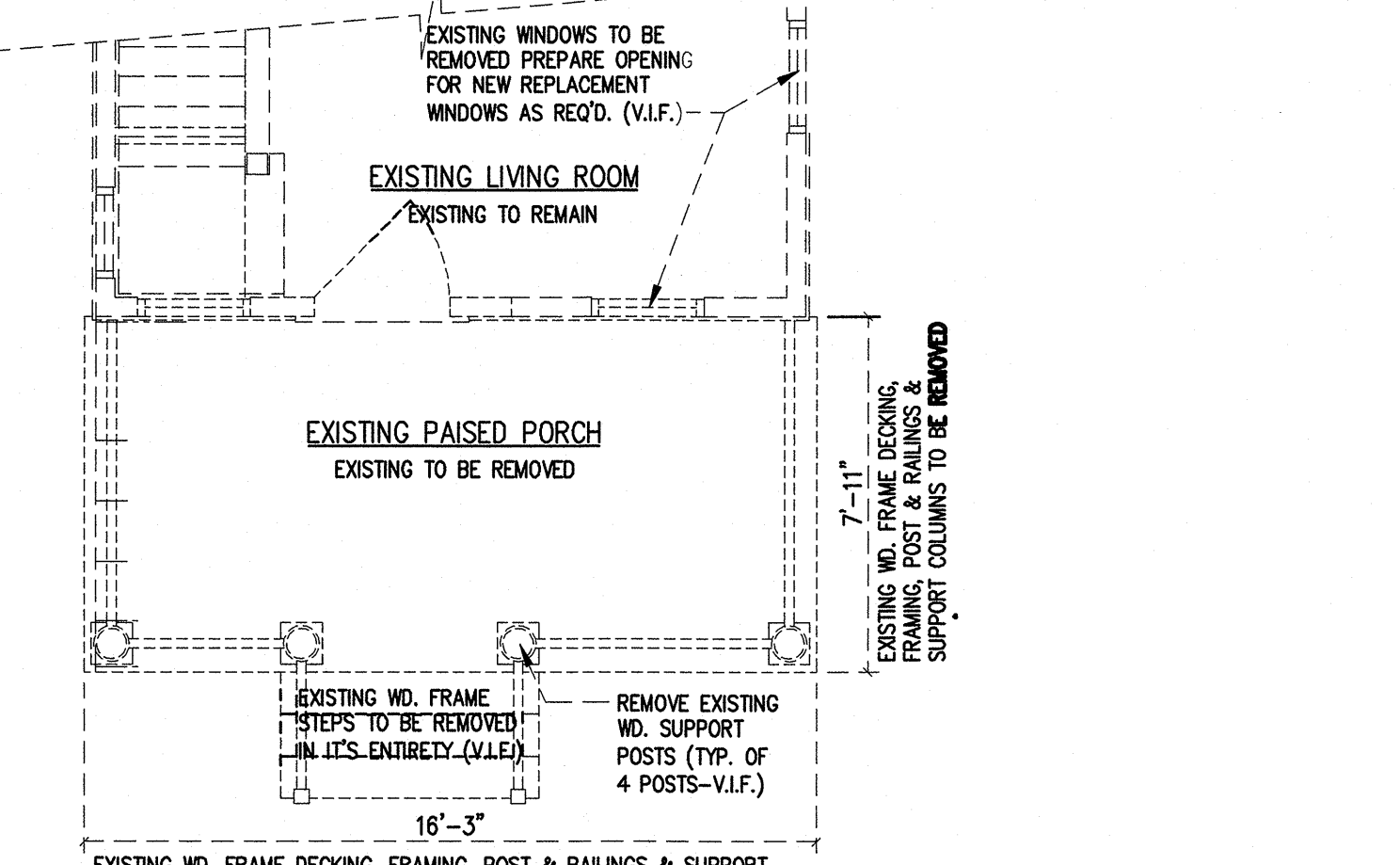
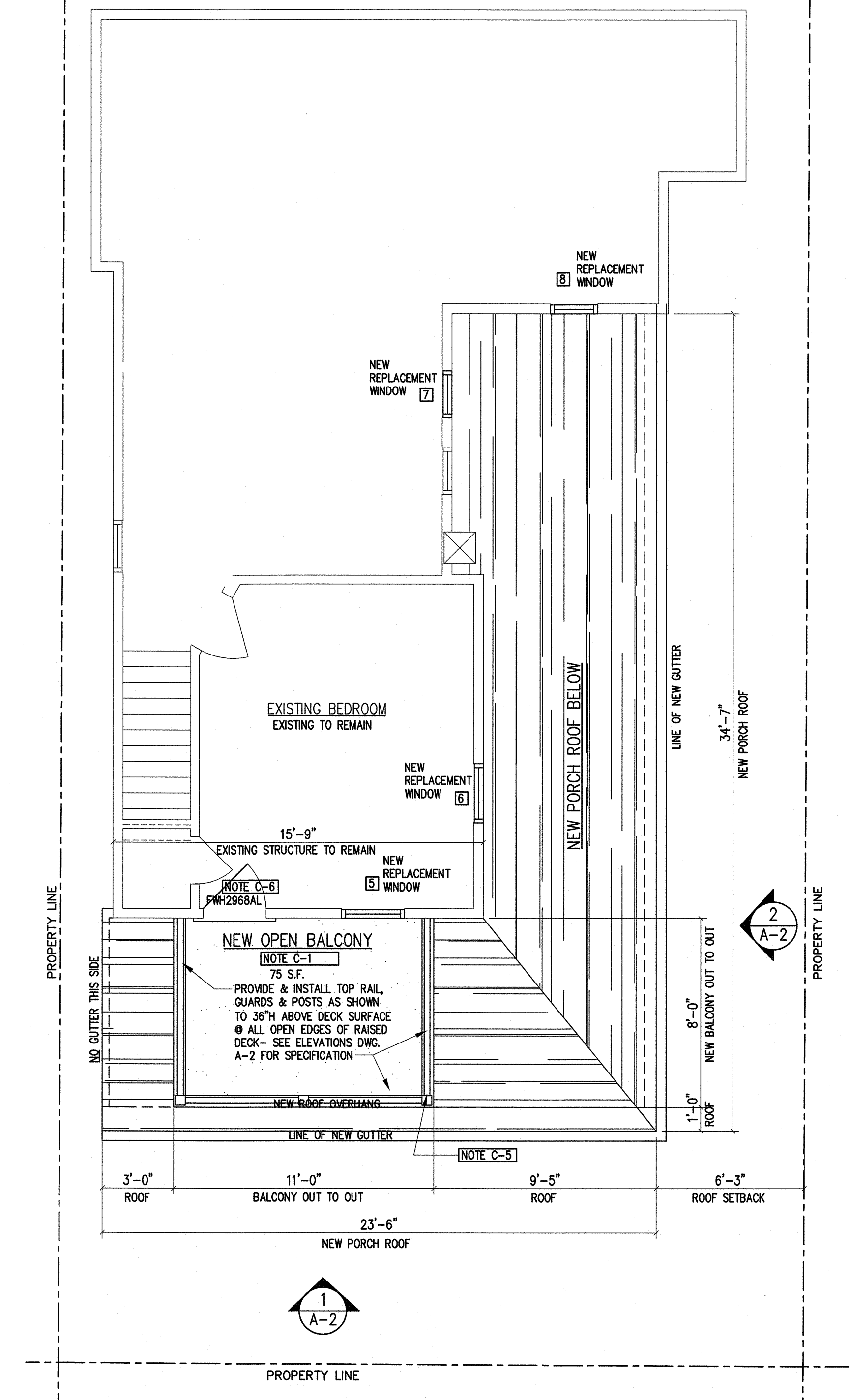


