

PLAN LEGEND

NEW WALL

EXISTING WALL

NEW DOOR

EXISTING DOOR

tm

TOKARSKI + MILLEMANN  
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N.J. LICENSE # AI 13755

N.Y. LICENSE # 026282

CERTIFICATE OF AUTHORIZATION  
No. AC33200

ALTERATIONS & ADDITIONS TO:  
**OCEAN GROVE LIFEGUARD & COMFORT STATION**  
EMBURY AVE. & OCEAN AVE. N. OCEAN GROVE, NJ 07756  
BLOCK: 101, LOT: 5

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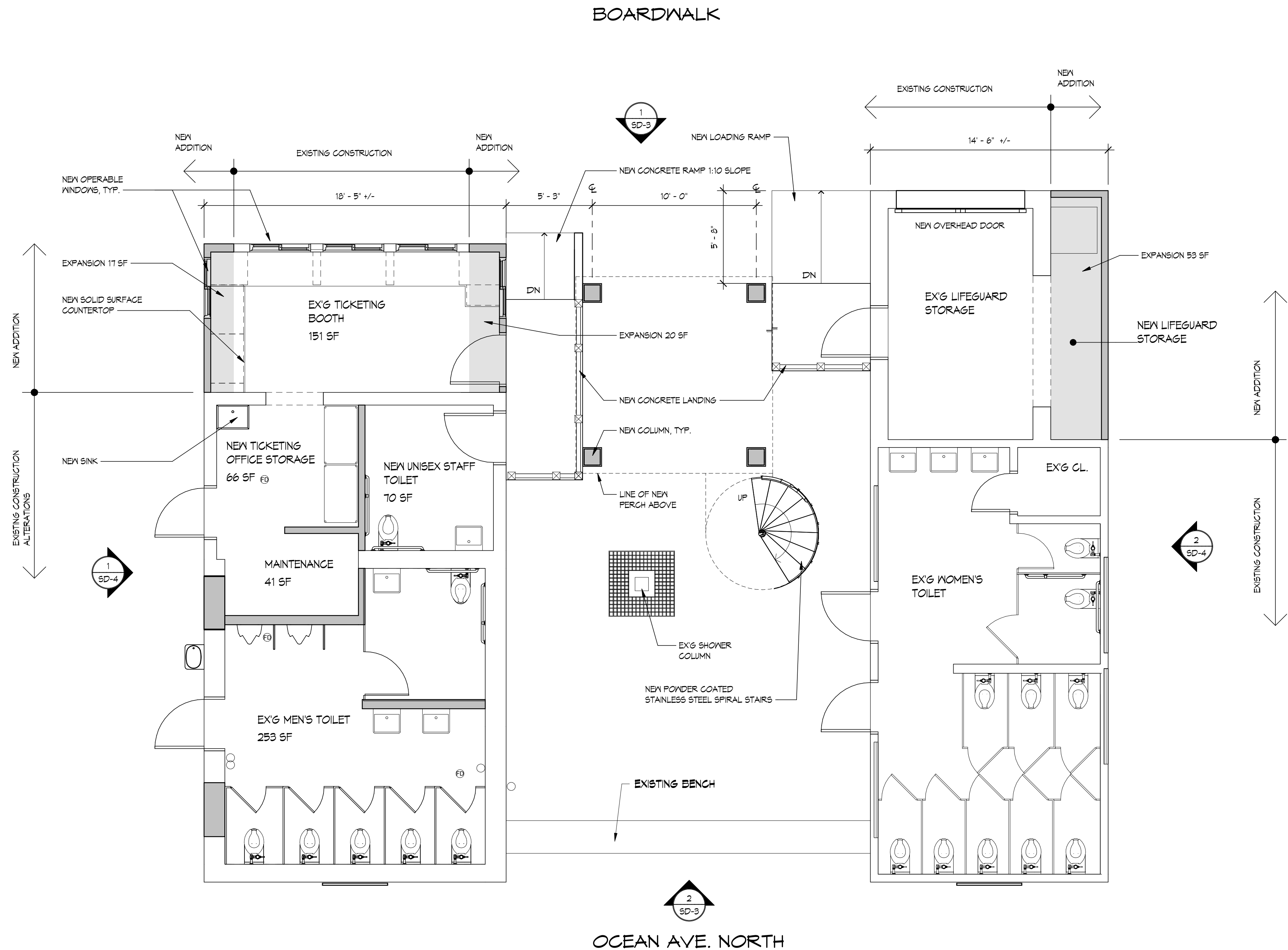
REV.: DATE DESCRIPTION:

PROPOSED GROUND FLOOR PLAN

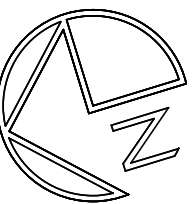
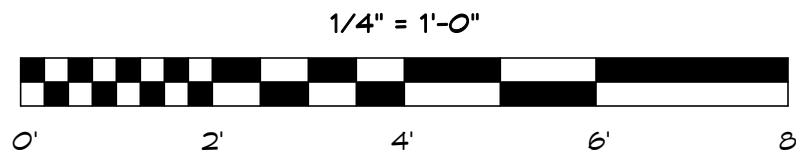
PROJECT NO.: 2511 DRAWN BY: DD

