



TRU BY HILTON

NEPTUNE, NJ

EXTERIOR RENDERINGS:

ARCHITECTURAL GENERAL PROJECT NOTES:

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ARE THE ONLY ACCEPTABLE MEANS OF LOCATION.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL BOARD AND/OR INDICATED MATERIAL U.N.O.
- PROVIDE WALL BOARD TRIM AT ALL EXPOSED EDGES AND CORNERS OF GYPSUM WALLBOARD CONSTRUCTION. J-BEAD OR OTHER NON-DRYWALL COMPOUND TRIM PIECES PROHIBITED (U.N.O.)
- IT IS THE INTENTION OF THE KEY NOTES LOCATED ON THE VARIOUS SHEET(S) WITHIN THIS DRAWING SET TO IDENTIFY CONSTRUCTION ELEMENTS, NOT NECESSARILY DESCRIBE ENTIRE ASSEMBLIES OR PROCESSES. THE INSTALLATION OF SAID ELEMENT SHOULD INCLUDE ALL ASSOCIATED CONSTRUCTION NECESSARY TO ACHIEVE INSTALLATION AND OPERATION (USE) OF SAID ITEM. FOR EXAMPLE, THE INSTALLATION OF CERAMIC TILE SHALL INCLUDE (BUT BE NOT LIMITED TO) THE SURFACE PREPARATION, MASTIC, GROUT, EDGE STRIPS, SEALING, CLEANING, ETC. IN ADDITION, IF THE PLUMBER INSTALLS A LAVATORY, IT MEANS HE/SHE SHALL PREPARE SURFACE(S), SET LAVATORY, SEAL AROUND BOWL, PROVIDE FAUCET, CONNECT TO PLUMBING AS NECESSARY TO ACHIEVE AN AESTHETICALLY PLEASING, ACCESSIBLE (WHERE INDICATED), OPERATIONAL LAVATORY UPON COMPLETION OF THE PROJECT.
- ALL ELEVATIONS ARE BASED ON 0.00' REFERENCING A GRADE LEVEL OF 0.00' EXCEPT FOR ELEVATIONS THAT REFERENCE A.F.F. (ABOVE FINISHED FLOOR) OR OTHER SPECIFIC INDICATOR.
- ALL WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING CODES AND ORDINANCES, AND ALL AGENCIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY IN THE FIELD ALL CONDITIONS AFFECTING THEIR WORK. SUBSURFACE CONDITIONS MUST BE INSPECTED PRIOR TO THE START OF WORK. ANY CONDITIONS FOUND THAT ALTER OR OTHERWISE CHANGE THE REQUIREMENTS FOR THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. ALL CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS BEFORE PROCEEDING.
- ALL WORK OF THE PROJECT SHALL BE PERFORMED CAREFULLY AND SKILLFULLY BY WORKERS ADEPT IN THEIR TRADES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE THOROUGH COORDINATION OF ALL TRADES. NO CLAIMS FOR ADDITIONAL WORK WILL BE ACCEPTED FOR WORK RELATED TO SUCH COORDINATION.
- ALL CONTRACTORS SHALL EXAMINE THE BID DOCUMENTS AND SHALL BE INFORMED OF THE ENTIRE CONTENTS THEREOF PRIOR TO SUBMISSION OF ANY PROPOSAL. ALL CONTRACTORS SHALL EXAMINE THE CONTRACT DOCUMENTS AND SHALL BE INFORMED OF THE ENTIRE CONTENTS THEREOF PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS OR AMBIGUITIES NOTED DURING SAID EXAMINATION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT. PRIOR TO THE SUBMISSION OF A BID, THE ARCHITECT WILL ISSUE AN ADDENDUM OR INTERPRETATION OF THE CITED ERROR OR AMBIGUITY. NO SUBSEQUENT CLAIM FOR EXTRA WORK WILL BE ALLOWED ON ACCOUNT OF CLAIMED MISUNDERSTANDING OF THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS OR ANY PORTION THEREOF IF THE ITEM OCCASIONING THE CLAIM APPEARED IN, OR WAS INFERRABLE FROM, SAID CONTRACT DOCUMENTS AS FURNISHED FOR BIDDING OR CONSTRUCTION.
- ALL WOOD BLOCKING AND FINISHES SHALL COMPLY WITH THE FIRE RESISTIVE REQUIREMENTS OF THE BUILDING CODE AS OUTLINED IN THE SPECIFICATIONS. SEE THE CODE MATRIX FOR REQUIRED CLASSIFICATIONS OF MATERIALS.
- FIRE STOPS, DRAFT STOPS AND ALL FIRE SAFING IS TO BE PROVIDED AS REQUIRED BY THE CODE. (SEE SPECIFICATION SECTION 07841). FIRE-RESISTANCE-RATED PARTITIONS, FIRE BARRIERS, AND FIRE WALLS SEPARATING VACANT TENANT SPACES FROM THE REMAINDER OF THE BUILDING SHALL BE MAINTAINED. OPENINGS, JOINTS, AND PENETRATIONS IN FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CHAPTER 7 OF THE IBC.
- PERSONS IN CHARGE OR CONTROL OF A BUILDING OR PORTION THEREOF, SHALL REMOVE THEREFROM ALL ACCUMULATIONS OF COMBUSTIBLE MATERIALS, FLAMMABLE OR COMBUSTIBLE WASTE OR RUBBISH AND SHALL SECURELY LOCK OR OTHERWISE SECURE DOORS, WINDOWS AND OTHER OPENINGS TO PREVENT ENTRY BY UNAUTHORIZED PERSONS. THE PREMISE SHALL BE MAINTAINED CLEAR OF WASTE OR HAZARDOUS MATERIALS.
- ALL DIMENSIONS, NOTES AND DETAILS SHOWING A PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR SIMILAR CONDITIONS. DO NOT SCALE DRAWINGS & VERIFY ALL LISTED DIMENSIONS IN FIELD AS REQUIRED FOR THE SCOPE OF THE WORK.
- ALL WORK INCLUDED IN THE CONSTRUCTION DOCUMENTS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL SYSTEMS SHALL BE OPERATIONAL AND IN GOOD WORKING ORDER.
- PER IBC REQUIREMENTS, GC TO COORDINATE INDEPENDENT TESTING WITH OWNER'S TESTING AGENCY
- ALL ELECTRIC RISERS AND SHAFTS SERVING ELEVATORS, EMERGENCY AND EXT LIGHTS, VOICE COMMUNICATION SYSTEMS, AND SMOKE CONTROL SYSTEMS/EQUIPMENT ARE TO BE ENCLOSED WITH TWO HOUR FIRE-RESISTIVE RATED CONSTRUCTION AND ARE TO INCLUDE CONTINUOUS THREE INCH (3") HIGH WATER STOPS ON ALL SIDES AS APPROPRIATE. INSTALL SLEEVES AS REQ'D.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. REFER TO STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL GENERAL NOTES, CODE REQUIREMENTS, AND INFORMATION.
- PROVIDE MIN. 4" HIGH REINFORCED CONCRETE HOUSEKEEPING PADS (OR SIZED PER CODE REQUIREMENTS AND/OR EQUIPMENT MANUFACTURER'S RECOMMENDATION) FOR ALL FLOOR MOUNTED EQUIPMENT.
- PROVIDE FIRE-RETARDANT TREATED PLYWOOD BACKER BOARDS AROUND THE INSIDES OF ALL ELECTRICAL, TELEPHONE, AND IT (SECURITY, NETPOP, ETC.) ROOMS THROUGHOUT BUILDING AS REQUIRED FOR INSTALLATION OF EQUIPMENT.

