

P:\Projects\1798 Harbor Freight\02 Neptune City Eng\Conditions Draw\1798-02 Sheet 01 - Cover Sheet.dwg, 11/20/2024 10:19 AM, Nicholas Kelly

HARBOR FREIGHT

MINOR SITE PLAN

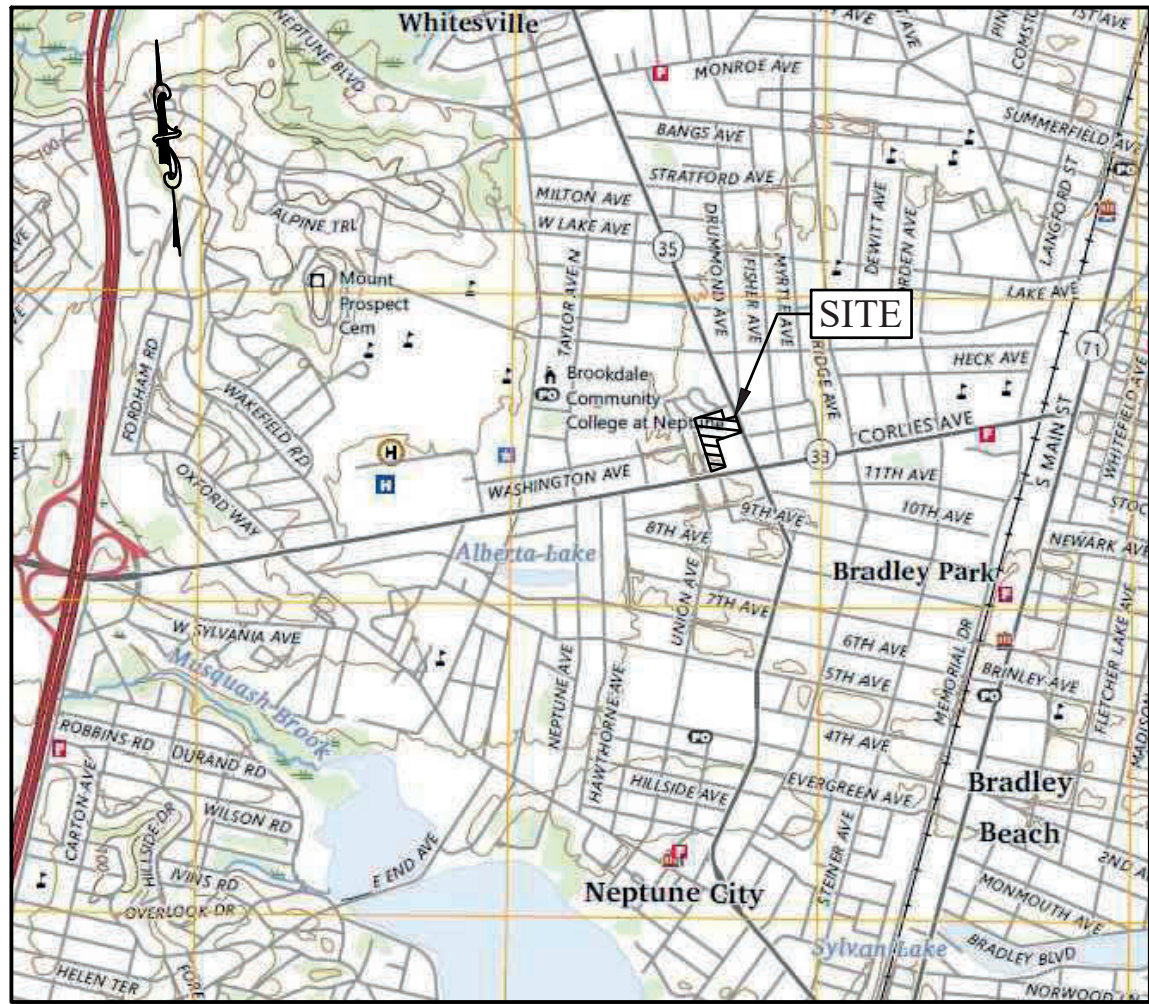
BLOCK 1004, LOT 5, PLATE 10

NEPTUNE TOWNSHIP

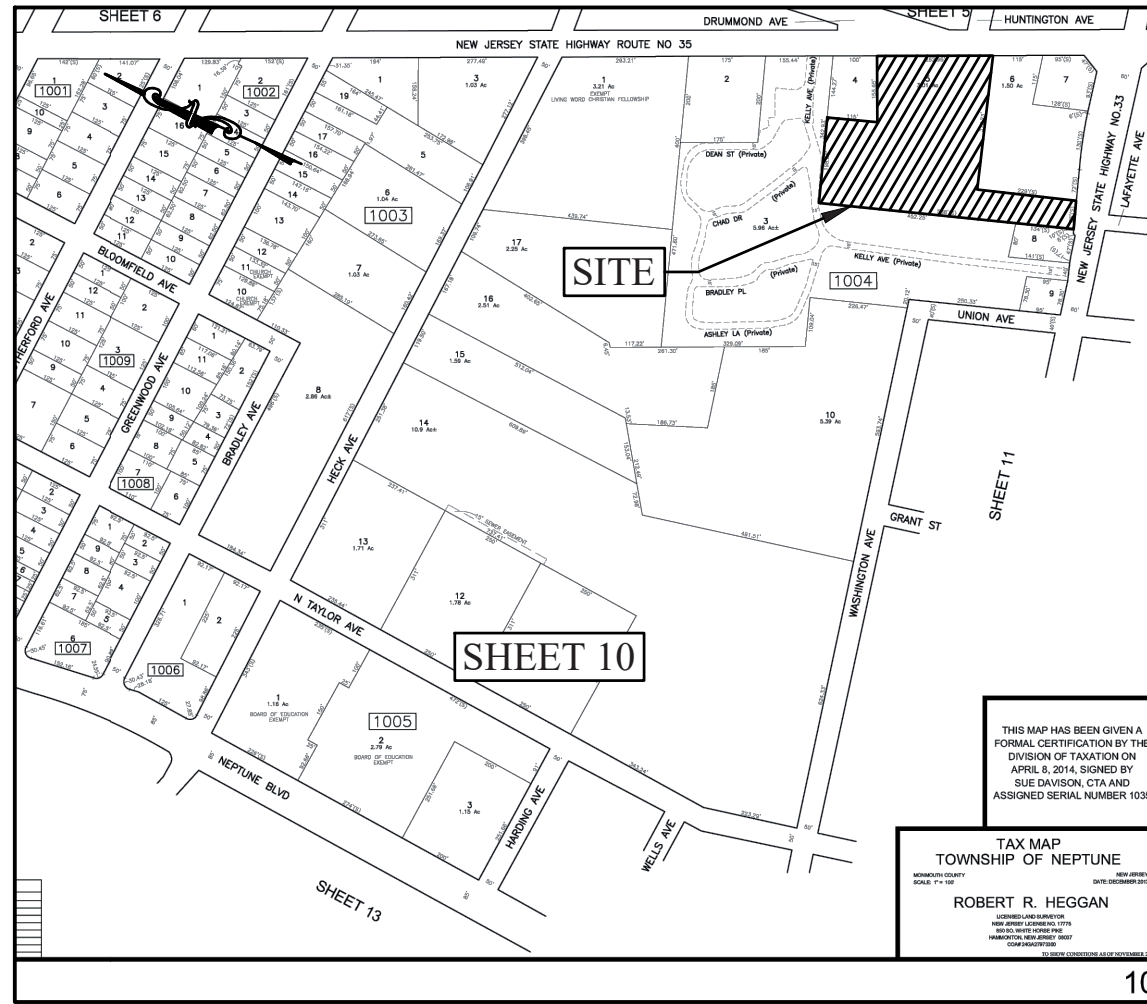
MONMOUTH COUNTY, NEW JERSEY

LIST OF PROPERTY OWNERS WITHIN 200'

