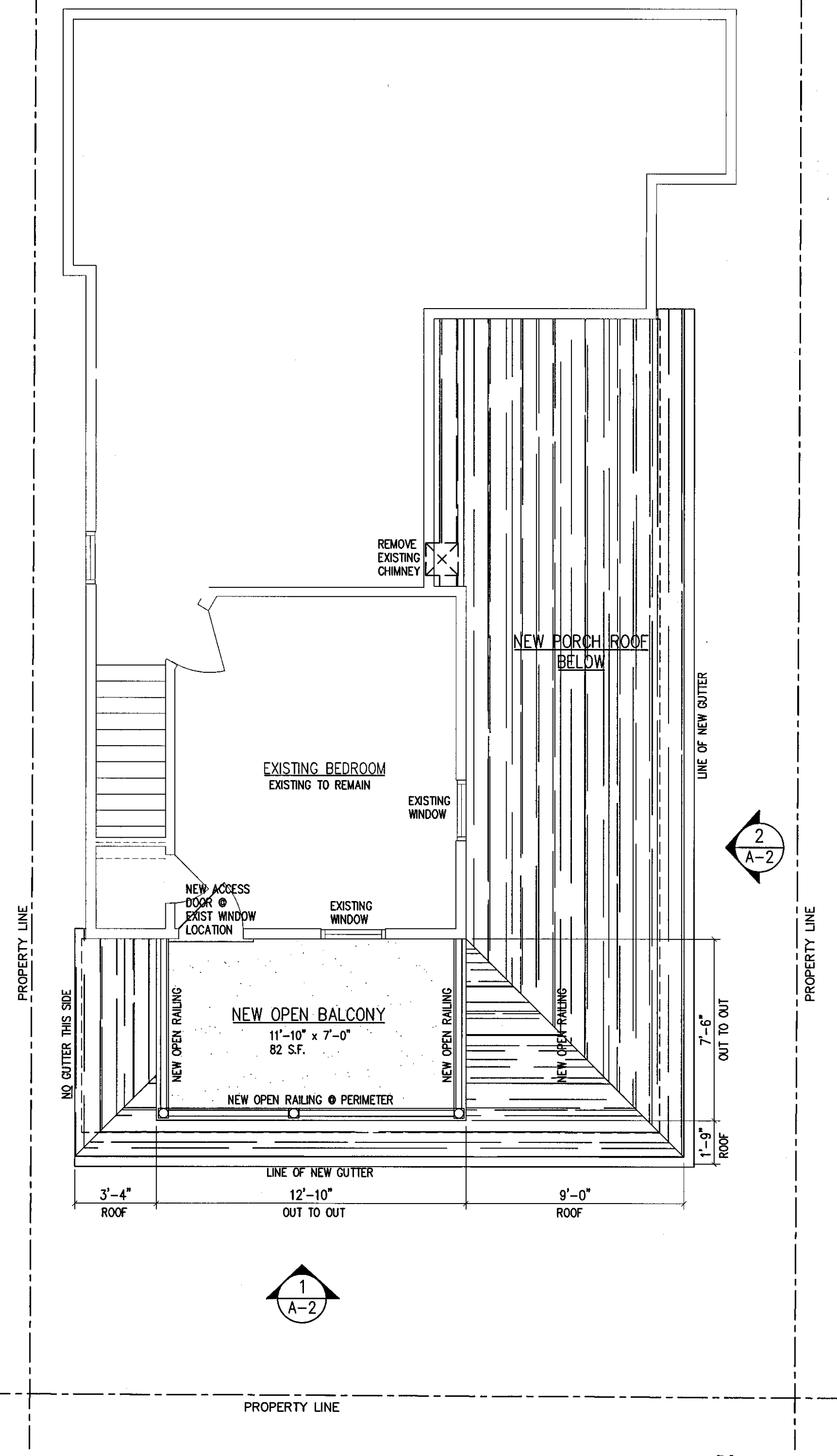
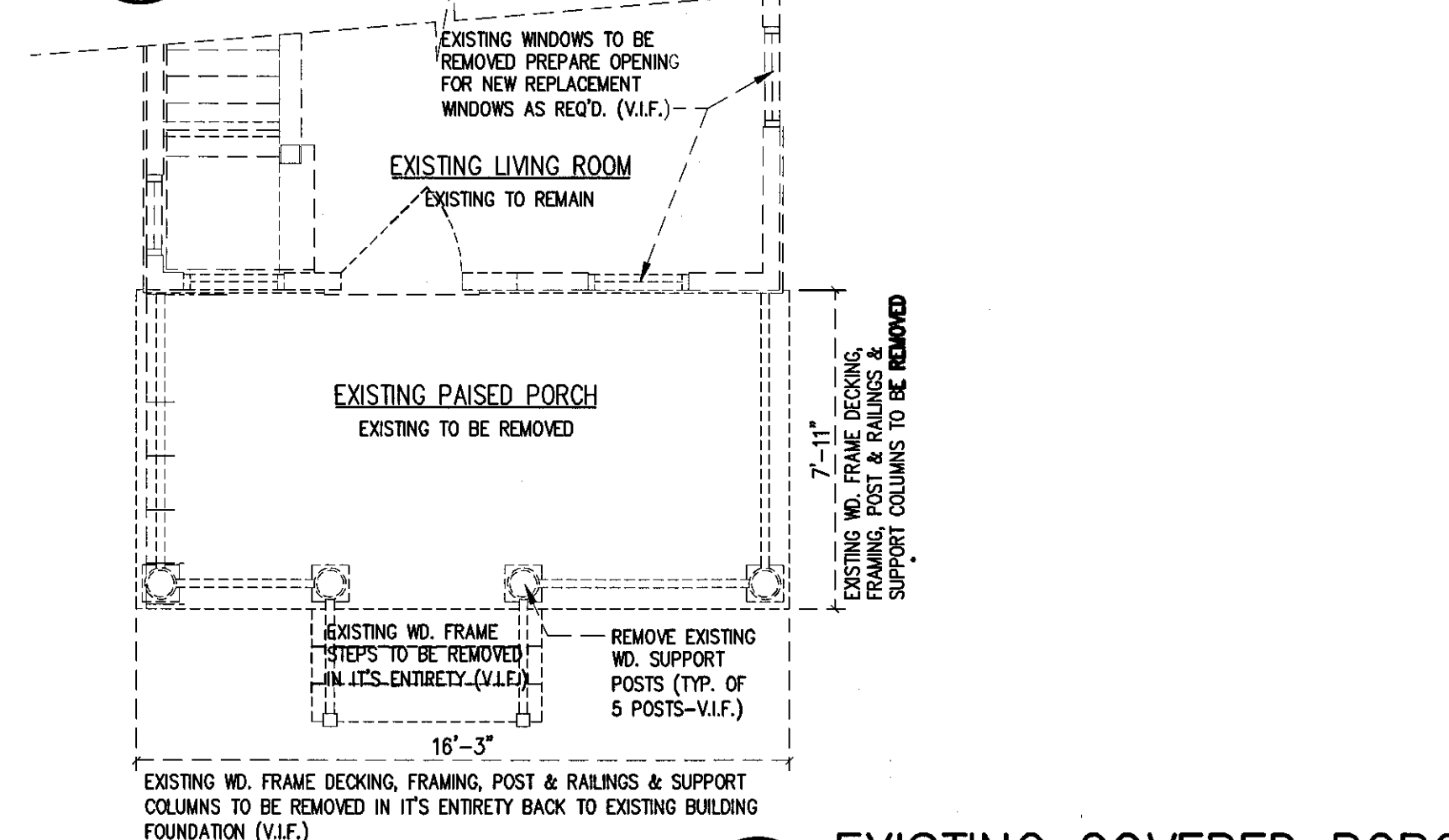