INDEX TO DRAWING SYMBOLS

ID. & SHEET
ID. NUMBER
SHEET NUMBER
MATCH LINE
REFERENCE TAG
(GENERAL/TYPICAL USE)
SECTION REFERENCE
SECTION REFERENCE(S)
(DETAILS)

ID. NUMBER
REFER TO SHEET
ELEVATION REFERENCE
(INTERIOR and/or EXTERIOR)
ELEVATION REFERENCE
(INTERIOR ONLY)
ENLARGED REFERENCE
REVISION CLOUD & DELTA

STRUCTURAL GRID
ALIGN CONSTRUCTION
ELEVATION WORK POINT
SPOT ELEVATION

KEY NOTE
ROOM NAME
ROOM ID. No.
DOOR ID. NO.
DOOR IDENTIFICATION
FINISH IDENTIFICATION
OR TOILET ACCESSORIES
CEILING HEIGHT / FINISH,
ACCESSORY FURNITURE,
OR MILLWORK REFERENCE

ABBREVIATIONS AND DEFINITIONS

Abbreviations definitions within () are content specific, or optional, depending on the note. For example: Content: Refer to Arch. would be read: "Refer to Architectural" Content: Arch. would be read: "Contract Architect" Optional: Dwg. = Drawing and Drgs. = Drawings				NECESSARY REQUIRE: WORK NEEDED TO COMPLETE THE WORK TO "MAKE IT OPERATIONAL". WORK NEEDED TO BE IN COMPLIANCE WITH BUILDING CODE, GOVERNING CODE, OR JURISDICTION HAVING AUTHORITY. PROVIDE: RESPONSIBLE FOR PURCHASE, DELIVERY, RECEIVING, INSPECTION, STORAGE, PREPARATION, AND INSTALLATION OF ITEM(S). FURNISH: RESPONSIBLE FOR PURCHASE AND DELIVERY OF ITEM(S). INSTALL: RESPONSIBLE FOR RECEIVING, INSPECTION, STORAGE, PREPARATION AND INSTALLATION OF ITEM(S).					
A. or L.	And	D. DN. DWN.	Down	GL. or GLAZ.	Glass/Glazing	MIN.	Minimum	RM.	Room
ANGL.	Angle	DRL.	Double	GRAN.	Granite	MISC.	Miscellaneous	R.O.	Rough Opening
AP.	Appl.	DEPT.	Department	G.S.M.	Galvanized Sheet Metal	M.O.	Masonry Opening	S or S.	South
AS or S.M.	Square Meters	DTL. w. DTL.	Detail	G.V.	Gas Valve	M.R. or M.R.	Masonry Reinforced	SCHED. or SCHED.	Schedule
#	Pound(s) or Number	DN.	Diameter	GYP.	Gypsum Board	MTD.	Mounted	SECT.	Section
+/- or ±	Plus Minus	DW.	Drain	GYP. BD.	Gypsum Board	MTE.	Mounting	SFT.	Sheet
A.B.	Anchor Bolt	DR. or DRN.	Drain	H	High	MTL.	Metal	SM. or S.M.	Surface Mounted
ACC.	Accessible	DS. or D.S.	Downspout	HABDG	Habitat Accessibility Design Guide	MUL.	Mulch	SS	Stainless
A/C	Air Conditioning	DWG(S)	Drawing(s)	HC. or H.C.	Hand-Sapped	N or N.	North	SS OR S.S.	Stainless Steel
ACCOUST.	Acoustical	E or E.	East	HDB	Hardwood	N/A or N.A.	Not Applicable	ST	Street
ADJ.	Adjacent	E.A.	Each	HDWR.	Hardware	NECV	Necessary	STD.	Standard
AF or A.F.F.	Above Finish Floor	E.F.S.	Exterior Finish System	HGT.	Height	NIC.	Not in Contact	STL.	Steel
AFS or A.F.S.	Above Finish Grade	EJ or E.J. or E.J.	Expansion Joint	HGT. OR HT.	Height	NOM.	Nominal	STOR.	Storage
ALUMN. or ALUM.	Aluminum	EL. or E.L.	Elevation	HMT. OR H.M.	Hollow Metal	NON COMB.	Non Combustible	SUSP.	Suspended
ANGL.	Angle	ELC. or E.L.C.T.	Electrical	HTG.	Heating	N.T.S.	Not to Scale	SYM.	Symmetrical
APPROX.	Approximate	EMER. or EMERG.	Emergency	H.R. or H.	Hour	O.A.	Overall	T	Top of
ARCH.	Architectural	ENCL.	Enclosure	H.V. or H.V.A.C.	Heating, Ventilation and A/C	O.C.	On Center	T.O.	Top of
ASPH.	Asphalt	ENG.	Engineer	H.W.	Hot water	O.D.	Outside Diameter	TYP.	Typical
