior application of July 12th, 2023.

Photos 3-5 : Fire Stair (New steps to grade)



3. **New Landing for Back Door:** New, wood landing proposed, to match the style and color of the front porch, to allow for access to grade from the back door, given the removal of the open rear deck that had served as a landing. The scope was approved by Zoning as part of our prior application in July, however the landing was increased to 3 ft. by 3 ft., following a comment from the HPC, and that update has yet to be considered by the Zoning Officer.

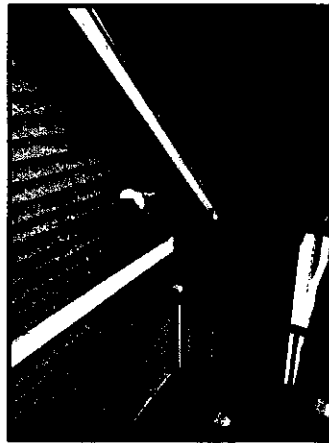
Photo 6: Back door (New wood landing proposed)



4. **Lighting:** Previously installed, non-compliant lighting on porch and at all doors and on fire stair to be removed. All penetrations through siding and soffits caused by previously installed lighting to be patched and painted to match surrounding material. New, compliant sconces to be installed as per the drawings provided. These proposed lighting revisions were not included in our prior Zoning Application and are included in our revised Zoning Application.

Photos 7-12: Non compliant light fixtures (to be replaced with compliant sconces)





5. A/C Units: Three new AC condensers were included in our prior Zoning Application in July. We were granted Zoning approval for the new units, follow our installation of a baffle on one of the units that prevents the exhaust air from blowing in the direction of the neighboring property, as required. The exhaust from the two remaining condensers was already orientated appropriately, based on the requirement for a 10 ft. setback from the property line, in the direction of the condenser's exhaust.

Photos 12&13: New A/C Condensers (Note new side-mounted baffle on center unit)