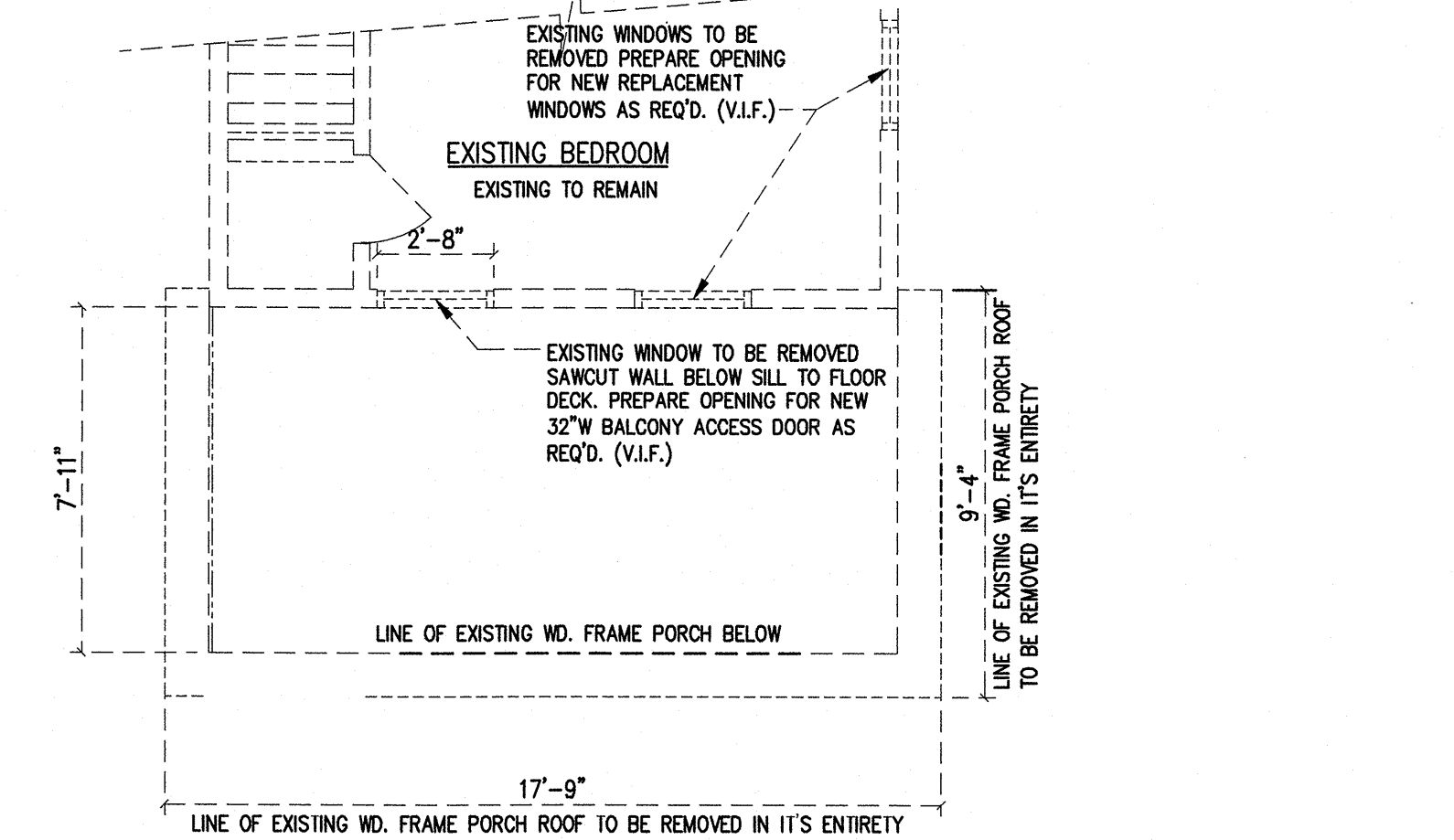
1 A-1 PROPOSED FIRST FLOOR PORCH PLAN
SCALE: 1/4" = 1'-0"