ATTN. or ATTEN.	Attention	EP or E.P.	Equal	I.D.	Inside Diameter	O.F.F.	Off	TEL.	Telephone
Bxces	Box(es)	EQU.	Equipment	IN.	Inches	O.F.O.	Overhead or Outside	TEMP.	Temporary or Tempored
BLDG.	Building	ENC or E.W.C.	Electrical Water Cooler	INFO.	Information	O.H.	Overhead or Opposite Hand	TAB	Top and Bottom
BLK.	Block	EW.	Each Way	INSUL.	Insulation	OPP.	Opposite	TAG	Tagline and Groove
BMA.	Beam	EXIST.	Existing	INT.	Interior	O.T.O.	Out to Cut	THRU.	Through
BOT.	Bottom	EXP.	Expansion	INV.	Invert	PART	Particulate, Partial or Partition	TS or T.S.	Tube Steel
BNG.	Bearing	EXT.	Exterior	JC or J.C.	Joist's Closet	P	Plaster	TV OR T.V.	Television
BRK.	Brick	F.A.	Fire Alarm	JNT. or JNT.	Joint	P.LAM or P.L.	Plastic Laminate	TYP.	Typical
BRN/MTL.	Brown/Metal	F.B.	Face Brick	KIT.	Kitchen	P.LG.	Plumbing	U.N.O.	Unless Noted Otherwise
B.U.R.	Built Up Roofing	F.D. or F.D.	Fire Drift	K.O.	Knock out	PLBG.	Plumbing	U.N.O.	Unless Noted Otherwise
C or CH.	Channel	F.DN.	Foundation	LAN.	Laminated	P.LW. or P.LWG.	Plywood	U.N.O.	Unless Noted Otherwise
CAB.	Cabinet	F.E.	Fire Extinguisher	LAV.	Lavatory	PML.	Panel	VAR.	Various Variable
CB or C.B.	Center Board	F.F.	Fire Extinguisher Cabinet	LAW.	Laundry	PRC.	Porcelain	VCT or V.C.T.	Vinyl Composition Tile
C/C or C.C.	Center to Center	FL. or F.L.	Floor	L.B. or LBS.	Load(s)	P.S.F.	Pounds per Square Foot	VB or VB. or V.B.	Vertical Bracing
CCV or C.C.T.V.	Cable Circuit Television	FLOR.	Floor	L.C.	Light	P.T.	Pressure Treated	VERT.	Vertical
CL.	Cladding	FRM.	Frame	L.T.	Light	POST TEN.	Post Tensioned	VF. or V.F.	Verify in Field
CL or CL.	Cladding	F.R.T.	Fire Retardant	L.T. MTL.	Light Metal	P/N. or P.A.N.	Particulate	W or W.	West
CLM or C.M.U.	Concrete Masonry Unit	F.R.C.	Fire Retardant Concrete	L.T. WT.	Light Weight	R	Rise	W.O.	Without
C.O.	Closed Opening	F.P.C.	Fire Retardant Plastic	L.L.H. or LLH	Long Leg Horizontal	RAD.	Radius	W.C.	Water Closet
COL.	Column	FT.	Foot (ft)	L.L.V. or LLV	Long Leg Vertical	RD. or R.D.	Road	W.D.	Wood
COMB.	Combustion or Combine	FUTR.	Future	MAS.	Masonry	RD.	Reference Dimension	W.F.	Wide Flange
COMP. or COMPT.	Composite	FV or F.V.	Field Verify	MED.	Medium	REC.	Recessed	WIN	Window
CONC.	Concrete	G.A.	Gauge	MED. or M.D.O.	Medium Density Overlay	REC.V. or REC.VD	Recessed or Recessed	W.P.	Waterproof
CORR.	Corrosion	G.B.	Gypsum Board	MECH.	Mechanical	REF. or RE.	Refer or Referenced	W.M.	Wire Mesh
C.W.	Cold Water	GB.	General	MFR. or MANUF.	Manufacturer	REG.	Regular or Register	W.M. or W.W.M.	Welded Wire Mesh
CL or C.J.	Control Joint	GPC	Glass Fiber Reinforced Concrete	M.H.	Main Hole	REINFORC.	Reinforced	WST.	Weight
CLR.	Clear	GPFG	Glass Fiber Reinforced Gypsum			RES.	Resistant	W.V.	Water Valve

ROOM MATRIX:

ROOM MATRIX						
	2ND	3RD	4TH	5TH	TOTAL	
KING TYPE 1 (K1)	7	8	1	1	17	
KING TYPE 2 (K2)	1	1	1	1	4	
KING TYPE 3 (ACC-SHW) (K3)	1	0	0	0	1	
KING TYPE 4 (ACC-TUB) (K4)	0	0	1	0	1	
Q01 DOUBLE QUEEN	9	9	9	9	36	
Q02 DOUBLE QUEEN CONN.	2	2	2	2	8	
Q03 DOUBLE QUEEN (ACC-TUB)	1	1	0	1	3	
Q04 DOUBLE QUEEN CONN.	0	1	1	1	3	
TOTAL	21	22	22	22	87	
TOTAL KING					37	42.53%
TOTAL QQ					50	57.47%

