

LOCATION / KEY MAP

SCALE: 1" = 2000'±

PRELIMINARY & FINAL MAJOR SITE PLANS
FOR
M&M NEPTUNE, LLC
PROPOSED COMMERCIAL DEVELOPMENT

Know what's below
Call before you dig.

BLOCK 701, LOT 1 (TAX MAP SHEET 7)
704 N.J. ROUTE 35
TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY

APPLICANT

M & M AT NEPTUNE, LLC
1260 STELTON ROAD
PISCATAWAY, NJ 08854

OWNER

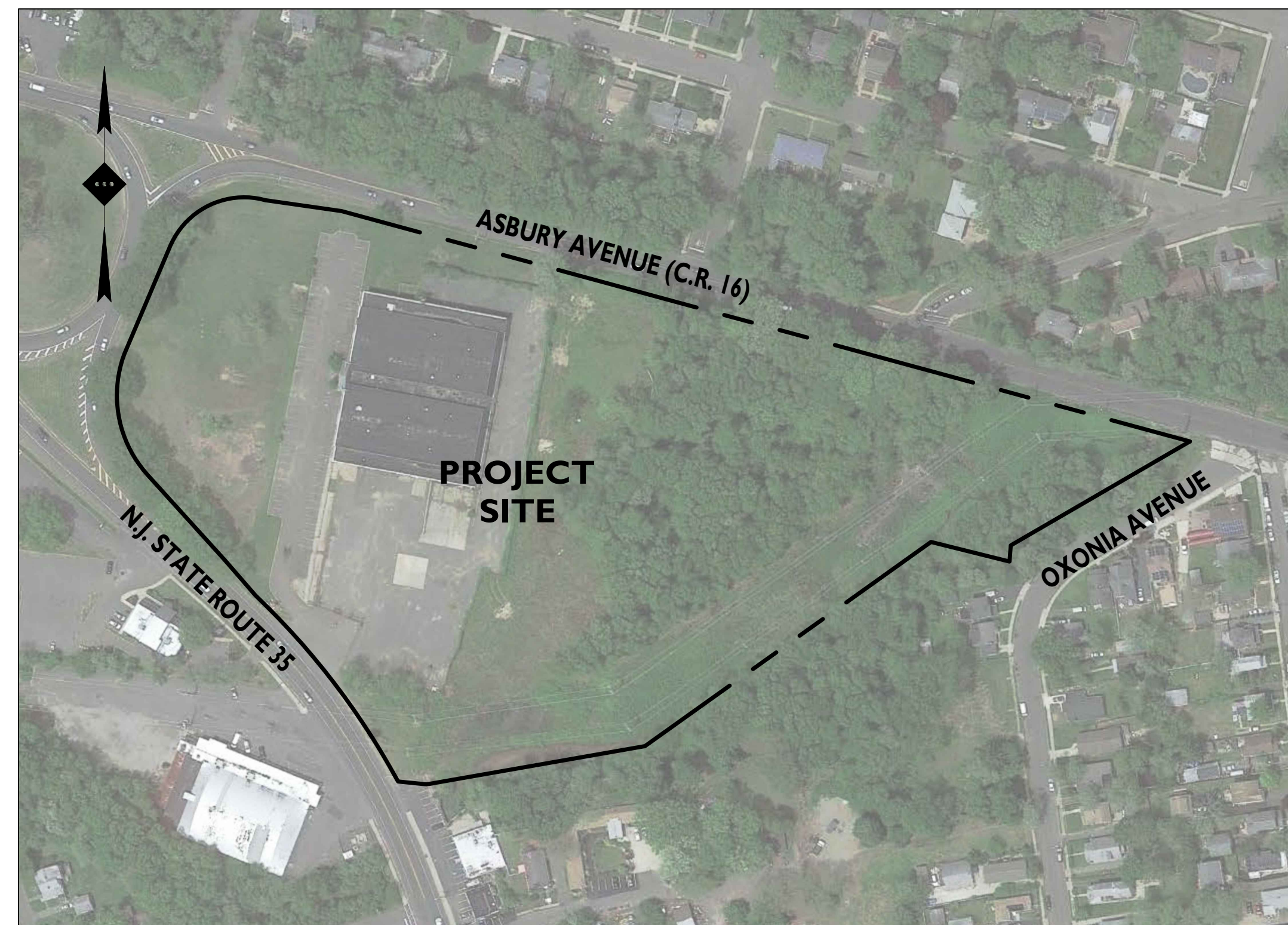
M & M AT NEPTUNE, LLC
1260 STELTON ROAD
PISCATAWAY, NJ 08854

ATTORNEY

DOUG WOLFSON, ESQ.
WEINGARTEN LAW FIRM
1260 STELTON ROAD
PISCATAWAY, NJ 08854

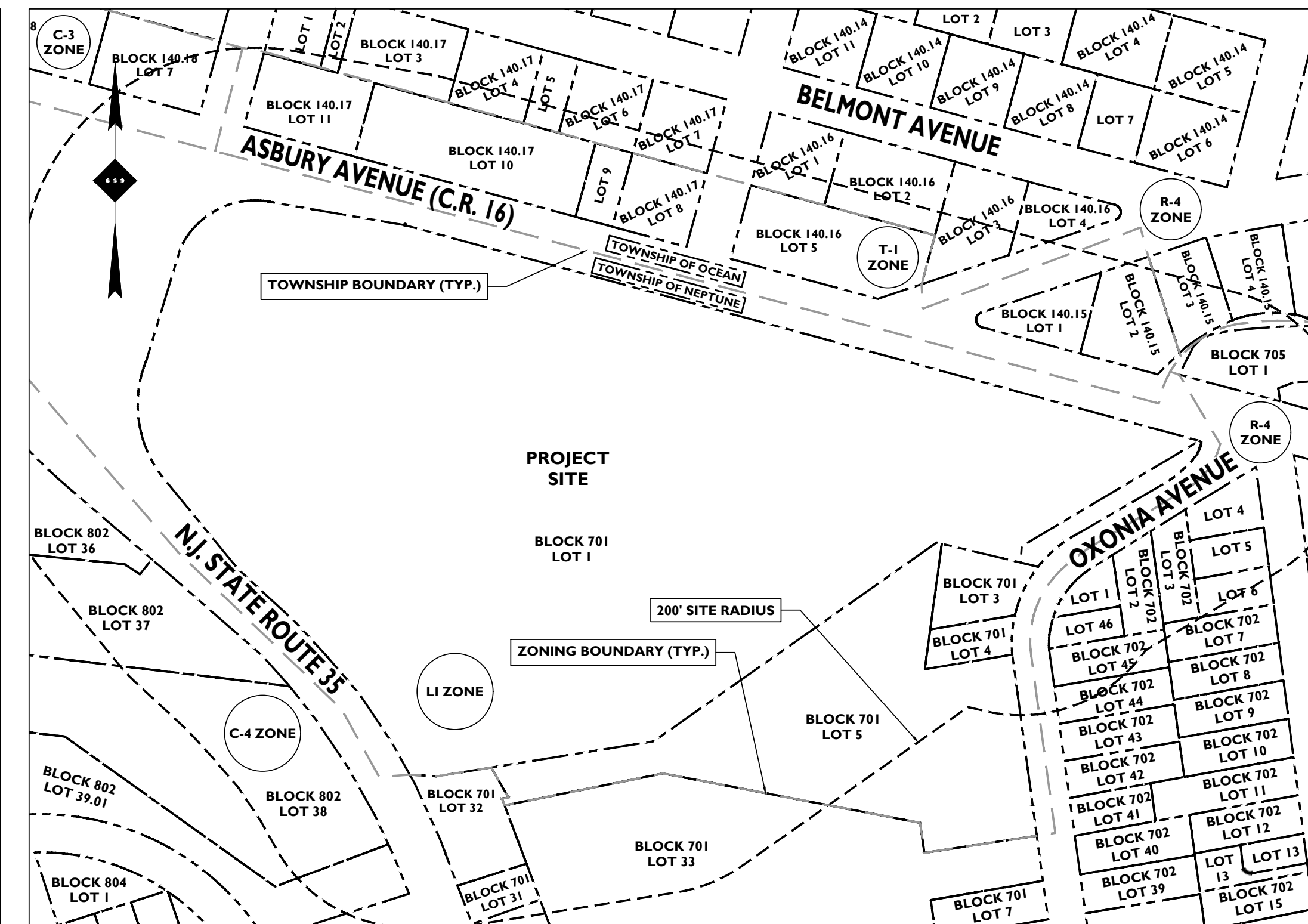
APPROVAL BLOCK	
APPROVED BY THE NEPTUNE TOWNSHIP PLANNING BOARD	
BOARD CHAIR	DATE
ADMINISTRATIVE OFFICER	DATE
BOARD ENGINEER	DATE