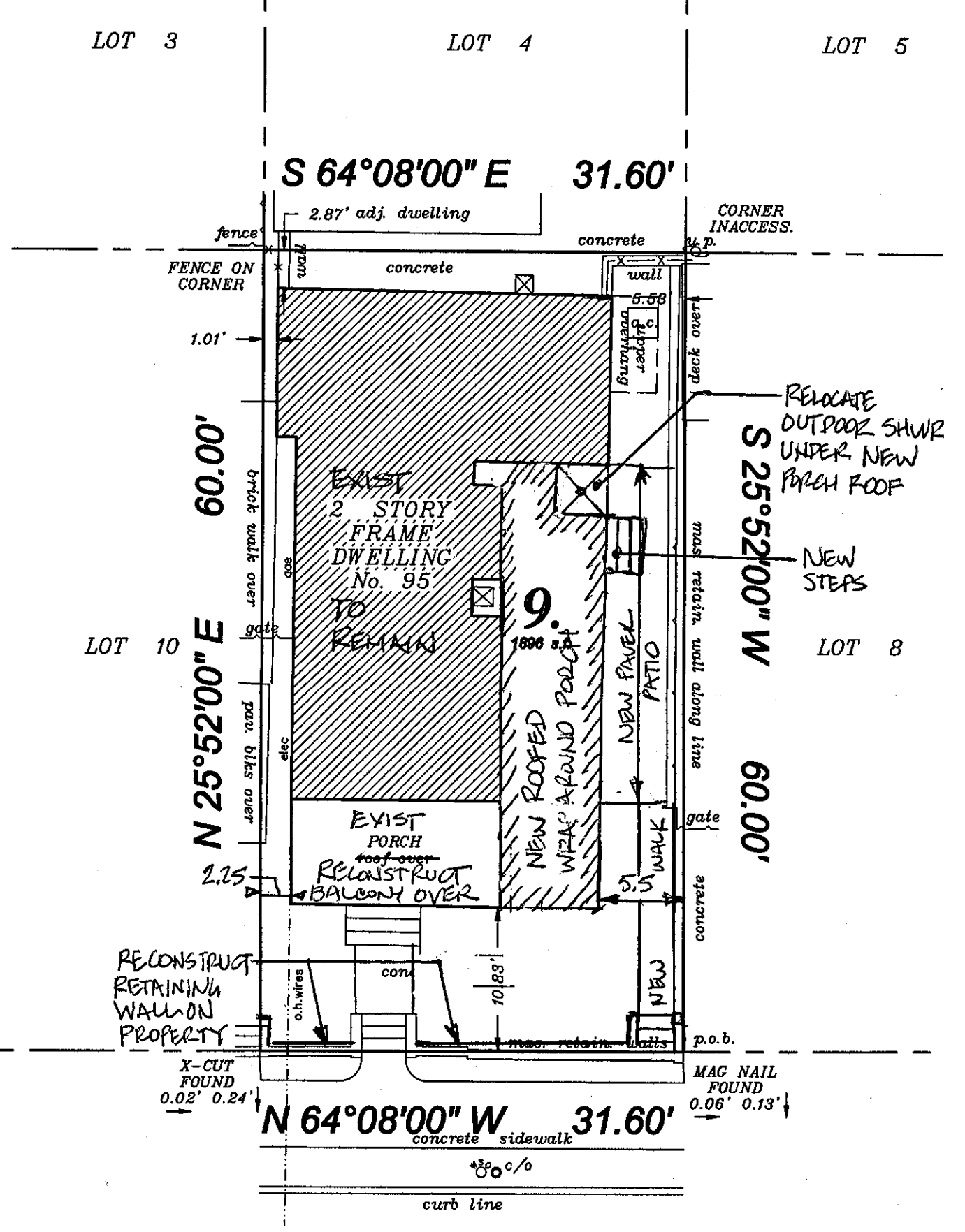
1 PROPOSED FIRST FLOOR PORCH PLAN
A-1 SCALE: 1/4" = 1'-0"