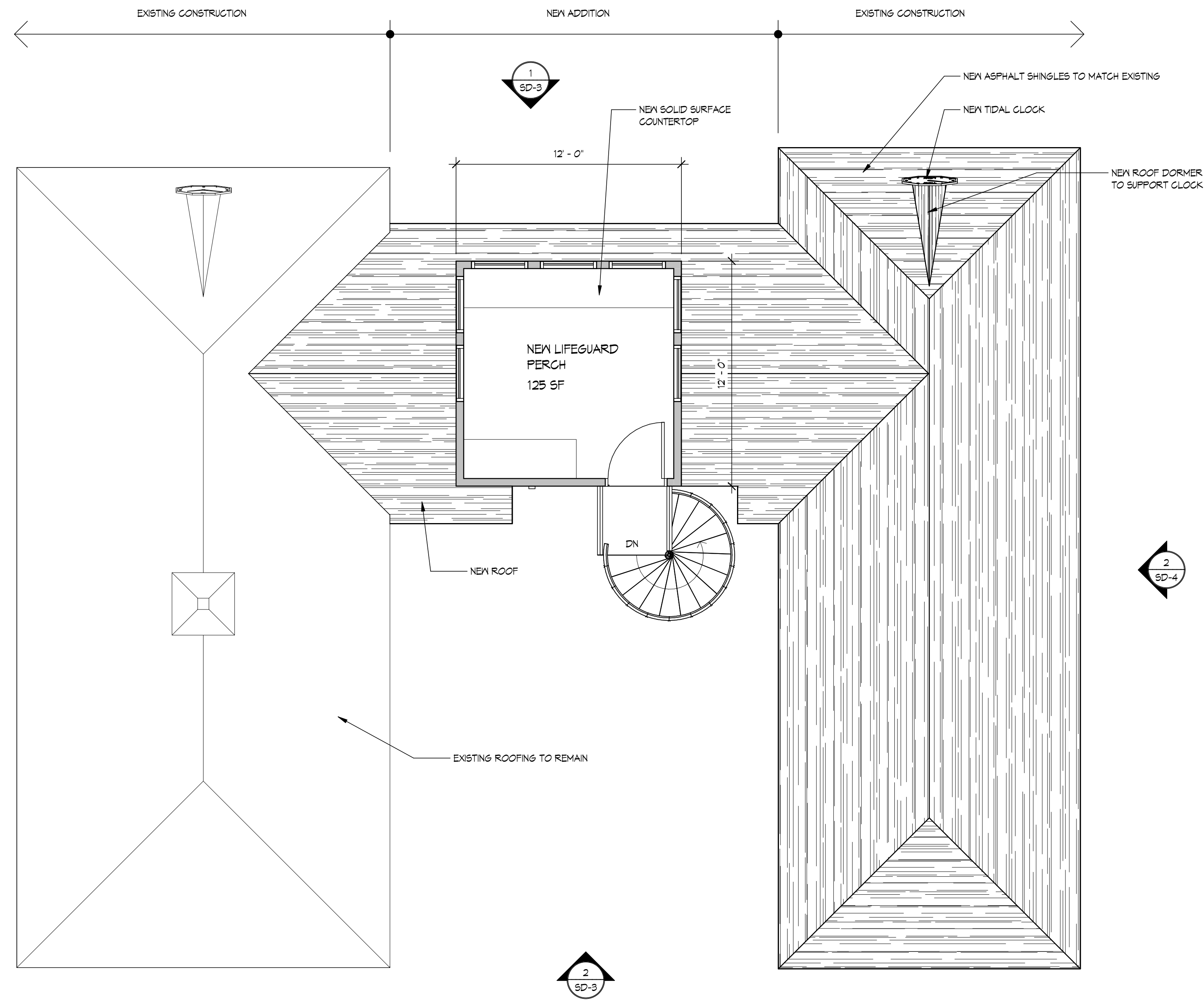
DATE ISSUED: 1/17/2025

SD-I



1 PROPOSED GROUND FLOOR PLAN (ADDITIONS: 90 SF)  
1/4" = 1'-0"

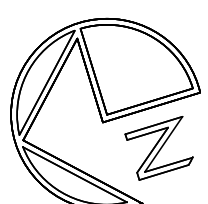
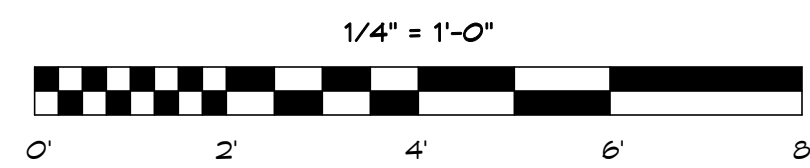




1 PROPOSED LIFEGUARD PERCH FLOOR PLAN (ADDITION: 144 SF)  
1/4" = 1'-0"

PLAN LEGEND

- NEW WALL
- EXISTING WALL
- NEW DOOR
- EXISTING DOOR



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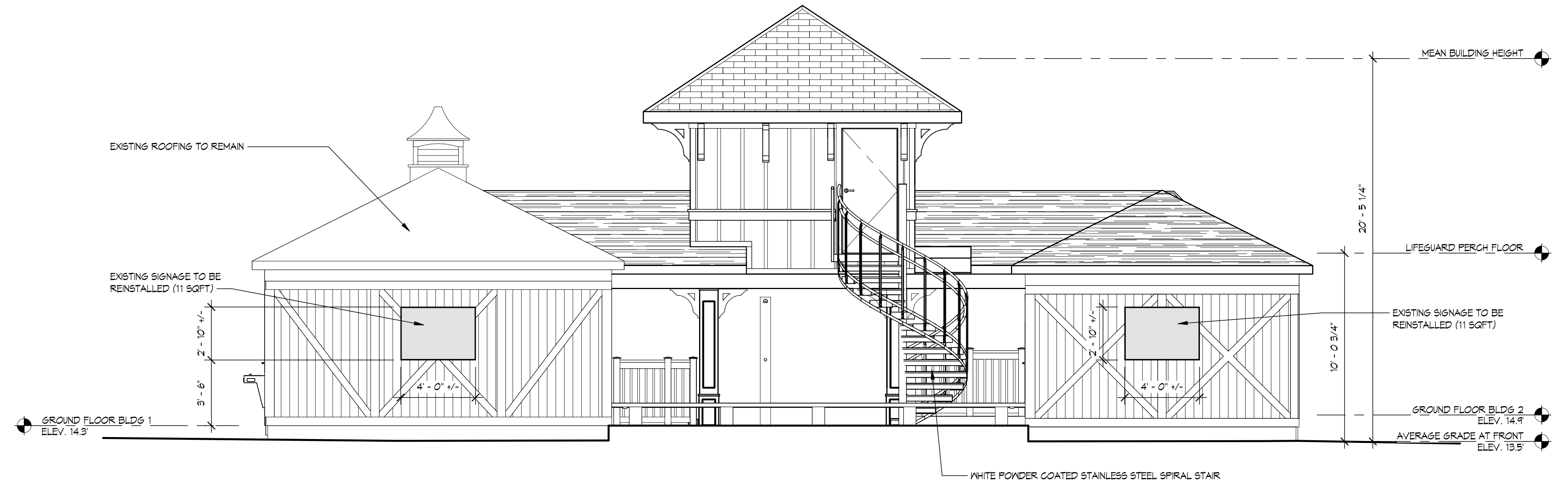
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PROPOSED LIFEGUARD PERCH  
FLOOR PLAN

