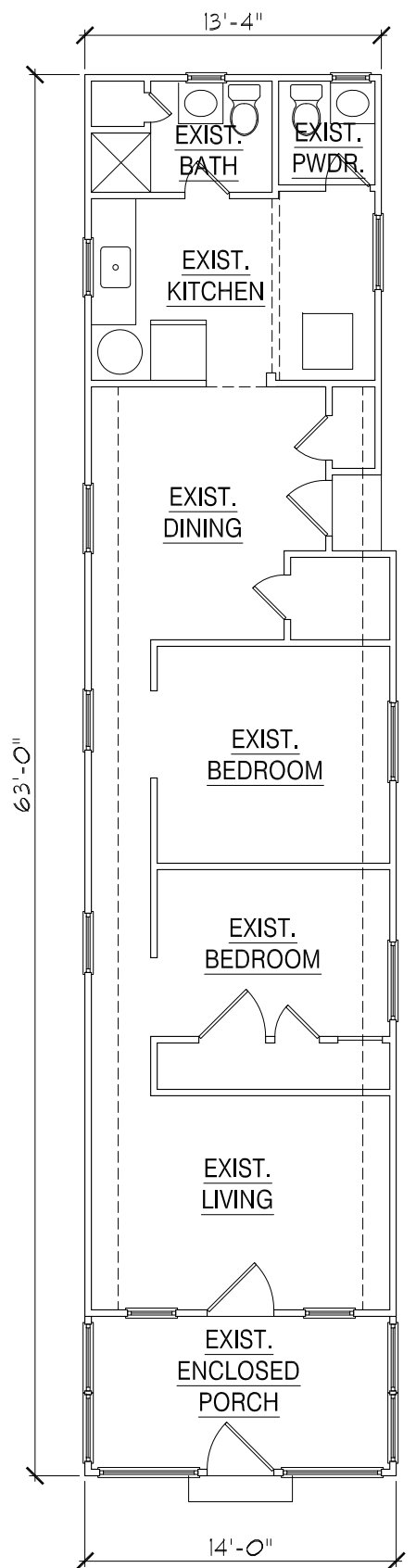
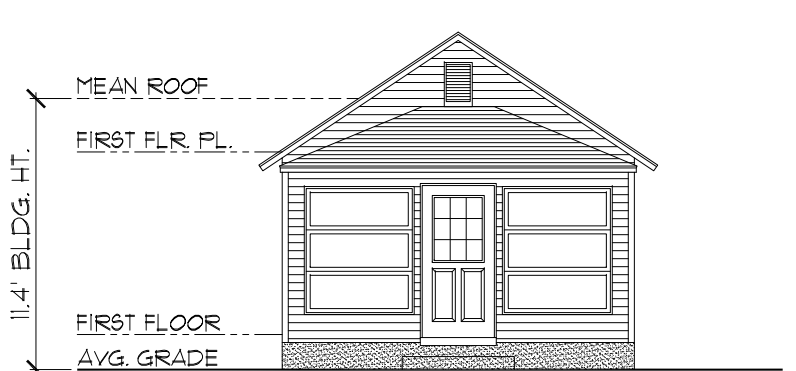


EXISTING CONDITIONS



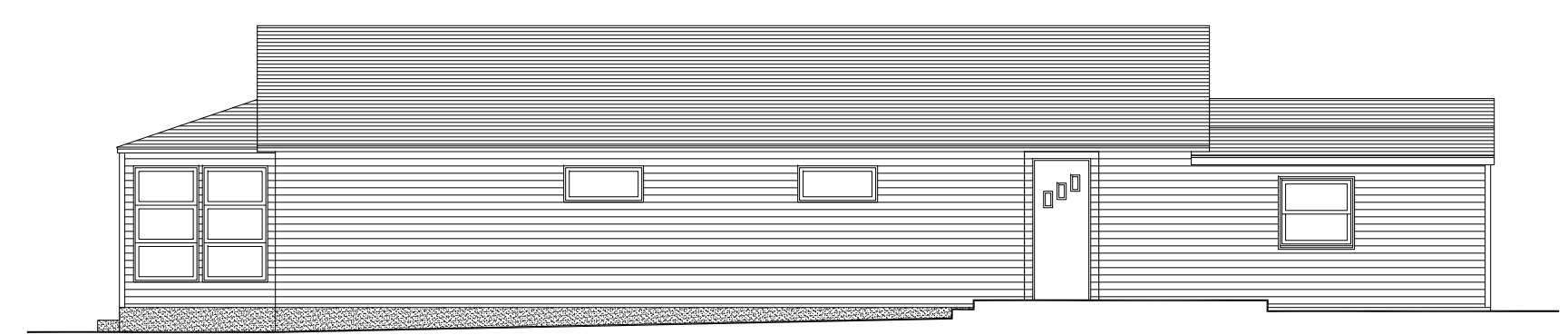
EXIST. FIRST FLOOR PLAN
1/8" = 1'-0"