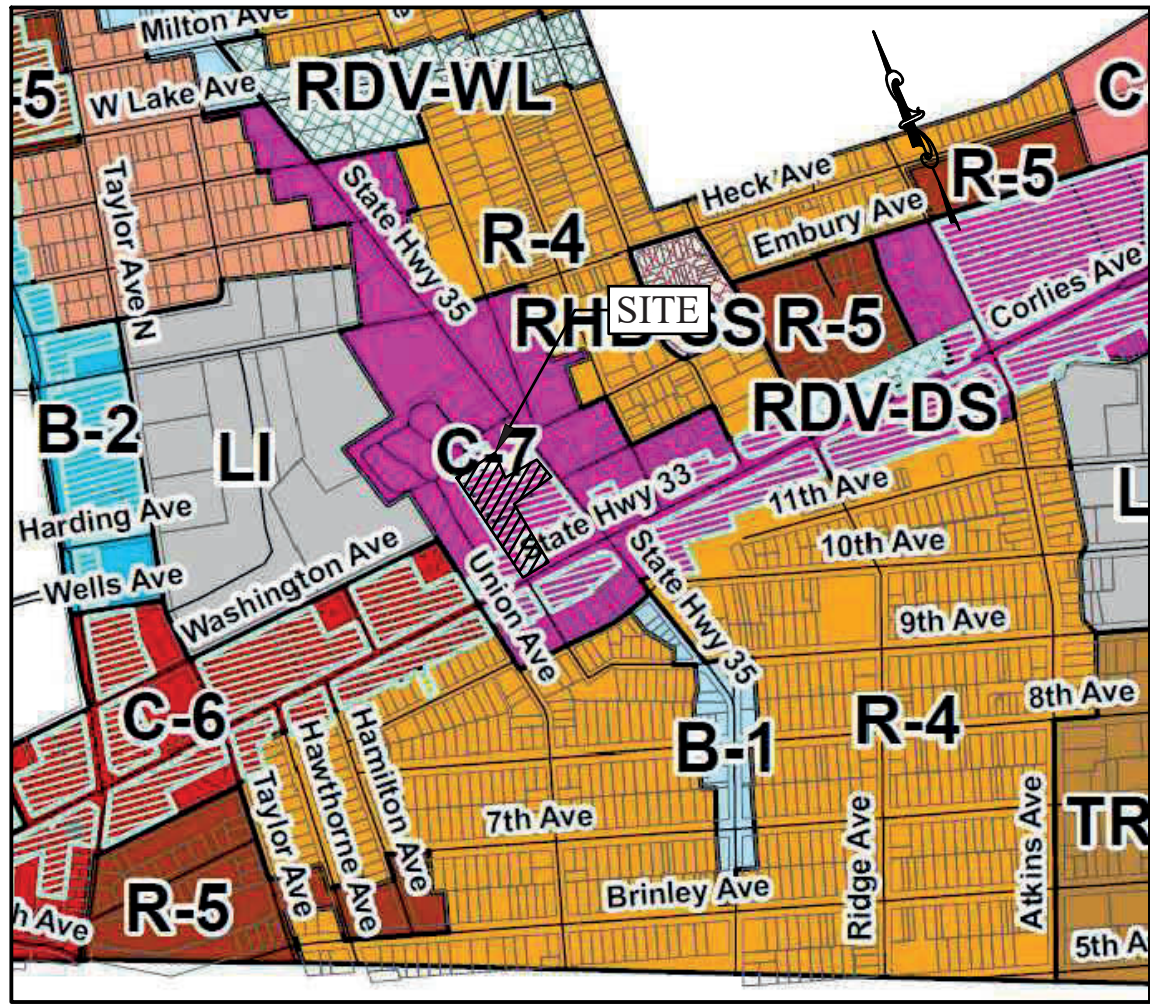
MUN	BLOCK	LOT	QUAL	Location	Owner Name	Owner Street	Owner Csz	Zoning	Tax Map Sheet
Neptune Twp	506	15		108 Drummond Ave	DENTE, EUGENE	P.O. BOX 906	NEPTUNE, NJ 07754	C-7	5
Neptune Twp	507	4		26-28 Highway 35	JAAD MANAGEMENT, LLC	11 THORN LANE	CHESTERFIELD, NJ 08515	C-7	5
Neptune Twp	508	1		20 Highway 35	CROSSROADS OF JERSEY SHORE, LLC	37 ROUTE 35	NEPTUNE, NJ 07753	C-7	5
Neptune Twp	508	2		24 Highway 35	LM KIDS, LLC	37 LUDLOW AVENUE	SPRING LAKE, NJ 07762	C-7	5
Neptune Twp	514	1.01		1704 Huntingdon Ave	MY PROPERTY HOLDINGS GROUP LLC	601 OAKMONT LANE STE 400	WESTMONT, IL 60559	C-7	5
Neptune Twp	514	5		8 Highway 35	ALCOVE INVESTMENT, INC & SIMONE REV	4415 HIGHWAY 6	SUGARLAND, TX 77478	C-7	5
Neptune Twp	1004	2		57 Highway 35	BILL JIM, INC % CONNIE DELNERO	12275 SW BAYBERRY AVENUE	PORT ST LUCIE, FL 34987	C-7	10
Neptune Twp	1004	3		55 Highway 35	THIRD GARDEN PARK	29 KNAPP ST, PO BOX 4401	STAMFORD, CT 06907	C-7	10
Neptune Twp	1004	4		37 Highway 35	37 RT 35, LLC	37 HIGHWAY 35	NEPTUNE, NJ 07753	C-7	10
Neptune Twp	1004	5		15 Highway 35	15 ROUTE 35 NEPTUNE INVESTORS, ETAL	52 MILLBURN AVENUE	SPRINGFIELD, NJ 07081	C-7	10
Neptune Twp	1004	6		9 Highway 35	MCDONALD'S REAL ESTATE COMPANY	HWY 33 & 35	NEPTUNE, NJ 07753	C-7	10
Neptune Twp	1004	7		1 Highway 35	AMOCO OIL CO. % LEVIN MGT CORP.	PO BOX 326	PLAINFIELD, NJ 08061	C-7	10
Neptune Twp	1004	8		1417-1421 Corlies Ave	ANNYS LLC	1417 CORLIES AVENUE	NEPTUNE, NJ 07753	C-7	10
Neptune Twp	1004	9		1423 Corlies Ave	B.N.F. NJ	1423 CORLIES AVENUE	NEPTUNE, NJ 07753	C-7	10
Neptune Twp	1106	1		1414 Corlies Ave	CASTRO, TYLER	1414 CORLIES AVE	NEPTUNE, NJ 07753	C-7	11
Neptune Twp	1106	2		1412 Corlies Ave	VELARDI, THOMAS & CHRISTINE	2 HOOVER COURT	MILLSTONE, NJ 08510	C-7	11
Neptune Twp	1106	3		1410 Corlies Ave	GATEWAY NEPTUNE, LLC	247 BRIDGE AVE STE 5	RED BANK, NJ 07701	C-7	11
Neptune Twp	1106	4		1408 Corlies Ave 1/2	GATEWAY NEPTUNE, LLC	247 BRIDGE AVE STE 5	RED BANK, NJ 07701	C-7	11
Neptune Twp	1106	5		1408 Corlies Ave	GATEWAY NEPTUNE, LLC	247 BRIDGE AVE STE 5	RED BANK, NJ 07701	C-7	11
Neptune Twp	1107	1		1422 Corlies Ave	ANDREWS, CHRISTOPHER & SUSAN KNOUD	1422 CORLIES AVENUE	NEPTUNE, NJ 07753	C-7	11
Neptune Twp	1107	2		1418 Corlies Ave	BREVAL, MOSE	1418 CORLIES AVE	NEPTUNE, NJ 07753	C-7	11
Neptune Twp	1107	3		1416 Corlies Ave	OEN, EVELYN CASTILLO	12375 UPPER PRESTON RD SE	ISSAQUAH, WA 98027	C-7	11
Neptune Twp	1107	11		2 Union Ave 1/2	UNIONNJ, LLC	2 UNION AVENUE 1/2	NEPTUNE, NJ 07753	C-7	11
Neptune Twp	1107	12		2 Union Ave	BARON, JENNIFER A	310 LAKEWOOD ROAD	NEPTUNE, NJ 07753	C-7	11