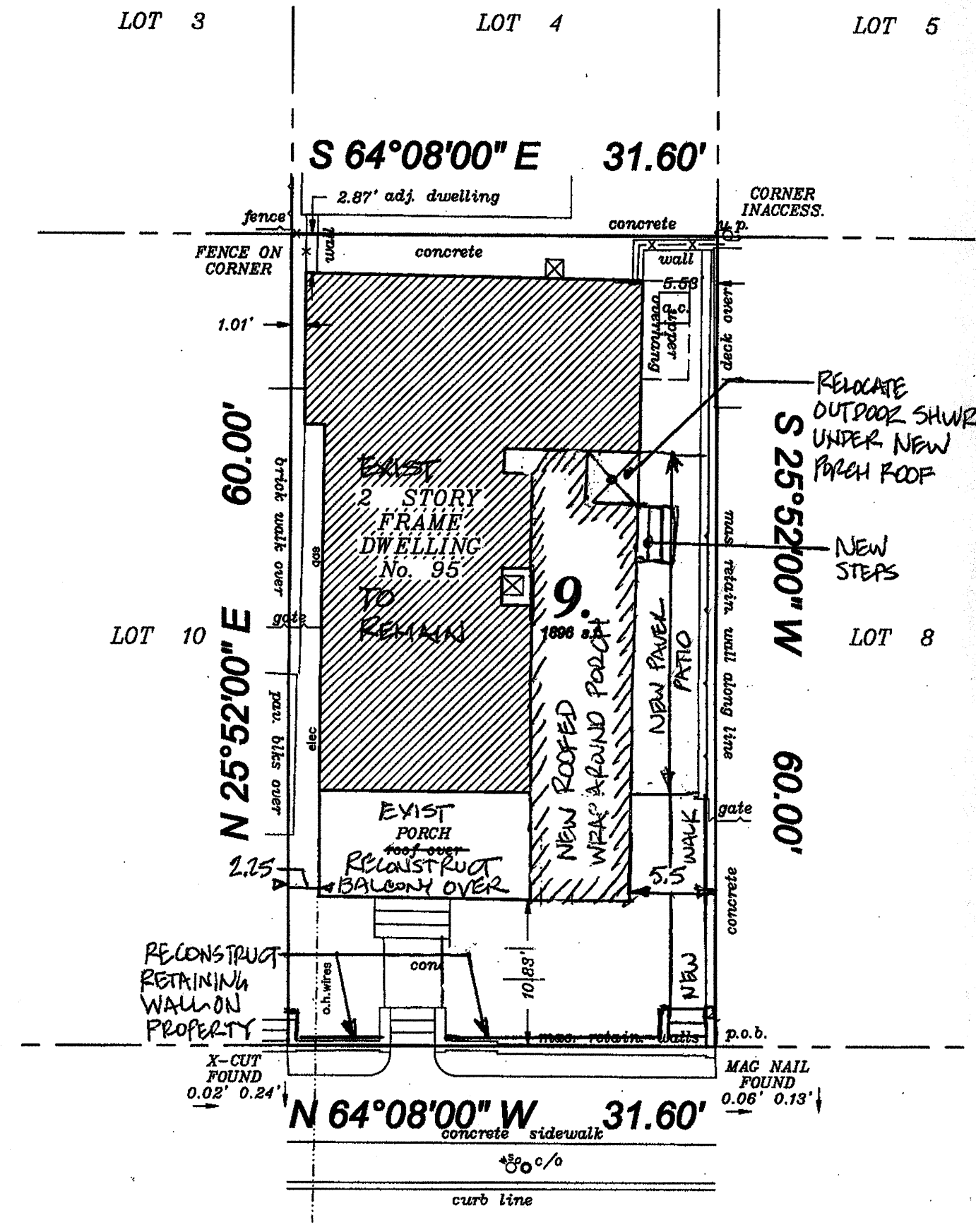
B A-1 EXISTING COVERED PORCH DEMOLITION PLANS
SCALE: 1/4" = 1'-0"