2 PROPOSED BALCONY/ PORCH ROOF PLAN
A-1 SCALE: 1/4" = 1'-0"



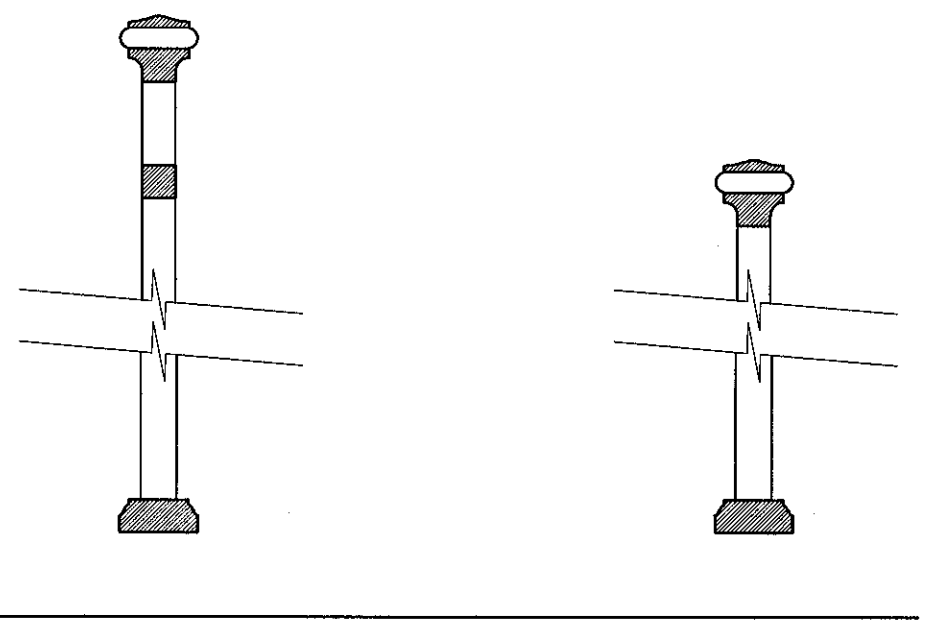
B EXISTING COVERED PORCH DEMOLITION PLANS
A-1 SCALE: 1/4" = 1'-0"



