

NASCIMENTO

VARIANCE

27 Pinewood Drive, Neptune, NJ 07753

BLOCK: 5215 LOT: 6

GENERAL CONDITIONS:

A. These drawings are an instrument of service and remain the property of the Architect to use as he sees fit. These drawings shall not be used without the Architect's consent. Drawings shall not be used for issue of building permit unless signed and sealed by the Architect. Drawings shall not be prototyped without authorization from the Architect. Unless stated specifically by letter, these drawings may be used to construct only one of the structure/building delineated herein.

B. These drawings represent an overall design concept. They are prepared with the intent to demonstrate the overall design arrangement and method of assembly of the various components.

C. These contract documents were prepared in accordance with the 2021 International Residential Code New Jersey Edition and the New Jersey State Uniform Construction Code as amended. The contractor shall conform to this and other applicable local, county, state and federal codes, laws, regulations, ordinances and requirements.

D. These documents comply with the NJ Model Energy Code.

F. It is understood that the Architect will not be responsible for any additional cost because of conditions uncovered during construction. These drawings are prepared based upon information supplied by the Owner including drawings, survey, etc.

H. The Owner and Contractor shall hold harmless the Architect from and against all claims, damages, losses and expenses including legal fees arising out of or resulting from the performance of the work by the contractor.

K. The following, unless provided for in these drawings, are to be furnished by the Owner:

1. Site grading, soil bearing capacity, drainage, and utilities.
2. Selection of interior material finishes, cabinetry and hardware.
3. Standards of quality and manufacturers for prefabricated items.

L. The Contractor shall check and verify all the plans, dimensions and site conditions before proceeding with construction. DO NOT SCALE DRAWINGS. All written dimensions shall govern. Notify Architect of all deviations to the plan before proceeding with the work.

M. Contractor or Owner shall obtain all necessary permits from the town and local authorities.

P. The Contractors shall take necessary steps to protect the work and all materials and supplies on the construction site against loss or damage from fire, vandalism and malicious mischief at all times.

Q. The Architect has prepared these drawings based on discussions with the Owners and the Architect's own knowledge of construction techniques and building codes. It is incumbent upon the Owner to review the final plans to insure his intent has been met and to notify the Architect immediately (before commencing construction) of any changes he desires.

T. All materials and equipment shall be approved for use as required by governing Municipal, State and/or Federal agencies and shall bear all required conditions. All existing conditions and dimensions shall be verified by the contractor prior to the start of construction. The contractor shall report in writing any discrepancies to the Architect immediately upon discovery of such conditions.

C. Definitions: The term "provide" means furnish and install, complete and made ready for intended use as applicable in each instance.

DIVISION I: General Requirements:

A. Summary of work: **ADDITION AND RENOVATION OF SINGLE-FAMILY HOME**

B. Existing conditions: All conditions and dimensions shall be verified by the contractor prior to the start of construction. The contractor shall report, in writing, discrepancies to the Architect immediately upon discovery of such conditions.

C. Definitions: The term "provide" means furnish and install, complete and made ready for intended use as applicable in each instance.

DIVISION II:

A. Selective demolition: (if applicable) Selective portions of the interior and exterior of the building, including plumbing, electrical, and heating and cooling systems, are to be removed and the remaining portions are to be patched to match and line up with the remaining adjacent surfaces.

ZONING BOARD APPROVAL	
APPROVED BY THE NEPTUNE TOWNSHIP ZONING BOARD	
CHAIRPERSON	DATE
ADMINISTRATIVE OFFICER	DATE
BOARD ENGINEER	DATE



JOB INFORMATION	
OWNER IN FEE	NASCIMENTO
PROJECT ADDRESS	27 PINWOOD DR, NEPTUNE, NJ 07753
BUILDING CLASSIFICATION	R5
CONSTRUCTION TYPE	5B
NUCC CATEGORY	ADDITION
SUMMARY	ADDITION TO SINGLE-FAMILY HOME
1ST FLOOR ADDITION AREA	128 s.f.
2ND FLOOR ADDITION AREA	1146 s.f.