CONTACT INFORMATION:

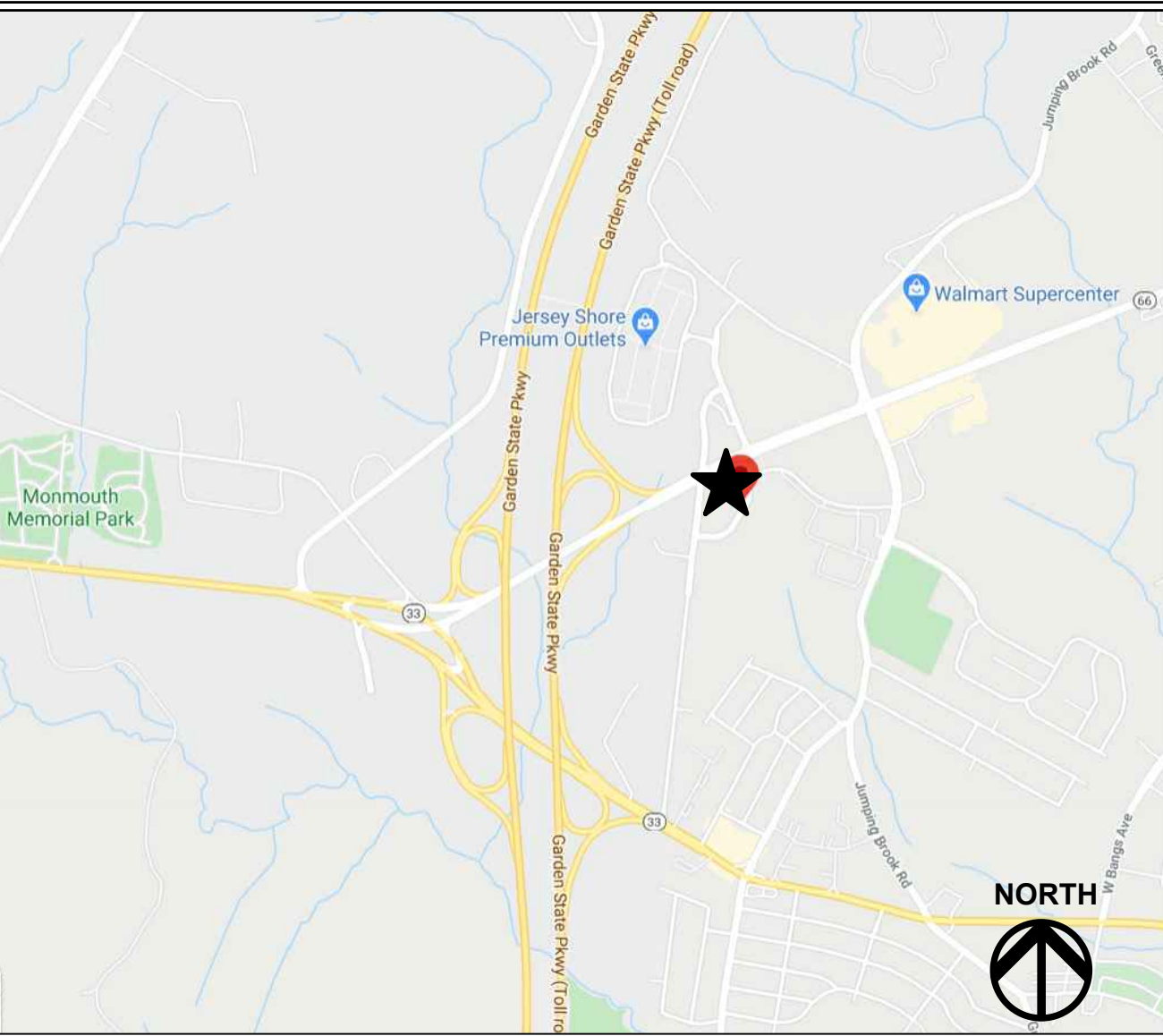
OWNER	CIVIL ENGINEER	MEP/FP ENGINEER
ONIX GROUP 150 ONIX DRIVE KENNETT SQUARE, PA	CONTACT:	H.F. LENZ COMPANY 1407 SCALP AVE JOHNSTOWN, PA 15904
CONTACT:		CONTACT: Steve Mulhollen Smulhollen@hflen.com 509-892-9409

ARCHITECT	STRUCTURAL ENGINEER
NORR ARCHITECTS, INC. 325 NORTH LASALLE, SUITE 500 CHICAGO, ILLINOIS 60654 312.424.2400	PILOTTOWN ENGINEERING 17585 NASSAU COMMONS BLVD UNIT 3 LEWES, DE 19958
CONTACT: Wally Funk Wally.Funk@NORR.com 312.873.1025	CONTACT:

PROJECT DATA:

LOT AREA: XXX ACRES (XXX,XXX SF)	
GROSS BUILDING AREA	
GROUND LEVEL:	10,888 SF
SECOND LEVEL:	8,921 SF
THIRD LEVEL:	8,925 SF
FOURTH LEVEL:	8,930 SF
FIFTH LEVEL:	8,934 SF
TOTAL:	46,598 SF
TOTAL GUEST ROOMS:	
87	
TOTAL BUILDING HEIGHT:	
5 STORY	
55'-0" TO ROOF	
63'-2" TO HIGHEST PARAPET	
CONSTRUCTION TYPE:	
CLASS I-B	
TOTAL PARKING SPACES:	
95 REGULAR PARKING SPACES	
4 HANDICAP PARKING SPACES	
99 PARKING SPACES TOTAL	