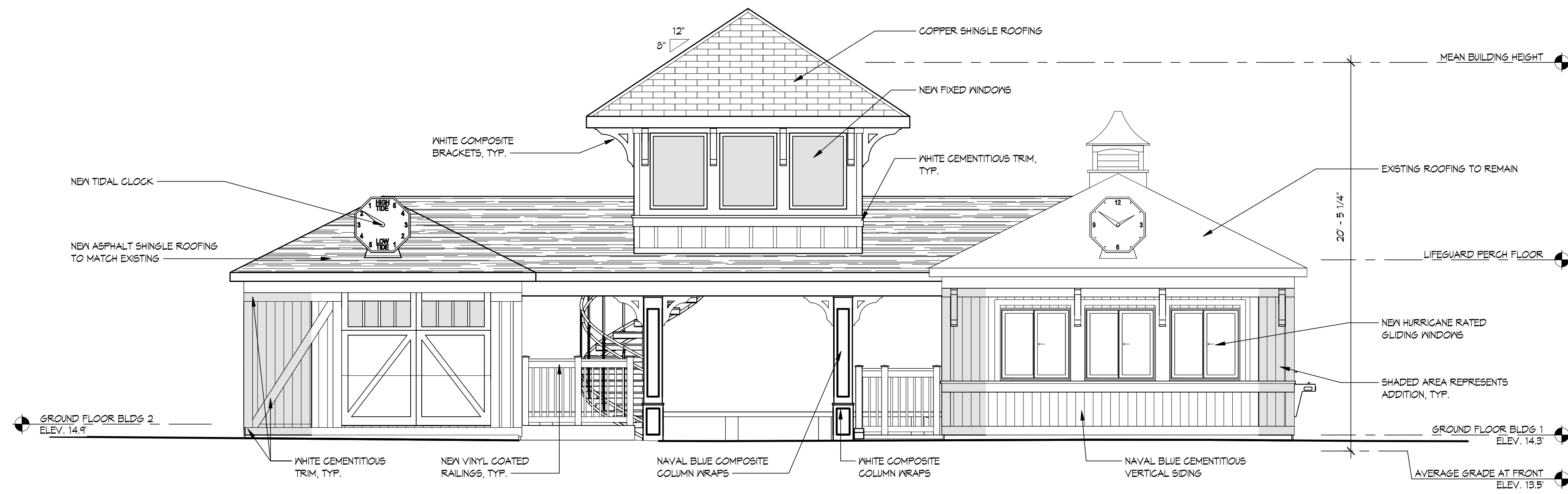
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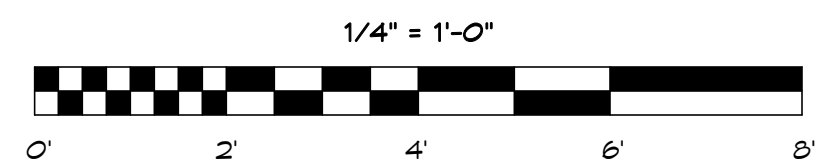
**SD-2**



**2 WEST ELEVATION**  
1/4" = 1'-0"



**1 EAST ELEVATION**  
1/4" = 1'-0"



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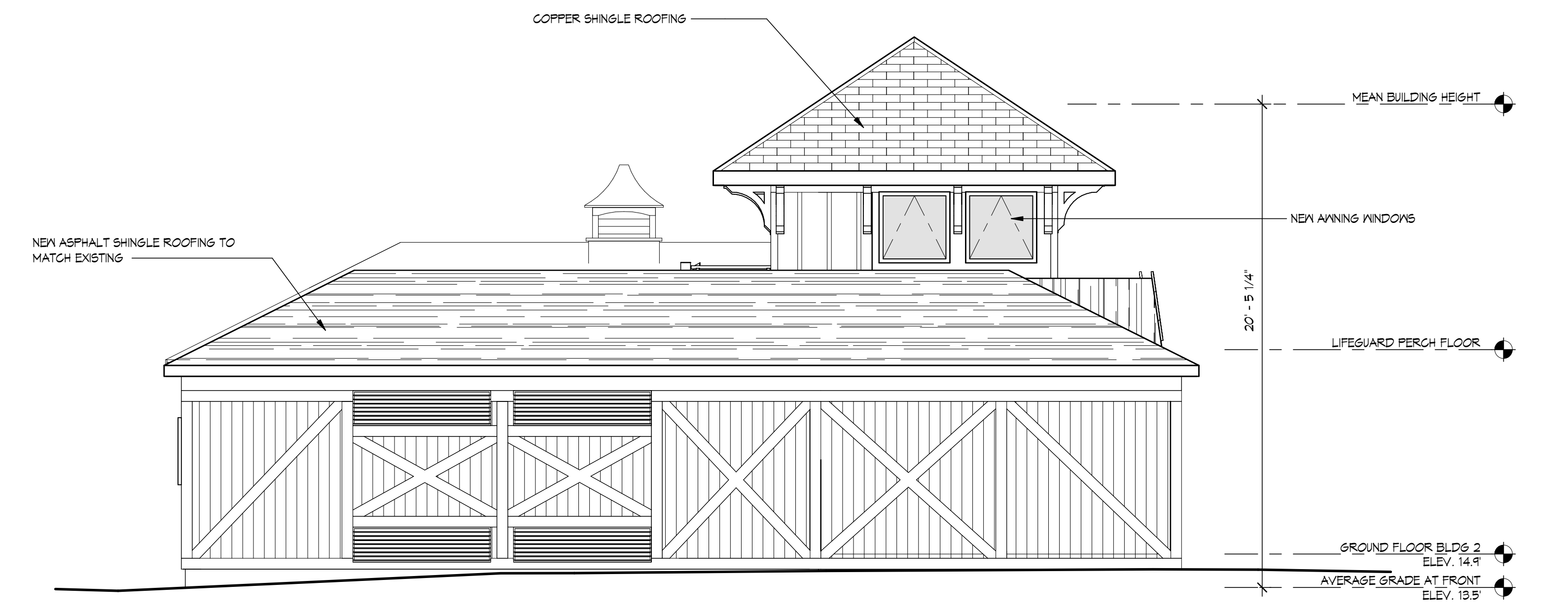
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EXTERIOR ELEVATIONS