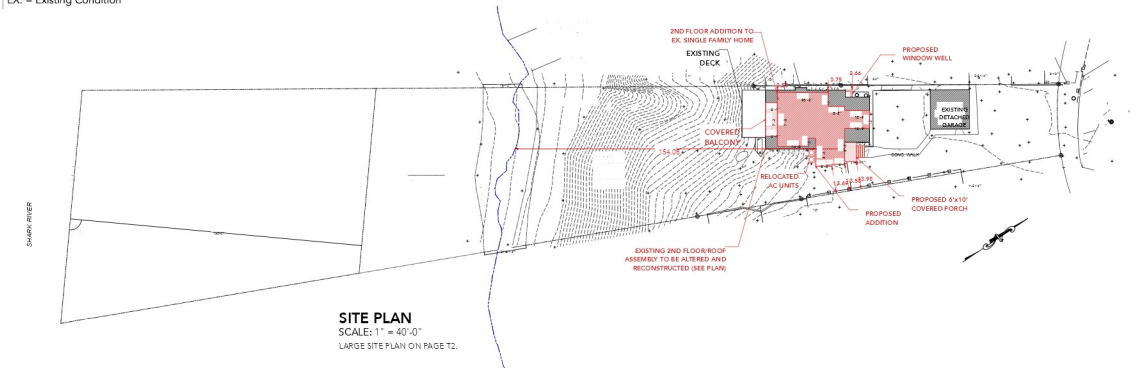
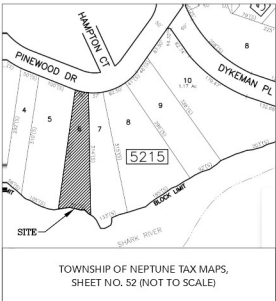
DESIGN LOADS	
SLEEPING AREAS	30 PSF
ALL OTHER AREAS	40 PSF
DEAD LOAD	10 PSF
ATTIC LOAD	10 PSF
ATTIC LOAD (> 42" HEIGHT)	20 PSF
SNOW LOAD	25 PSF
WIND LOAD	122 MPH
WIND VELOCITY	21 PSF

Zoning Chart				
R-3 Zone				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	COMPLIES
Min. Lot Area	7,500 s.f.	15,782 s.f.	N/C	YES
Min. Lot Width	75'	36.75'	N/C	YES
Frontage	75'	36.75'	N/C	YES
Depth	100'	354'	N/C	YES
% Lot Coverage				
All Buildings	30%	12.2% (1926)	13.4% (2115)	YES
All Impervious Surfaces	45%	14% (2214)	17.6% (2782)	YES
Max. Building Height	35'	16.5'	23.75'	YES
Front Yard Setback	20'	97.58'	97.58'	YES
Side Yard Setback	10'	2.58' / 21.5'	2.58' / 13.58'	EX.
Rear Yard Setback	30'	>30'	>30'	YES

General Notes
N/C = No Change
EX. = Existing Condition

BUILDING/SITE CHARACTERISTICS

NUMBER OF STORIES	2
HEIGHT OF ADDITION	23'-9"
AREA OF LARGEST FLOOR	1623
NEW BUILDING AREA	128
NEW FLOOR AREA	1274
NEW COVERED PORCH AREA	60
NEW COVERED BALCONY AREA	104
VOLUME OF NEW STRUCTURE	2560
WIND SPEED (MPH)	122
FLOOD HAZARD ZONE	N/A
BASE FLOOD ELEVATION	N/A
MAX LIVE LOAD	40 PSF



Sheet List	
T1	Title Page
T2	Proposed Site Plan
A1	Existing House Elevations
A2	Demolition Plans
A3	Proposed Basement & 1st Floor Plan
A4	Proposed 2nd Floor Plan & Isometrics
A5	Proposed House Elevations