VICINITY MAP:



SITE LOCATION MAP:





Neptune, New Jersey

CLIENT



150 Onix Drive
Kennett Square, PA 19348
www.onixgroup.com

ARCHITECT

NORR

325 N. LaSalle St. | Suite 500 | Chicago, IL 60654
t 312.424.2400 | f 312.424.2424 | www.norr.com

STRUCTURAL ENGINEER



Pilottown Engineering

17585 Nassau Commons Blvd - Unit 3
Lewes, DE 19958

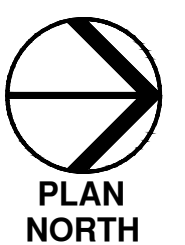
302.703.1770 | www.pilottownengineering.com

EP ENGINEER



1407 Scalp Ave
Johnstown, PA 15904
www.hfflenz.com

MIL ENGINEER

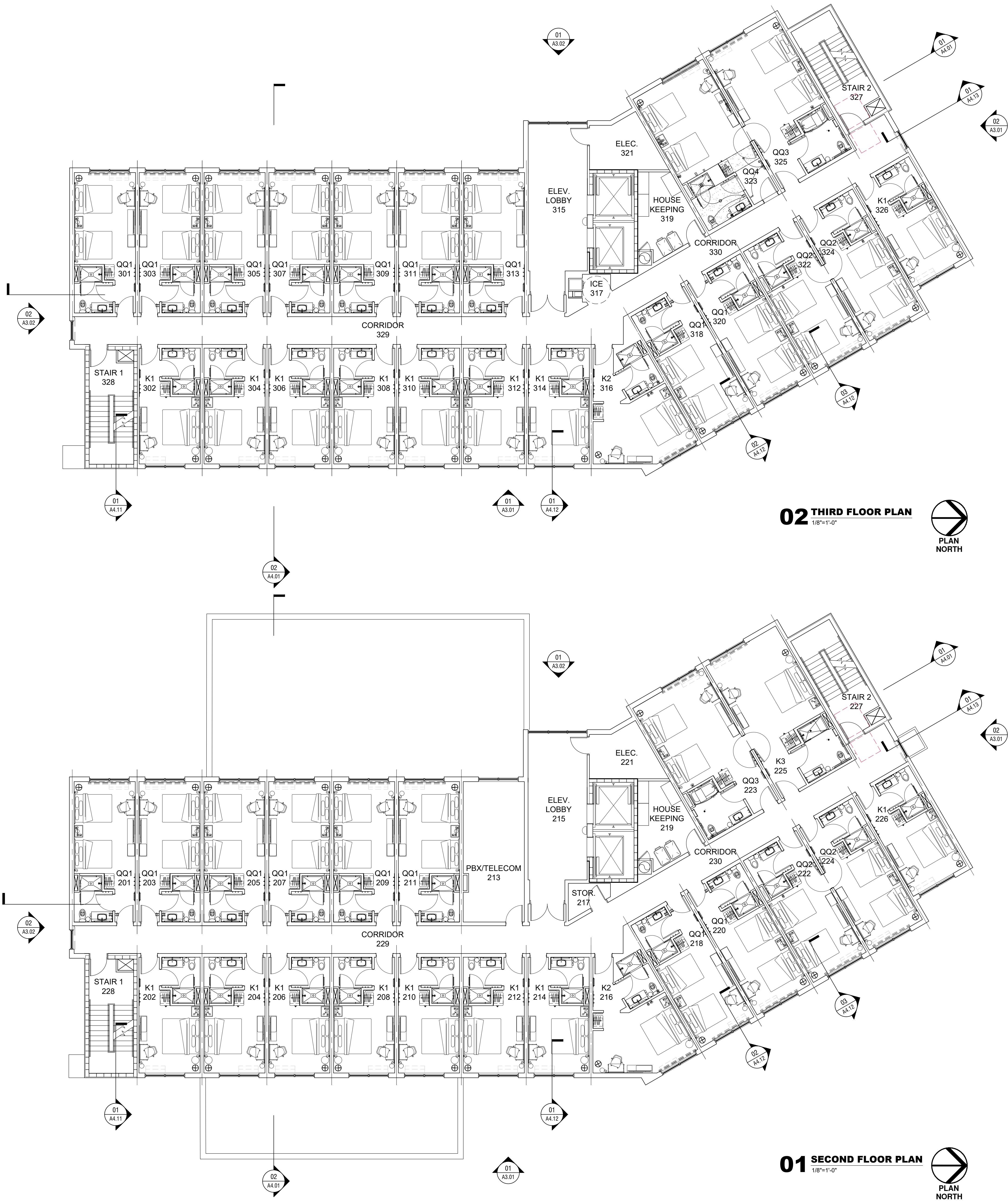


PROFESSIONAL STAMP

SHEET NUMBER

NOT FOR CONSTRUCTION

A1.01



- KEY NOTES:**
- REFER TO ENLARGED GUESTROOM PLANS FOR INFORMATION
 - NOT USED
 - EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - LOCATION OF ROOF ACCESS HATCH - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
 - LINE OF ROOF/CANOPY
 - FIRE SEPARATION DOORS (IF REQUIRED) TO BE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
 - POTENTIAL LOCATION FOR MECHANICAL/ELECTRICAL/PLUMBING CHASE
 - CANOPY ROOF DRAIN BELOW
 - ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT - INSTALL SO DOORS ARE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
 - SHEER ROLLER SHADE AT GUEST CORRIDOR AND ELEVATOR LOBBY
 - PROVIDE ADEQUATE STORAGE SOLUTIONS FOR LINEN STORAGE, LINEN CART STORAGE AND HOUSEKEEPING APPLIANCE STORAGE PER TRU BY HILTON BRAND STANDARDS
 - THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - LINEN CHUTE - FIRE SEPARATION PER LOCAL JURISDICTIONS - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION
 - KEYCARD READER ENTRANCE HARDWARE, MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE OF FINISH FLOOR