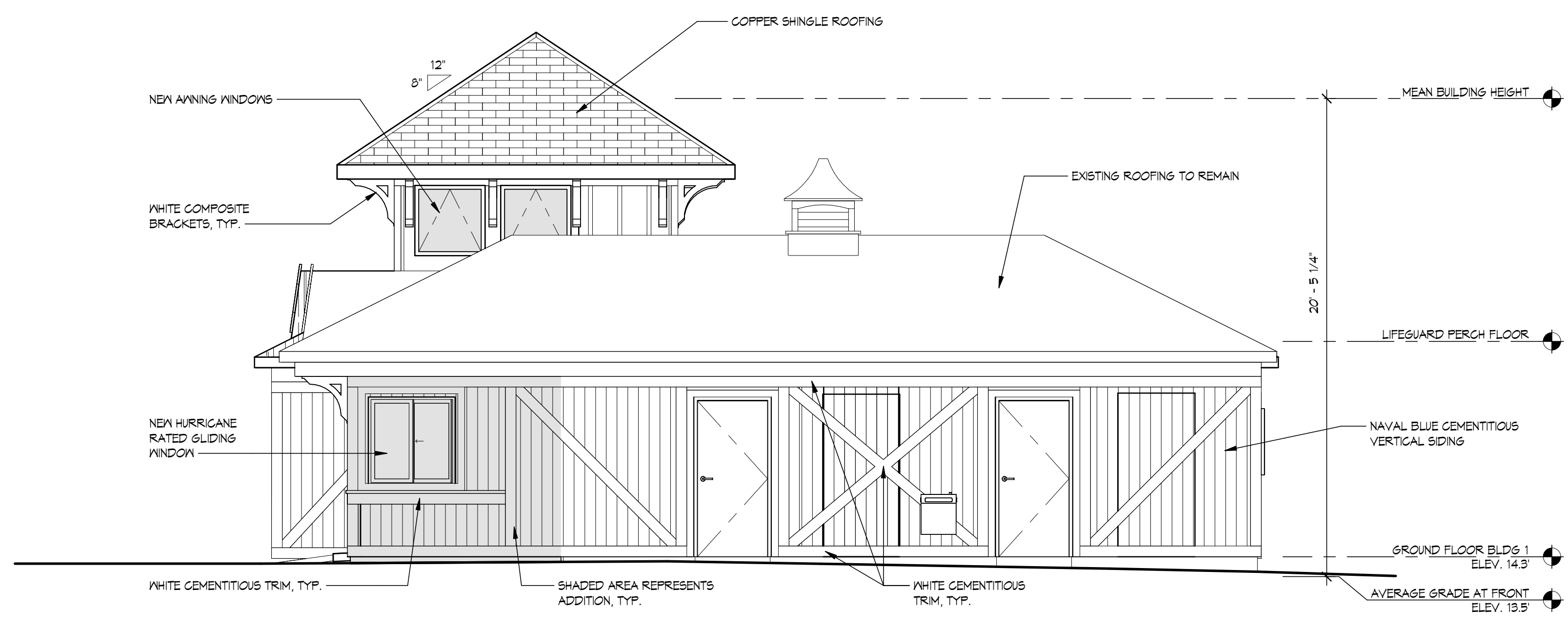
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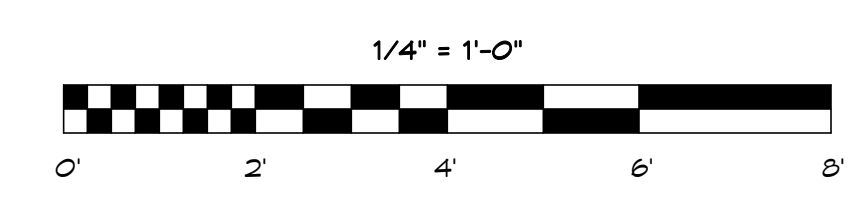
**SD-3**



2 SOUTH ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"



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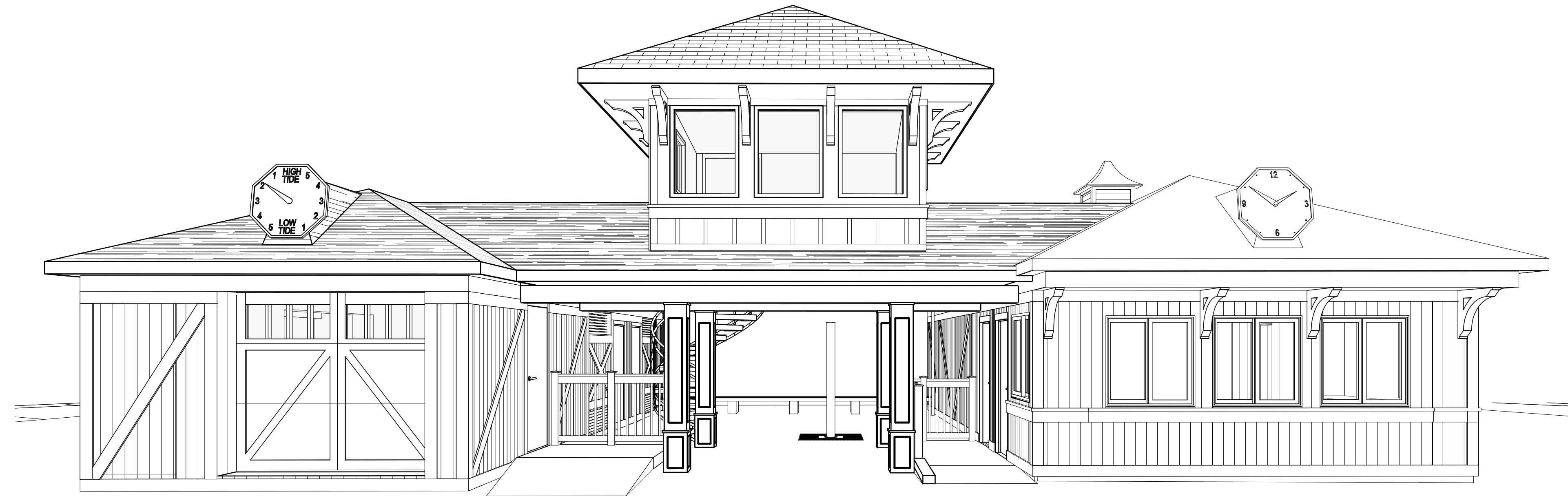
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EXTERIOR ELEVATIONS