1856 Carmerville Rd.
Wall NJ, 07719
Phone –
732-458-8530
Fax – 732-840-2040
design@wamcos.com
www.wamcos.com

Allen Robinson P.A.
N.J. Lic. #13381
Albert Varosi P.E.
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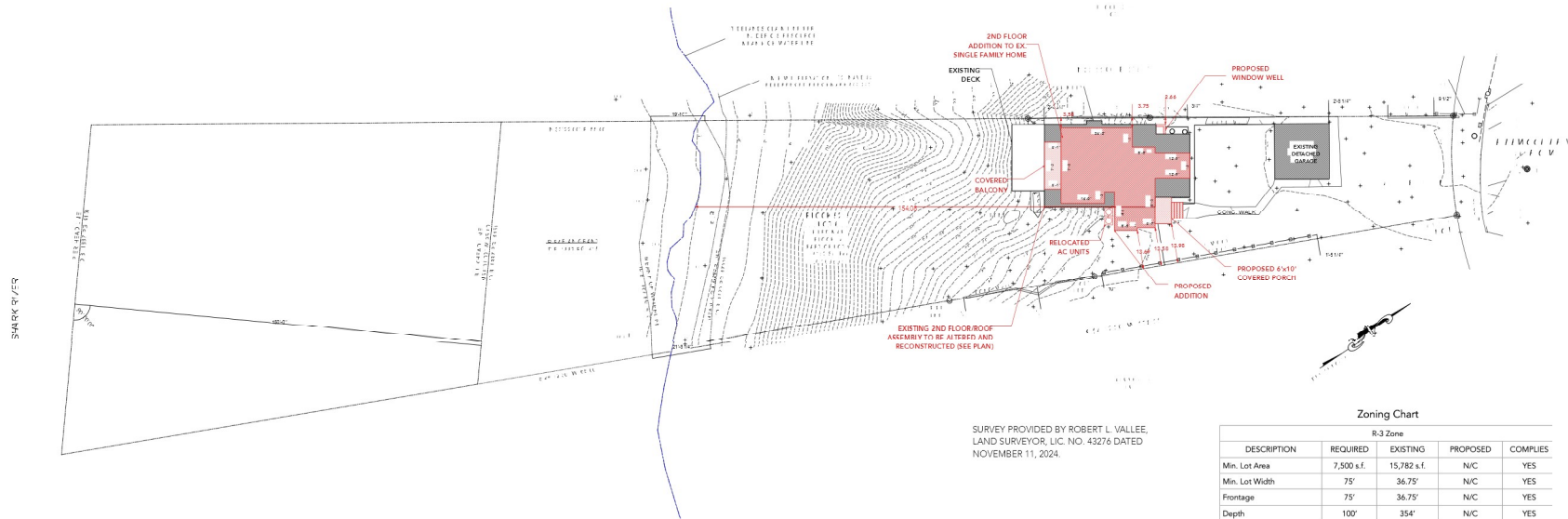
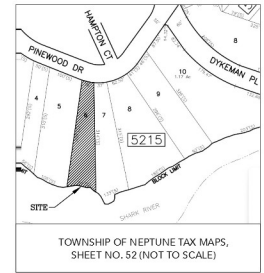
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3/12/2025

Rev:

Title:
T1



SURVEY PROVIDED BY ROBERT L. VALLEE,
LAND SURVEYOR, L.C. NO. 43276 DATED
NOVEMBER 11, 2024.

Zoning Chart

R-3 Zone				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	COMPLIES
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1 EXISTING RIGHT ELEVATION
Scale: 3/16" = 1'-0"