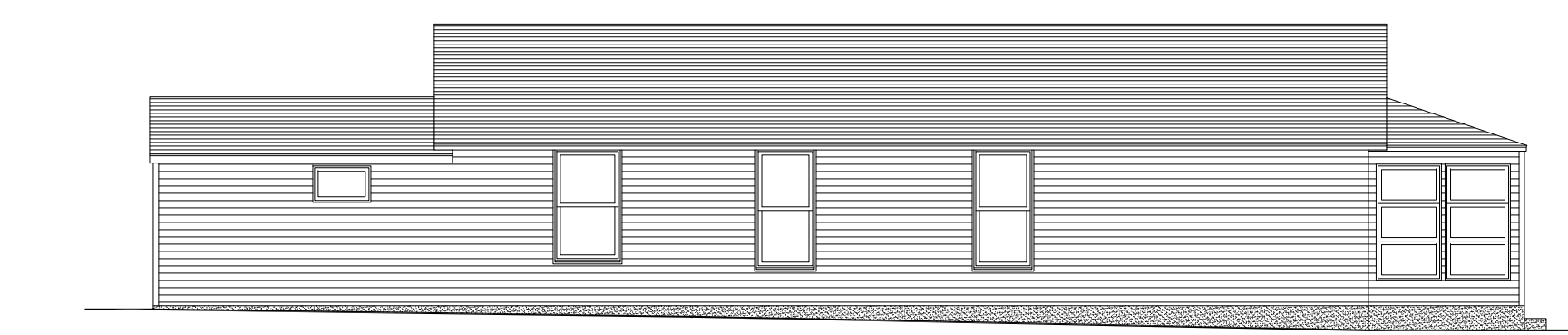
EXIST. FRONT ELEV. (SOUTH)
1/8" = 1'-0"



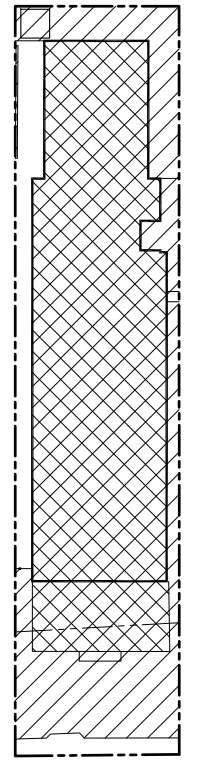
EXIST. REAR ELEV. (NORTH)
1/8" = 1'-0"



EXIST. SIDE ELEV. (EAST)
1/8" = 1'-0"

