

CAPRA PERMIT-BY-RULE NOTES:

- PROJECT SUBJECT TO 7.7-4.1 PERMIT-BY-RULE 1 - EXPANSION OF A SINGLE-FAMILY HOME OR DUPLEX.
- PROJECT IS NOT PROPOSED ON A BEACH, DUNE, OR WETLAND; NO BEACHES, DUNES OR WETLANDS EXIST IN THE DEVELOPED AREA OF THE SITE.
- PROJECT MEETS THE REQUIREMENTS OF N.J.A.C. 7:7-9.25 FLOOD HAZARD AREAS. PROPOSED EXPANSION NOT LOCATED WITHIN A FLOOD HAZARD AREA.
- PROJECT EXPANSION DOES NOT EXCEED A CUMULATIVE SURFACE AREA OF 400 SQUARE FEET ON THE PROPERTY CONSTRUCTED AFTER JULY 18, 1994. PROPOSED EXPANSION IS 239 S.F. (1979 AERIALS DEPICT EXISTING FOOTPRINT EXISTED IN 1979)

PROJECT LOCATION

GENERAL NOTES

PROPERTY IS KNOWN AS BLOCK 5215, LOT 6 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY. PROPERTY IS LOCATED IN THE R-3 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.368 ACRES (15,782 S.F.)

OWNER/APPLICANT: CARLOS NASCIMENTO
884 OAK GLEN ROAD
HONOLULU, HI 96813

APPLICANT PROPOSES TO RENOVATE EXISTING DWELLING & CONSTRUCT AN ADDITION.

DESCRIPTION	REQUIRED/PERMITTED	EXISTING	PROPOSED
BUILDING USE	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
MIN. LOT AREA	7,500 S.F.	15,782 S.F.	15,782 S.F.
MIN. LOT WIDTH	75 FT.	*39.86 FT.	*39.86 FT.
MIN. LOT FRONTAGE	75 FT.	*36.67 FT.	*36.67 FT.
MIN. LOT DEPTH	100 FT.	268.53 FT.	268.53 FT.
FRONT YARD SETBACK	20 FT.	96.40 FT.	96.40 FT.
SIDE YARD SETBACK	10 FT. / 20 FT.	*2.40 FT. / *15.63 FT.	*2.40 FT. / *15.63 FT.
REAR YARD SETBACK	30 FT.	116.70 FT.	116.70 FT.
MAX. LOT COVERAGE	30 % (4734.6 S.F.)	12.17 % (1,920 S.F.)	13.43 % (2,120 S.F.)
MAX. TOTAL IMPERVIOUS	45 % (7,107.9 S.F.)	19.25 % (3,038 S.F.)	19.88 % (3,138 S.F.)
MAX. BLDG. HEIGHT	35 FT.	< 35 FT.	23.75 FT. (ARCHS)
MAX. BUILDING STORIES	2.5 STORIES	*3 STORIES	*3 STORIES

* - INDICATES EXISTING NON-COMFORMITY
**- INDICATES VARIANCE REQUIRED

PLAN NOTES

- PUBLIC SEWER, WATER & GAS LATERALS TO REMAIN.
- ELEVATIONS BASED ON 1988 N.A.V.D.
- PROPERTY IS PARTIALLY LOCATED IN ZONE "A1" - ELEV. 16.0 PER FEMA PRELIMINARY FIRM MAP NUMBER 34025C0333H. LAST REVISED 1/30/2015. PROPERTY IS PARTIALLY LOCATED IN ZONE "A1" 16.0 PER FEMA EFFECTIVE FIRM MAPS NUMBER 34025C03330, DATED 6/15/2022.
- THE REGULATORY FLOOD HAZARD AREA ELEVATION IS 16.0 AS DETERMINED BY N.J.A.C. 7:15-3.4(D) METHOD 2 (FEMA TOTAL METHOD).
- THE STATE OF NEW JERSEY HAS DETERMINED THAT ALL OR A PORTION OF THIS LOT LIES IN A FLOOD HAZARD AREA. CERTAIN ACTIVITIES IN FLOOD HAZARD AREAS AND RIPARIAN ZONES ARE REGULATED BY THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION AND SOME ACTIVITIES MAY BE PROHIBITED ON THIS SITE OR MAY FIRST REQUIRE A FLOOD HAZARD AREA PERMIT. CONTACT THE DIVISION OF LAND USE REGULATION AT (609) 292-0060 OR [HTTPS://WWW.NJ.GOV/DEP/LANDUSE](https://www.nj.gov/dep/landuse) FOR MORE INFORMATION PRIOR TO ANY CONSTRUCTION ON-SITE.
- THE VERTICAL DISTANCE FROM FINISHED GRADE TO THE TOP OF THE HIGHEST ROOF BEAMS ON A FLAT OR SHED ROOF, THE DECK LEVEL ON A MANSARD ROOF, AND THE AVERAGE HEIGHT BETWEEN THE EAVES AND THE RIDGE LEVEL FOR GABLE, HIP, AND GAMBLER ROOFS.

BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY VALLEE SURVEYING, INC. DATED 11/11/2024.

BUILDING INFORMATION TAKEN FROM ARCHITECTURAL PLANS PREPARED BY NAM DESIGN DATED 4/23/2024.

LIST OF VARIANCES:
- SIDE YARD COMBINED SETBACK
- MAX. BUILDING STORIES

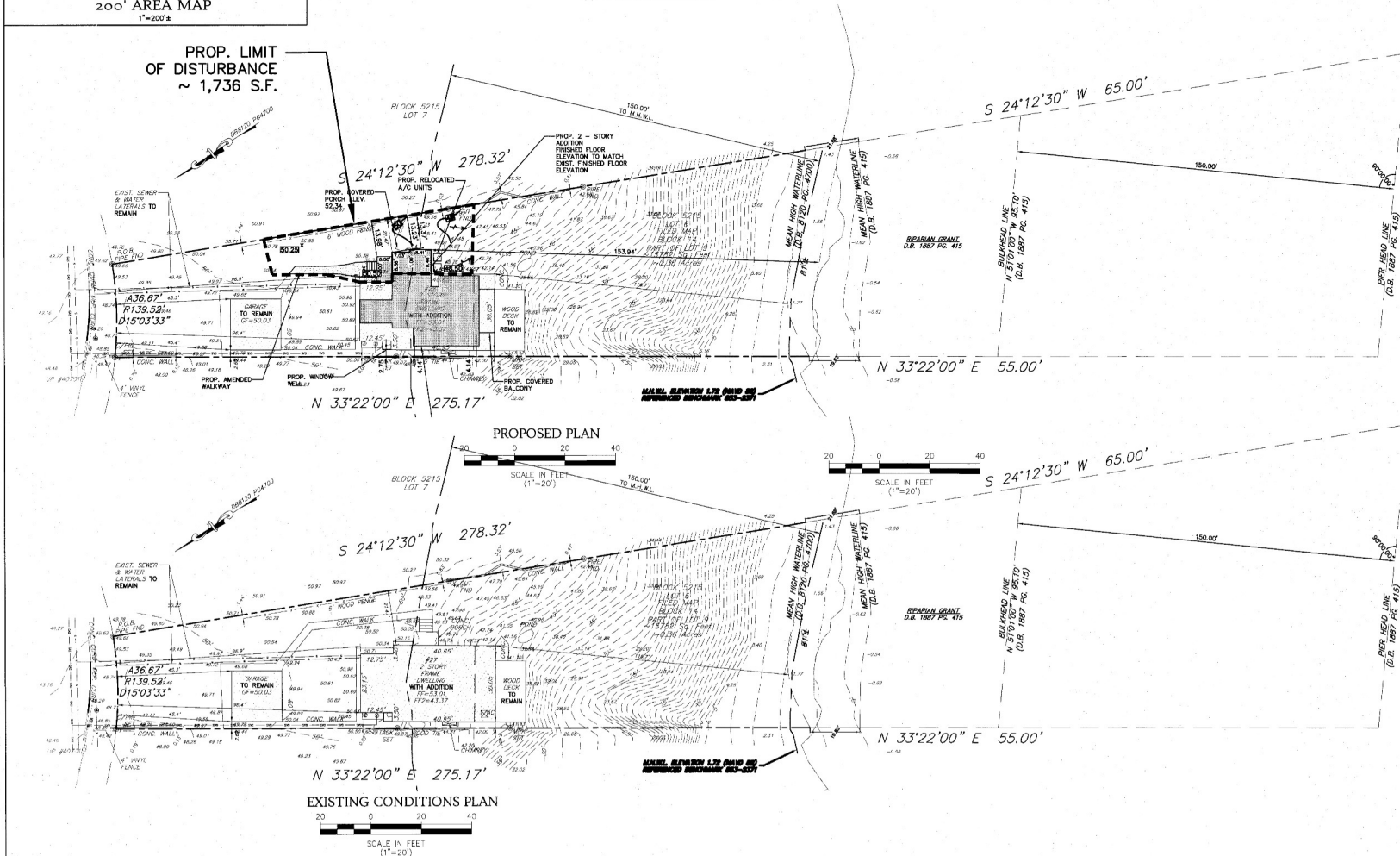
EXIST. BUILDING COVERAGE	1,518 S.F.
EXIST. DWELLING	402 S.F.
EXIST. DETACHED GARAGE	402 S.F.
EXIST. TOTAL BUILDING COVERAGE	1,920 S.F. @ 12.17%