U.S.G.S. QUAD MAP
SCALE: 1" = 1,000'



TAX MAP
NOT TO SCALE



ZONING MAP
NOT TO SCALE

PREPARED FOR:

HARBOR FREIGHT TOOLS

26677 AGOURA ROAD

CALABASAS, CA 91302

PREPARED BY:



THE PETTIT GROUP, LLC

Engineering • Architecture • Planning

497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com

ZONE DISTRICT: C-7 - ROUTE 35 COMMERCIAL	REQUIRED and/or PERMITTED	EXISTING	PROPOSED
Minimum lot area (SF)	15,000	130,974	130,974
Maximum floor area ratio (FAR)	0.6	0.12	0.12
Minimum lot width (FT)	100	381.31	381.31
Minimum lot frontage (FT)	100	262.96	262.96
Minimum lot depth (FT)	100	597.26	597.26
Minimum front yard setback (FT)	15	149.4	149.4
Minimum side yard setback (FT)	0/10	25.2	25.2
Minimum combined side yard setback (FT)	25	156.4	156.4
Minimum rear yard setback (FT)	20	35.9	35.9
Maximum percent building cover (%)	35	12	12
Maximum percent lot cover (%)	80	79	79
Maximum number of stories	3	1	1
Maximum building height (FT)	48	19.5	19.5
Minimum improvable area (SF)	7,200	27,501	27,501
Minimum improvable area – diameter of a circle (feet)	55	80	80
Off-street parking spaces	64 (1 SP/250 SF OF GFA)	131	131
Loading spaces	1	1	1
Signs	4 (2 Type A, 2 Wall Mounted)	4	4
Existing use or uses: Grocery Store			
Proposed use or uses: Tool and equipment retail store			
Existing floor area: 15,800 SF			
Proposed floor area: 15,800 SF			

APPROVED BY THE MUNICIPAL BOARD ON THIS ___ DAY OF ___ 20__

APPLICATION#

CHAIRPERSON

ADMINISTRATIVE OFFICER

BOARD ENGINEER

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN

OWNER

THE PETTIT GROUP, LLC
Engineering • Architecture • Planning
497 Center Street • Sewell, NJ 08080
Tel: 856-464-9600 Fax: 856-464-9606
www.pettitgroup.com
Certificate of Authorization No. 246A28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	BOARD ENGINEER REVIEW	1/1/25

FOR APPROVAL
PURPOSES ONLY

ALL DOCUMENTS PREPARED BY THE PETTIT GROUP, LLC ARE INSTRUMENTS OF SERVICE IN RESPECT TO THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON EXTENSIONS OF THE PROJECT OR ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION BY THE PETTIT GROUP, LLC FOR THE SPECIFIC PURPOSES INTENDED WILL BE AT THE OWNER'S SOLE RISK, AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE PETTIT GROUP, LLC AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE PETTIT GROUP, LLC FROM CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE OWNER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL UNDERSTAND THAT THE LOCATION OF UTILITIES SHOWN ON THE PLANS ARE ONLY APPROXIMATE. IT IS IMPORTANT TO NOTE THAT NOT ALL UTILITIES MAY BE SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL UTILITIES (AERIAL AND BURIED) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE UNDERGROUND UTILITY MARK-OUT SERVICE (1-800-325-1000) PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR (AT HIS EXPENSE) ALL DAMAGED UTILITIES RESULTING FROM HIS WORK.

DESIGNED BY:	JOB NO:
NAK	1798-02
DRAWN BY:	DATE:
NAK	04-30-24
CHECKED BY:	SCALE:
JLC	NOT TO SCALE

MINOR SITE PLAN
15 ROUTE 35
PLATE 10, BLOCK 1004, LOT 5
(DECEMBER 2013)
NEPTUNE TOWNSHIP
MONMOUTH COUNTY
NEW JERSEY

FOR
HARBOR FREIGHT TOOLS
26677 AGOURA ROAD
CALABASAS, CA 91302

1/22/25

JAMES L. CURRAN, PE
Professional Engineer
State of New Jersey • License # GE 42231
State of Pennsylvania • License # 054474E
State of Delaware • License # 14560