GUESTROOM INFORMATION:

ROOM TYPE:	REFER TO SHEET:
KING	A4.01
DOUBLE QUEEN	A4.02
ACCESSIBLE KING	A4.02 + A4.04
ACCESSIBLE DOUBLE QUEEN	A4.05 + A4.06

OWNER SUPPLIED ITEMS:

- REFER TO TRU BY HILTON ARCHITECTURAL FINISH & FIXTURE SPECIFICATIONS, THE PROCUREMENT GUIDE AND/OR TRU BY HILTON FOOD SERVICE DOCUMENTS FOR SOURCING INFORMATION.
- OS-202 HALF ROUND TRASH RECEPTACLE @ LOBBY AND ELEVATOR LOBBIES
 - OS-204 SMALL TRASH RECEPTACLE @ FITNESS, WATERICE
 - OS-303 ICE MACHINE @ WATERICE
 - OS-402 WALK OFF MAT @ SECONDARY ENTRANCE

FURNISHINGS LEGEND:

- PA-402 SHEER ROLLER SHADE @ GUEST CORRIDORS AND ELEVATOR LOBBIES

SYMBOL KEY:

- ACCESSIBLE ROOM
- E.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND ISOM
- MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
- DOOR TAG - REFER TO ENLARGED GUESTROOM PLANS FOR GUESTROOM DOOR TYPES
- FLOOR DRAIN - SLOPE FLOOR AS REQ.

GENERAL NOTES:

- REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
- REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS
- FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - FIRE EXTINGUISHER LOCATIONS WITH THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS
- REFER TO HAZO FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT



Neptune, New Jersey

CLIENT



ONIX GROUP
150 Onix Drive
Kennett Square, PA 19348
www.onixgroup.com

ARCHITECT

NORR
325 N. LaSalle St. | Suite 500 | Chicago, IL 60654
t 312.424.2400 | f 312.424.2424 | www.norr.com

STRUCTURAL ENGINEER



Pilottown Engineering
17585 Nassau Commons Blvd - Unit 3
Lewes, DE 19958
t 302.703.1770 | www.pilottownengineering.com