ZONING RELIEF TABLE			
CODE SECTION	REQUIRED	PROPOSED	RELIEF TYPE
ZONING SCHEDULE B	FRONT YARD SETBACK: 50 FT	36.6 (ASBURY AVE) 39.6 (HIGHWAY INTERCHANGE)	VARIANCE
§ 412.18	PARKING IS PROHIBITED WITHIN FRONT YARD SETBACK FOR ALL PROPERTIES FRONTING ALONG NJ 35	DOES NOT COMPLY (V)	VARIANCE
§ 514.B (2)	PARKING LOT SHALL BE LOCATED TO THE REAR OF A BUILDING AND/OR THE INTERIOR OF THE SITE WHERE ITS VISUAL IMPACT TO ADJACENT PROPERTIES AND THE PUBLIC R.O.W. CAN BE MINIMIZED. NO PARKING LOT SHALL BE LOCATED IN A REQUIRED FRONT YARD.	DOES NOT COMPLY (V)	VARIANCE
§ 514.B (3)	MINIMUM 10 FT BUILDING SETBACK FROM DRIVEWAYS, PARKING SPACES & PRIVATE STREETS WITHIN THE SITE	5 FT (V)	VARIANCE
§ 502 D 2. RETAIL DESIGN STANDARDS	PRIMARY BUILDING ENTRANCES SHOULD BE ORIENTED TOWARDS THE STREET	DOES NOT COMPLY (W)	WAIVER
§ 511.E.3 FIXTURE TYPE	REQUIRED LIGHT FIXTURE TYPE: OLD TOWN AS50 LUMINAIRE WITH METAL HALOIDE BALLAST PER STERNBERG LIGHTING CATALOG, OR FUNCTIONAL AND AESTHETIC EQUIVALENT.	DOES NOT COMPLY (W)	WAIVER
§ 511.G.2 MAXIMUM LIGHTING CONTROLS	THE RATIO OF AVERAGE ILLUMINATION, MEASURED IN FOOT-CANDLES, TO MINIMUM ILLUMINATION, AS REQUIRED IN TABLE S.3 SHALL NOT EXCEED 4 TO 1. THE MAXIMUM ILLUMINATION PROVIDED ON ANY SITE SHALL NOT EXCEED THE MINIMUM ILLUMINATION BY MORE THAN A RATIO OF 10 TO 1.	AVG/MIN: 2.27 MAX/MIN: 17.7 (W)	WAIVER
§ 511 TABLE 5.3 MINIMUM ILLUMINATION FOR SURFACE PARKING	MEDIUM ACTIVITY: VEHICULAR TRAFFIC: 1.0 FC PEDESTRIAN SAFETY: 0.5 FC	0.1 FC (W) 0.1 FC (W) 0.1 FC (W)	WAIVER
§ 511 TABLE 5.4 PEDESTRIAN WAY	SIDEWALKS (DISTANT FROM ROADWAYS): MIN AVG LEVEL: 0.5 FC	0.1 (W)	WAIVER
§ 509.1(4)(c) LANDSCAPING	NO MORE THAN EIGHT (8) PARKING SPACES SHALL BE PLACED IN ONE (1) CONTINUOUS ROW OF PARKING.	14 PARKING SPACES (W)	WAIVER
§ 523.A STREET TREES	LOCATION: TREES SHALL BE PLACED 15 FT BEHIND THE CURBLINE.	UP TO 25.86 FT (W)	WAIVER
§ 525.5(d) TREE REMOVAL	REPLACEMENT TREES REQUIRED: 41 TOTAL	0 TREES PROPOSED (W)	WAIVER



AERIAL MAP

SCALE: 1" = 150'±



TAX / ZONING MAP

SCALE: 1" = 150'±

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - SURVEY PREPARED BY SOLSTICE SURVEYING DATED 02/26/2020
 - ARCHITECTURAL PLANS
 - GEOTECHNICAL REPORT PREPARED BY MASER CONSULTING DATED 05/20/2019
 - AERIAL MAP VIA GOOGLE EARTH RETRIEVED 10/19/2020
 - LOCATION MAP
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

PLANS PREPARED BY:



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Princeton, NJ · Tampa, FL · Detroit, MI
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15 Spring Street, Princeton, NJ 08542
Phone 609.362.6900

UTILITY PROVIDER LIST	
NAME	ADDRESS
NEW JERSEY NATURAL GAS	1415 WYCKOFF ROAD, WALL, NJ 07719
JCP&L	880 PINEWALD-KESWICK ROAD, BERKELEY TOWNSHIP, NJ 08731
VERIZON	1 VERIZON WAY, BASKING RIDGE, NJ 08731
MONMOUTH CABLEVISION	1501 18TH AVENUE, WALL, NJ 07719
NEW JERSEY AMERICAN WATER	1025 LAUREL OAK ROAD, BERKELEY TOWNSHIP, NJ 08731
TOWNSHIP OF NEPTUNE	25 NEPTUNE BOULEVARD, NEPTUNE, NJ 07753

ZONING DISTRICT: PLANNED COMMERCIAL DEVELOPMENT ZONE (C-1)			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	2.5 AC (108,900 SF)	13.5 AC (591,435.3 SF)	NO CHANGE
MAXIMUM LOT DENSITY	N/A	N/A	N/A
MAXIMUM FLOOR AREA RATIO	0.6	±0.07	0.06
MINIMUM LOT WIDTH	500 FT	527.7 FT	NO CHANGE
MINIMUM LOT FRONTAGE	500 FT	2,244 FT	NO CHANGE
MINIMUM LOT DEPTH	600 FT	753.3 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK	50 FT	84.6 FT	36.6 FT (V)
- ASBURY AVENUE (C.R. 16)	50 FT	±283.5 FT	39.6 FT (V)
- HIGHWAY INTERCHANGE	50 FT	189.9 FT	50.0 FT
- N.J. ROUTE 35	30 FT	368.3 FT	199.1 FT
MINIMUM SIDE YARD SETBACK	60 FT	368.3 FT	199.1 FT
MINIMUM COMBINED SIDE YARD SETBACK	40 FT	N/A	N/A
MINIMUM REAR YARD SETBACK	30%	±7.1% (42,030 SF)	6.09% (36,042 SF)
MAXIMUM PERCENT BUILDING COVER	65%	±26.0% (155,300.4 SF)	34.6% (204,694.4 SF)
MAXIMUM PERCENT LOT COVER	TWO (2)	ONE (1)	ONE (1)
MAXIMUM NUMBER OF STORIES	40 FT	±20 FT	CONVENIENCE STORE - 18.5 FT RETAIL - 29.5 FT SUPERMARKET - 29.8 FT FAST FOOD - TBD
MAXIMUM BUILDING HEIGHT	84,900 SF	205,196 SF	NO CHANGE
MINIMUM IMPROVABLE AREA	189 FT	361.9 FT	NO CHANGE
M.L.A. - DIAMETER OF CIRCLE	195 SPACES	100 SPACES	252 SPACES
OFF-STREET PARKING SPACES	-	ONE (1)	FOUR (4)
LOADING SPACES	-	-	**
SIGNS	EXISTING USE OR USES: MANUFACTURING FACILITY	PROPOSED USE OR USES: RESTAURANT / TAKE-OUT, GROCERY STORE, CONVENIENCE STORES	
	0.96 AC (42,030 SF)	0.82 AC (36,042 SF)	

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NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