COVER SHEET

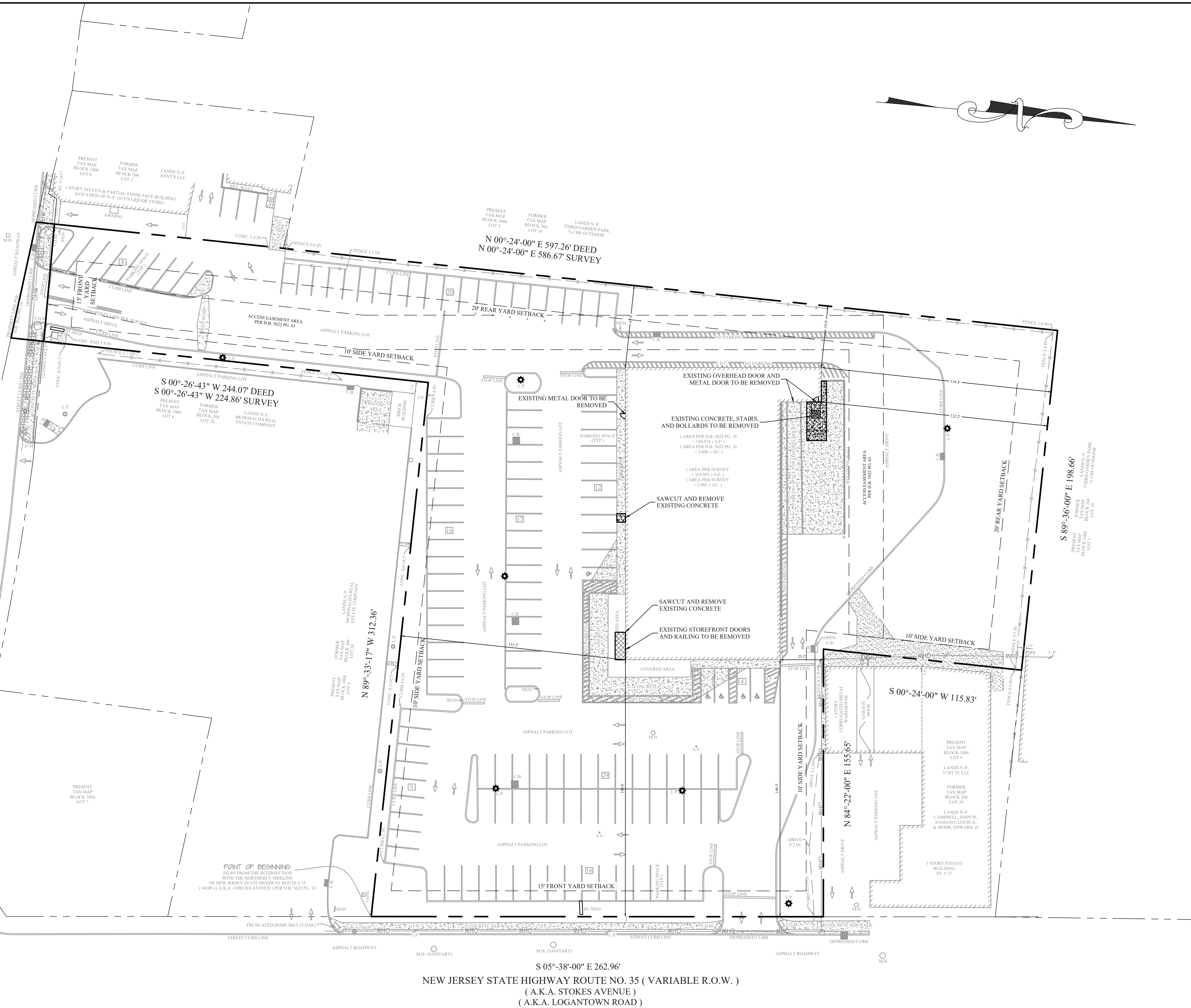
1 of 4

INDEX OF DRAWINGS		
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2 OF 4	EX. CONDITIONS & DEMOLITION PLAN	
3 OF 4	SITE PLAN	
4 OF 4	CONSTRUCTION DETAILS	

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NEW JERSEY STATE HIGHWAY ROUTE NO. 33 (VARIABLE R.O.W.)
(A.K.A. CORLIS AVENUE)

N 83°-19'-40" W 68.95' DEED
S 89°-29'-37" W 68.56' SURVEY



DEMOLITION & STRUCTURAL FILL NOTES:

- IF PROVIDED, THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS HAS BEEN TAKEN FROM VARIOUS SOURCES AND IS SHOWN FOR DESIGN AND ESTIMATING PURPOSES ONLY. ACTUAL LOCATIONS OF UTILITIES SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES OR APPARENT CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER FOR INTERPRETATION. ANY/ALL DISCREPANCIES SHALL BE REPORTED TO ENGINEER IN WRITING PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS & UTILITIES. A WRITTEN NOTICE SHALL BE FORWARDED TO THE OWNER SETTING FORTH THE DATE OF CONTACT. CONTRACTORS ARE ADVISED TO CALL 1-800-272-1000 BEFORE COMMENCING FOR A MARKOUT OF EXISTING UTILITIES.
- CONTRACTOR SHALL REVIEW ALL PLAN SHEETS TO DETERMINE IF THE EXTENT OF IMPROVEMENTS TO BE REMOVED, AS INDICATED ON THIS PLAN, IS CORRECT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER DURING THE BID PHASE.
- CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES PRIOR TO DEMOLITION.
- CONTRACTOR TO COORDINATE ALL UTILITY REMOVAL(S) AND SHUT-OFF(S), (TYPICAL)
- CONTRACTOR TO COORDINATE WITH ALL APPLICABLE AGENCIES DURING THE DEMOLITION OF EXISTING BUILDINGS, IF NOTED TO BE REMOVED.
- TEST PITS SHALL BE EXCAVATED PRIOR TO CONSTRUCTION TO LOCATE UNDERGROUND UTILITIES.
- ANY REQUIRED UTILITY POLE RELOCATIONS FOR THE PROPOSED IMPROVEMENTS SHALL BE COMPLETED AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL PROVIDE ALL NECESSARY ARRANGEMENTS FOR UTILITY POLE RELOCATION.
- THE CONTRACTORS ARE ADVISED THAT ANY REQUIRED UNDERGROUND UTILITY RELOCATIONS INCLUDING GAS MAINS AND SERVICES, WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, ELECTRIC AND TELEPHONE LINES SHALL BE COMPLETED AT NO COST TO THE OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.
- EXISTING UTILITIES INCLUDING VALVE BOXES, CLEAN OUTS, CURB STOPS, MANHOLES, ETC., SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE. STORM DRAINAGE STRUCTURES SHALL NOT BE ADJUSTED UNLESS SPECIFICALLY CALLED FOR. NO TRENCHES SHALL REMAIN OPEN OVERNIGHT.
- SUPPORT AND STABILIZATION OF REMAINING STRUCTURES SHALL CONFORM TO THE MOST RECENT VERSION OF THE IBC ADOPTED BY THE MUNICIPALITY.
- ALL DEMOLITION TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- NO DISTURBANCES SHALL BE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER(S) DIRECTLY AFFECTED.
- CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AFFECTED BY DEMOLITION, CONTRACTOR TO RETURN ADJACENT AREAS TO CONDITIONS EXISTING PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL PROPERLY DISPOSE OF SPOILS AND EXCAVATED MATERIALS. NO CONSTRUCTION DEBRIS, CUT VEGETATION, TREE STUMPS, OR ANY OTHER SOLID WASTE EXISTING ON SITE IS TO BE BURIED ON SITE. NO ON SITE BURIAL OR BURNING OF CONSTRUCTION DEBRIS IS PERMITTED. ALL WASTE MUST BE PROPERLY REMOVED AND DISPOSED OFF SITE. ALL MATERIALS REMOVED FROM SITE ARE TO BE DISPOSED OF AT AN APPROVED FACILITY.
- EXISTING TOPSOIL ON SITE IS TO BE PROTECTED. NO TOPSOIL IS TO BE SOLD OR REMOVED FROM THE SITE OR USED AS SPILL UNLESS APPLICATION IS MADE TO THE APPROVING AUTHORITY AND APPROVAL IS GRANTED.
- PROJECT SITE TO BE CLEARED ONLY AS REQUIRED. EXISTING TREES SHALL BE PROTECTED ALONG WITH ALL EXCAVATION AND CONSTRUCTION LIMITS.
- REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIAL SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- IF STRUCTURES ARE INDICATED TO BE REMOVED, THE CONTRACTOR SHALL DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION. CLEARLY IDENTIFY, BEFORE THE COMMENCEMENT OF DESIGNATED DEMOLITION, THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY APPLICABLE UTILITY COMPANIES TO ENSURE CONTINUATION OF SERVICE.
- IF PRESENT ON-SITE, EXISTING WELLS SHALL BE ABANDONED BY A CERTIFIED WELL DRILLER, IN ACCORDANCE WITH ALL LOCAL, COUNTY, OR STATE REGULATIONS. EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH ALL LOCAL, COUNTY, OR STATE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES TO BE REMOVED. ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL MUNICIPAL & MUA SPECIFICATIONS.
- IF NOTED TO BE REMOVED, EXISTING BUILDING SHALL BE DEMOLISHED INCLUDING ALL BASEMENT FOOTINGS AND FOUNDATION WALLS & MATERIALS. (BASEMENT MATERIAL SHALL BE REMOVED FROM SITE AND NOT USED FOR FILL).
- THE ON-SITE SOILS WHICH ARE EXCAVATED FOR SITE GRADING MAY BE USED AS STRUCTURAL FILL, FOR SUPPORT OF SLAB-ON-GRADE AND PAVEMENT. HOWEVER, THESE SOILS CONTAIN AN APPRECIABLE AMOUNT OF FINES AND WILL BE MOISTURE SENSITIVE. THEREFORE, USAGE OF THE ON-SITE SOIL WILL BE LIMITED TO PERIODS OF WARM AND/OR DRY WEATHER. IF OFF-SITE MATERIALS ARE REQUIRED FOR FILL, CRUSHED STONE OR RECYCLED CRUSHED CONCRETE MEETING THE MINIMUM REQUIREMENTS OF NDOT COURSE AGGREGATE NO. 2 SHOULD BE USED.
- STRUCTURAL FILL SHOULD BE PLACED IN HORIZONTAL LIFTS NOT MORE THAN 6 INCHES IN LOOSE THICKNESS. WITHIN THE BUILDING AREA, THE FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED BY THE "MODIFIED PROCTOR" COMPACTION TEST, ASTM D 1557. ALTERNATIVELY, EACH LIFT OF IMPORTED CRUSHED STONE SHOULD BE COMPACTED TO AT LEAST 95 PERCENT RELATIVE DENSITY AS DETERMINED BY ASTM D 4253 / 4254, OR THE US ARMY CORPS OF ENGINEERS MODIFIED PROVIDENCE VIBRATED DENSITY TEST. THE RELATIVE DENSITY METHOD IS USED FOR FREE-DRAINING SOILS WHICH TO NOT EXHIBIT A WELL-DRAINED PEAK IN THE PROCTOR TEST, OR WHICH BREAK DOWN EXCESSIVELY UNDER THE TEST RAMMER. STRUCTURAL FILL SHOULD BE COMPACTED USING A SELF-PROPELLED, VIBRATORY ROLLER WHICH IMPARTS A TOTAL DYNAMIC FORCE OF AT LEAST 300 POUNDS PER INCH OF DRUM LENGTH. IN CONFINED AREAS, WHERE SMALLER ROLLERS OR MANUALLY OPERATED TAMPERS ARE USED, THE LIFT THICKNESS SHOULD BE REDUCED TO 6 INCHES.
- BACKFILL AROUND THE EXTERIOR OF THE BUILDING, AND FILL IN PAVEMENT AREAS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. ON-SITE SOIL MAY BE USED FOR EXTERIOR BACKFILL.