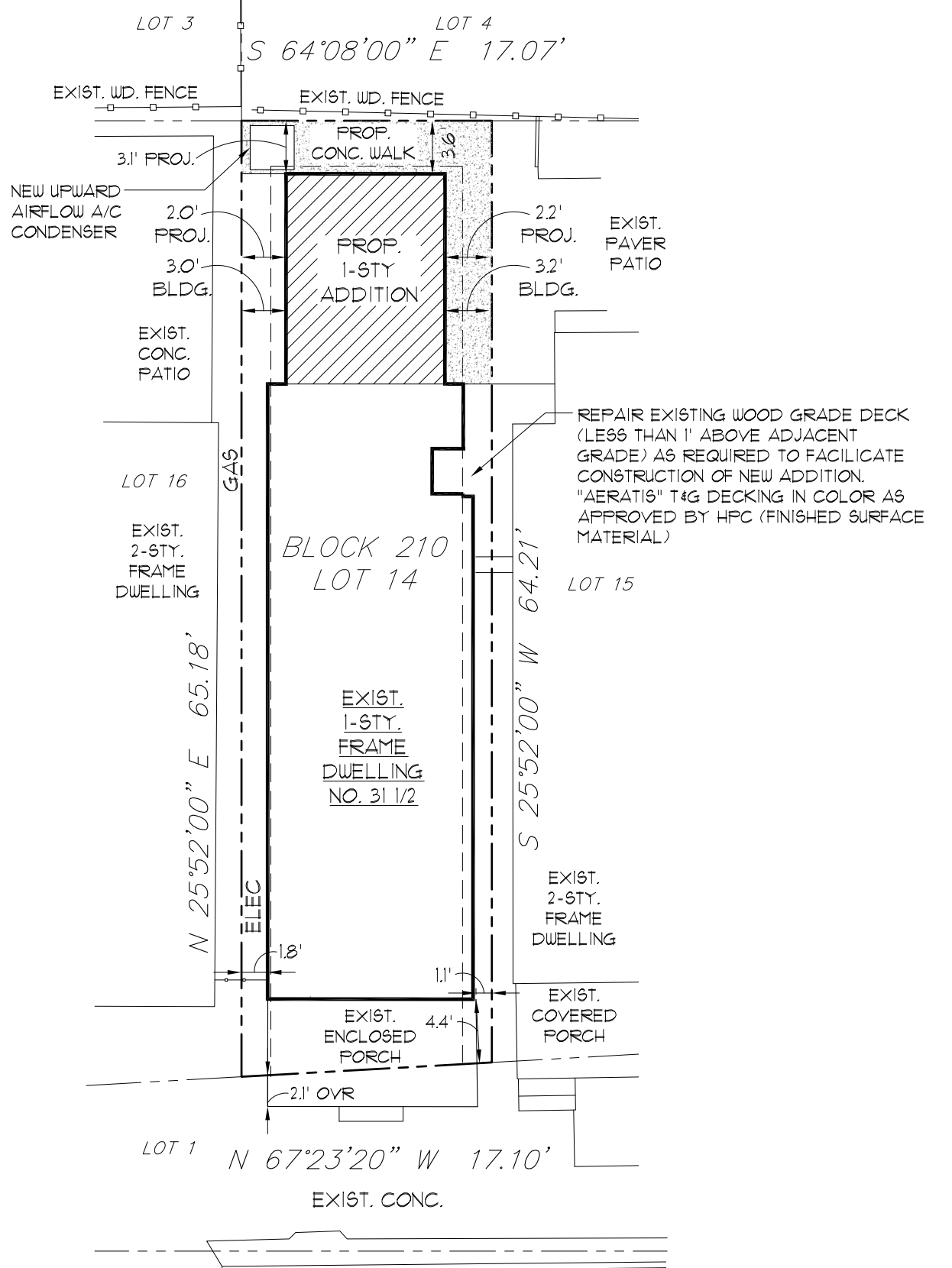


EXIST. SIDE ELEV. (WEST)
1/8" = 1'-0"



COVERAGE CALCS.
1" = 20'-0"

LOT AREA:	1,331 SQ. FT.
BUILDING COVERAGE:	835 SQ. FT. (62.7%)
IMPERVIOUS COVERAGE:	
BUILDING COVERAGE	835 SQ. FT.
EXIST. CONCRETE WALK	213 SQ. FT.
FRONT STEP	4 SQ. FT.
DECK	28 SQ. FT.
PROP. CONCRETE WALK	38 SQ. FT.
TOTAL	1,208 SQ. FT. (88.5%)



HECK AVENUE
25' ROW

SITE PLAN
1" = 10'-0"

SITE INFORMATION TAKEN FROM "TOPOGRAPHIC SURVEY OF PROPERTY", DATED 03/27/22, PREPARED BY JEFFREY S. GRAN (N.J.P.L.S. NO. 246804339900) OF LAKELAND SURVEYING

PROPOSED ADDITION/ALTERATIONS:
GIOVANELLA RESIDENCE
31-1/2 Heck Avenue
Block: 210 Lot: 14

PROJECT INFORMATION

BUILDING CODES:
REHABILITATION SUBCODE (NJAC 5:23-6)
INTERNATIONAL RESIDENTIAL CODE - 2018 (NJ EDITION), WHERE APPLICABLE

BUILDING STATISTICS:
USE GROUP: R-5
CONSTRUCTION CLASS: 5B
NUMBER OF STORIES: 1
WIND SPEED (WUL): 125 MPH (NOTE: THIS PROJECT IS NOT LOCATED IN A WINDBORNE DEBRIS REGION AS THE WUL DOES NOT EXCEED 130 MPH)
FLOOD HAZARD: THIS PROJECT IS NOT LOCATED IN A FLOOD HAZARD AREA

BUILDING AREA:

	EXISTING	REMOVED	TOTAL
FIRST FLOOR AREA	760 SQ. FT.	29 SQ. FT.	731 SQ. FT.
CONSTRUCTION VOLUME		8,664 CU. FT.	

ZONING INFORMATION

REQUIREMENTS FOR THE HD-O DISTRICT (HISTORIC DISTRICT - OCEANFRONT)