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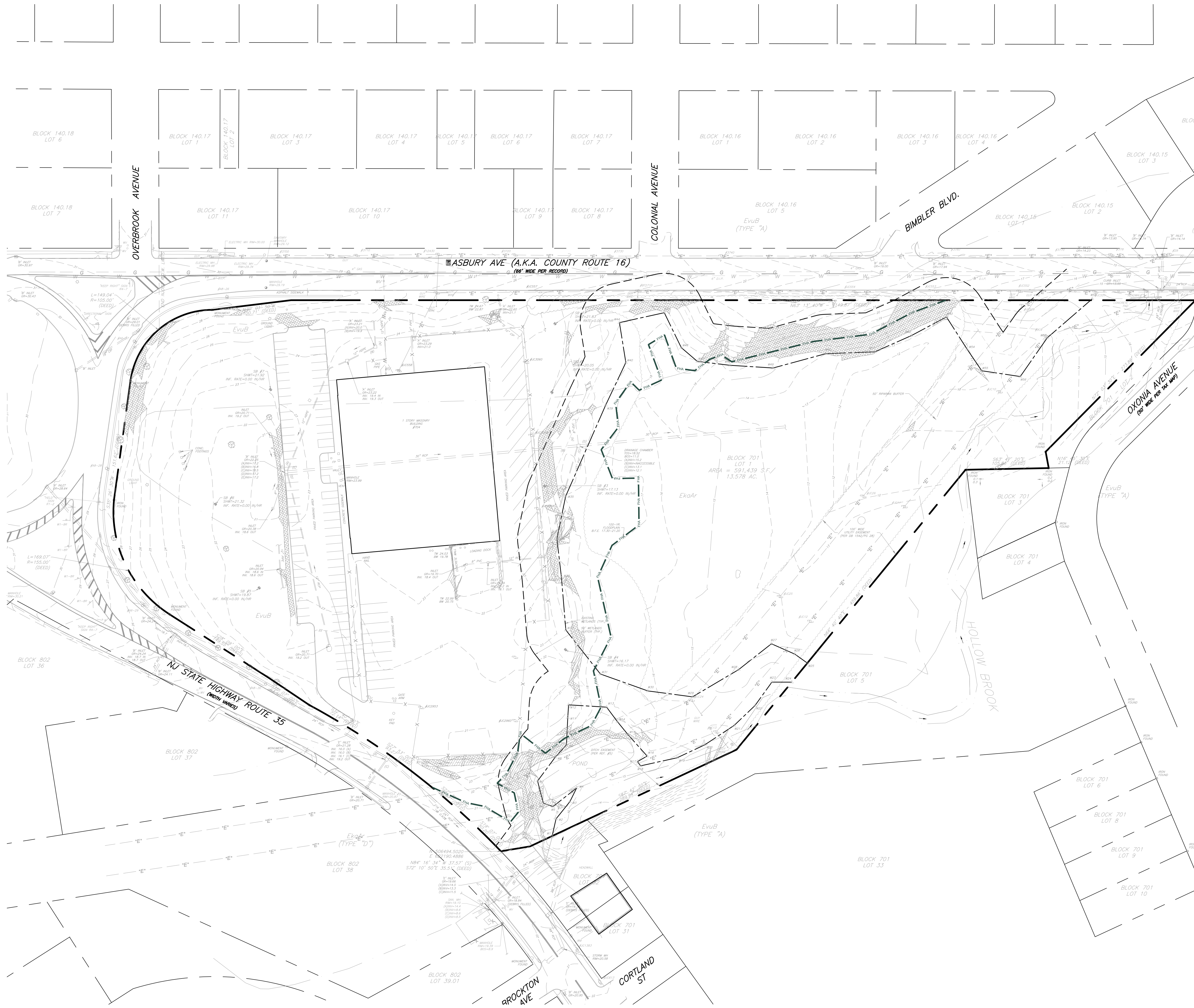
SCALE: AS SHOWN PROJECT ID: PRI-200142

TITLE: **COVER SHEET**

DRAWING: **C-1**

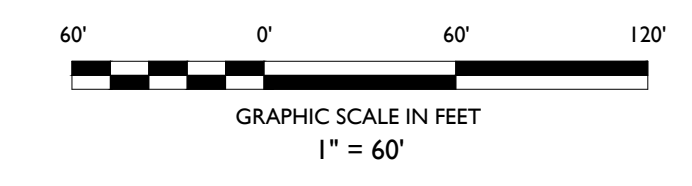
ISSUE	DATE	BY	DESCRIPTION
3	03/10/2021	AMB	COUNTY SUBMISSION
2	01/27/2021	AMB	COUNTY SUBMISSION
1	12/29/20	PC	FIRST SUBMISSION

NOT APPROVED FOR CONSTRUCTION



SYMBOL	DESCRIPTION
[Symbol]	BUILDING
[Symbol]	CONCRETE SIDEWALK / MAT
[Symbol]	ASPHALT / CONCRETE CURB
[Symbol]	DEPRESSED CURB
[Symbol]	PROPERTY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	CHAIN LINK FENCE
[Symbol]	FLOOD HAZARD AREA LINE
[Symbol]	WETLANDS LIMIT LINE
[Symbol]	MAST ARM LIGHT POLE
[Symbol]	POLE
[Symbol]	LIGHT POLE
[Symbol]	SIGNS
[Symbol]	WATER VALVE
[Symbol]	GAS VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	INLET
[Symbol]	MAN HOLE
[Symbol]	BENCH MARK
[Symbol]	BOLLARDS
[Symbol]	VENT PIPE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	OVERHEAD WIRE
[Symbol]	UNDERGROUND GAS LINE
[Symbol]	UNDERGROUND WATER LINE
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	GRADE SPOT SHOT
[Symbol]	TOP OF CURB SHOT
[Symbol]	BOTTOM OF CURB SHOT
[Symbol]	TOP OF WALL SHOT
[Symbol]	BOTTOM OF WALL SHOT
[Symbol]	HANDICAP PARKING
[Symbol]	LANDSCAPING
[Symbol]	DECIDUOUS TREE - DIAMETER NOTED
[Symbol]	CLEAN OUT
[Symbol]	SURVEY MONUMENT

- SURVEY NOTES:**
1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
 2. THE 100-YEAR FLOODPLAIN SHOWN IS SUBJECT TO NJDEP APPROVAL.
 3. LIMIT OF WETLANDS DETERMINED BY LETTER OF INTERPRETATION FILE No. 1334-11-004.1 PER THE NJDEP.



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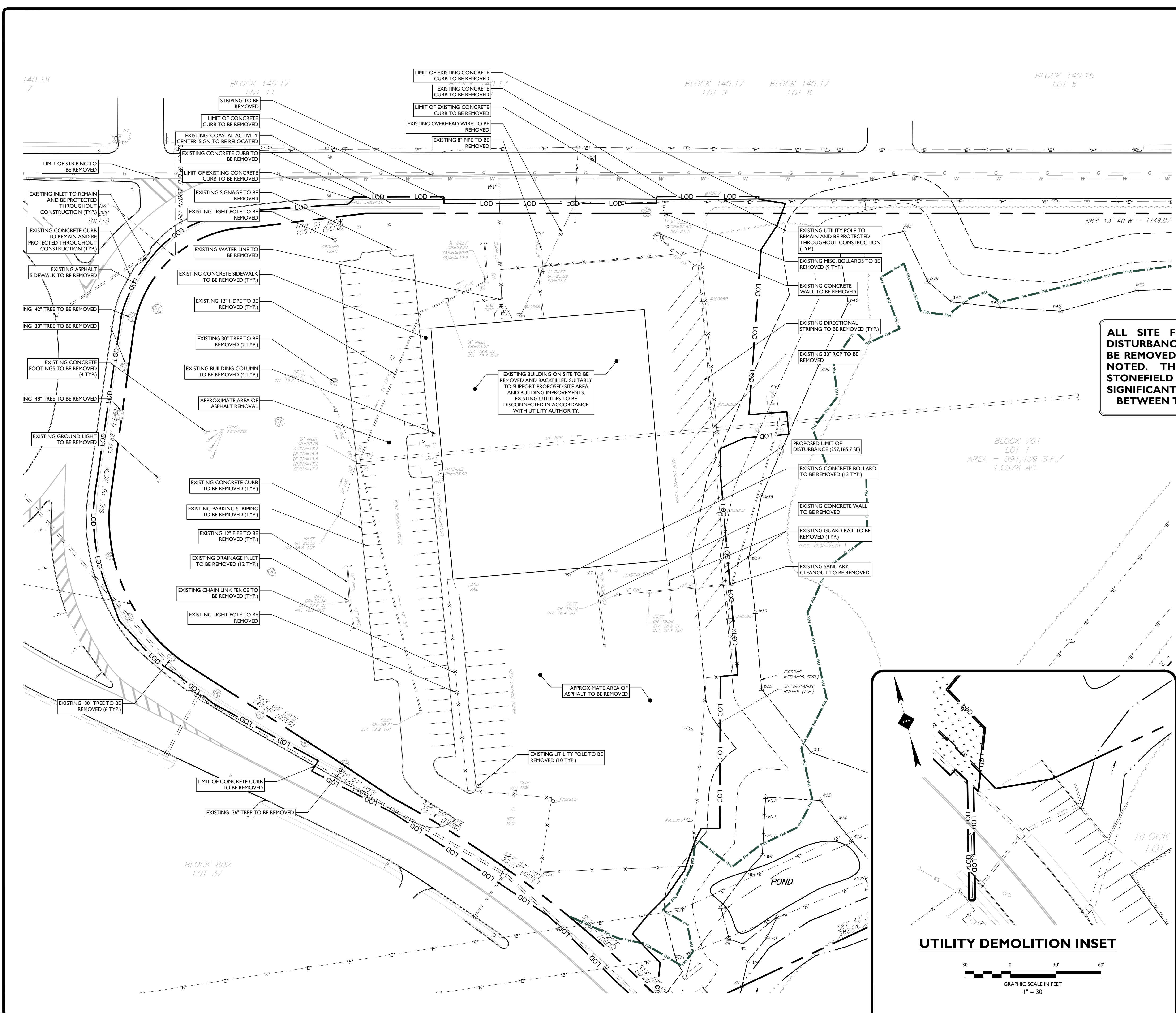
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SCALE: 1" = 60' PROJECT ID: PRI-200142