30 0 30 60
SCALE 1" = 30' FEET

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REVISIONS		
NO.	DESCRIPTION	DATE
1	BOARD ENGINEER REVIEW	11/1/25

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DESIGNED BY:	JOHN NO.
NAK	1798-02
DRAWN BY:	DATE
NAK	04-30-24
CHECKED BY:	SCALE
JLC	1" = 30'

MINOR SITE PLAN
15 ROUTE 35
PLATE 10, BLOCK 1004, LOT 5
(DECEMBER 2013)
NEPTUNE TOWNSHIP
MONMOUTH COUNTY
NEW JERSEY

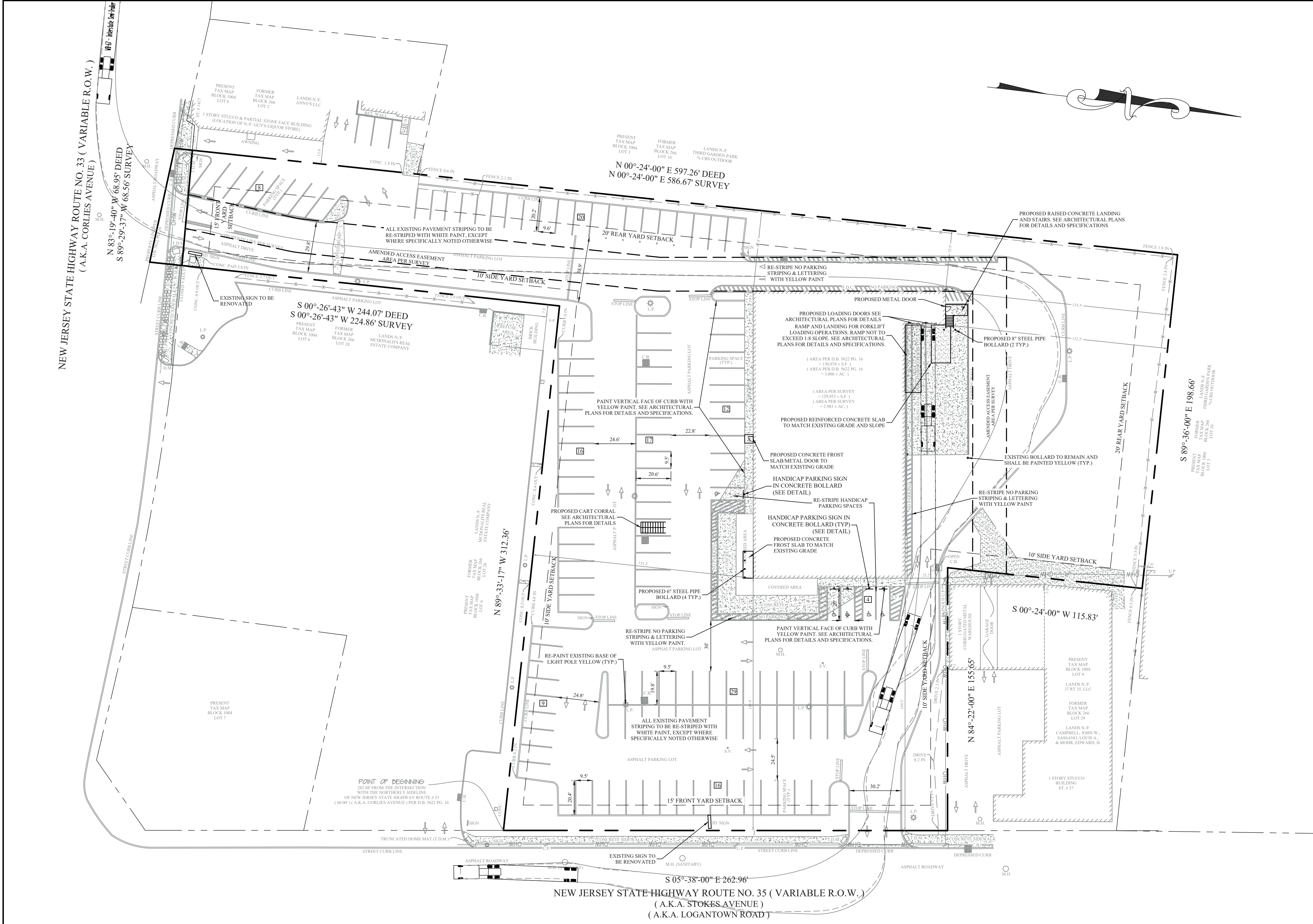
FOR
HARBOR FREIGHT TOOLS
26677 AGOURA ROAD
CALABASAS, CA 91302

[Signature]
1/22/25

JAMES L. CURRAN, PE
Professional Engineer
State of New Jersey • License # GE 42231
State of Pennsylvania • License # 054474E
State of Delaware • License # 14560

EX. CONDITIONS & DEMO PLAN

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TRIP GENERATION COMPARISON							
EXISTING							
LAND USE CODE	LAND USE DESCRIPTION	UNITS OF MEASURE(SF)	AM PEAK HOUR	PM PEAK HOUR	WEEKDAY DAILY TRIPS	WEEKEND PEAK HOUR	WEEKEND DAILY TRIPS
850	Supermarket	15,800	105	146	299	1687	2806
PROPOSED							
LAND USE CODE	LAND USE DESCRIPTION	UNITS OF MEASURE(SF)	AM PEAK HOUR	PM PEAK HOUR	WEEKDAY DAILY TRIPS	WEEKEND PEAK HOUR	WEEKEND DAILY TRIPS
816	Hardware/Paint Store	15,800	21	18	145	36	356