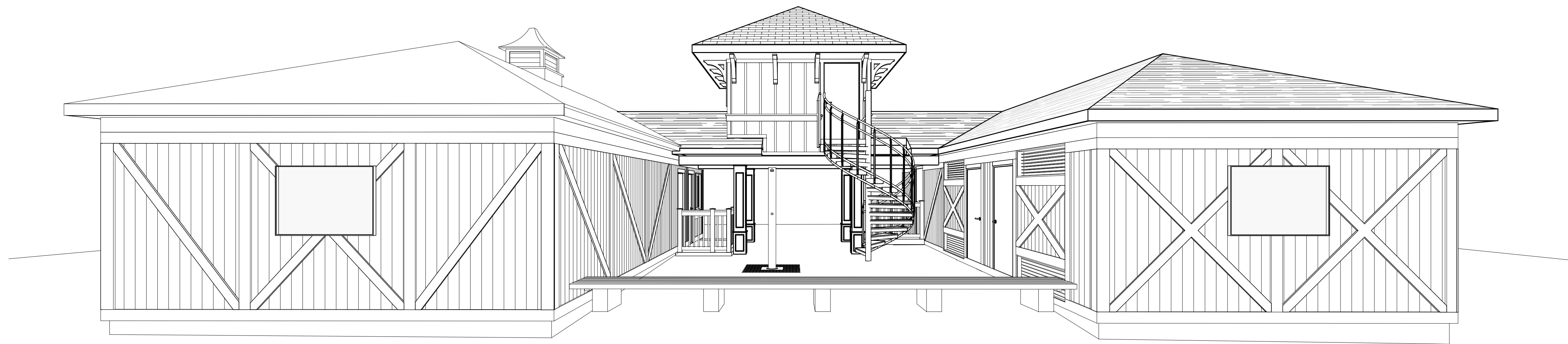
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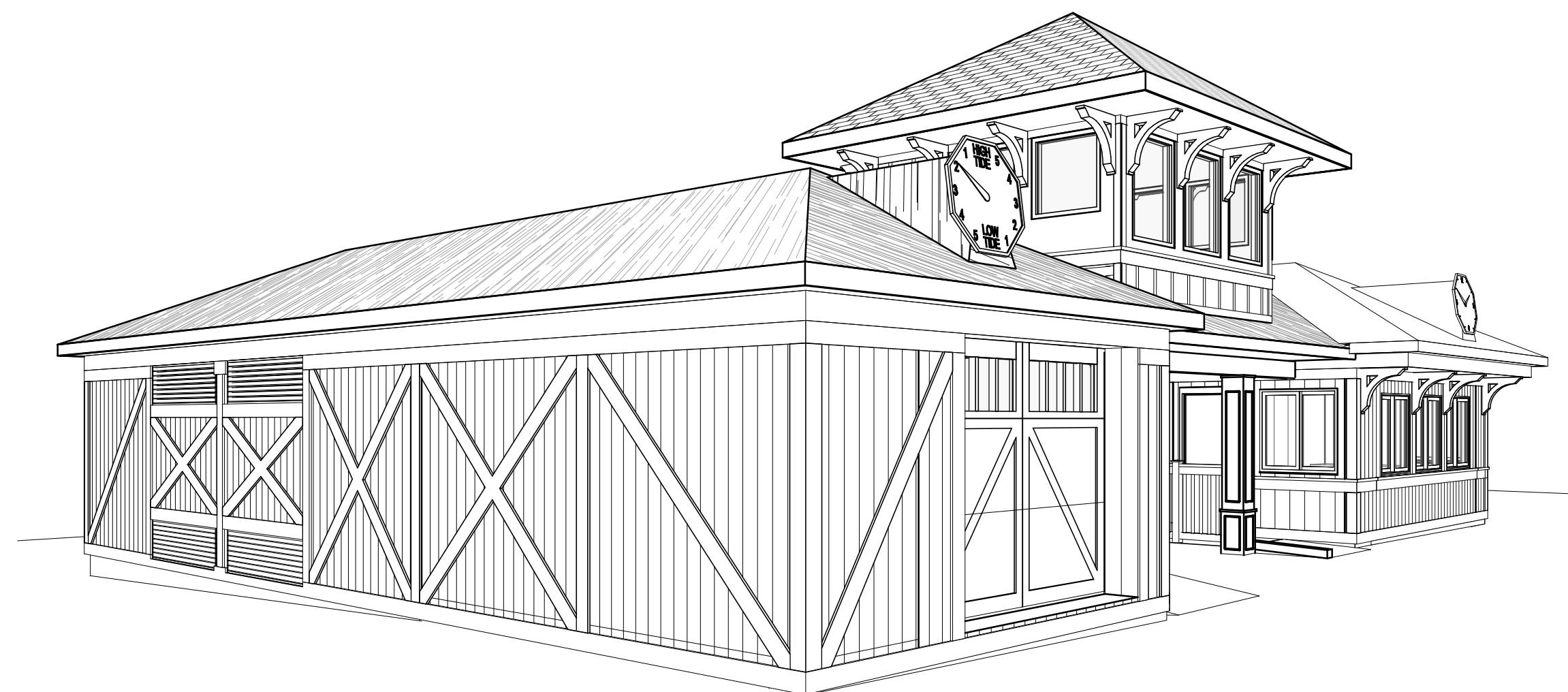
**SD-4**