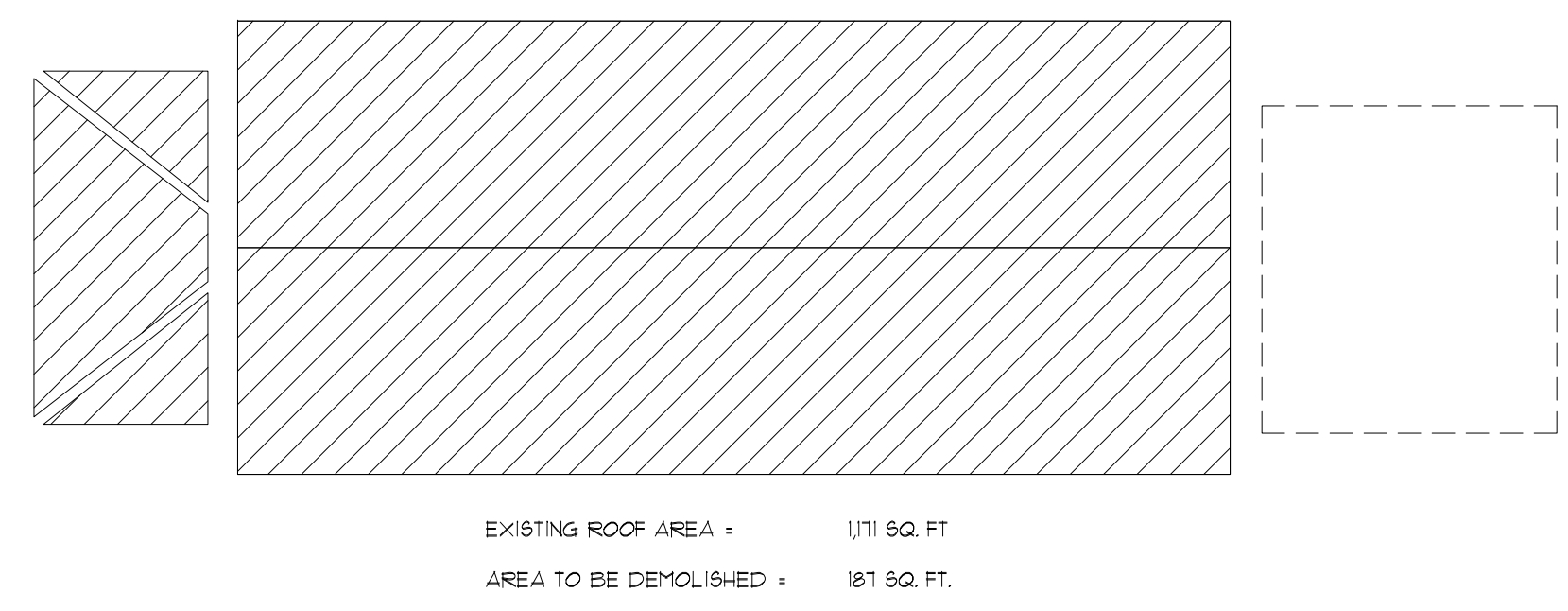
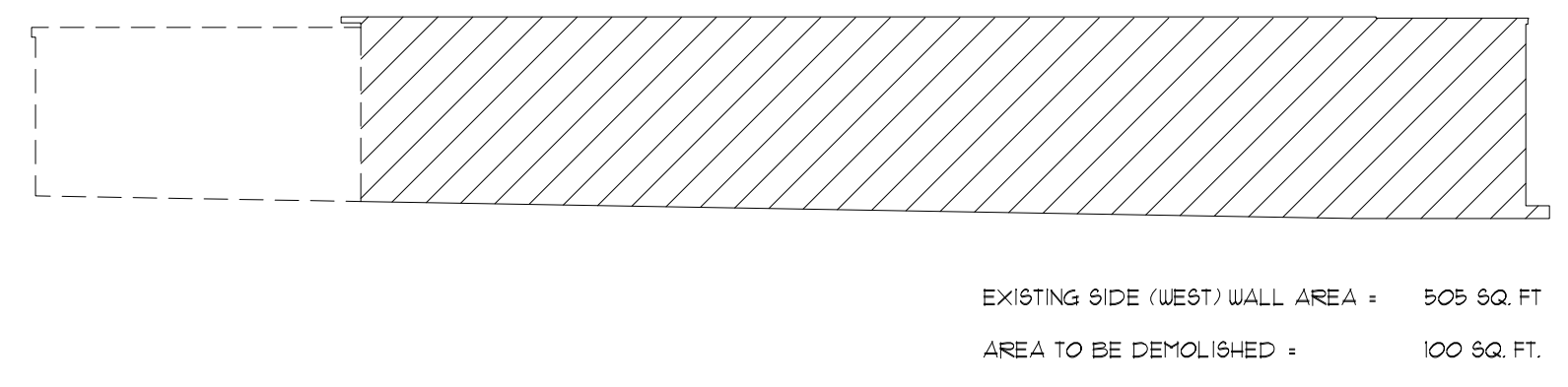
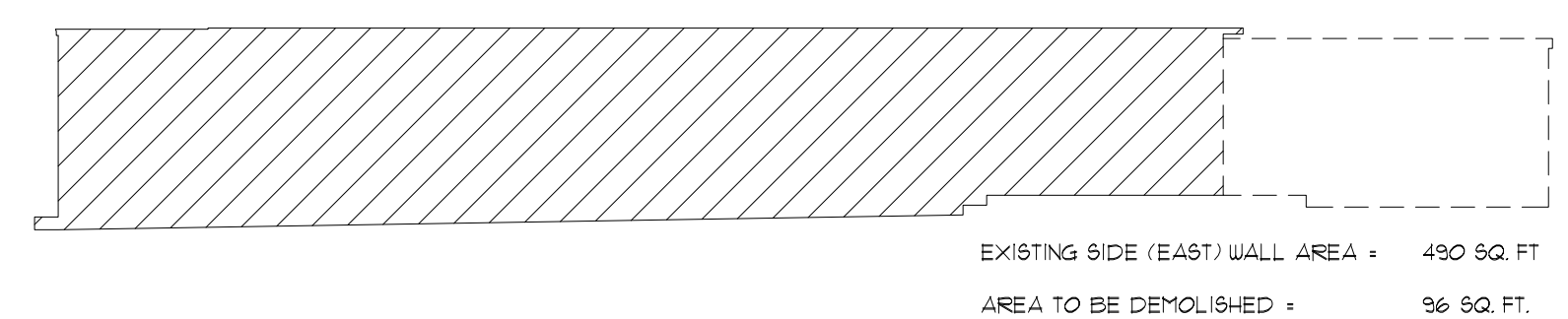
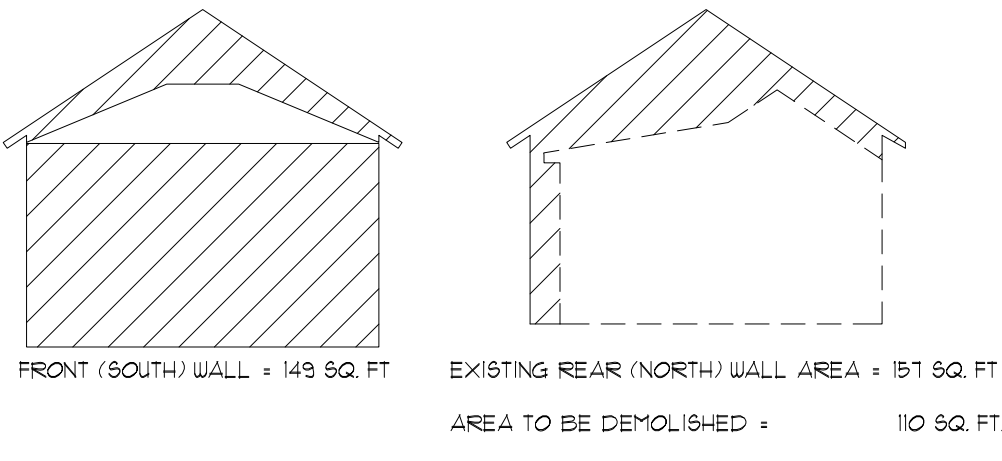
	REQ'D. / ALLOWABLE	EXISTING	PROPOSED
MINIMUM LOT AREA	1,800 SQ. FT.	1,332 SQ. FT.	1,332 SQ. FT.
MINIMUM LOT WIDTH	30 FT.	17.01 FT.	17.01 FT.
MINIMUM LOT FRONTAGE	30 FT.	17.10 FT.	17.10 FT.
MINIMUM LOT DEPTH ⁽¹⁾	60 FT.	17.93 FT.	17.93 FT.
MIN. FRONT YARD SETBACK	HISTORIC SETBACK LINE	UNCHANGED	UNCHANGED
MIN. SIDE YARD SETBACK			
EAST (ADDITION) (PROJECTIONS)	2.0 FT. / 2.0 FT.	N/A	3.2 FT. / 2.2 FT.
WEST (ADDITION) (PROJECTIONS)	2.0 FT. / 2.0 FT.	N/A	3.0 FT. / 2.0 FT.
MIN. COMBINED SIDE YARD SETBACK (AT ADDITION)	4 FT.	N/A	6.2 FT.
MIN. REAR YARD SETBACK	3.1 FT.	4.0 FT.	3.6 FT.
MAX. % BLDG. COVERAGE ⁽¹⁾	85% (1,119 SQ. FT.)	66.3% (875 SQ. FT.)	62.7% (835 SQ. FT.)
MAX. % TOTAL LOT COVER ⁽¹⁾	90% (1,184 SQ. FT.)	90.7% (1,184 SQ. FT.)	88.5% (1,208 SQ. FT.)
MAX. NUMBER OF STORIES	2.5-STY	1-STY	1-STY
MAX. BUILDING HEIGHT	35 FT.	11.4 FT.	11.4 FT.
MAX. IMPROVABLE AREA	1,000 SQ. FT.	743 SQ. FT.	743 SQ. FT.
DIA. OF IMPROVABLE AREA	21 FT.	13.1 FT.	13.1 FT.
EXISTING USE OR USES		SINGLE-FAMILY RESIDENTIAL	
PROPOSED USE OR USES		SINGLE-FAMILY RESIDENTIAL	