TITLE:
EXISTING CONDITIONS PLAN

DRAWING:
C-3

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SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE
---	PROPOSED TREE PROTECTION FENCE

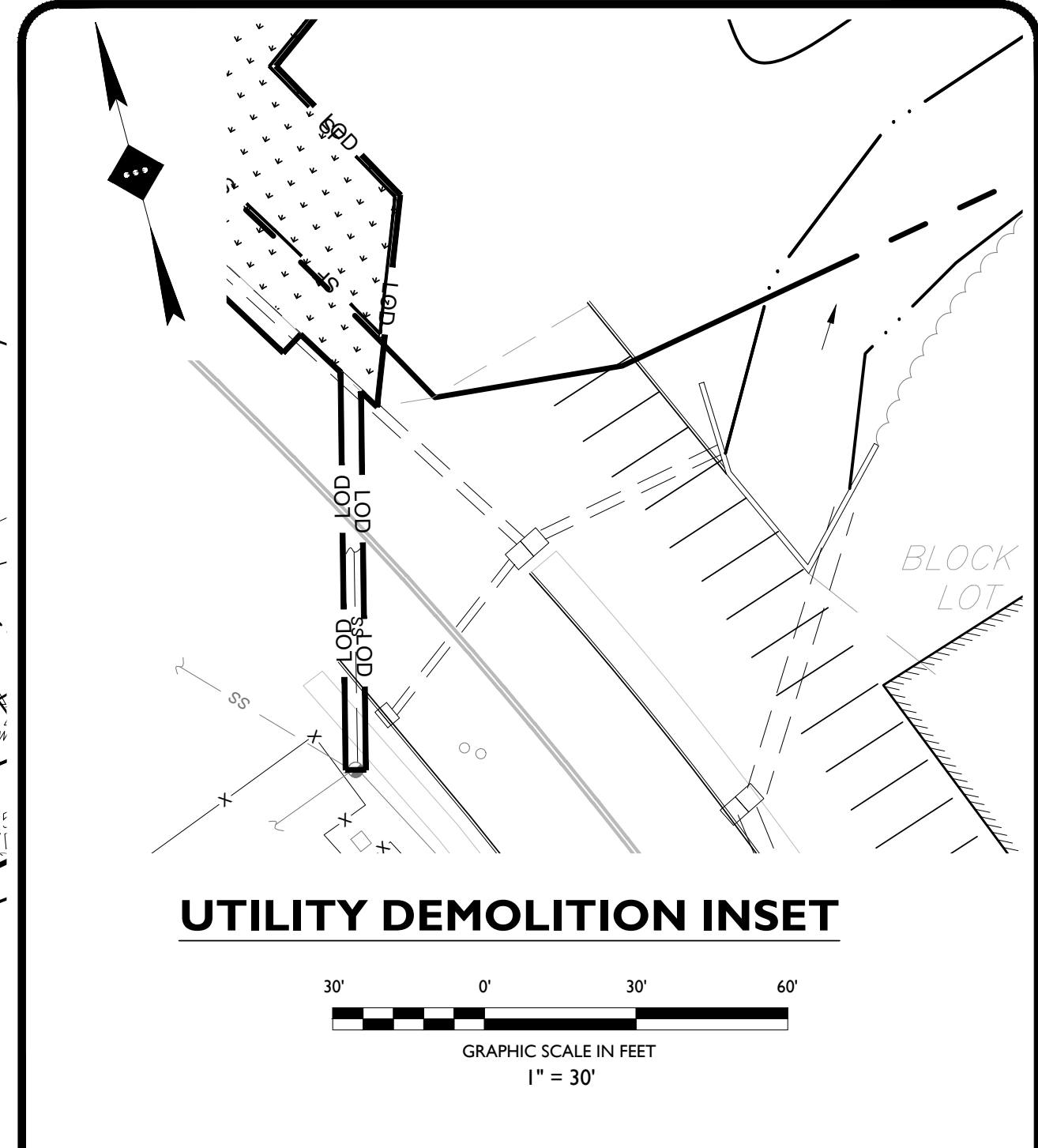
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



**Know what's below
Call before you dig.**

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
6. DEMOLITION AND SOIL EROSION PLAN PREPARED BY EP DESIGN SERVICES LLC PREPARED ON JANUARY 14TH, 2020 HAS BEEN APPROVED BY THE TOWNSHIP DATED JANUARY 27TH, 2020.



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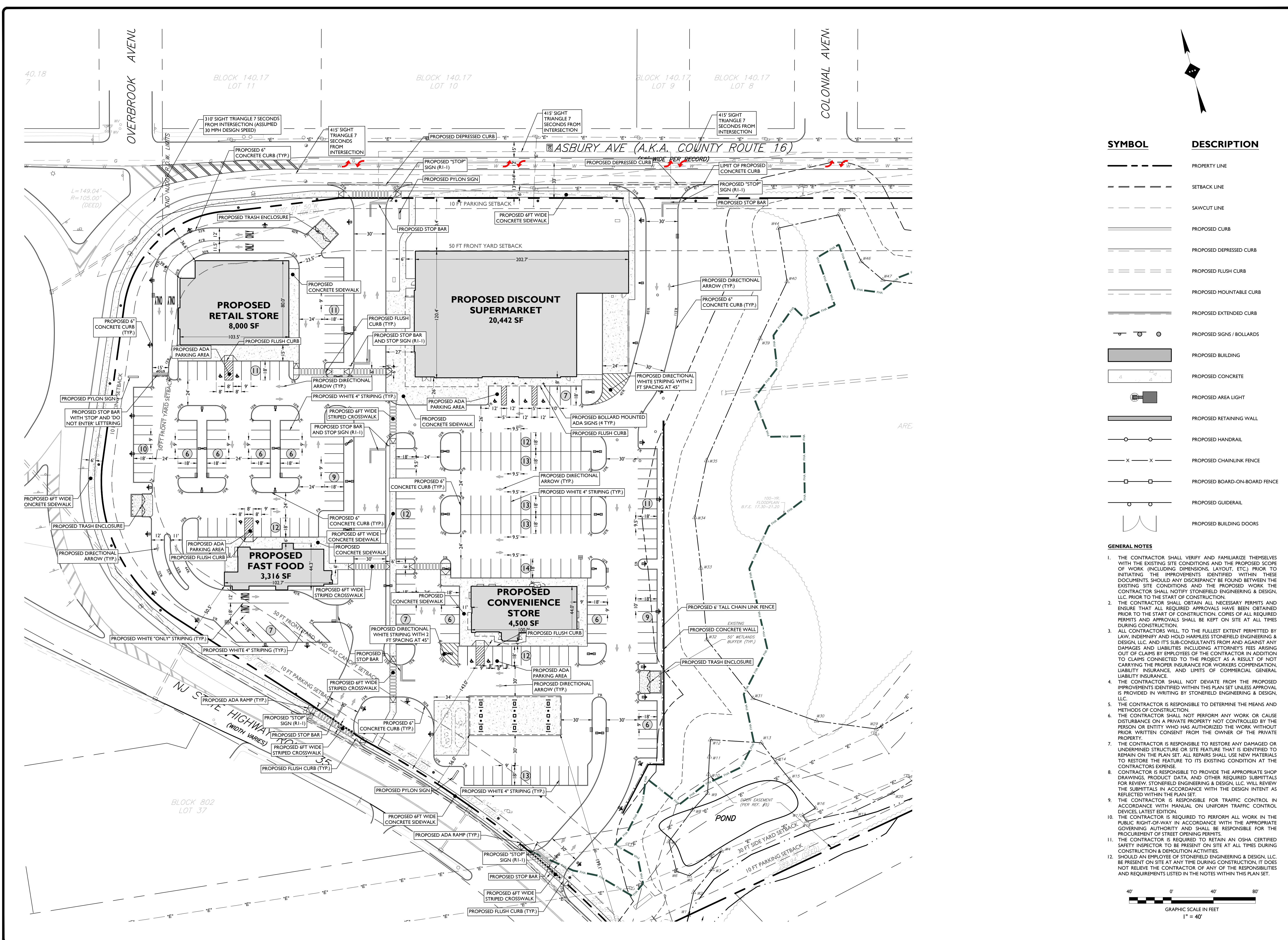
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SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE:
DEMOLITION PLAN