2 EXISTING REAR ELEVATION
Scale: 3/16" = 1'-0"



3 EXISTING FRONT ELEVATION
Scale: 3/16" = 1'-0"



4 EXISTING LEFT ELEVATION
Scale: 3/16" = 1'-0"



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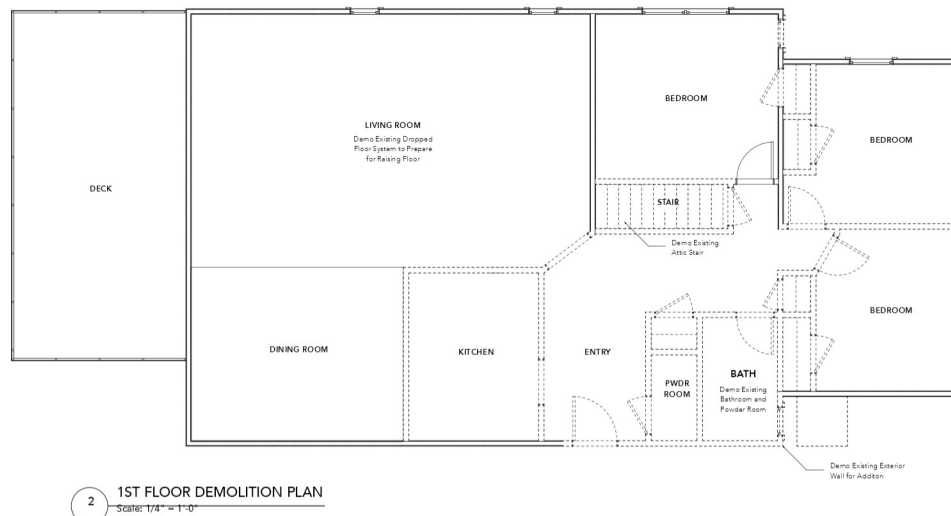
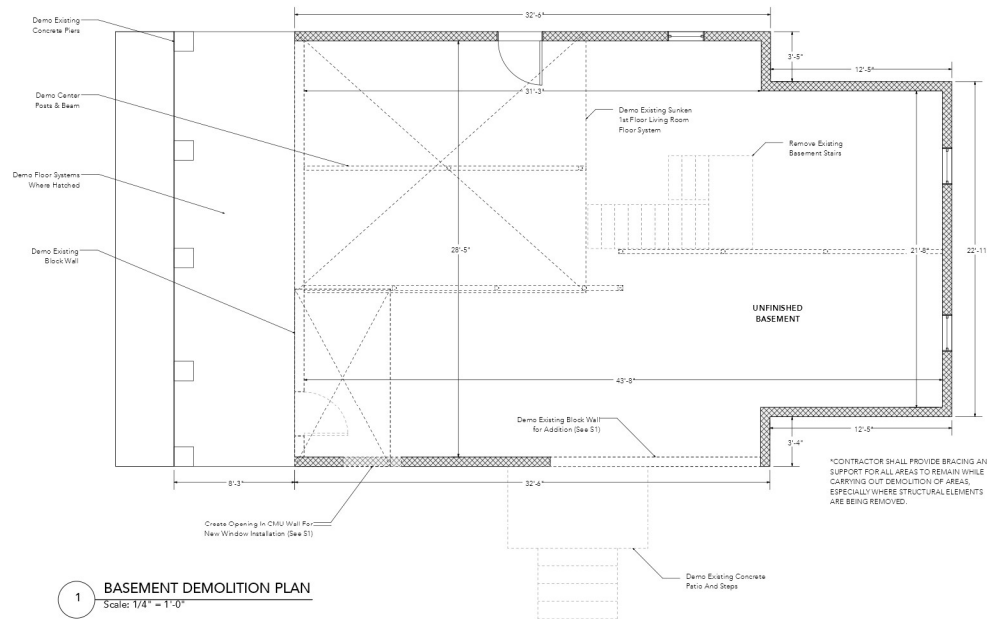
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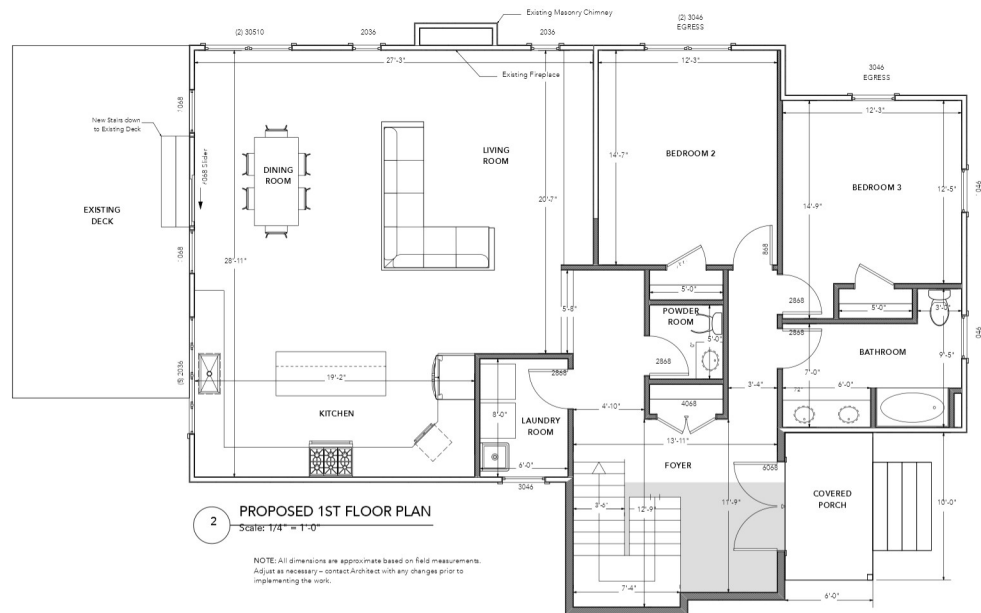