1. LOT AREA MEASURED FROM THE CURB LINE RATHER THAN THE PROPERTY LINE PER LAND ORDINANCE ARTICLE 413.06.E.

DEMOLITION CALCULATIONS

DEMOLITION CALCULATIONS

TOTAL AREA *	2,472 SQ. FT.
AREA TO BE DEMOLISHED *	493 SQ. FT.
PERCENTAGE *	19.9%
CLASSIFICATION *	"PARTIAL DEMOLITION"



DRAWING INDEX

- A-1 PROJECT INFORMATION, SITE PLAN, EXISTING CONDITIONS, DEMOLITION CALCULATIONS
- A-2 FLOOR PLANS AND ELEVATIONS

PROPOSED ADDITION/ALTERATIONS:
GIOVANELLA RESIDENCE
31-1/2 Heck Avenue
Block: 210 Lot: 14

SEAL: *Stephen J. Carlini, AIA*
Stephen J. Carlini, AIA
NJ LIC # A00868

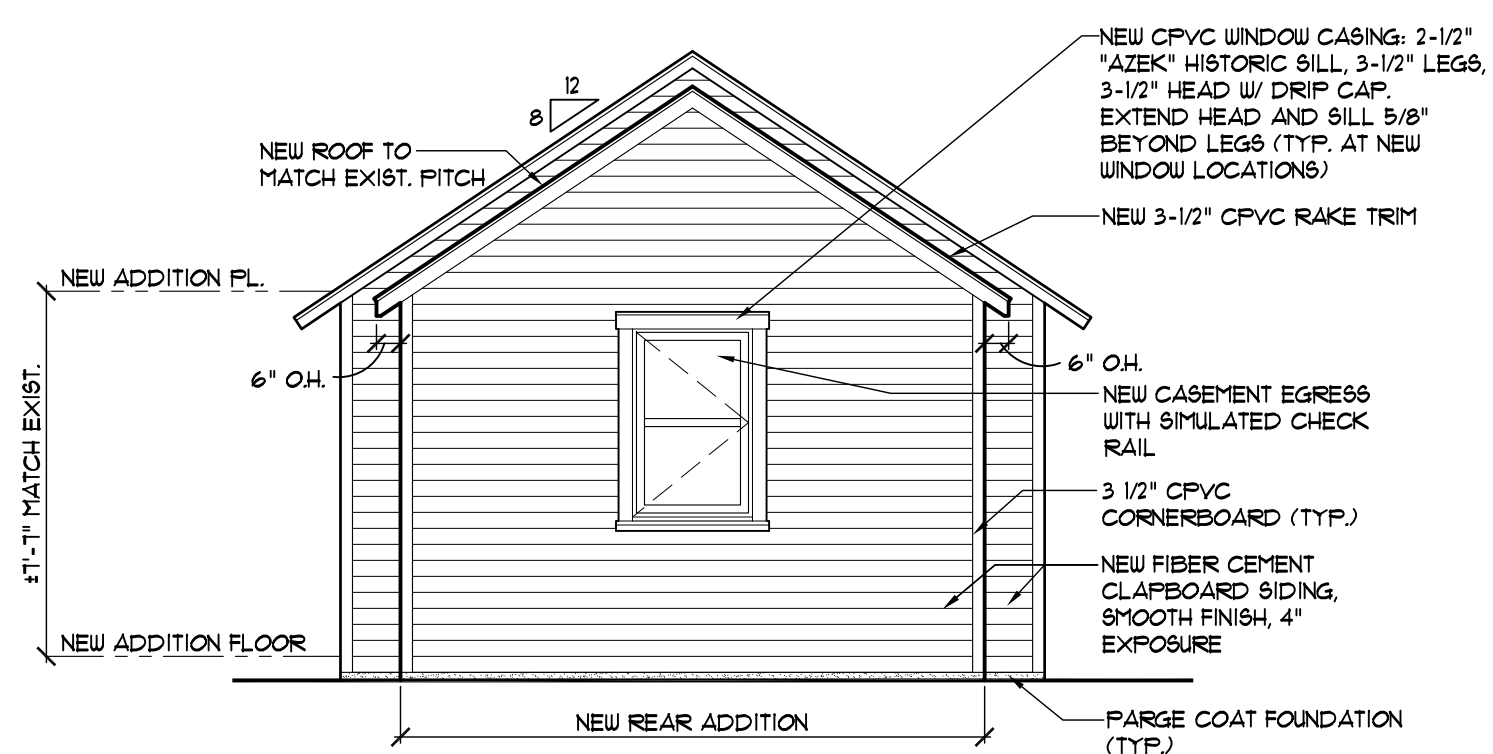
SHORE POINT ARCHITECTURE, PA
105 South Main Street, Ocean Grove, New Jersey 07756
P: 732.774.6900 F: 732.774.7250 www.shorepointarch.com