COOKMAN AVENUE

A PROPOSED PLOT PLAN
A-1 SCALE: 1" = 10'-0"

ALL INFORMATION NOTED ON THIS SITE PLAN IS TAKEN FROM A SURVEY PREPARED BY PAUL K. LYNCH LAND SURVEYOR; P.O. BOX 1453 WALL, N.J. 07719; PAUL K. LYNCH LIC #35855 DATED 10.6.22



C TYP. RAIL/ BALUSTER DETAIL
A-1 SCALE: 1 1/2" = 1'-0"

CODE SUMMARY

- PLAN REVIEW AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NJ RE-HAB SUBCODE CURRENT EDITION FOR NEW ALTERATIONS OF EXISTING CONSTRUCTION & I.R.C./2021 NEW JERSEY EDITION INCLUDING ANY/ALL AMENDMENTS PER N.J.U.C.C. FOR ALL NEW CONSTRUCTION.
- ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS (WFCM) AS REQUIRED BY CODE SECTION R301.2.1.1
- BASIC WIND SPEED 115 MPH/ EXPOSURE B
- USE GROUP R5
- CONSTRUCTION CLASSIFICATION 5B
- DESIGN LOADS LIVE (PSF) DEAD (PSF)
 - ROOF 30 15
 - EXTERIOR WOOD DECK 40 12
 - EXTERIOR BALCONY 60 15

ZONING SUMMARY

- LOCAL ZONING HO-R-1
- BLOCK 251 / LOT 9
- NEW CONSTRUCTION- PRINCIPLE BLDG.
- RECONSTRUCTED EXISTING & NEW COVERED PORCH 395 S.F.
- SECOND FLOOR BALCONY 82 S.F.
- TOTAL 477 S.F.
- NEW BLDG. VOLUME 4,000 C.F.
- LOT 10
- RECONSTRUCTED EXISTING PROPOSED
 - MIN. AREA 1,800 S.F. 1,896 S.F. (EXIST.)
 - MIN. WIDTH 30 FT. 31.60 FT. (EXIST.)
 - MIN. DEPTH 60 FT. 60 FT. (EXIST.)
 - MAX. BLDG. COVERAGE 85% (1,530 S.F.) 43.9% (832 S.F.)/ 60.0% (1,137 S.F.)
 - MAX. IMPERVIOUS COVERAGE 90% (1,620 S.F.) 79.0% (1,498 S.F.)/ 85.0% (1,629 S.F.)
- IMPERVIOUS CALCULATIONS
 - BUILDINGS 742 S.F.
 - NEW ROOFED PORCH & BALCONY 395 S.F.
 - FRONT YARD, WALK/STEPS/RETAINING WALLS 127 S.F.
 - EAST SIDE YARD PATIO/WALK/STEPS 151 S.F.
 - WEST SIDE WALKWAY (NEIGHBOR COVERAGE) 20 S.F.
 - REAR YARD WALKWAY 100 S.F.
 - TOTAL 80.0% (1,535 S.F.)
- PRINCIPLE BUILDING RECONSTRUCTED PROPOSED
 - FRONT YARD SETBACK 8.19 FT. AVERAGE* 18.83 FT. (EXIST.)
 - FRONT YARD PORCH SETBACK 2.48 FT. AVERAGE* 10.83 FT. (EXIST. & RECONSTRUCTED)
 - SIDE YARD SETBACK 1 (NEW PORCH/BALCONY) 2 FT. 2.25 FT. (EXIST. & RECONSTRUCTED)
 - SIDE YARD SETBACK 2 (NEW COVERED PORCH) 2 FT. 13.5 FT. (EXIST.)
 - SIDE YARD SETBACK COMBINED 4 FT. 15.85 FT. (EXIST.)
 - REAR YARD SETBACK 3.1 FT. 2.87 FT. (EXIST)**
 - MAXIMUM HEIGHT BLDG. 35 FT. 14 FT. (NEW)
 - STORIES 2 1/2 2 (EXIST)
- *AVERAGE FRONT SETBACK (SEE SURVEYOR REPORT)
- **EXISTING NON-CONFORMING

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL
- GF MP DUPLEX W/ GROUND FAULT CIRCUIT INTERRUPTER
- S S SINGLE POLE/ DIMMER SWITCHES
- W MP WALL MTD. WATERPROOF EXTERIOR/ INTERIOR LIGHT FIXTURE