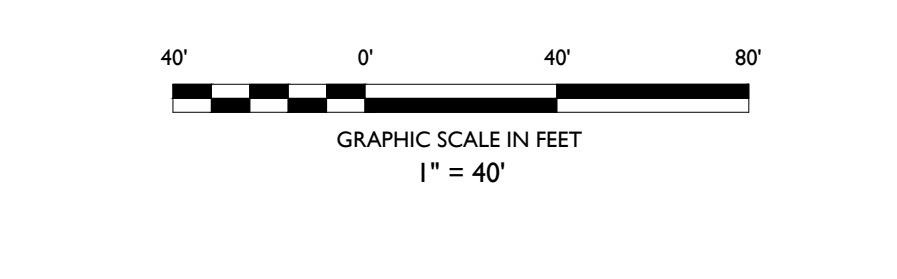
DRAWING:
C-4

Z:\PROJECTS\19022019\190142 EDWARDS\PROPERTIES - 704 ROUTE 35, NEPTUNE, NJ\DWG\LOT1-DP-AMB.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
- . - . - .	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED MOUNTABLE CURB
---	PROPOSED EXTENDED CURB
○	PROPOSED SIGNS / BOLLARDS
■	PROPOSED BUILDING
□	PROPOSED CONCRETE
○	PROPOSED AREA LIGHT
---	PROPOSED RETAINING WALL
○	PROPOSED HANDRAIL
- x - x -	PROPOSED CHAINLINK FENCE
□	PROPOSED BOARD-ON-BOARD FENCE
○	PROPOSED GUIDERAIL
○	PROPOSED BUILDING DOORS

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE: **SITE PLAN**

DRAWING: **C-5**

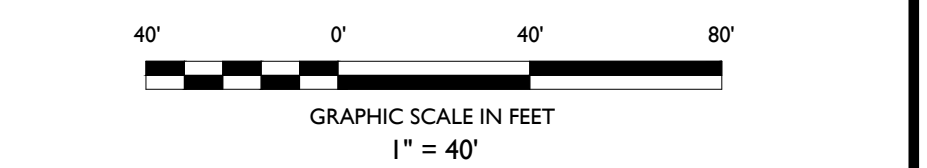
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SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X GD 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X BC 100.00	PROPOSED DEPRESSED CURB / BOTTOM OF CURB SPOT SHOT
X BW 100.00	PROPOSED TOP OF WALL / BOTTOM OF WALL SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP; AT ACCESSIBLE BUILDING ENTRANCES; AT AN AREA IN FRONT OF A WALK-UP ATM; AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.



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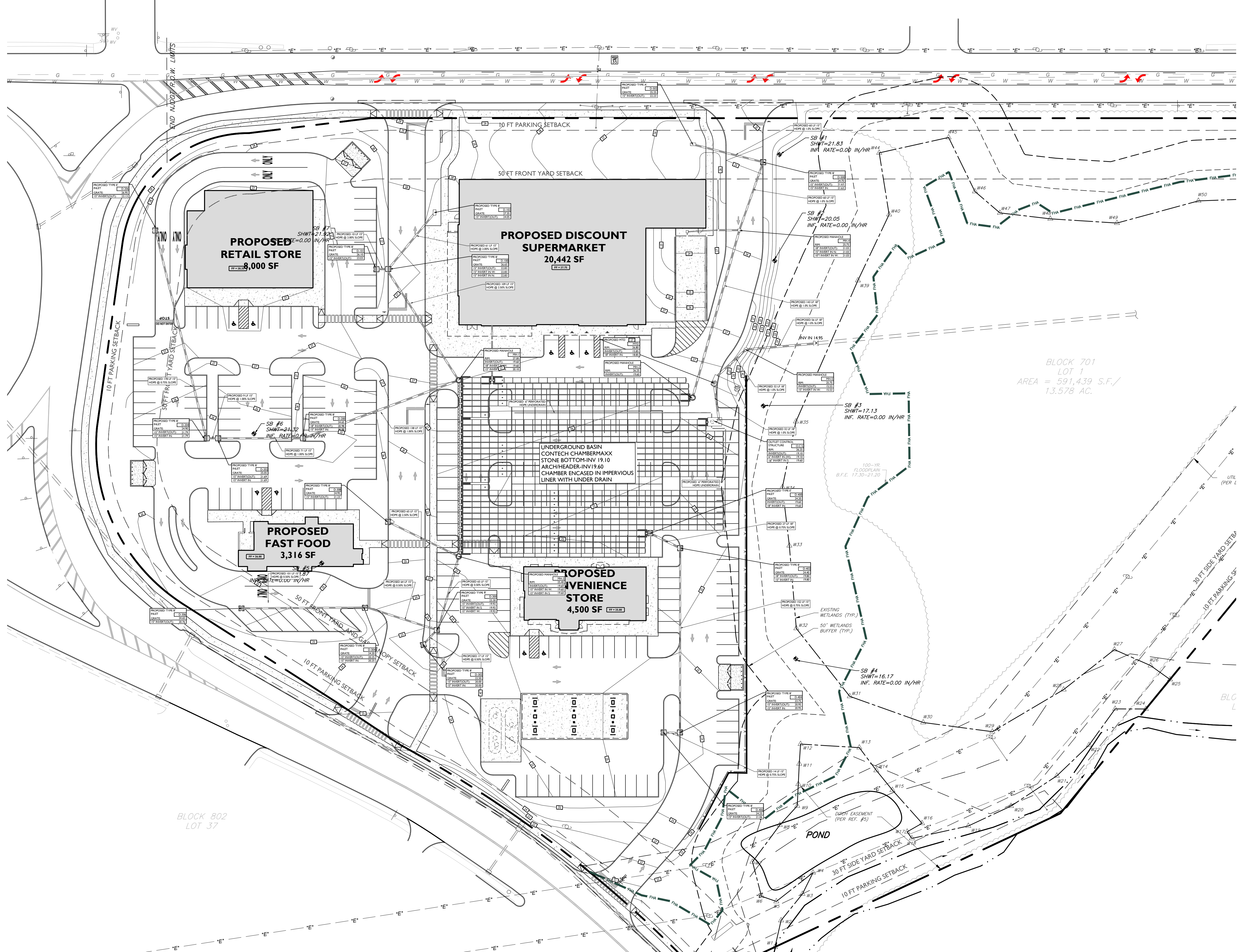
SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE:
GRADING PLAN

DRAWING:
C-6

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40.18
7
BLOCK 140.17 LOT 11
BLOCK 140.17 LOT 10
BLOCK 140.17 LOT 9
BLOCK 140.17 LOT 8
BLOCK 140.16 LOT 5



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
---	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING

DRAINAGE AND UTILITY NOTES

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT TO WORK UP GRADIENT.
3. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES

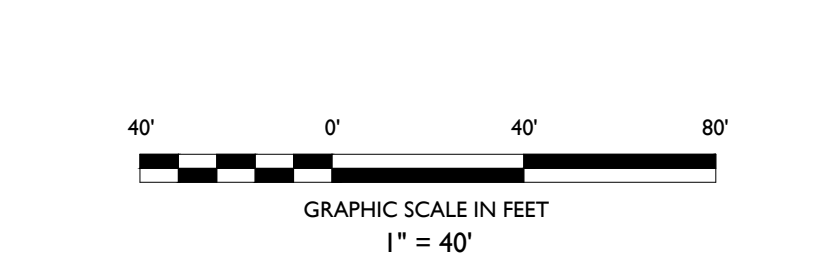
1. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
2. THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.

STORMWATER INFILTRATION BMP CONSTRUCTION NOTES

1. PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED TO BE USED FOR AN INFILTRATION BMP (E.G. BASIN, BIORETENTION AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE INFILTRATION BASIN AREA UNLESS RELATED TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ALL SUBCONTRACTORS OF BASIN AREA RESTRICTIONS.
2. THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
3. ALL EXCAVATION WITHIN THE LIMITS OF ANY INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF LIGHT-WEIGHT, RUBBER-TRED EQUIPMENT (LESS THAN 1 PSI APPLIED TO THE GROUND SURFACE) IS RECOMMENDED WITHIN THE BASIN LIMITS.
4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH BASIN CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
6. FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO CERTIFY COMPLIANCE WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION'S BEST MANAGEMENT PRACTICES MANUAL, LATEST EDITION. IF THE FIELD INFILTRATION RATES ARE LOWER THAN THE RATES DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DETERMINE THE APPROPRIATE COURSE OF ACTION.
7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WITNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.

STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM VOID RATIO OF 40%.
3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURER'S SPECIFICATIONS. NO VEHICLES SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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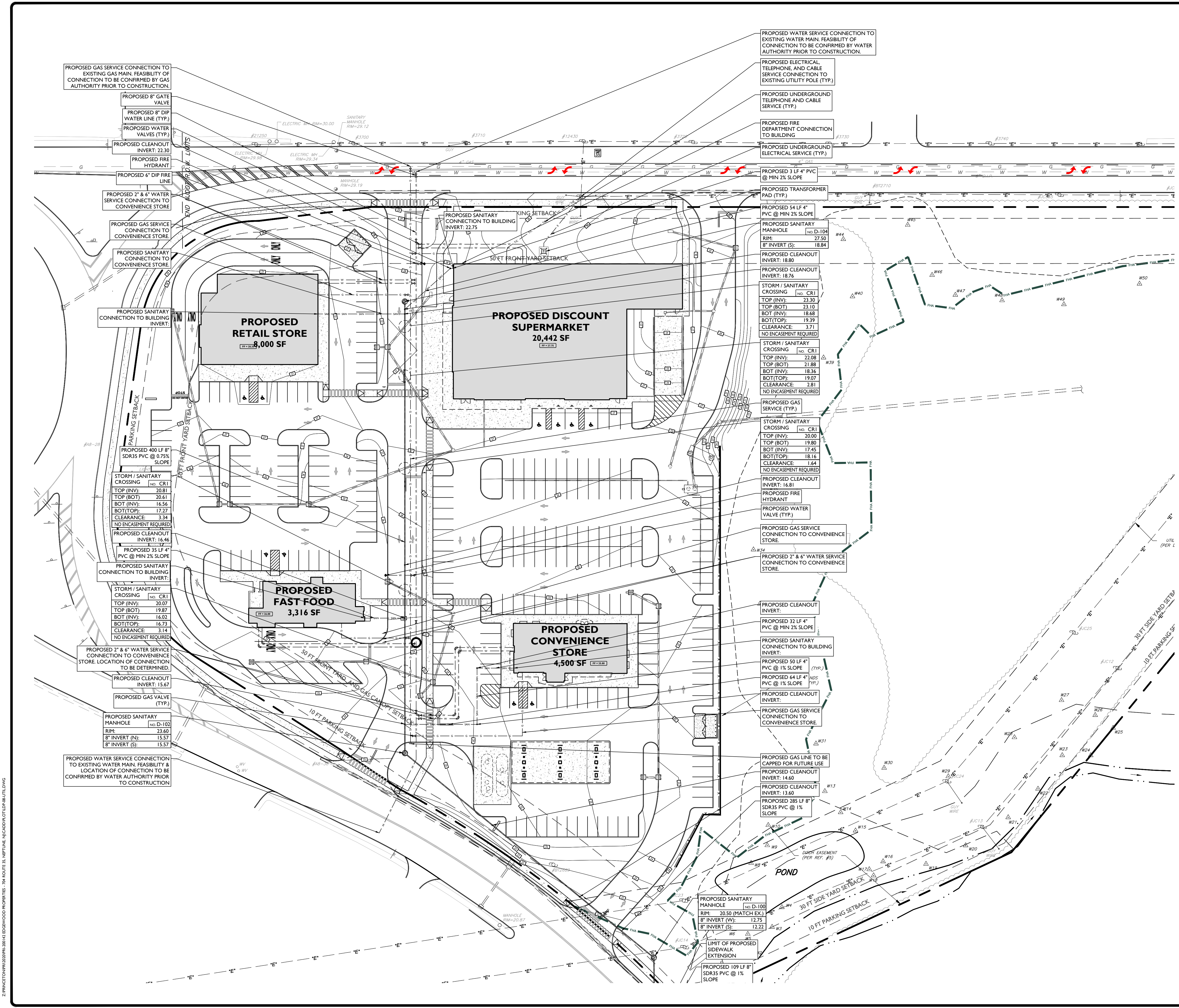
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TITLE:
STORMWATER MANAGEMENT PLAN