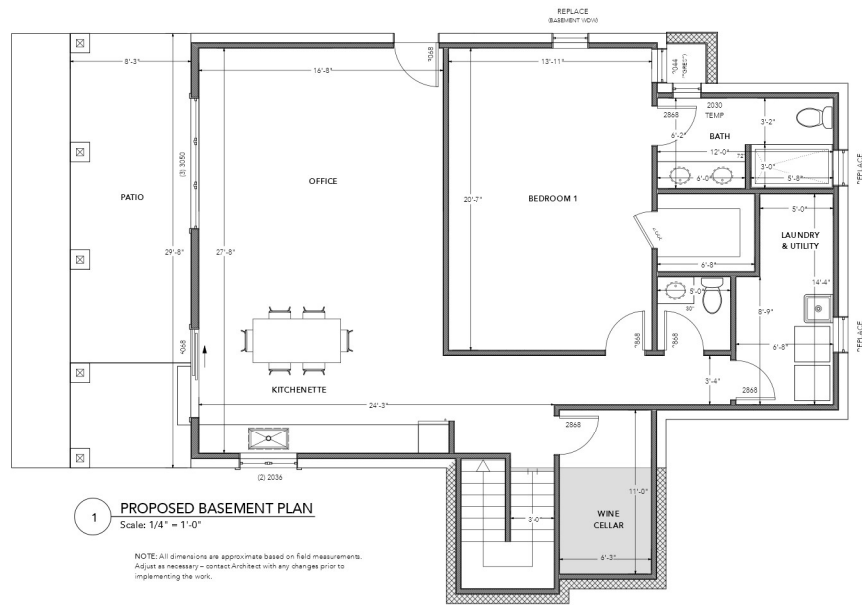
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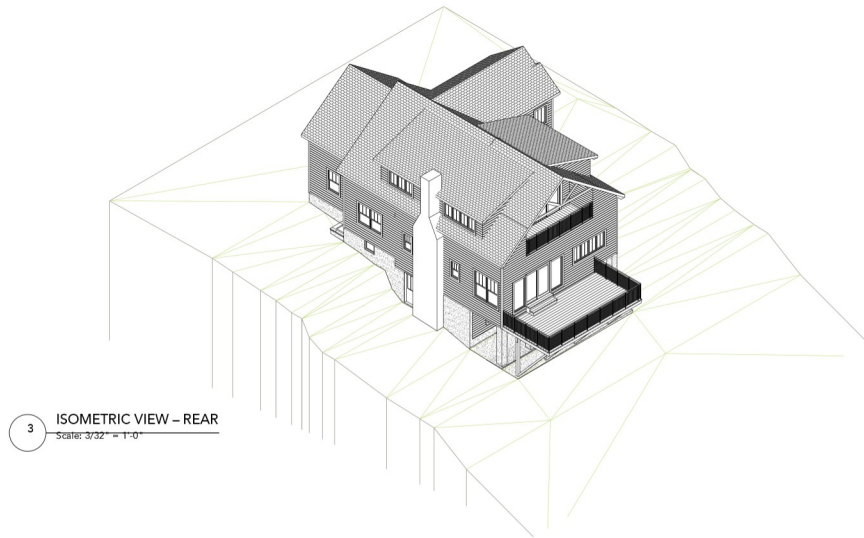
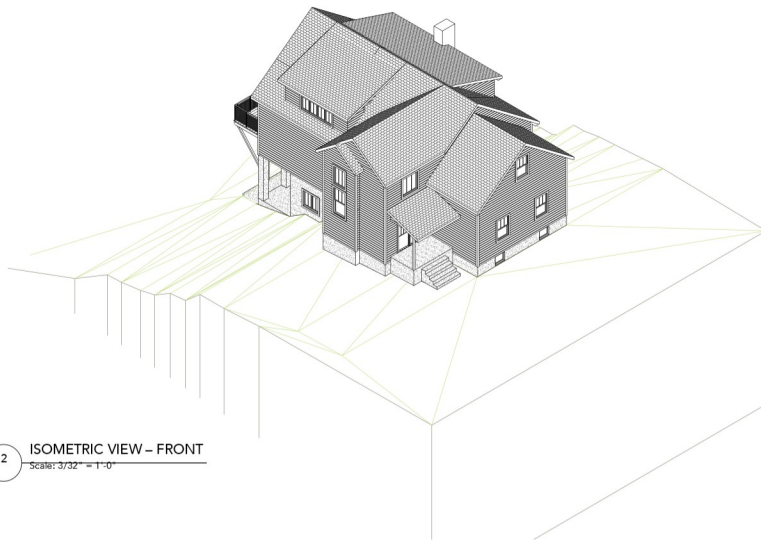
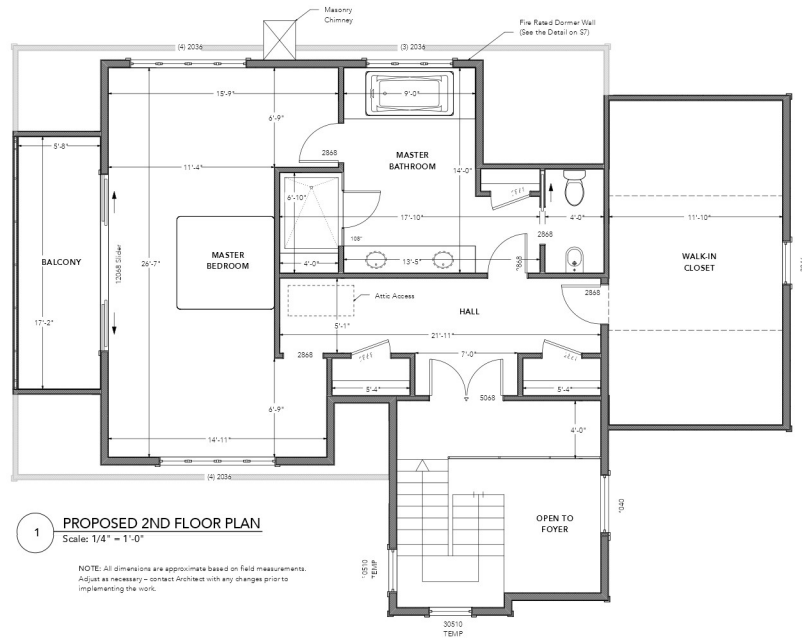
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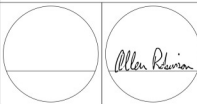