FINISH MATERIAL NOTES

- ALL NEW PORCH DECKING & STAIR TREADS SHALL BE 5/4 MAHOGANY T & G NARROW W.D. PLANKS, STAINED OR PAINTED GRAY PER MANUFACTURERS WRITTEN SPECIFICATIONS
- NEW PORCH CEILING SHALL BE 1x4 T & G WOOD PLANK- SPECIES & STAIN FINISH AS SELECTED BY OWNER
- ALL NEW PORCH & BALCONY GUARD RAIL SHALL BE PER DETAIL C/A-1 THIS SHEET. NO EXCEPTIONS.
- ALL COMPOSITE COLUMNS TO BE PAINTED PER MANUFACTURERS WRITTEN SPECIFICATIONS W/ (1) COAT 100% ACRYLIC PRIMER AND TWO (2) COATS 100% ACRYLIC EXTERIOR FINISH PAINT.
- ALL EXISTING WINDOW/DOOR TRIM TO BE PAINTED W/ (1) COAT PRIMER AND TWO (2) COATS EXTERIOR FINISH PAINT- WHITE TO MATCH PORCH BALUSTERS & COLUMNS.
- NEW GUTTER AT BALCONY ONLY SHALL BE ALUM. HALF ROUND PROFILE W/ TURNED OUT EDGE- COLOR WHITE. AMERIMAX 5" ALUM. HALF ROUND SINGLE BEAD H-GLOSS WHITE W/ ROUND DOWNSPOUT.
- OWNER AND/OR GENERAL CONTRACTOR SHALL SUBMIT AN HPC COMPLIANT COLOR SCHEME FOR APPROVAL BY THE HISTORICAL PRESERVATION COMMISSION DESIGNATED OFFICIAL PRIOR TO APPLICATION OF ANY FINISH COATS OF PAINT
- ALL PRE-MANUFACTURED/ENGINEERED FINISH MATERIALS AND/OR SPECIALTY ITEMS AS SPECIFIED ON THESE DRAWINGS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURERS WRITTEN SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

CONSTRUCTION NOTES

- CONTRACTOR TO VISUALLY INSPECT ALL EXISTING STRUCTURAL PORCH POSTS FOR ANY WATER DAMAGE, ROT/DETERIORATION PRIOR TO COMMENCEMENT OF NEW FINISH WORK. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING IF ANY EXISTING STRUCTURAL POSTS ARE DAMAGED AND/OR NEED REPLACEMENT.
- NEW PORCH DECKING ON FIRST FLOOR PORCH ONLY TO BE 5/4 COMPOSITE T & G MAHOGANY OVER NEW 1x4 P.T. SLEEPERS @ 16" O.C. SECURED TO EXIST FIBERGLASS DECK. PROVIDE WEEPS AT UNDERSIDE OF SLEEPERS @ 24" O.C. ALL SLEEPERS TO BE INSTALLED PARALLEL TO FRONT WALL & ALL DECKING PERPENDICULAR TO FRONT WALL. DO NOT INSTALL NOSING AT EXPOSED ENDS OF DECKING PER HPC
- CONTRACTOR TO SUPPLY & INSTALL NEW BEADBOARD PANELS W/ CONT. CROWN MOLDING AT UNDERSIDE OF NEW DECK STRUCTURE/PORCH CEILING- RESTORATION WILLWORK BEADBOARD PANELS OR APPROVED EQUAL- PAINT COLOR AS SELECTED BY OWNER
- ALL NEW PORCH RAIL SHALL BE PER HPC REQUIREMENTS INCLUDING ALL BALUSTERS TO BE INSTALLED AT 4" O.C.
- ALL NEW NEWELL POSTS TO BE 6 x 6 P.T. W.D. POSTS W/ INTX VINYL CHAMFERED SLEEVE W/ BOTTOM TRIM RING AND FLAT CAP & ACCESSORY BALL CAP
- ALL EXISTING STAIRWAY GUARDRAIL TO BE REFURBISHED AS REQUIRED

MS. DAWN WILCOX
95 COOKMAN AVENUE
OCEAN GROVE, NJ 07756

NEW WRAP AROUND PORCH & BALCONY
WILCOX RESIDENCE
BLOCK XX/ LOT XX
95 COOKMAN AVENUE
OCEAN GROVE, NJ 07756

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DATE 02.23.25
SCALE AS NOTED
DRAWN BY MJM
PROJECT MANAGER MJM
JOB NUMBER G25-01

ARCHITECT MICHAEL J. MOSS
LIC. No. AL-15000

TITLE NEW PORCH/BALCONY PLANS, CODE & ZONING SUMMARY

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