MEP ENGINEER



H.F. Lenz Company
1407 Scalp Ave
Johnstown, PA 15904
www.hflenz.com

CIVIL ENGINEER

REVISIONS / SUBMITTALS

NO.	DATE	ISSUE

B	04.27.2021	Issued for Revisions
A	06.29.2020	Issued for Schematic Development

NO.	DATE	ISSUE
-----	------	-------

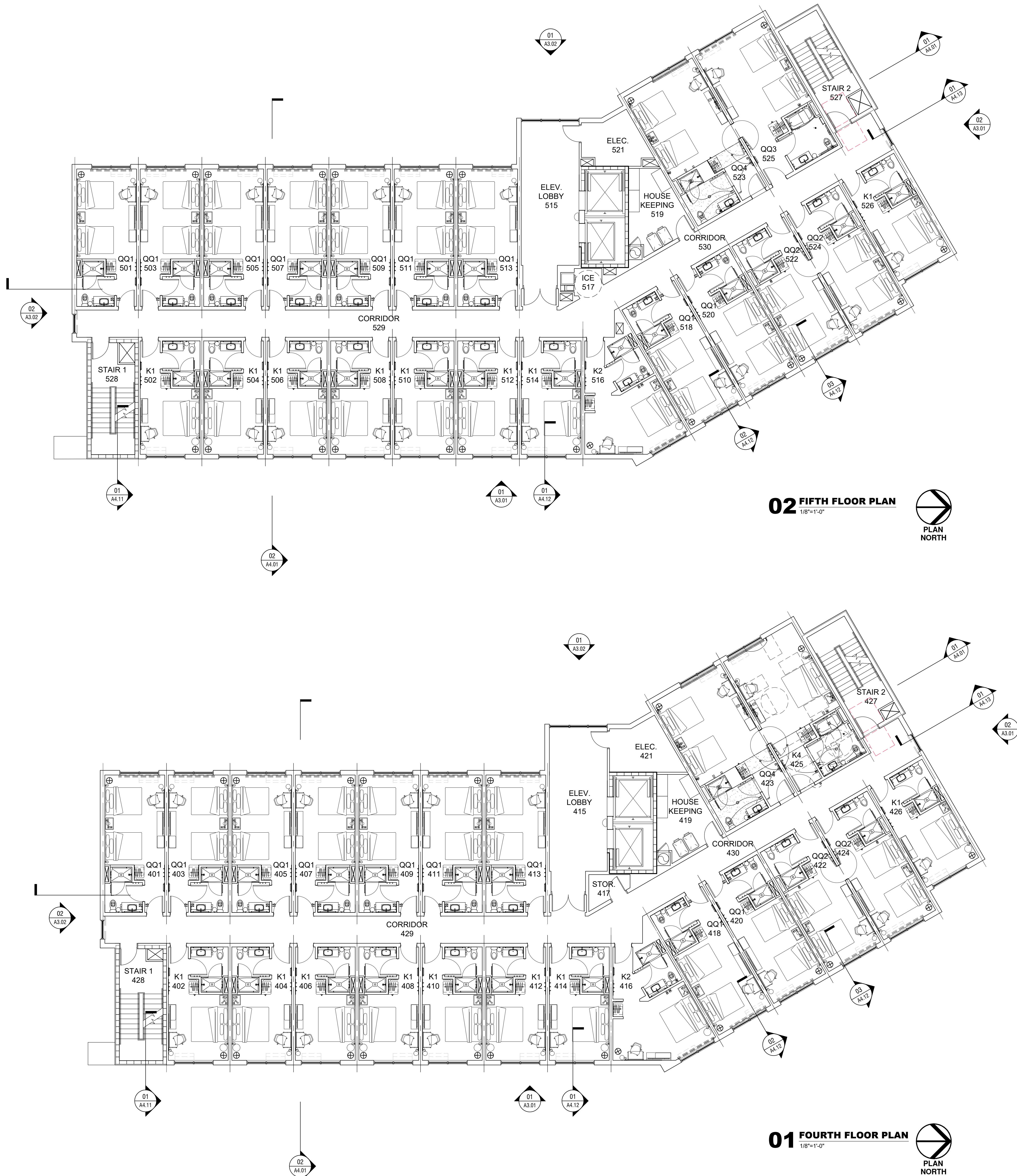
SHEET TITLE

SECOND & THIRD FLOOR PLAN

PROFESSIONAL STAMP | SHEET NUMBER

A1.02

NOT FOR CONSTRUCTION



- KEY NOTES:**
- 1 REFER TO ENLARGED GUESTROOM PLANS FOR INFORMATION
 - 2 NOT USED
 - 3 EGRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
 - 4 LOCATION OF ROOF ACCESS HATCH - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
 - 5 LINE OF ROOF/CANOPY
 - 6 FIRE SEPARATION DOORS (IF REQUIRED) TO BE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
 - 7 POTENTIAL LOCATION FOR MECHANICAL/ELECTRICAL/PLUMBING CHASE
 - 8 CANOPY ROOF DRAIN BELOW
 - 9 ELEVATOR LOBBY DOORS REQUIRED IF BUILDING IS 4 STORIES OR MORE IN HEIGHT - HATCH DOORS ARE ON AUTOMATIC CLOSURES ACTIVATED BY FIRE ALARM SYSTEM - VERIFY REQUIREMENTS WITH LOCAL JURISDICTIONS
 - 10 SHEER ROLLER SHADE AT GUEST CORRIDOR AND ELEVATOR LOBBY
 - 11 PROVIDE ADEQUATE STORAGE SOLUTIONS FOR LINEN STORAGE, LINEN CART STORAGE AND HOUSEKEEPING APPLIANCE STORAGE PER TRU BY HILTON BRAND STANDARDS
 - 12 THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
 - 13 LINEN CHUTE - FIRE SEPARATION PER LOCAL JURISDICTIONS - REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL INFORMATION
 - 14 KEYCARD READER ENTRANCE HARDWARE, MOUNTED SO THAT TOP OF READER IS A MINIMUM OF 48" ABOVE GRADE ON FINISH FLOOR

GUESTROOM INFORMATION:

ROOM TYPE:	REFER TO SHEET:
KING	A4.01
DOUBLE QUEEN	A4.02
ACCESSIBLE KING	A4.02 + A4.04
ACCESSIBLE DOUBLE QUEEN	A4.05 + A4.06

OWNER SUPPLIED ITEMS:

OS-202	HALF ROUND TRASH RECEPTACLE @ LOBBY AND ELEVATOR LOBBIES
OS-204	SMALL TRASH RECEPTACLE @ FITNESS, WATERICE
OS-303	ICE MACHINE @ WATERICE
OS-402	WALK OFF MAT @ SECONDARY ENTRANCE

FURNISHINGS LEGEND:

PA-402	SHEER ROLLER SHADE @ GUEST CORRIDORS AND ELEVATOR LOBBIES
--------	---

SYMBOL KEY:

	ACCESSIBLE ROOM
	E.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
	MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION
	DOOR TAG - REFER TO ENLARGED GUESTROOM PLANS FOR GUESTROOM DOOR TYPES
	FLOOR DRAIN - SLOPE FLOOR AS REQ.

- GENERAL NOTES:**
1. REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS.
 2. REFER TO TRU BY HILTON BRAND STANDARDS FOR ADDITIONAL REQUIREMENTS FOR BACK OF HOUSE AREAS
 3. FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE - FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITHIN FULLY RECESSED CABINETS
 4. REFER TO HATCH FOR ADDITIONAL REQUIREMENTS FOR PUBLIC SPACES & EQUIPMENT



Neptune, New Jersey

CLIENT



ONIX GROUP

150 Onix Drive

Kennett Square, PA 19348

www.onixgroup.com

ARCHITECT

NORR

325 N. LaSalle St. | Suite 500 | Chicago, IL 60654

t 312.424.2400 | f 312.424.2424 | www.norr.com

STRUCTURAL ENGINEER



Pilottown Engineering

17585 Nassau Commons Blvd - Unit 3

Lewes, DE 19958

t 302.703.1770 | www.pilottownengineering.com

MEP ENGINEER



H.F. Lenz Company

1407 Scalp Ave

Johnstown, PA 15904

www.hflenz.com

CIVIL ENGINEER

REVISIONS / SUBMITTALS

B	04.27.2021	Issued for Revisions
A	06.29.2020	Issued for Schematic Development

NO.	DATE	ISSUE
-----	------	-------

SHEET TITLE

FOURTH & FIFTH FLOOR PLAN

PROFESSIONAL STAMP

SHEET NUMBER

A1.03

NOT FOR CONSTRUCTION

ALERT:

- REFER TO ARCHITECTURAL FINISHES AND FUTURE SPECIFICATIONS FOR COLOR CODING SCHEDULE
- 1- TRUH 04 10BSS - PANTONE PMS PROCESS YELLOW
 - 2- TRUH 05 10BSS - PANTONE PMS PROCESS CYAN
 - 3- TRUH 06 10BSS - PANTONE PMS #317C
 - 4- TRUH 07 10BSS - PANTONE PMS #2955C
 - 5- TRUH 08 10BSS - PANTONE PMS #2685C