SITE PLAN, PROJECT INFORMATION, EXISTING CONDITIONS, DEMO CALCS
SCALE: "AS SHOWN" DRAWN: AFB

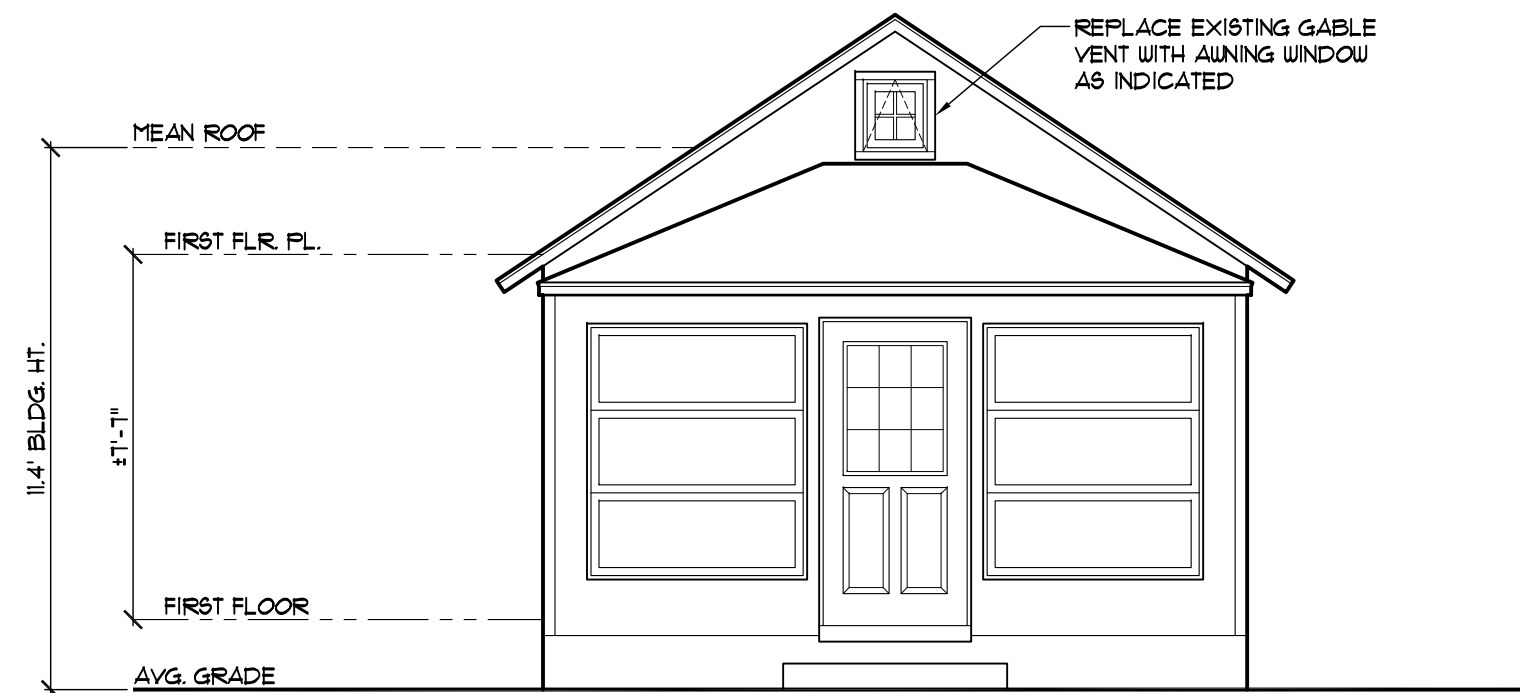
DATE	9/1/2022
REVISION/SUBMISSION	
9/1/22 HPC "PARTIAL DEMOLITION"	
10/20/22 ZONING SUBMISSION	