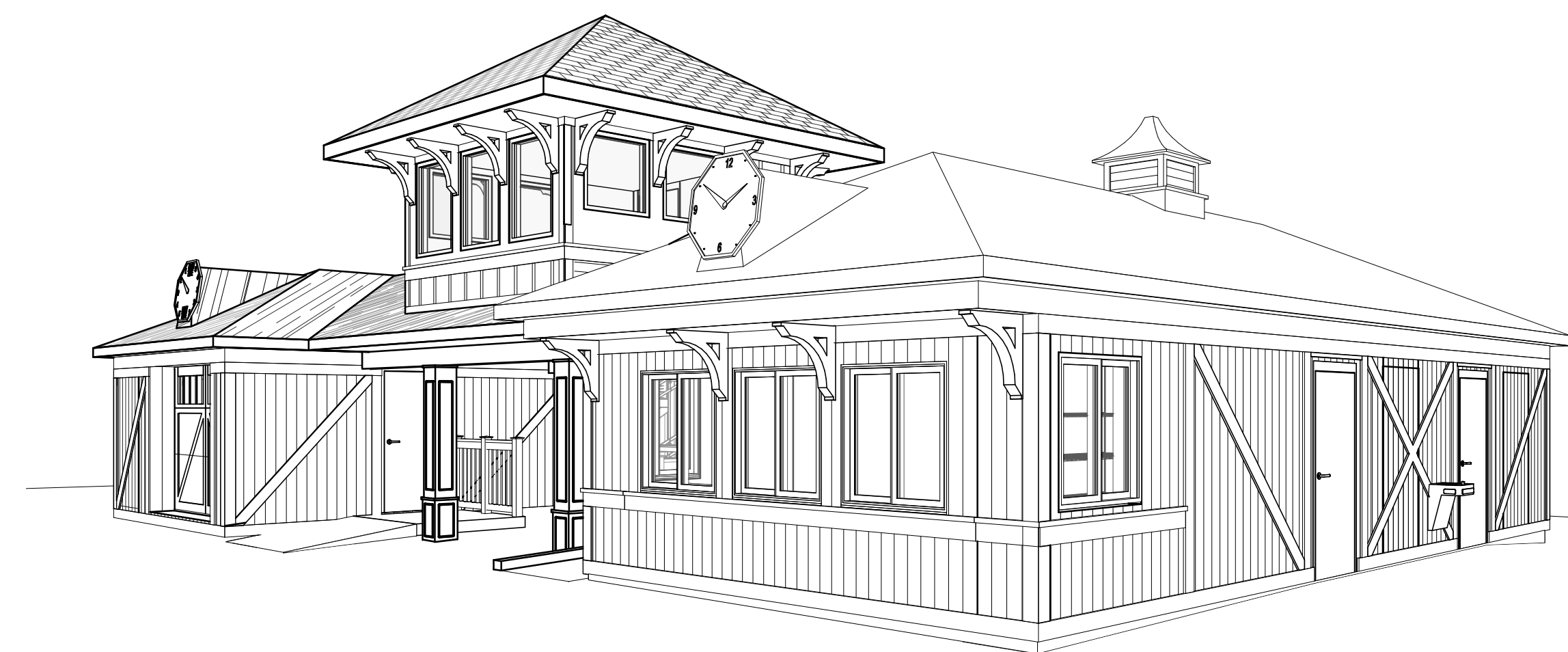
4 EAST 3D VIEW



3 WEST 3D VIEW



2 SOUTH EAST 3D VIEW



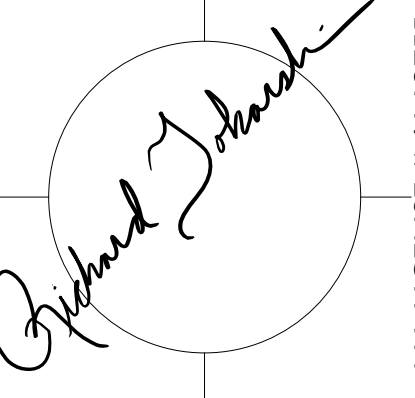
1 NORTH EAST 3D VIEW



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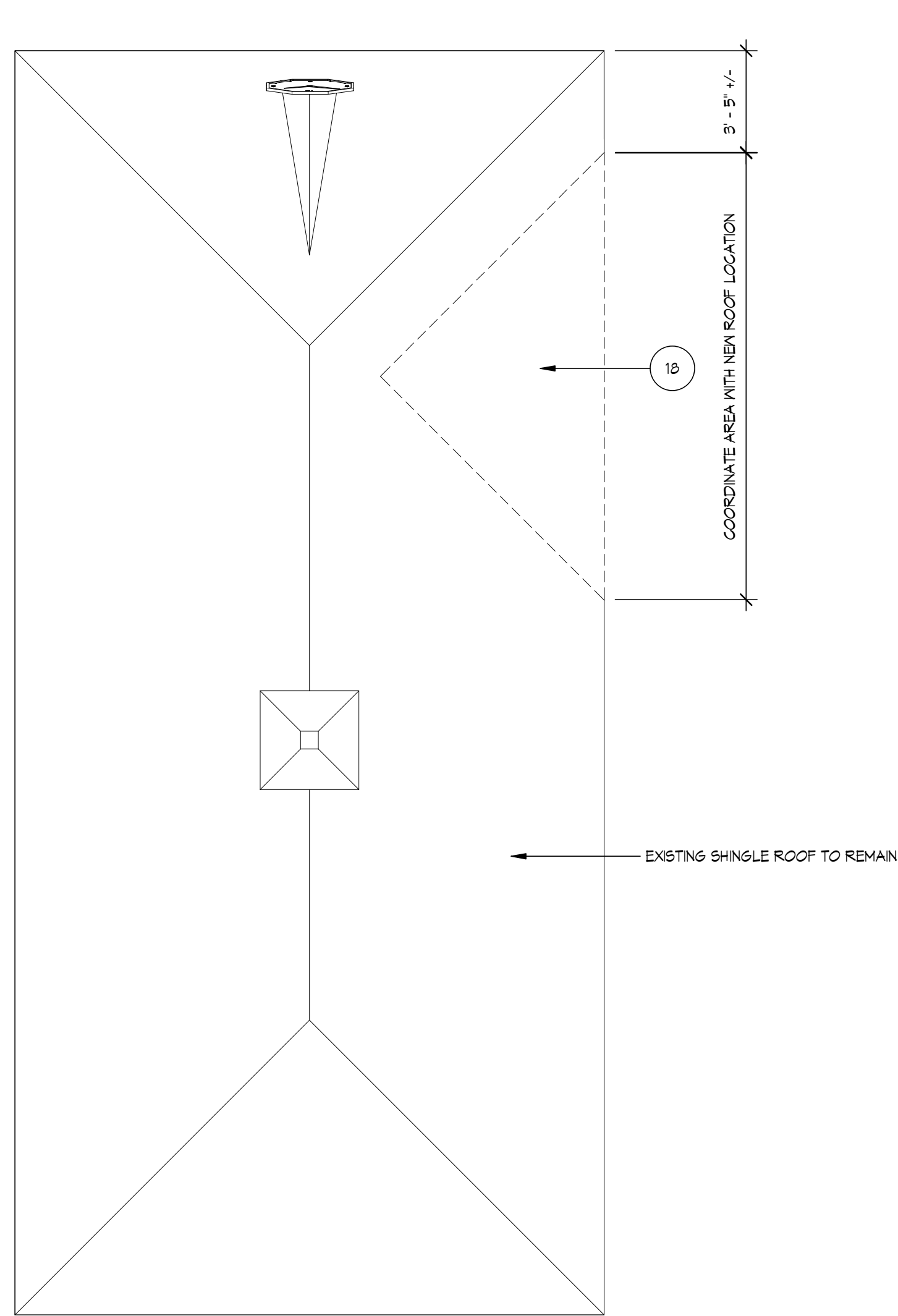
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3D VIEWS