KEY NOTES:

- 1 APPROXIMATE LINE OF GRADE
- 2 ABOVE GRADE EXPOSED FOUNDATION WALL
- 3 CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FROST DEPTHS
- 4 ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVERS AT PTAC UNITS
- 5 ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING
- 6 ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
- 7 ALUMINUM PTAC LOUVER - COLOR TO MATCH ADJACENT MATERIAL
- 8 ALUMINUM AUTOMATIC SLIDING ENTRY DOOR W/ INSULATED GLAZING
- 9 NOT USED
- 10 SIGNAGE - REFER TO TRU BY HILTON EXTERIOR SIGNAGE SPECIFICATIONS
- 11 KYNAR FINISH ALUMINUM COPING/ GRAVEL STOP SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- 12 NOT USED
- 13 EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
- 14 NOT USED
- 15 ACCENT "Y" JOINT
- 16 DOWNLIGHT & IN-GROUND UPLIGHT TO ACCENT MULTI-COLORED BUILDING RECESSES
- 17 ELECTRICAL CONDUIT FOR THE BUILDING SIGNS MUST BE ROUTED FROM THE ROOF PARAPET OR CONTAINED WITHIN THE EXTERIOR WALL ASSEMBLY. EXPOSED CONDUIT OR OTHER ELECTRICAL DEVICES WILL NOT BE PERMITTED IN THE ADJACENT STAIRWELL OR GUESTROOM. PROVIDE TWO (2) ELECTRICAL STUB OUTS, ONE FOR EACH PORTION OF THE RECESS TO THE TRU BY HILTON STANDARDS MANUAL FOR SIGN REQUIREMENTS.
- 18 ALUMINUM LOUVER - COLOR TO MATCH ADJACENT WALL MATERIAL

ARCHITECTURAL LIGHTING LEGEND:

- L-19 DOWNLIGHT @ FACADE RECESSES
L-20 IN-GROUND UPLIGHT @ FACADE RECESSES

BUILDING SIGNAGE:

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS.

MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS - AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FASCIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY - TYPICAL 120V REQUIREMENT.

RACEWAYS/ WIREWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICES INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL - PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

FINISH LEGEND:

- EPS CLADDING SYSTEM (EX - BASED ON DESIGN - "OUTSULATION PLUS MD EPS" BY DRYVIT SYSTEMS, INC. PROVIDE EPS HIGH IMPACT MESH ASSEMBLY FOR LOWER 8'-0" OF WALL, AREAS AT GRADE, BASED ON DESIGN - DRYVIT "STANDARD" MESH OVER PANCER 20-02 - HIGH IMPACT MESH.
- COORDINATE FOR MINIMUM EXTERIOR CONTINUOUS INSULATION THICKNESS (R-VALUE REQUIREMENTS IN ACCORDANCE WITH ADOPTED ENERGY CODE REQUIREMENTS FOR ALL CLADDING AREAS.
- EX 01 DRYVIT SYSTEMS: TRUH 02 10BSS - PANTONE 7C BLACK
EX 02 DRYVIT SYSTEMS: TRUH 01 2740 - DRYVIT #613B OVERCAST
EX 03 DRYVIT SYSTEMS: TRUH 03 1101 - DRYVIT #207 GLACIER
EX 04 DRYVIT SYSTEMS: FINISH VARIES - REFER TO DIAGRAM 10E
EX 05 DRYVIT SYSTEMS: TRUH 05 10BSS - PANTONE PMS PROCESS CYAN
EX 06 DRYVIT SYSTEMS: DRYVIT #615A TATTLETALE
EX 07 HIGH PRESSURE LAMINATE PANEL, COLOR TO MATCH PANTONE PMS PROCESS CYAN
EX 08 HIGH PRESSURE LAMINATE PANEL, COLOR TO MATCH PANTONE PMS PROCESS YELLOW
EX 09 EXTERIOR PAINT: BENJAMIN MOORE 1586 NIGHTMARE/ HIGH GLOSS 145 OR SHERWIN WILLIAMS SW6894 GREENBACK/ HIGH GLOSS

ALERT:

REFER TO ARCHITECTURAL FINISHES AND FUTURE SPECIFICATIONS FOR EX - NUMBER COLOR CODING INFORMATION.

GENERAL NOTES:

1. REFER TO TRU BY HILTON STANDARDS MANUAL ARCHITECTURAL FINISHES AND FINISHES FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.
2. BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BUILDING CONSTRUCTION. INTERIOR CEILING HEIGHTS ARE CRITICAL TO MAINTAIN AS MINIMUMS.



NORR
325 N. LaSalle St. | Suite 500 | Chicago, IL 60654
t 312.424.2400 | f 312.424.2424 | www.norr.com





by Hilton™

Neptune, New Jersey



ONIX GROUP

150 Onix Drive
Kennett Square, PA 19348
www.onixgroup.com

NORR

325 N. LaSalle St. | Suite 500 | Chicago, IL 60654
t 312.424.2400 | f 312.424.2424 | www.norr.com



PILOTTOWN
ENGINEERING

Pilottown Engineering
17585 Nassau Commons Blvd - Unit 3

Lewes, DE 19958
t 302.703.1770 | www.pilottownengineering.com



H.F. Lenz Company
1407 Scalp Ave
Johnstown, PA 15904
www.hflenz.com

<i><u>REVISIONS / SUBMITTALS</u></i>		
A	06.29.2020	Issued for Schematic Development
<i><u>NO.</u></i>	<i><u>DATE</u></i>	<i><u>ISSUE</u></i>

EXTERIOR ELEVATIONS

PROFESSIONAL STAMP | SHEET NUMBER

NOT FOR CONSTRUCTION

A3.01a