GENERAL NOTES

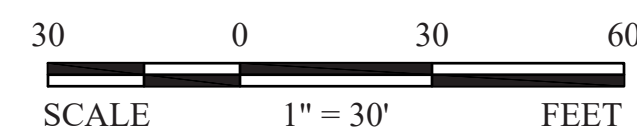
- OWNER/APPLICANT:
HARBOR FREIGHT TOOLS
26677 AGOURA ROAD
CALABASAS, CA 91302
PHONE: 818-201-8748
- EXISTING CONDITIONS TAKEN FROM A PLAN ENTITLED "PLAN OF SURVEY OF 15 ROUTE 35 NEPTUNE INVESTORS LLC, BLOCK 1004, LOT 5", BY MICHAEL DARMSTATTER'S (MAP IT, LLC), DATED OCTOBER 2, 2023.
- APPLICANT SEEKS MINOR SITE PLAN APPROVAL SO AS TO PERMIT CHANGE IN USE OF THE EXISTING SUPERMARKET TO A HARBOR FREIGHT HARDWARE STORE, AND ASSOCIATED SITE IMPROVEMENTS.
- THERE ARE CURRENTLY NO KNOWN DEED RESTRICTIONS OR COVENANTS ASSOCIATED WITH THE SUBJECT PROPERTY.
- REQUIRED OUTSIDE AGENCY APPROVALS:
 - MONMOUTH COUNTY PLANNING BOARD
 - MONMOUTH COUNTY SOIL CONSERVATION DISTRICT-EXEMPTION WAIVER

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE MUNICIPAL, COUNTY OR STATE REGULATIONS, WHICHEVER TAKES PRECEDENCE.
- THE MUNICIPAL ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 24 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING 1-800-272-1000.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER IMMEDIATELY.
- ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI, OR AS REQUIRED BY THE APPROVAL AUTHORITY.
- ALL TRENCHES IN PAVEMENT AREAS TO REMAIN ARE TO BE SAW CUT. ALL EXISTING PAVEMENT TO REMAIN SHALL BE SAW CUT TO MEET ALL NEW OR RECONSTRUCTED PAVEMENT AREAS.
- WHERE NEW PAVEMENT IS PROPOSED ADJACENT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT ONE (1) FOOT FROM THE EDGE TO PROVIDE A NEAT LINE AGAINST WHICH TO PAVE.
- ALL TRAFFIC CONTROL SIGNAGE AND MARKINGS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- ALL SITE IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE NDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, AS AMENDED.
- SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- THE OWNER, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR SITE SAFETY DURING THE COURSE OF CONSTRUCTION. THE INDIVIDUAL SHALL BE TRAINED IN THE USE OF THE NJ UNIFORM CONSTRUCTION CODE AND CFR 1926.32 (f) (OSHA COMPETENT PERSON).
- GROUP USE AND OCCUPANCY CLASSIFICATION OF THE BUILDING IS M-MERCANTILE PER 2018 INTERNATIONAL BUILDING CODE WITH NEW JERSEY AMENDMENTS.
- TYPE OF CONSTRUCTION OF THE BUILDING IS TYPE IIB-FULLY SPRINKLERED PER 2018 INTERNATIONAL BUILDING CODE WITH NEW JERSEY AMENDMENTS.
- EXISTING PARKING STRIPING TO BE RE-STRIPED AT LEASE (APPROX. ± 113 SPACES), INCLUDING, BUT NOT LIMITED TO, ACCESSIBLE ROUTES, PARKING STRIPING, STOP BARS, ETC. C.C. TO CONFIRM EXTENTS OF RE-STRIPING WITH HFT PM AND BY PM.
- CONTRACTOR SHALL COORDINATE WITH THE MUNICIPALITY REGARDING THE PLACEMENT OF A MAILBOX.

WAIVERS & VARIANCES

- SUBMISSION WAIVERS ARE REQUESTED FROM THE FOLLOWING:
 - COMPLETENESS CHECKLIST ITEM #6 - FROM PROVIDING ENVIRONMENTAL IMPACT STATEMENT.
 - COMPLETENESS CHECKLIST ITEM #9 - FROM PROVIDING LETTER OF INTERPRETATION (WETLANDS).
 - COMPLETENESS CHECKLIST ITEM #11 - FROM PROVIDING CIRCULATION IMPACT STUDY.
 - DEVELOPMENT CHECKLIST ITEM PART B ITEM #12 - FROM PROVIDING GRADING PLAN.
 - DEVELOPMENT CHECKLIST PART B ITEM #13 - FROM PROVIDING ON SITE DRAINAGE AND LAND DRAINAGE CALCULATIONS.
 - DEVELOPMENT CHECKLIST PART B ITEM #14 - FROM PROVIDING OFF SITE DRAINAGE PLAN.
 - DEVELOPMENT CHECKLIST PART B ITEM #16 - FROM PROVIDING SOIL BORING LOGS.
 - DEVELOPMENT CHECKLIST PART B ITEM #25 - FROM PROVIDING EXTERIOR LIGHTING PLAN.
 - DEVELOPMENT CHECKLIST PART B ITEM #26 - FROM PROVIDING LANDSCAPING AND SCREENING PLAN.
 - DEVELOPMENT CHECKLIST PART B ITEM #27 - FROM PROVIDING DRAWN DETAILS OF THE TYPE OF SCREENING.
 - DEVELOPMENT CHECKLIST PART B ITEM #30 - FROM PROVIDING SECTIONALIZATION AND STAGING PLAN.
 - DEVELOPMENT CHECKLIST PART B ITEM #32 - FROM PROVIDING TRAFFIC ANALYSIS REPORT.
- VARIANCES ARE REQUESTED FROM THE FOLLOWING:
 - SECTION 416.07.A.6 - FROM PROVIDING THE SETBACK OF FREESTANDING SIGN.
11.25' REQUIRED; 5' PROVIDED
 - SECTION 416.07.B.1(a) - WALL MOUNT SIGN TO EXCEED THE MAXIMUM ALLOWABLE TOTAL SIGN AREA.
48 SF PERMITTED; 92.3 SF PROPOSED
 - SECTION 416.07.B.1(b) - WALL MOUNT SIGNS TO EXCEED THE MAXIMUM MOUNTING HEIGHT.
8' PERMITTED; 9.25' PROPOSED
 - SECTION 416.07.B.3(a) - SECONDARY WALL MOUNT SIGN TO EXCEED MAXIMUM SIGN AREA OF 50% OF PRIMARY SIGN AREA.
46.1 SF PERMITTED; 92.3 SF PROPOSED



THE PETTIT GROUP, LLC
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Certificate of Authorization No. 246A28131400

REVISIONS		
NO.	DESCRIPTION	DATE
1	BOARD ENGINEER REVIEW	1/13/25

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DESIGNED BY:	J/LC	JOB NO:	1798-02
DRAWN BY:	NAK	DATE:	04-30-24
CHECKED BY:	J/LC	SCALE:	1" = 30'