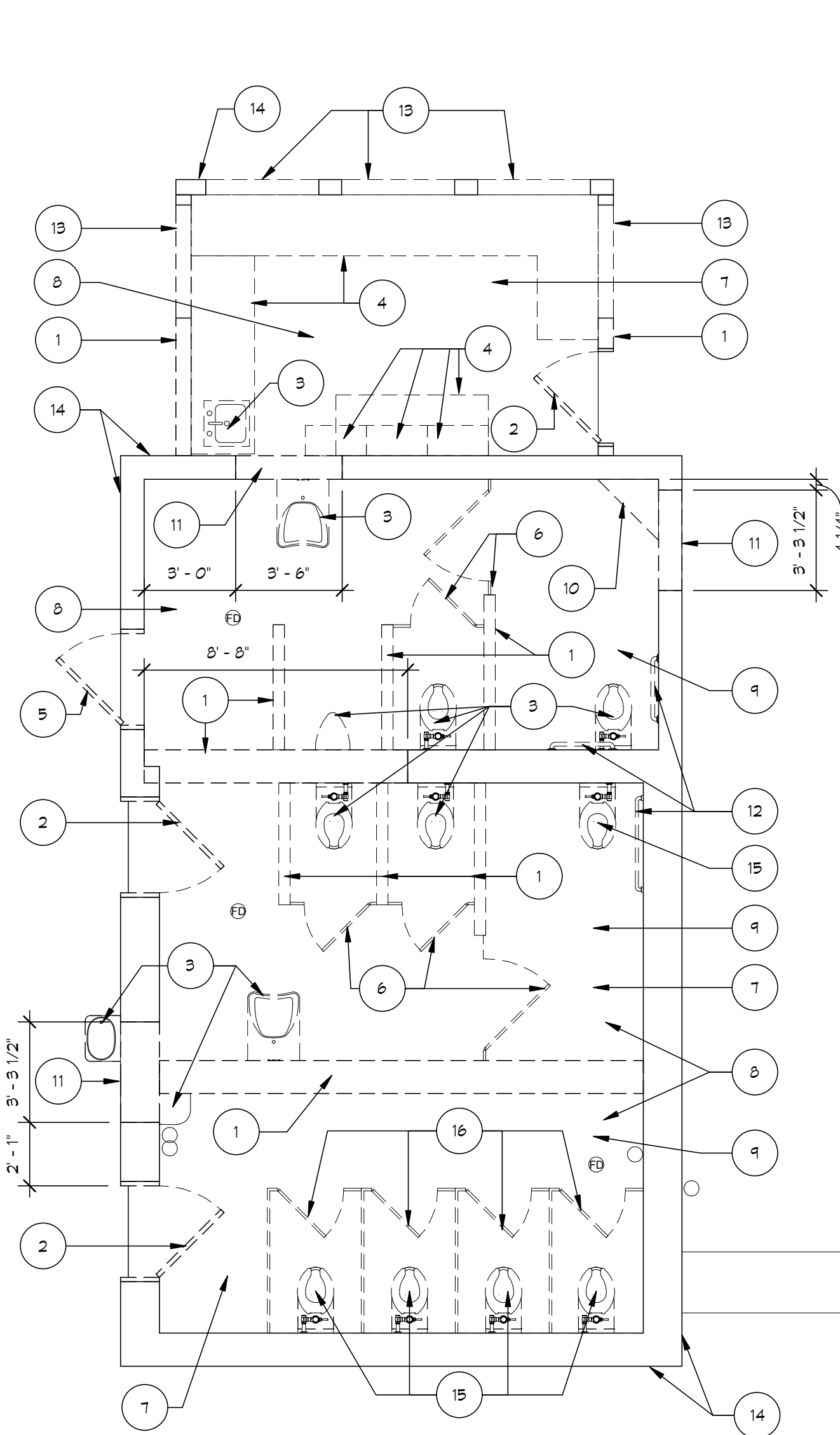
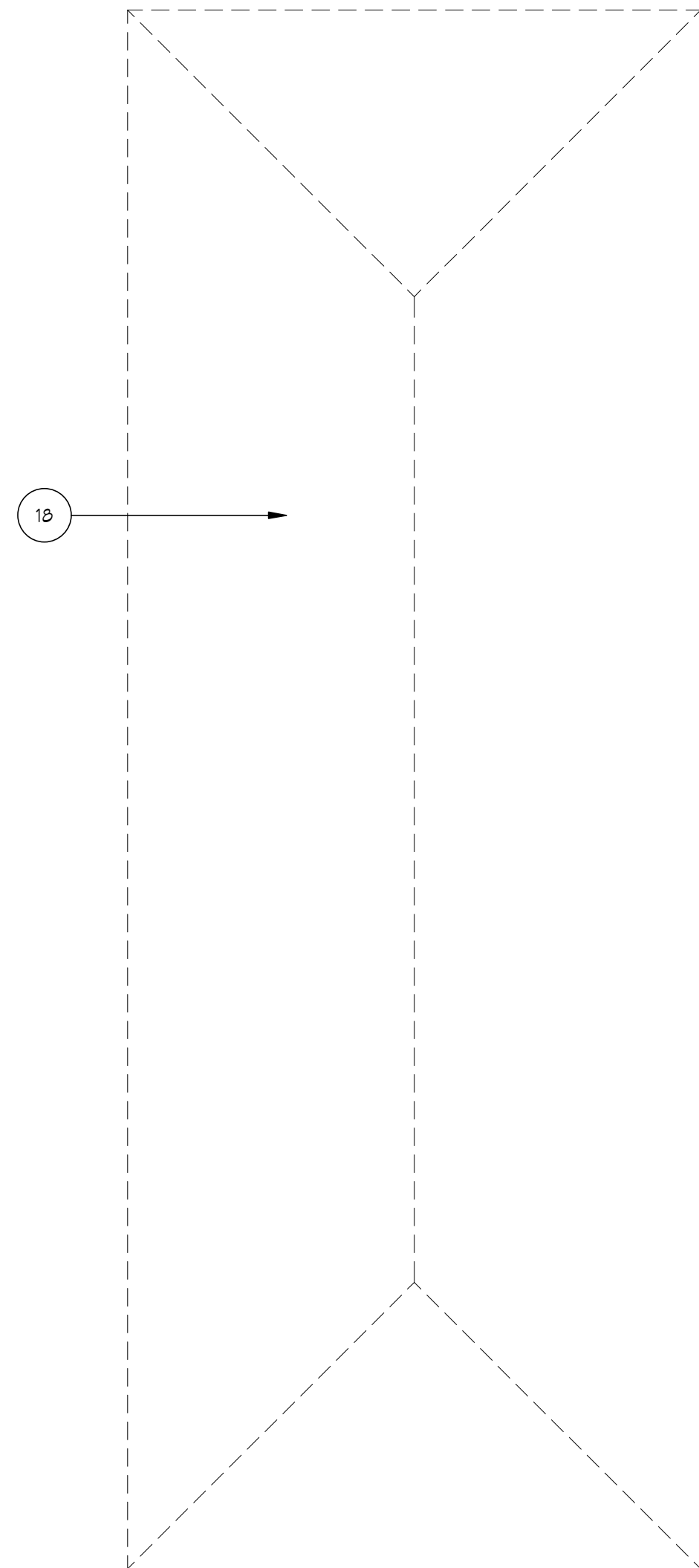
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**SD-5**