2 A-1 PROPOSED BALCONY/ PORCH ROOF PLAN
SCALE: 1/4" = 1'-0"

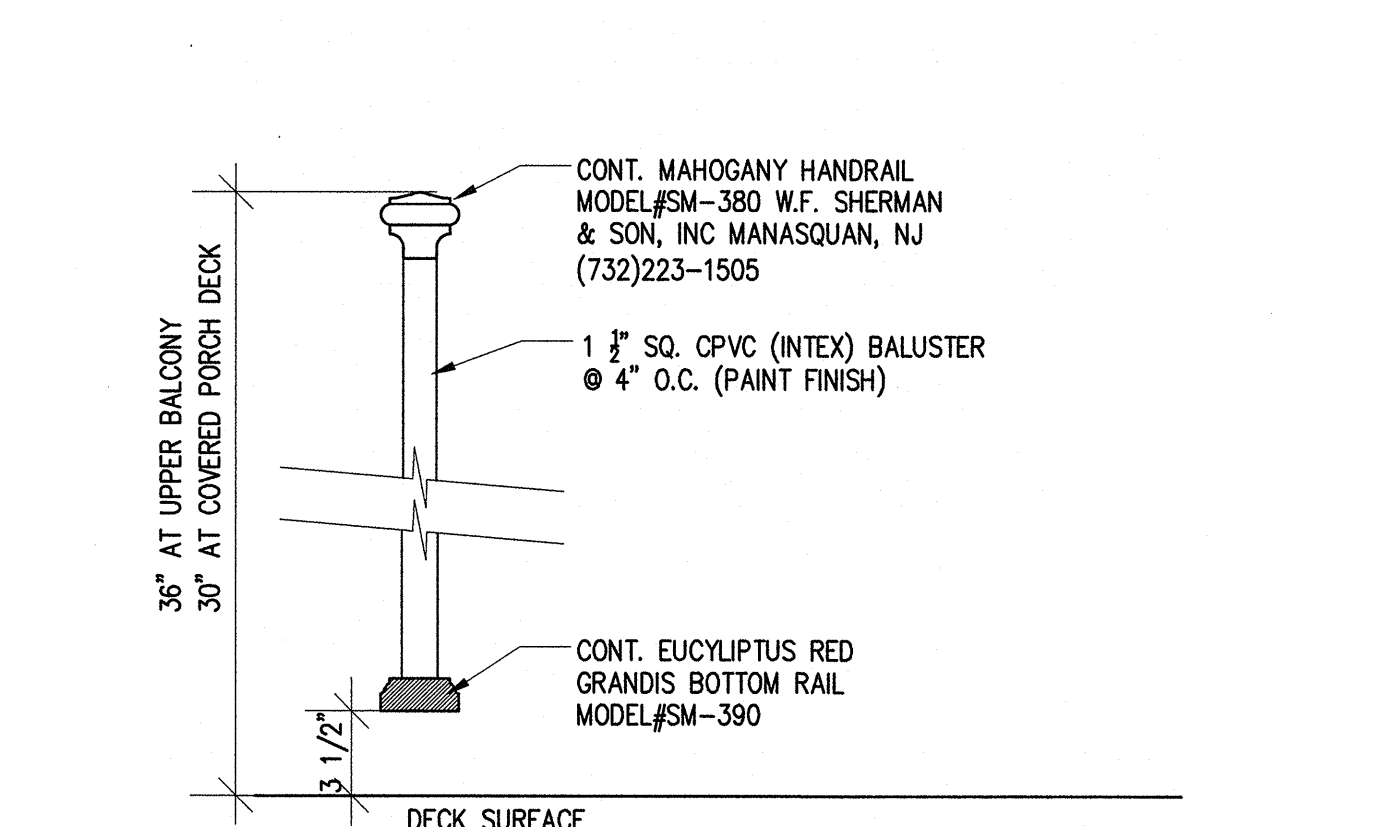


C A-1 TYP. RAIL/ BALUSTER DETAIL
SCALE: 1 1/2" = 1'-0"



COOKMAN AVENUE
PROPOSED PLOT PLAN
SCALE: 1" = 10'-0"

ALL INFORMATION NOTED ON THIS SITE PLAN IS TAKEN FROM A SURVEY PREPARED BY PAUL K. LYNCH LAND SURVEYOR; P.O. BOX 1453 WALL, N.J. 07719; PAUL K. LYNCH LIC #35855 DATED 10.6.22



C A-1 TYP. RAIL/ BALUSTER DETAIL
SCALE: 1 1/2" = 1'-0"

WINDOW NOTES
1. ALL WINDOWS TO BE ANDERSEN 400 SERIES DOUBLE HUNG EXCEPT WHERE NOTED. ALL WINDOWS TO BE WHITE EXTERIOR & INTERIOR FRAME. ALL WINDOWS TO HAVE HIGH PERFORMANCE LOW-E GLAZING; FULL DIVIDED LIGHT W/ INTERIOR AND 1/2" EXTERIOR GRILLES AS SHOWN ON ELEVATIONS AND HALF INSECT SCREENS (TRUSCENE). PROVIDE INTERIOR MOUNTED LIFT HARDWARE. HARDWARE AND INTERIOR FINISH AS SELECTED BY OWNER.
2. ALL WINDOWS SHALL HAVE A MINIMUM PG/DP RATING OF 50
3. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND DIMENSIONS AS WELL AS COORDINATE ALL WINDOW DESIGNATIONS WITH ELEVATION VIEWS BEFORE PROCEEDING W/ CONSTRUCTION.

CODE SUMMARY

- PLAN REVIEW AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NJ RE-HAB SUBCODE CURRENT EDITION FOR NEW ALTERATIONS OF EXISTING CONSTRUCTION & L.R.C./2021 NEW JERSEY EDITION INCLUDING ANY/ALL AMENDMENTS PER N.J.U.C.C. FOR ALL NEW CONSTRUCTION
- ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS (WFCM) AS REQUIRED BY CODE SECTION R301.2.1.1
- BASIC WIND SPEED 115 MPH/ EXPOSURE B
- USE GROUP R5
- CONSTRUCTION CLASSIFICATION 5B
- DESIGN LOADS
* ROOF 30
* EXTERIOR WOOD DECK 40
* EXTERIOR BALCONY 60

	LIVE (PSF)	DEAD (PSF)
* ROOF	30	15
* EXTERIOR WOOD DECK	40	12
* EXTERIOR BALCONY	60	15

ZONING SUMMARY

- LOCAL ZONING: HO-R-1
- BLOCK 251 / LOT 9
- NEW CONSTRUCTION- PRINCIPLE BLDG.

	RECONSTRUCTED EXISTING & NEW COVERED PORCH	SECOND FLOOR BALCONY	TOTAL
NEW BLDG. VOLUME	4,000 C.F.		

	REQ'D./ALLOWED	EXISTING/PROPOSED
MIN. AREA	1,800 S.F.	1,886 S.F. (EXIST.)
MIN. WIDTH	30 FT.	31.80 FT. (EXIST.)
MIN. DEPTH	60 FT.	60 FT. (EXIST.)
MAX. BLDG. COVERAGE	65% (1,530 S.F.)	43.9% (832 S.F.)/ 60.0% (1,137 S.F.)
MAX. IMPERVIOUS COVERAGE	90% (1,620 S.F.)	79.0% (1,498 S.F.)/ 85.9% (1,629 S.F.)