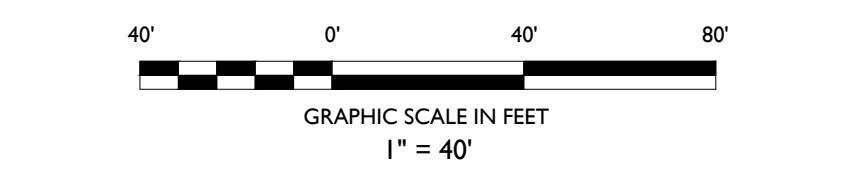
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SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E/T/C	PROPOSED ELECTRICAL/DATA CONDUITS
T/C	PROPOSED DATA CONDUITS
E	PROPOSED ELECTRIC CONDUITS
OH	PROPOSED OVERHEAD WIRES
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊕	PROPOSED WATER TEE / BEND
⊙	PROPOSED FIRE HYDRANT
⊕	PROPOSED FIRE DIRECT CONNECTION (FDC)
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊙	PROPOSED UTILITY POLE
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATION OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DISPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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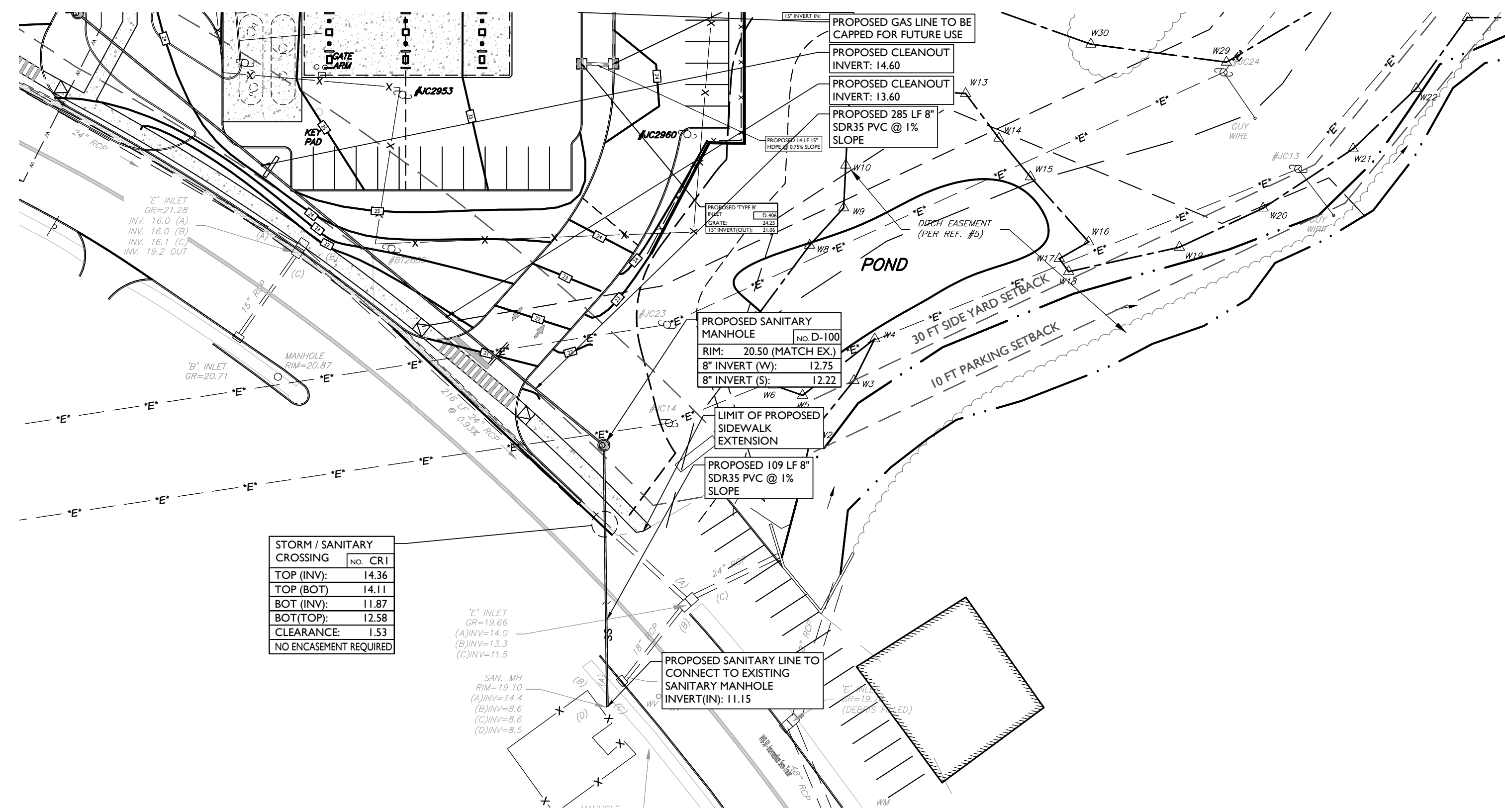
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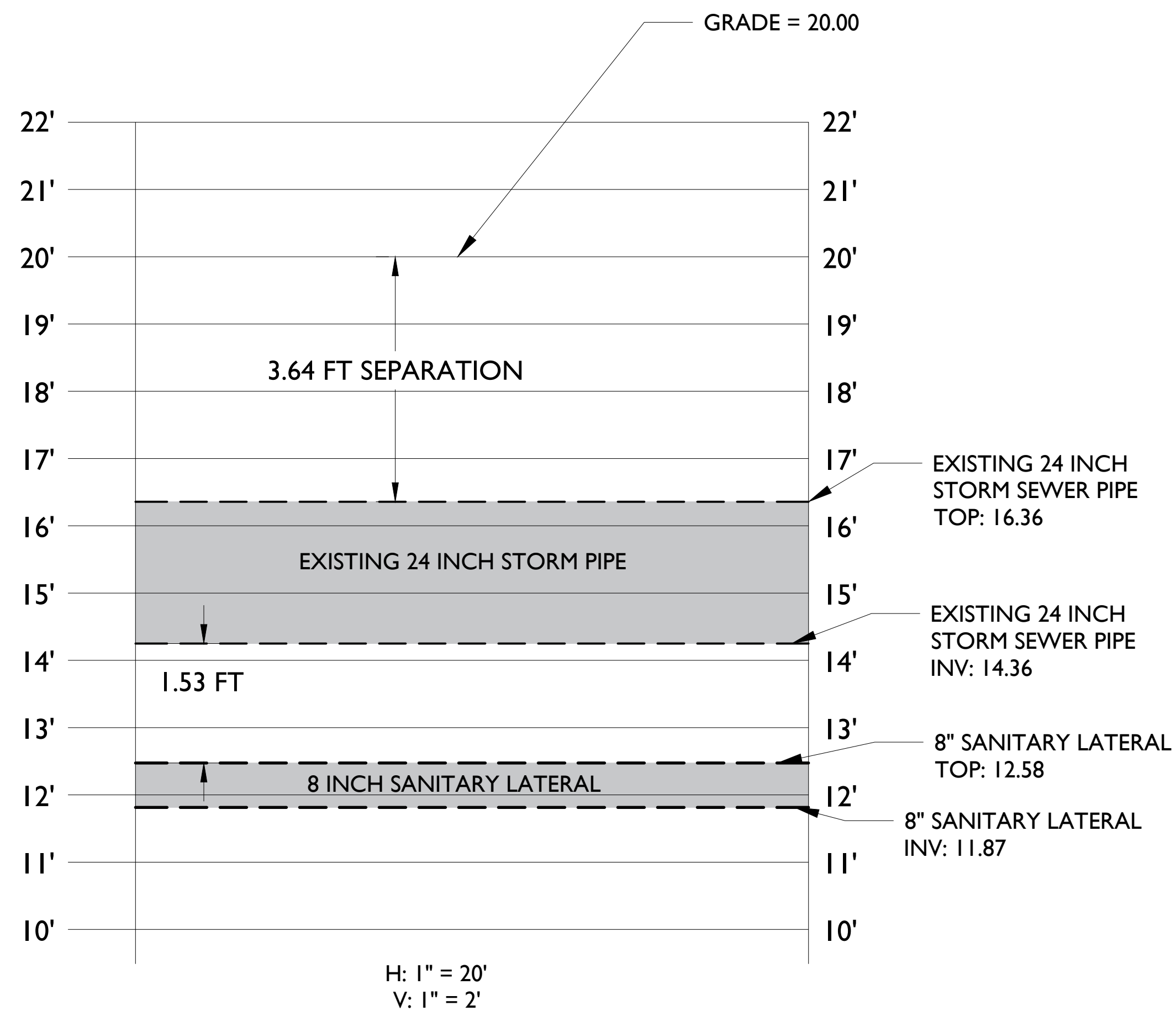
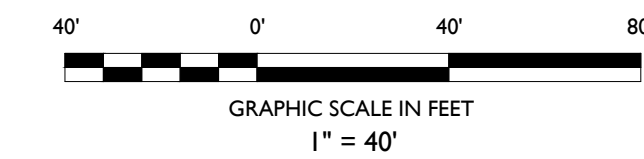
TITLE: UTILITY PLAN

DRAWING: C-8

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OFF-SITE IMPROVEMENTS



OFF-SITE SANITARY/STORM SEWER CROSSING PROFILE

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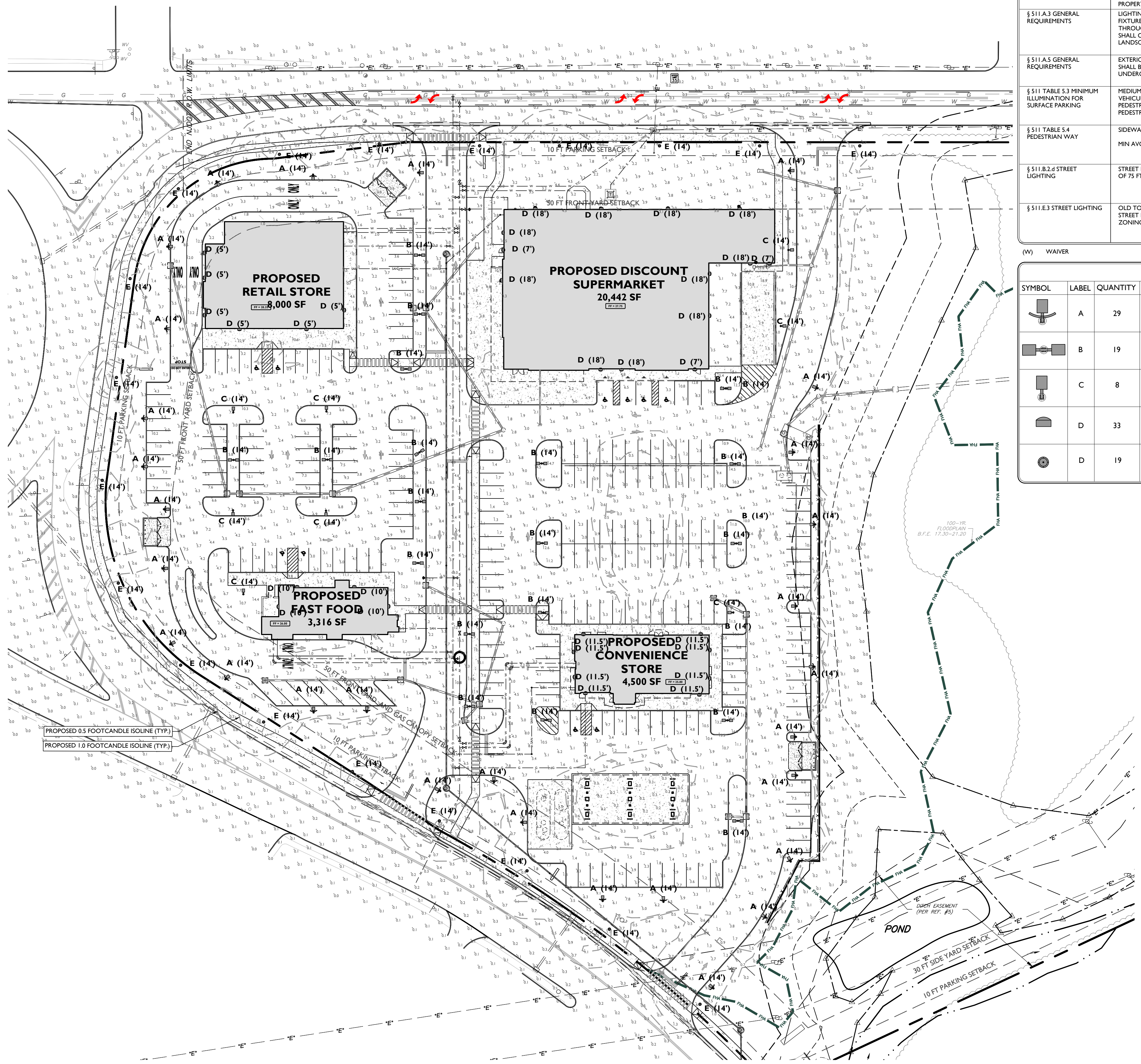
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TITLE:
OFF-SITE IMPROVEMENT PLAN