JOB NUMBER
2022-19

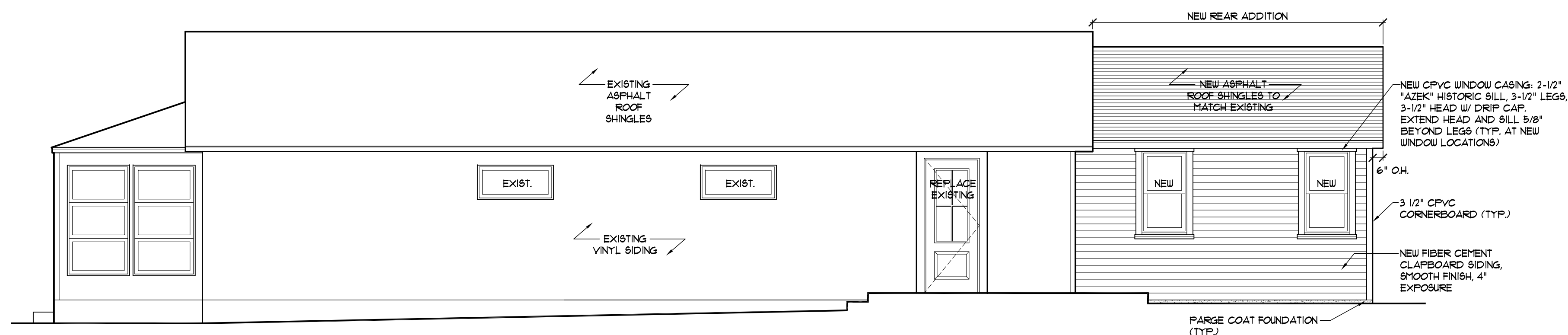
A-1
Giovanella



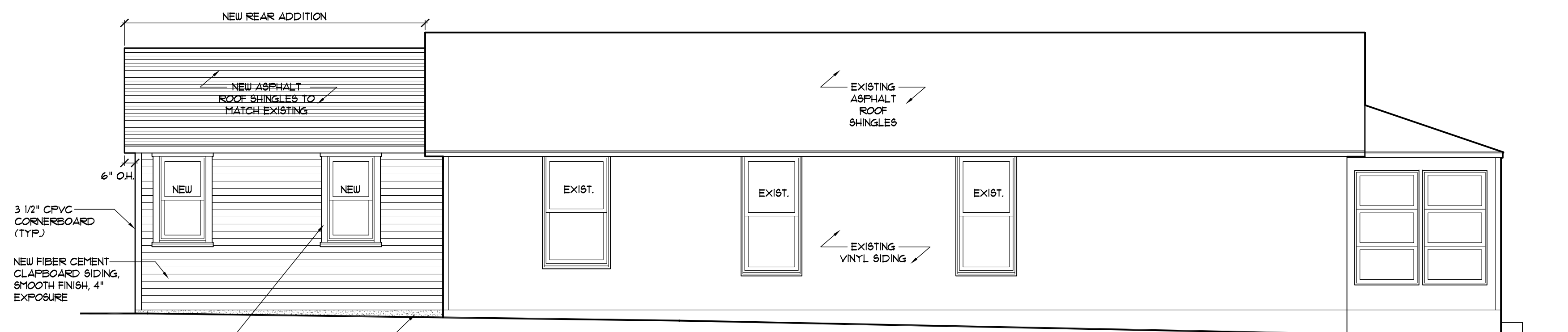
REAR ELEV. (NORTH)
1/4" = 1'-0"



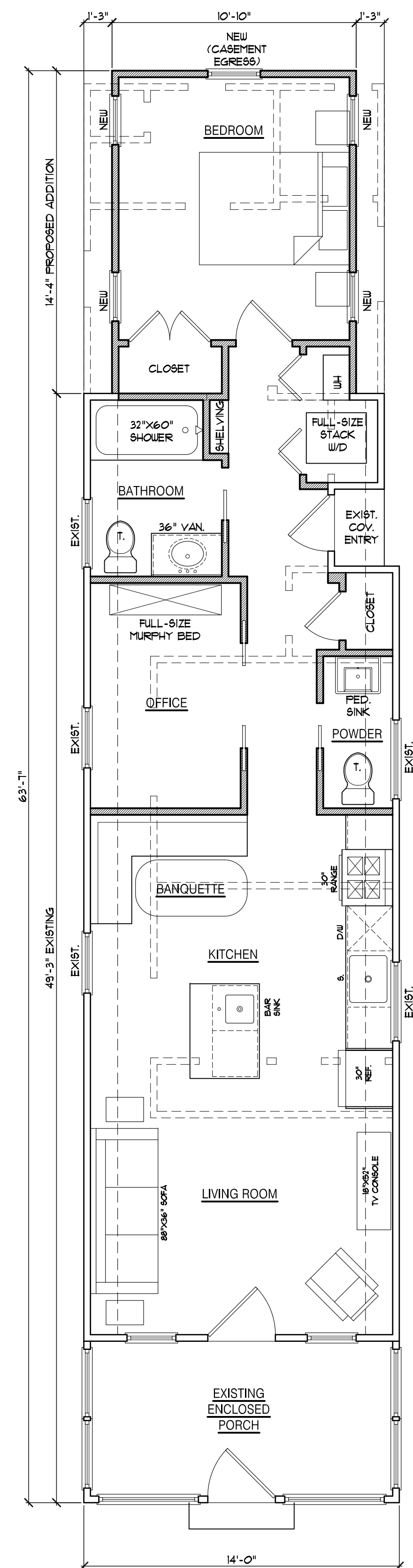
FRONT ELEV. (SOUTH)
1/4" = 1'-0"



SIDE ELEV. (EAST)
1/4" = 1'-0"



SIDE ELEV. (WEST)
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

LEGEND	
---	WALLS TO BE DEMOLISHED
—	WALLS TO REMAIN
—	NEW WALLS

PROPOSED ADDITIONAL ALTERATIONS:
GIOVANELLA RESIDENCE
31-1/2 Heck Avenue
Ocean Grove, 07756

Block: 210
Lot: 14
SEAL: *Stephen J. Canfield*
Stephen J. Canfield, AIA
NJ LIC # A000868

SHORE POINT ARCHITECTURE, PA
105 South Main Street, Ocean Grove, New Jersey 07756
P: 732.774.8900 F: 732.774.7250 www.shorepointarch.com

FLOOR PLANS AND ELEVATIONS
SCALE: AS SHOWN
DRAWN: ABF

DATE	REVISION/SUBMISSION
9/1/22	IFC "PARTIAL DEMOLITION"
10/20/22	ZONING SUBMISSION

JOB NUMBER
2022-19

A-2
Giovanella