	EXISTING	PROPOSED
IMPERVIOUS CALCULATIONS		
BUILDINGS	742 S.F.	
NEW ROOFED PORCH & BALCONY		395 S.F.
FRONT YARD, WALK/STEPS/RETAINING WALLS		127 S.F.
EAST SIDE YARD PATIO/WALK/STEPS		151 S.F.
WEST SIDE WALKWAY (NEIGHBOR OVERAGE)		20 S.F.
REAR YARD WALKWAY		100 S.F.
TOTAL		80.9% (1,535 S.F.)

	REQ'D./ALLOWED	PROPOSED
PRINCIPLE BUILDING		
FRONT YARD SETBACK	8.19 FT. AVERAGE*	18.83 FT. (EXIST)
FRONT YARD PORCH SETBACK	2.48 FT. AVERAGE*	10.83 FT. (EXIST & RECONSTRUCTED)
SIDE YARD SETBACK 1 (NEW PORCH/BALCONY)	2 FT.	2.25 FT. (EXIST & RECONSTRUCTED)
SIDE YARD SETBACK 2 (NEW COVERED PORCH)	2 FT.	13.5 FT. (EXIST)
SIDE YARD SETBACK COMBINED	4 FT.	5.50 FT. (NEW)
REAR YARD SETBACK	3.1 FT.	2.87 FT. (EXIST)**
MAXIMUM HEIGHT	BLDG. 35 FT. STORES 2 1/2	14 FT. (NEW) 2 (EXIST)

*AVERAGE FRONT SETBACK (SEE SURVEYOR REPORT)
**EXISTING NON-CONFORMING

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW WALL
- DUPLEX W/ GROUND FAULT CIRCUIT INTERRUPTER
- SINGLE POLE/ DIMMER SWITCHES
- WALL MTD. WATERPROOF EXTERIOR/ INTERIOR LIGHT FIXTURE

FINISH MATERIAL NOTES

- ALL NEW PORCH DECKING & STAIR TREADS SHALL BE 5/4" MAHOGANY T & G NARROW WD. PLANKS, STAINED OR PAINTED GRAY PER MANUFACTURERS WRITTEN SPECIFICATIONS
- NEW PORCH CEILING SHALL BE 1/2" T & G WOOD PLANK- SPECIES & STAIN FINISH AS SELECTED BY OWNER
- ALL NEW PORCH & BALCONY GUARD RAIL SHALL BE PER DETAIL C/A-1 THIS SHEET. NO EXCEPTIONS.
- ALL COMPOSITE COLUMNS TO BE PAINTED PER MANUFACTURERS WRITTEN SPECIFICATIONS W/ (1) COAT 100% ACRYLIC PRIMER AND TWO (2) COATS 100% ACRYLIC EXTERIOR FINISH PAINT.
- ALL EXISTING WINDOW/DOOR TRIM TO BE PAINTED W/ (1) COAT PRIMER AND TWO (2) COATS EXTERIOR FINISH PAINT. WHITE TO MATCH PORCH BALUSTERS & COLUMNS.
- NEW GUTTER AT PORCH ROOF ONLY SHALL BE ALUM. HALF ROUND PROFILE W/ TURNED OUT EDGE- COLOR WHITE. MAXIMUM 5" ALUM. HALF ROUND SINGLE BEAD HI-GLOSS WHITE W/ ROUND DOWNSPOUT.
- OWNER AND/OR GENERAL CONTRACTOR SHALL SUBMIT AN HPC COMPLIANT COLOR SCHEME FOR APPROVAL. FOR THE HISTORICAL PRESERVATION COMMISSION DESIGNATED OFFICIAL PRIOR TO APPLICATION OF ANY FINISH COATS OF PAINT.
- ALL PRE-MANUFACTURED/ENGINEERED FINISH MATERIALS AND/OR SPECIALTY ITEMS AS SPECIFIED ON THESE DRAWINGS SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURERS WRITTEN SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

CONSTRUCTION NOTES

- CONTRACTOR TO SUPPLY & INSTALL FIBERGLASS DECKING SYSTEM ON DECK/BALCONY SURFACE OVER 1/2" AC APA RATED T&G SANDING PLYWD. PRE-COATED W/ SHOP APPLIED FIBERGLASS RESIN OVER 5/8" AC APA RATED PLYWD. BASE SHEET. APPLY TOP LAYER JUST PRIOR TO FIBERGLASSING. RUN FIBERGLASS UP EXT. WALL MIN. 10" OVER PRE-FAB WALL MAT. SLOPE DECK SURFACE AWAY FROM BUILDING MIN. 3/16" PER FT. ALL FASTENERS TO BE STAINLESS STEEL & GALV.
- NEW PORCH DECKING ON FIRST FLOOR PORCH ONLY TO BE 5/4" T & G MAHOGANY OVER NEW 1" x 4" P.T. SLEEPERS @ 12" O.C. SECURED TO JOISTS. ALL SLEEPERS TO BE INSTALLED PARALLEL TO FRONT & SIDE WALL & ALL DECKING PERPENDICULAR TO FRONT & SIDE WALL. DO NOT INSTALL NOSING AT EXPOSED ENDS OF DECKING PER HPC REQUIREMENTS.
- CONTRACTOR TO SUPPLY & INSTALL NEW BEADBOARD PANELS W/ CONT. CROWN MOULDING AT UNDERSIDE OF NEW DECK STRUCTURE/PORCH CEILING- RESTORATION MILLWORK. BEADBOARD PANELS OR APPROVED EQUAL- PAINT COLOR AS SELECTED BY OWNER
- ALL NEW PORCH RAIL SHALL BE PER HPC REQUIREMENTS INCLUDING ALL BALUSTERS TO BE INSTALLED AT 3 1/2" O.C. SEE DETAIL THIS SHEET
- ALL NEW NEWELL POSTS TO BE 4 x 4 P.T. WD. POSTS W/ INTER VINYL CHAMFERED SLEEVE W/ BOTTOM TRIM RING AND FLAT CAP
- NEW DOOR TO HAVE FULL DIVIDED GRILL TALL FRACTIONAL PATTERN W/ SIMULATED CHECK RAIL TO MATCH ADJACENT NEW DOUBLE HUNG WINDOW UPPER SASH
- ALL NEW CONCRETE PAVERS TO BE GLEN GERRY DANISH PAVES W/ SAND FINISH. PATTERN AS SELECTED BY OWNER. INSTALL PER MANUF WRITTEN SPECIFICATIONS