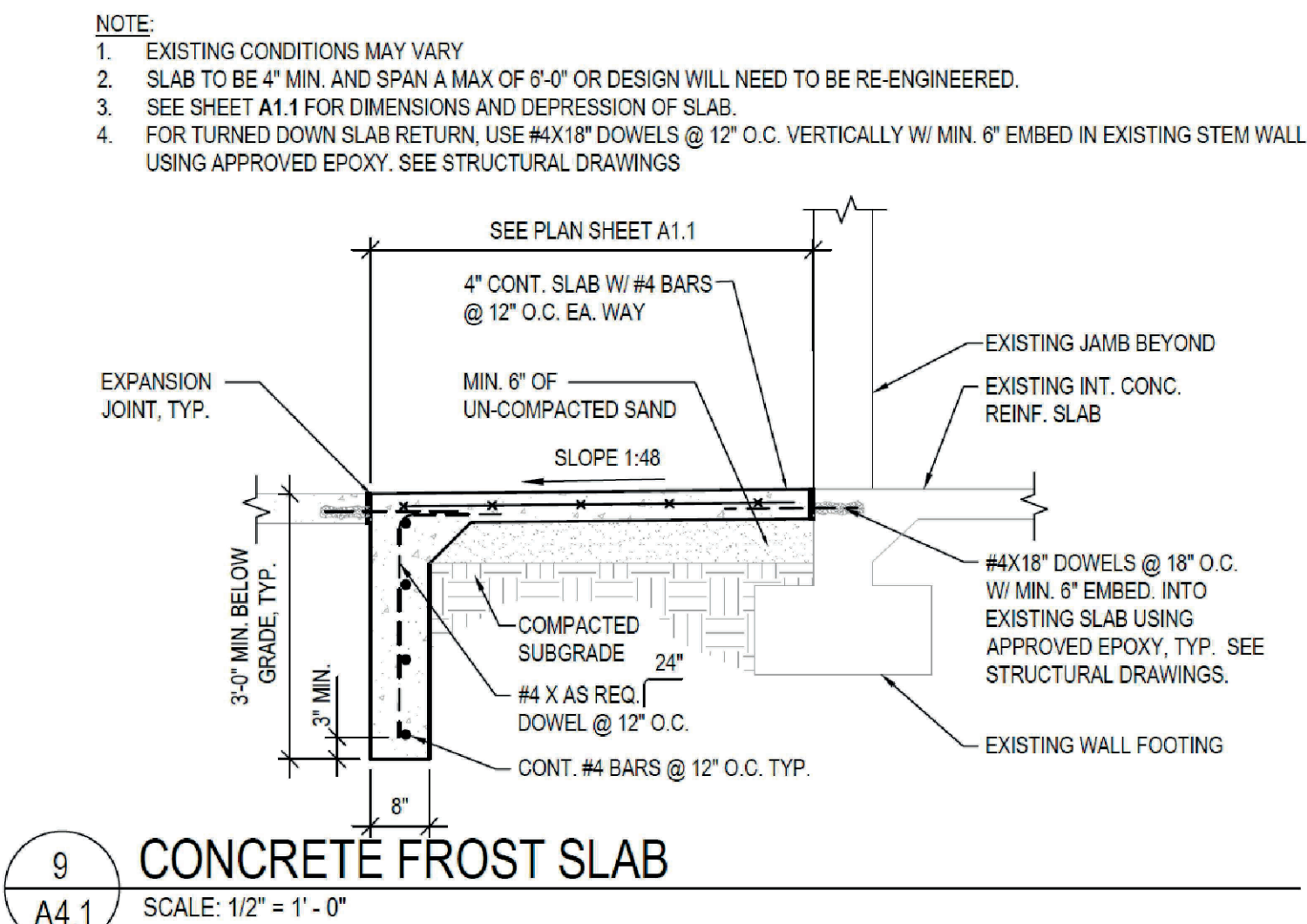
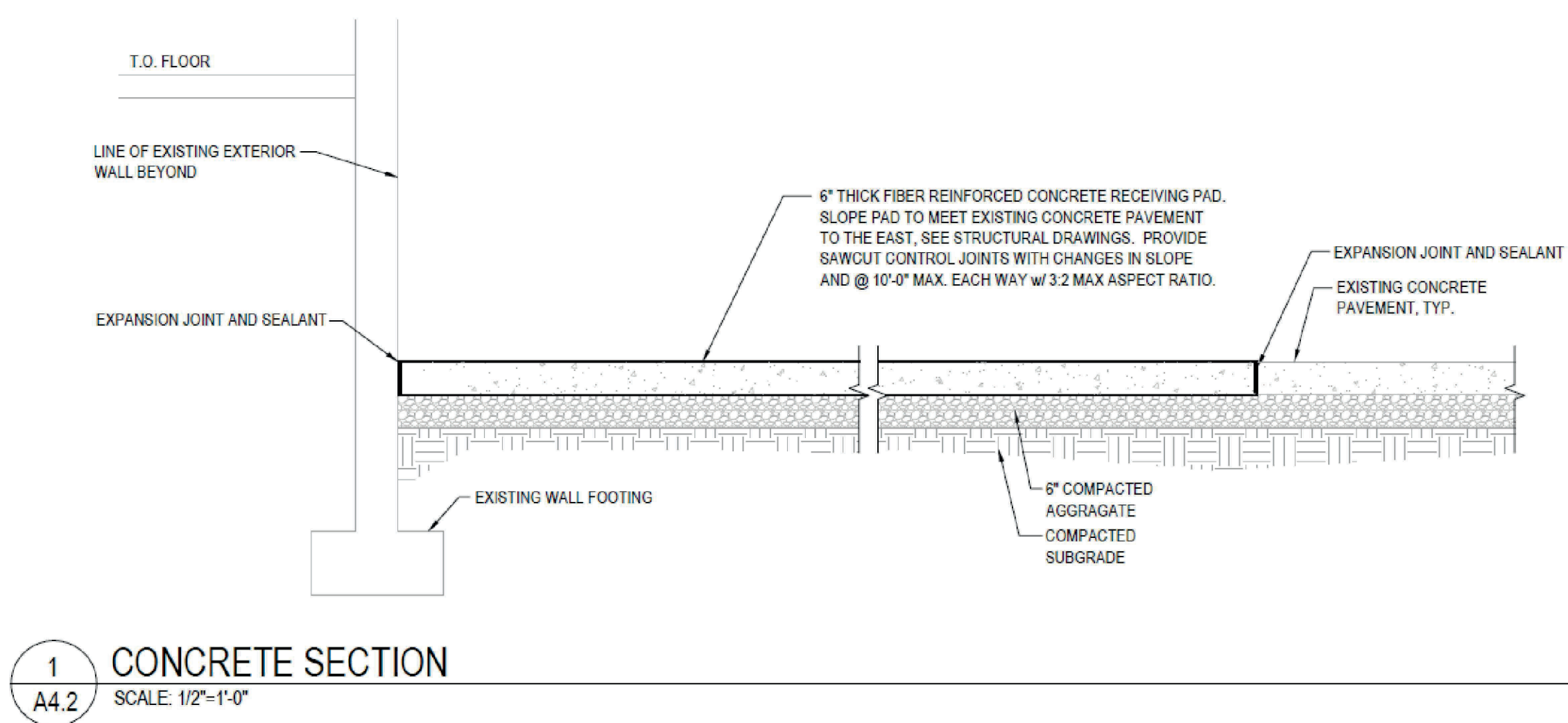
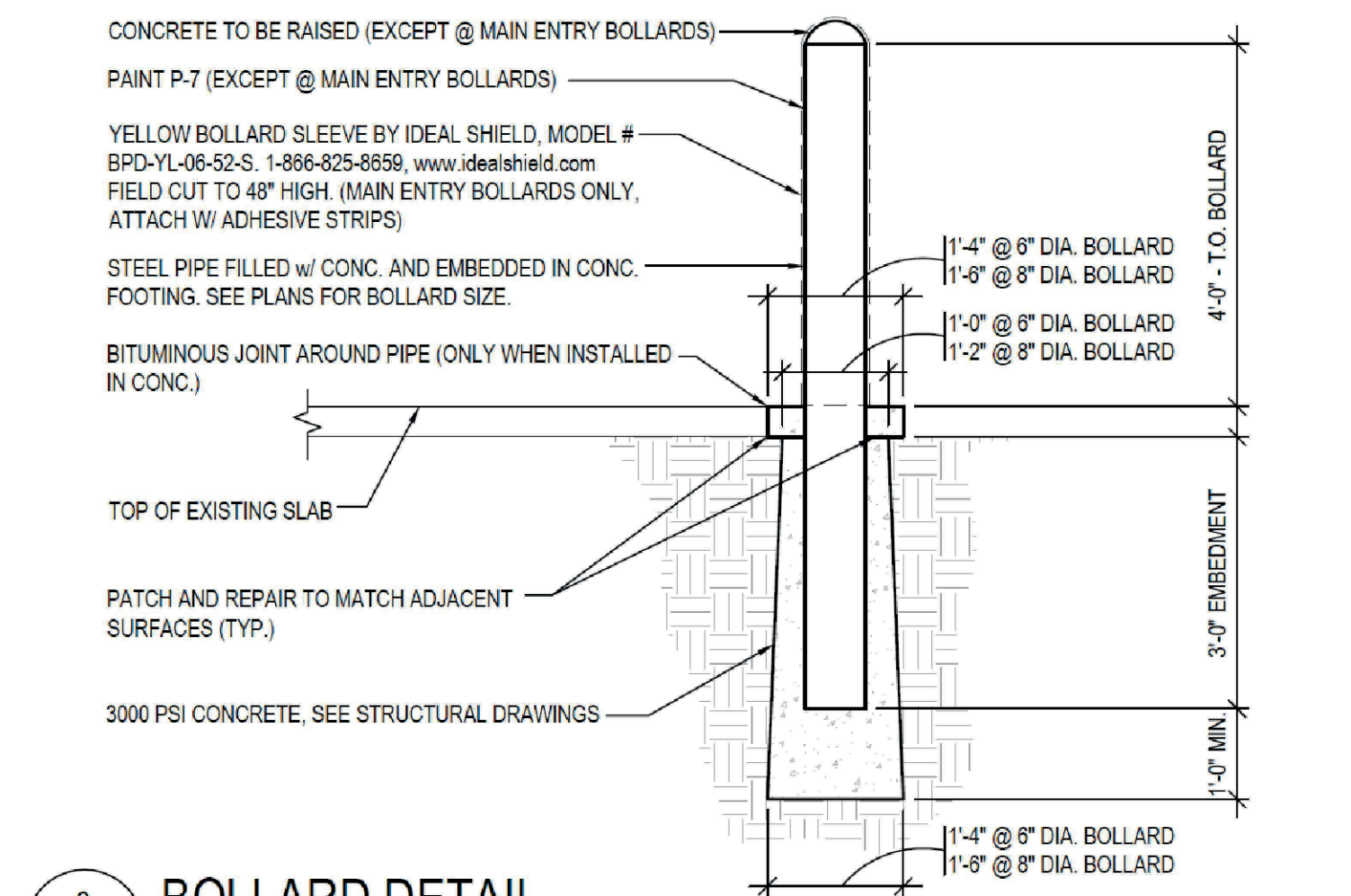
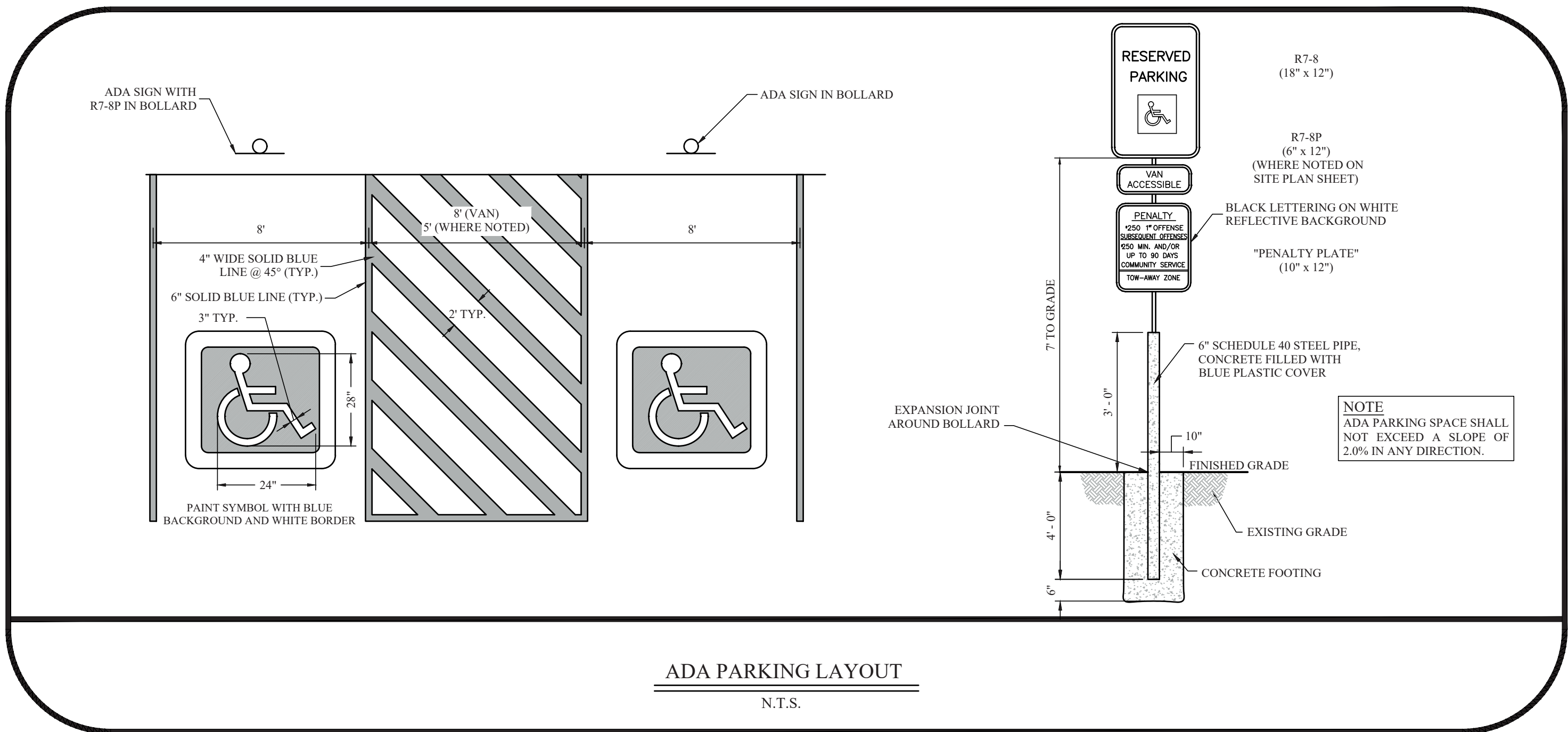
MINOR SITE PLAN
15 ROUTE 35
PLATE 10, BLOCK 1004, LOT 5
(DECEMBER 2013)
NEPTUNE TOWNSHIP
MONMOUTH COUNTY
NEW JERSEY

FOR
HARBOR FREIGHT TOOLS
26677 AGOURA ROAD
CALABASAS, CA 91302

JAMES L. CURRAN, PE
Professional Engineer
State of New Jersey • License # GE 42231
State of Pennsylvania • License # 054474E
State of Delaware • License # 14360

SITE PLAN

P:\Projects\1798 Harbor Freight\02 Neptune City Eng\Construction Drawings\Sheet 04 - Construction Details.dwg, 1/12/2023 10:19 AM, Nicholas Kelly



REVISIONS		
NO.	DESCRIPTION	DATE
1	BOARD ENGINEER REVIEW	11/3/25

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DESIGNED BY:	JOB NO:
NAK	1798-02
DRAWN BY:	DATE:
NAK	04-30-24
CHECKED BY:	SCALE:
JLC	NOT TO SCALE

MINOR SITE PLAN
15 ROUTE 35
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(DECEMBER 2013)
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1/22/25

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CONSTRUCTION
DETAILS