EXIST. IMPERVIOUS COVERAGE	1,920 S.F.
EXIST. BUILDING COVERAGE	1,518 S.F.
EXIST. CONC. PORCH & STEPS	78 S.F.
EXIST. CONC. WALKWAYS	75 S.F.
EXIST. WOOD DECK	240 S.F.
EXIST. TOTAL IMPERVIOUS COVERAGE	3,038 S.F. @ 19.25%

PROF. BUILDING COVERAGE	2,120 S.F.
PROF. DWELLING	402 S.F.
PROF. DETACHED GARAGE	402 S.F.
PROF. COVERED PORCH	140 S.F.
PROF. ADDITION	140 S.F.
PROF. TOTAL BUILDING COVERAGE	2,320 S.F. @ 13.43%

PROF. IMPERVIOUS COVERAGE	2,120 S.F.
PROF. BUILDING COVERAGE	1,518 S.F.
PROF. CONC. WALKWAYS + 75 S.F. - 100 S.F. (REMOVED) =	500 S.F.
PROF. STEPS & CONC. WALKWAYS	135 S.F.
PROF. WINDOW WELL	12 S.F.
EXIST. WOOD DECK	240 S.F.
PROF. TOTAL IMPERVIOUS COVERAGE	3,138 S.F. @ 19.88%

PROP. LIMIT OF DISTURBANCE
~ 1,736 S.F.



List of adjoining lot owners and their addresses as of 10/1/2024. The list includes names and addresses for adjacent properties.

LOT	OWNER	ADDRESS	LOT	OWNER	ADDRESS
1	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	1	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE
2	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	2	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE
3	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	3	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE
4	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	4	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE
5	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	5	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE
6	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	6	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE
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100	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE	100	JOHN J. KOCIUBA, P.E., P.P.	27 PINWOOD DRIVE

VARIANCE PLAN		
REV. NO.	DATE	DESCRIPTION
1	4/28/2025	REVISED FOR TOWNSHIP LETTER
<p align="center">27 PINWOOD DRIVE BLOCK 5215 - LOT 6 FOR CARLOS NASCIMENTO</p> <p align="center">TOWNSHIP OF NEPTUNE MONMOUTH COUNTY, NEW JERSEY</p>		
<p>KBA ENGINEERING SERVICES, LLC 2017 Route 35, Bldg. E, Box 200 Neptune, NJ 07753 (732) 722-8001 / (732) 722-8007 KBAEngineering.com KBAEngineering.com Certified of Authority No. 245020200</p>		
DEN GEA	CHR JMK	PROJECT NO. 2024-376
SCALE		AS SHOWN
DATE		3/4/2025
SHEET		1 OF 1