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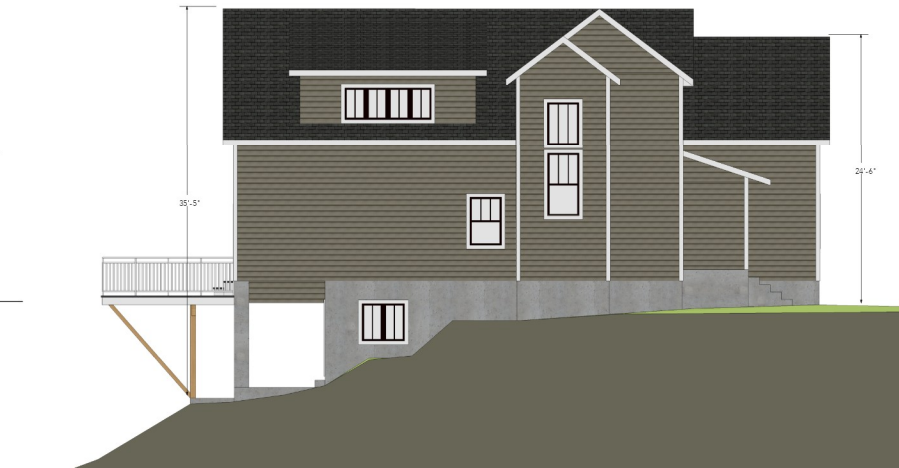
1 **PROPOSED RIGHT ELEVATION**
Scale: 3/16" = 1'-0"



2 **PROPOSED REAR ELEVATION**
Scale: 3/16" = 1'-0"



3 **PROPOSED FRONT ELEVATION**
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4 **PROPOSED LEFT ELEVATION**
Scale: 3/16" = 1'-0"



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