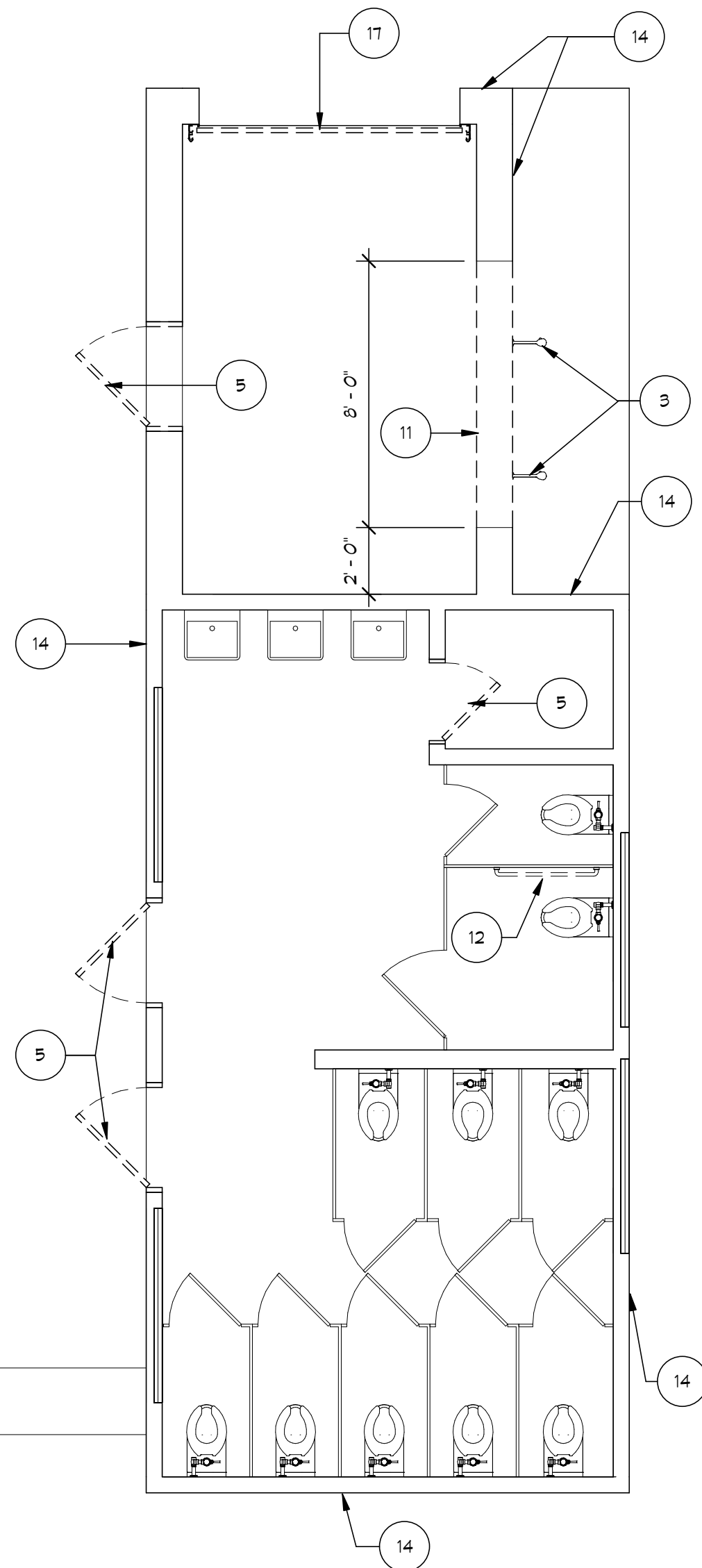
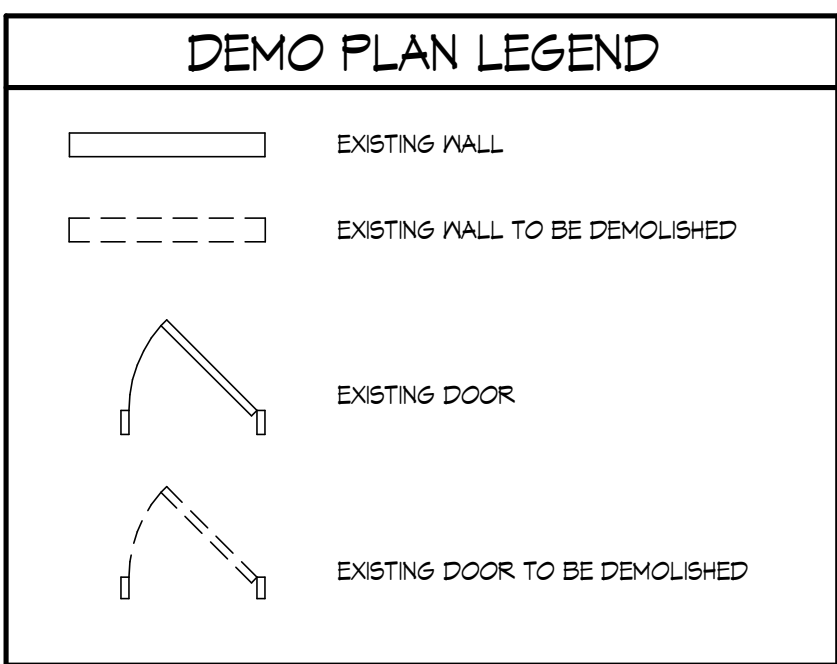
2 DEMOLITION ROOF PLAN  
1/4" = 1'-0"



1 DEMOLITION GROUND FLOOR PLAN  
1/4" = 1'-0"

- ### KEYED DEMO NOTES
- 1 REMOVE EXISTING WALL IN ITS ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 2 REMOVE EXISTING DOOR IN ITS ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 3 REMOVE EXISTING PLUMBING FIXTURES & ACCESSORIES IN THEIR ENTIRETY. CAP ABANDONED LINES AS REQ'D. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 4 REMOVE EXISTING CASEWORK AND WALL SHELVING IN ITS ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 5 REMOVE EXISTING DOORS AND FRAMES FOR REPLACEMENT WITH NEW DOORS AND FRAMES IN EXISTING OPENINGS. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 6 REMOVE EXISTING TOILET PARTITIONS AND DOORS IN THEIR ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 7 REMOVE EXISTING FLOOR FINISH, SCARIFY, LEVEL & PREP SLAB FOR NEW FINISH PER SCHEDULE. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 8 REMOVE EXISTING WOOD CEILING IN ITS ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 9 REMOVE EXISTING WALL COVERINGS IN THEIR ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 10 REMOVE EXISTING WALL MOUNTED SEAT. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 11 REMOVE EXISTING WALL FOR INSTALLATION OF NEW DOOR/ OPENING. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 12 REMOVE EXISTING GRAB BARS IN THEIR ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 13 REMOVE EXISTING WINDOW OPENING PANEL COVERS IN THEIR ENTIRETY
  - 14 REMOVE EXISTING SIDING, TRIM AND SHEATHING IN ITS ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 15 REMOVE EXISTING PLUMBING FIXTURES AND SALVAGE FOR REINSTALLATION. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 16 REMOVE EXISTING TOILET PARTITIONS AND SALVAGE FOR REINSTALLATION. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 17 REMOVE EXISTING OVERHEAD GARAGE DOOR AND FRAME FOR INSTALLATION OF NEW OVERHEAD GARAGE DOOR AND FRAME IN EXISTING OPENING. PATCH AND REPAIR ADJ. SURFACES AS REQ'D
  - 18 REMOVE EXISTING ROOF SHINGLES IN THEIR ENTIRETY. PATCH AND REPAIR ADJ. SURFACES AS REQ'D

- ### GENERAL DEMO NOTES
1. VERIFY ALL EXISTING CONDITIONS IN FIELD PRIOR TO DEMOLITION.
  2. CONTRACTOR TO PROVIDE TEMPORARY SUPPORT FOR ALL STRUCTURAL BEARING MEMBERS PRIOR TO DEMOLITION.
  3. CONTRACTOR TO NOTIFY ARCHITECT IF EXISTING CONDITIONS VARY FROM DRAWINGS.
  4. CONTRACTOR TO DISCONNECT AND CAP ALL EXISTING ELECTRICAL AND PLUMBING AS REQ'D.
  5. PATCH AND REPAIR CONSTRUCTION ADJACENT TO DEMOLITION WITH MATERIALS AND FINISHES TO MATCH (AS REQUIRED).
  6. DISCONNECT ALL UTILITIES.
  7. REFER TO MEP & STRUCTURAL DRAWINGS FOR ADDITIONAL ITEMS TO BE DEMOLISHED
  8. DO NOT SCALE DWGS TO OBTAIN DIMENSIONS. REFER TO ARCHITECTURAL DWGS FOR DIMENSIONS REQUIRED. CRITICAL DIMENSIONS NOT FOUND SHOULD BE FIELD VERIFIED OR OBTAINED FROM THE ARCHITECT.



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REV.: DATE DESCRIPTION:

DEMOLITION PLANS

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DATE ISSUED: 7/17/2025

**AD-I.I**