MOSS ARCHITECTURE LLC

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MS. DAWN WILCOX

95 COOKMAN AVENUE
OCEAN GROVE, NJ 07756

NEW WRAP AROUND PORCH & BALCONY
WILCOX RESIDENCE
BLOCK XX/ LOT XX

95 COOKMAN AVENUE
OCEAN GROVE, NJ 07756

PROJECT NUMBER: G25-01

DATE: 02.23.25

SCALE: AS NOTED

DESIGNED BY: M.M.

DRAWN BY: M.M.

PROJECT MANAGER: M.M.

DATE: 02.23.25

NEW PORCH/BALCONY PLANS, CODE & ZONING SUMMARY

ARCHITECT: MICHAEL J. MOSS

LIC. No. AI-15000

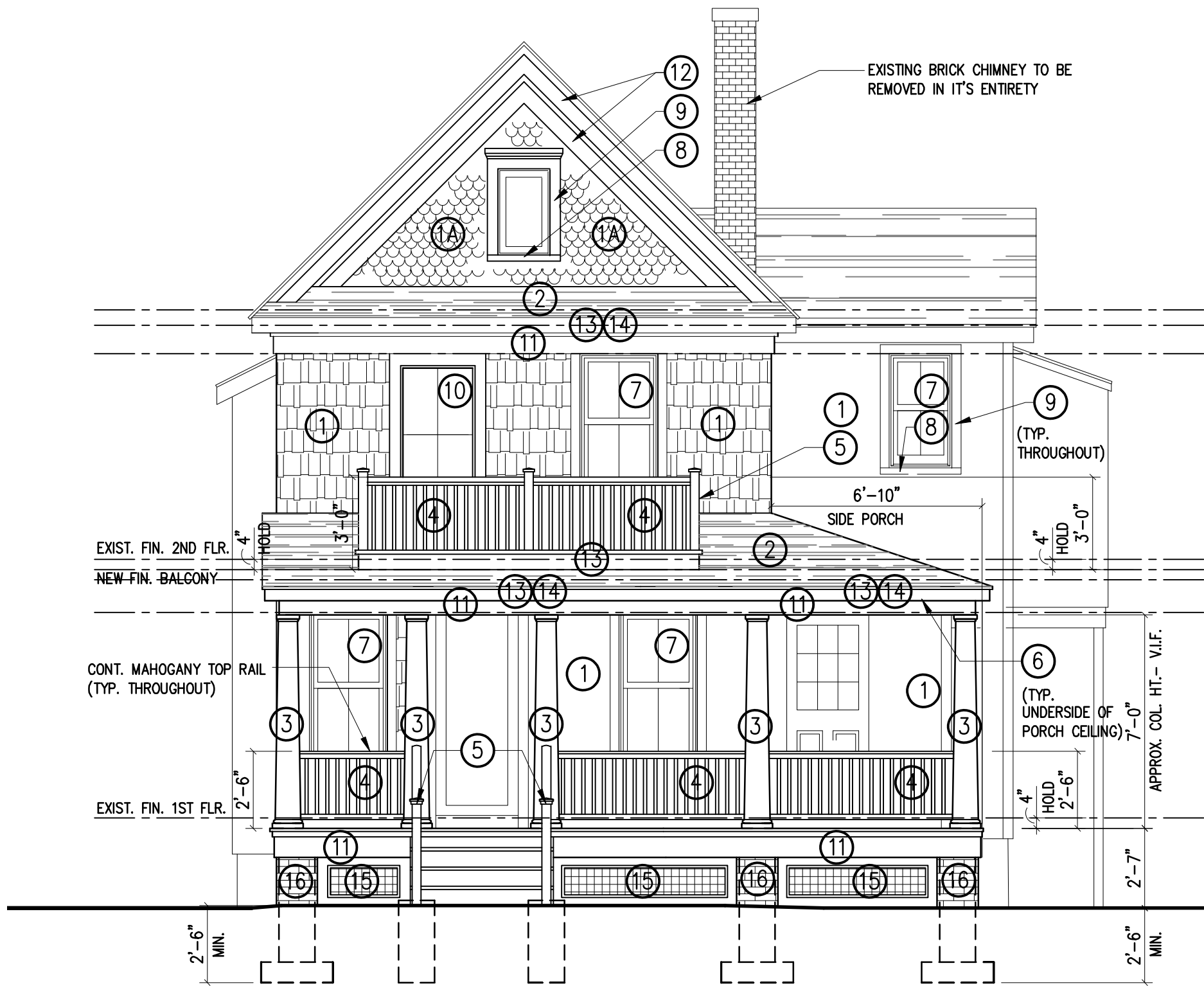
DRAWING No. A-1 ALT



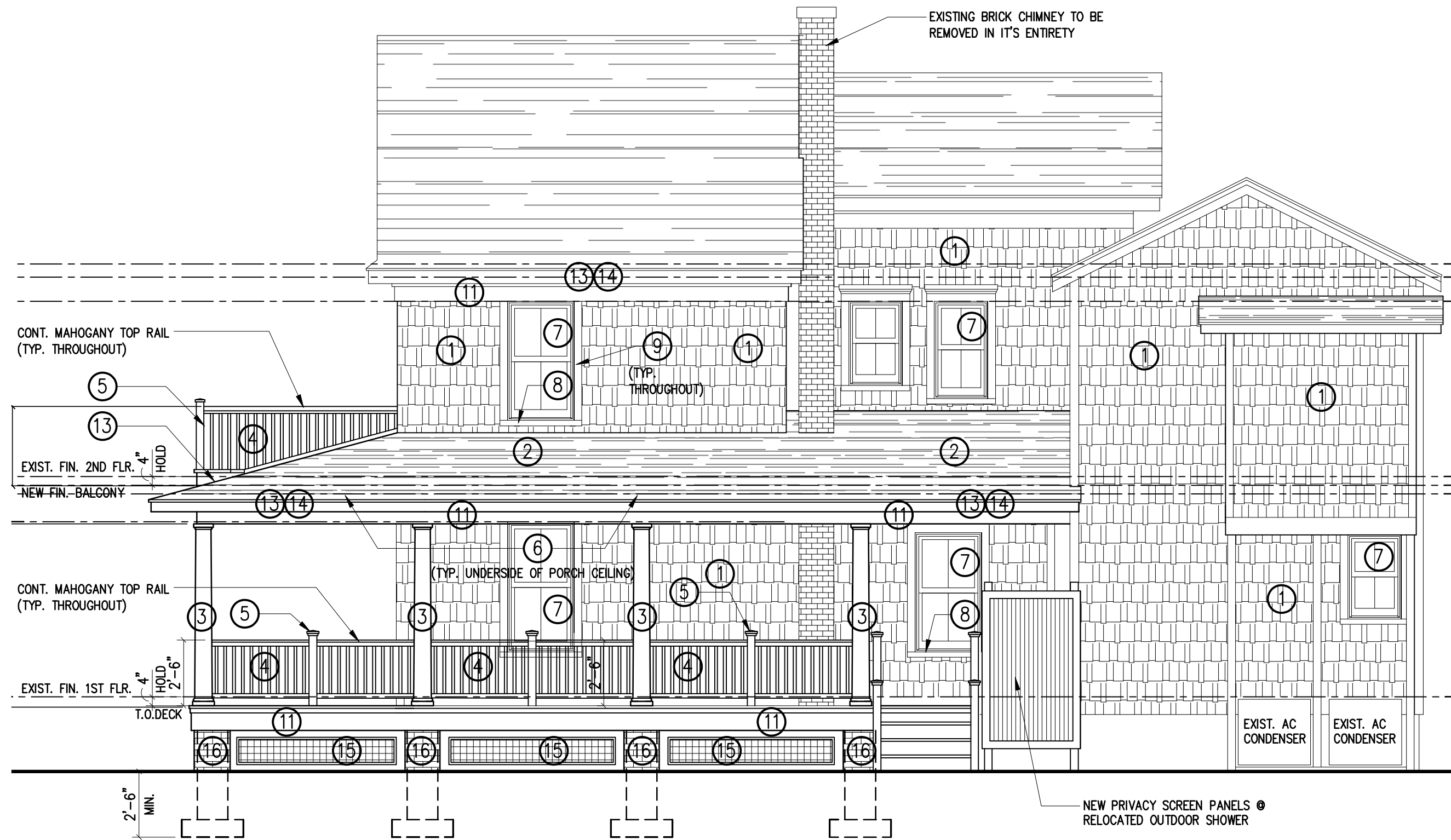
A
A-2 EXISTING FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



B
A-2 EXISTING RIGHT SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



1
A-2 PROPOSED FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



2
A-2 PROPOSED RIGHT SIDE (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE				ITEM	DESCRIPTION	MANUFACTURER/ MODEL #/ STYLE	COLOR
ITEM	DESCRIPTION	MANUFACTURER/ MODEL #/ STYLE	COLOR	8	COMPOSITE WINDOW SILL TRIM	HISTORIC SILL - AZEK MODEL #AZM-6930 OR APPROVED EQUAL.	SHERWIN WILLIAMS SW7006
1	REFURBISHED CEDAR SIDING	PATCH & REPAIR EXISTING CEDAR CLAPBOARD SIDING- PREPARE FOR NEW PAINT FINISH	BEN MOORE HC-152 WHIPPLE BLUE	9	COMPOSITE WINDOW/DOOR TRIM	5/4 x 5 TRIMBOARD- AZEK OR APPROVED EQUAL. MATCH EXISTING PROFILE (V.I.F.)	SHERWIN WILLIAMS SW7006
1A	EXISTING SIDING TO REMAIN		BEN MOORE HC-152 WHIPPLE BLUE	10	BALCONY ENTRY/EGRESS DOOR	2'-8"W x 6'-8"H ANDERSEN 400 SERIES FRENCH DOOR- PROVIDE FIBERGLAS SILL & WEATHERSTIPPING KIT AS REQ'D.	WHITE
2	FIBERGLASS ASPHALT ROOF SHINGLES	PRODUCT SPEC, STYLE TO MATCH EXISTING MAIN ROOF	COLOR TO MATCH EXISTING	11	COMPOSITE CORNICE/FASCIA TRIM	5/4 x 10 TRIMBOARD- AZEK OR APPROVED EQUAL WRAP EXPOSED SIDES OF DROPPED PORCH BEAM	SHERWIN WILLIAMS SW7006
3	FIBERGLASS DECORATIVE ROUND TAPERED COLUMN	8 FT. COLUMN- HB&G 8" ROUND TAPERED PERMACAST PLUS COLUMN W/ TUSCAN STYLE CAP & BASE	BODY- SHERWIN WILLIAMS SW7006	12	COMPOSITE FASCIA/RAKE BOARD	5/4 x 6 TRIMBOARD- AZEK OR APPROVED EQUAL. 5/4 x 6 TRIMBOARD- AZEK OR APPROVED EQUAL.	SHERWIN WILLIAMS SW7006
4	PVC DECORATIVE PORCH RAILING	MAHOGANY STAIN TOP & BOTTOM RAIL CPVC BALUSTERS AS SHOWN (3 1/2" O.C. MATCH EXISTING- SEE DETAIL DWG. A-1)	BALLUSTERS- SHERWIN WILLIAMS SW7006	13	COMPOSITE FASCIA TRIM	5/4 x 6 TRIMBOARD- AZEK OR APPROVED EQUAL	SHERWIN WILLIAMS SW7006
5	NEWELL POSTS	NEWELL POSTS- INTEX BY AZEK VINYL CHAMPERED SLEEVE OVER 4 x 4 P.T. POST W/ FLAT CAP & BASE TRIM RING	SHERWIN WILLIAMS SW7006	14	ALUM. GUTTER & LEADERS	ALL NEW GUTTERS SHALL BE ALUM. HALF ROUND PROFILE W/ TURNED OUT EDGE- COLOR WHITE. AMERIMAX 5" ALUM. HALF ROUND SINGLE BEAD HI-GLOSS WHITE	ALL LEADERS TO BE ROUND COLOR WHITE TO MATCH GUTTERS. LOCATE AS SHOWN ON DRAWINGS OR LOCATIONS AS APPROVED BY HPC.
6	WOOD BEADBOARD UNDERSIDE OF CANOPY CEILING & ROOF OVERHANGS	3/8" SHEET - DOUGLAS FIR OR APPROVED EQUAL	SHERWIN WILLIAMS SW7006	15	DECORATIVE IN-FILL PANELS	PTD. CEDAR SCREEN PANELS W/ 4" COMPOSITE FRAME- AZEK OR APPROVED EQUAL (TYP. @ RAISED PORCH PERIMETER OPENINGS)	COLOR SHERWIN WILLIAMS SW7006 *NOTE: ALL IN-FILL SCREEN PANELS TO BE INSTALLED HORIZONTAL/ VERTICAL (90 DEGREES)
7	NEW VINYL CLAD REPLACEMENT WINDOWS	ALL NEW WINDOWS- ANDERSEN 400 SERIES DOUBLE HUNG GRILLES AS SHOWN. COLOR WHITE- SEE WINDOW NOTES DWG. A-1.	PAINT EXIST WINDOWS & TRIM TO REMAIN- SHERWIN WILLIAMS VINYL SAFECOLORS (COLOR MATCH HPC APPROVED NEW WINDOW COLOR	16	THIN BRICK VENEER	GLEN GERY ASHCROFT ROSE SANDED VELOUR FINISH- INSTALL RUNNING BOND TYP.	STYLE & COLOR TO BE APPROVED BY HPC (TYP. EXPOSED SURFACES OF ALL CMU SUPPORT PIERS)

NOTES:

1. PAINT COLORS TO COMPLY WITH APPROVED HPC PAINT COLOR SCHEME. ALL PAINT SHALL BE BENJAMIN MOORE OR APPROVED EQUAL OR BETTER EXCEPT WHERE NOTED.
2. ALL COMPOSITE COLUMNS TO BE PAINTED PER MANUFACTURERS WRITTEN SPECIFICATIONS W/ (1) COAT 100% ACRYLIC PRIMER AND TWO (2) COATS 100% ACRYLIC EXTERIOR FINISH PAINT.
3. ALL MATERIALS/PRODUCTS LISTED ABOVE MAY BE SUBSTITUTED AS APPROVED BY HISTORIC PRESERVATION COMMISSION (HPC) & OWNER ONLY.

ARCHITECT MICHAEL J. MOSS LIC. No. AL-15000		MOSS ARCHITECTURE LLC 429 MONMOUTH AVENUE BRADLEY BEACH, NJ 07720 Bus. 732-567-6311 Email: myprossarch@gmail.com		CLIENT MS. DAWN WILCOX 95 COOKMAN AVENUE OCEAN GROVE, NJ 07756		CONSULTANTS	
JOB NUMBER G25-01		PROJECT MANAGER MJM		DRAWN BY MJM		DATE 02.23.25	
TITLE EXISTING & NEW COVERED PORCH/ OPEN BALCONY ELEVATIONS		PROJECT NEW WRAP AROUND PORCH & BALCONY WILCOX RESIDENCE BLOCK XX/ LOT XX 95 COOKMAN AVENUE OCEAN GROVE, NJ 07756					
A-2 ALT		REVISION / ISSUED TO					
		No		DATE		REVISION / ISSUED TO	
		-		03/09/25		REVISED PER OWNER 3.1.25 ZOOM MTG COMMENTS	
		-		03/05/25		RE-ISSUED TO OWNER & GC FOR REVIEW & COMMENT	
		-		03/10/25		REVISED PER HPC ZOOM MTG #1 COMMENTS	
		-		03/21/25		REVISED PER HPC ZOOM MTG #2 COMMENTS	
		-		04/02/25		REVISED PER HPC ZOOM MTG #3 COMMENTS	
		-		04/02/25		RE-ISSUED TO OWNER & GC FOR ZONING APPROVAL	
		-		04/28/25		ADD RETAINING WALL DETAILS	
		-		04/28/25		RE-ISSUED FOR ZONING APPROVAL	
		-		05/20/25		ADD FINISH SCHEDULE & NOTES	
		-		05/29/25		REVISED PER 5.27.25 HPC HEARING COMMENTS	
		-		06/04/25		REVISED PER HPC TECH REVIEW MTG #1 COMMENTS	
		-		06/04/25		RE-ISSUED TO HPC FOR 6.10.25 HEARING	
		-					
		-					