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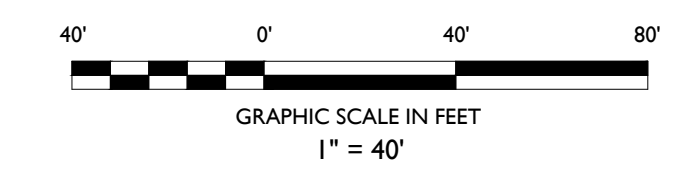
LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 412.11 LIGHT FIXTURE MOUNTING HEIGHT	LIGHTING SHALL BE PROVIDED BY FIXTURES WITH A MOUNTING HEIGHT NOT MORE THAN 14 FT.	14 FT
§ 511.A.2 GENERAL REQUIREMENTS	LIGHTING SHALL BE DESIGNED TO AVOID THE CREATION OF HAZARDS TO MOTORISTS AND PEDESTRIANS OR NUISANCE TO ADJOINING PROPERTY OWNERS OR RESIDENTS.	COMPLIES
§ 511.A.3 GENERAL REQUIREMENTS	LIGHTING LEVELS, LAMP COLOR AND AND FIXTURE TYPE SHALL BE CONSISTENT THROUGHOUT PARCEL IN QUESTION AND SHALL COMPLEMENT BUILDING AND LANDSCAPING.	COMPLIES
§ 511.A.5 GENERAL REQUIREMENTS	EXTERIOR LIGHTING NOT BUILDING MOUNTED SHALL BE SUPPLIED BY ELECTRICITY FROM UNDERGROUND CABLING	UNDERGROUND CONDUIT
§ 511 TABLE 5.3 MINIMUM ILLUMINATION FOR SURFACE PARKING	MEDIUM ACTIVITY: VEHICULAR TRAFFIC: 1.0 FC PEDESTRIAN SAFETY: 0.5 FC PEDESTRIAN SECURITY: 1.5	0.1 FC (W) 0.1 FC (W) 0.1 FC (W)
§ 511 TABLE 5.4 PEDESTRIAN WAY	SIDEWALKS (DISTANT FROM ROADWAYS): MIN AVG LEVEL: 0.5 FC	0.1 (W)
§ 511.B.2.d STREET LIGHTING	STREET LIGHTS SHALL BE PLACED A MAXIMUM OF 75 FT ON STRAIGHT ROAD SEGMENTS	COMPLIES
§ 511.E.3 STREET LIGHTING	OLD TOWN A850 LUMINAIRE REQUIRED FOR STREET LIGHTS NOT WITHIN HISTORIC HD-B-1 ZONING DISTRICT	COMPLIES

SYMBOL	DESCRIPTION
---	PROPOSED CALCULATION AREA
---	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDELS)
■	PROPOSED AREA LIGHT
■	PROPOSED BUILDING MOUNTED LIGHT

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
■	A	29	CREE EDGE SERIES 100 LED AREA WITH BACKSHIELD	4MB	0.9	CREE	ARE-EDG-4MB--10-E-UL-525-40K-IES
■	B	19	CREE EDGE SERIES 100 LED DOUBLE AREA LIGHT	4M	0.9	CREE	ARE-EDG-4M--10-E-UL-525-40K-IES
■	C	8	CREE EDGE SERIES 100 LED AREA LIGHT	4M	0.9	CREE	ARE-EDG-4M--10-E-UL-525-40K-IES
■	D	33	CREE EDGE WALL MOUNT LIGHT - 4M - 60 - LEDS - 700mA - 40K	4M	0.90	CREE LIGHTING	ITL78793_SEC-EDG-4M-xx-06-E-UL-700-40K-IES
■	D	19	OLD TOWN A850 - 175 WATT METAL HALIDE STREET LIGHT	A850	0.72	STERNBERG LIGHTING	A850-175MH.IES

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING POWER, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
 - WALL LIGHT LOCATIONS AND TYPES ARE STANDARD AND WILL BE CONFIRMED UPON FINAL ARCHITECTURAL PLANS.

- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE 'X' = MINIMUM X WATTS
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
 - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC, OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	12/29/20	PC		FIRST SUBMISSION
2	01/27/2021	AMB		COUNTY SUBMISSION
3	03/10/2021	AMB		COUNTY SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLANS

M&M NEPTUNE, LLC

PROP IMPROVEMENTS

BLOCK 701, LOT 1 (TAX MAP SHEET 7)
704 N.J. ROUTE 335
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 4790
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE: LIGHTING PLAN

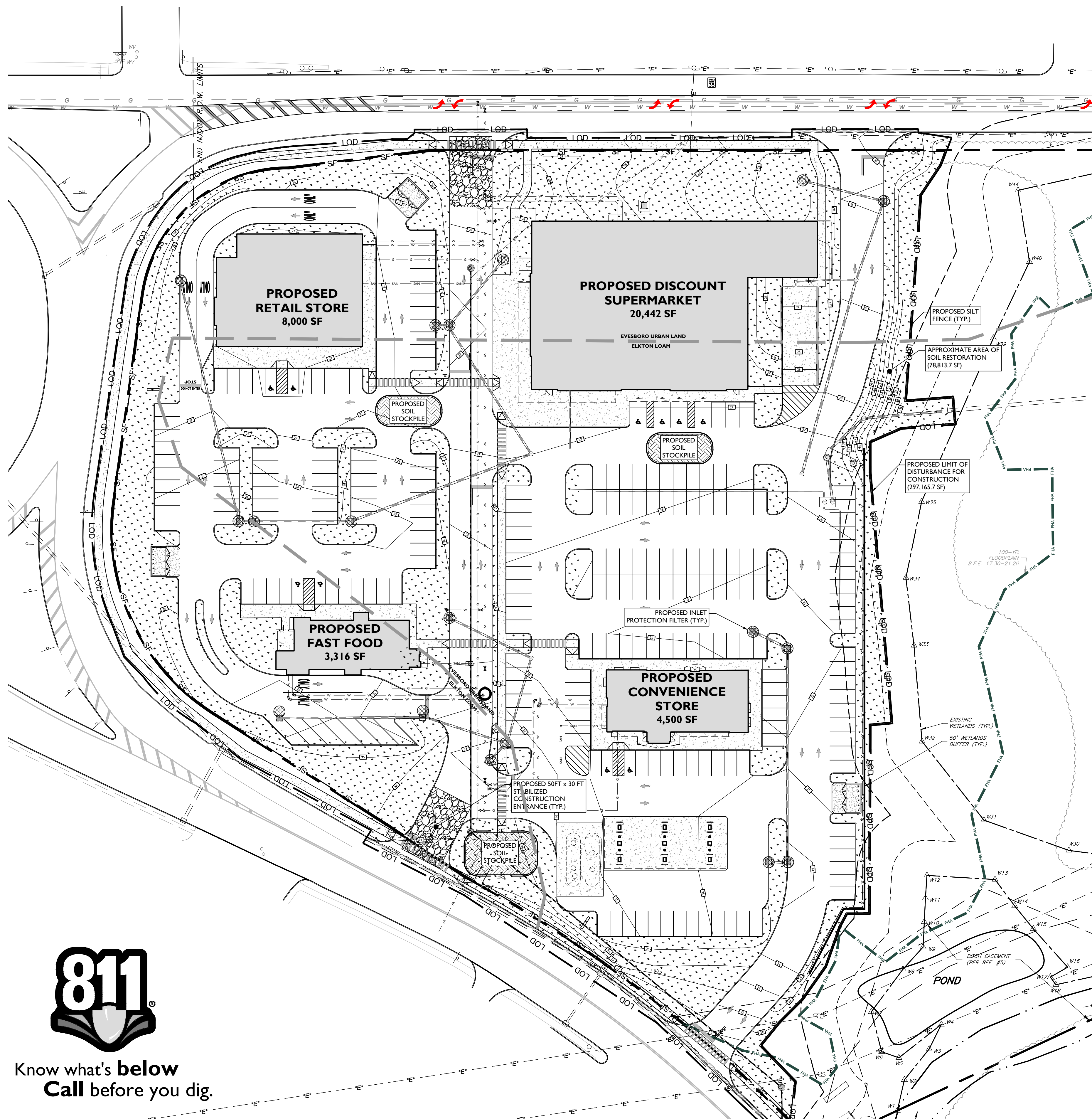
DRAWING: C-9

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2:\PROJECTS\2020\2020-01-15\DRAWING\PROPRIETARY - 754 - 1001313 - NEPTUNE, NC\DRAWING\2020-01-15\811.DWG



Know what's below
Call before you dig.



- DUST CONTROL NOTES**
- MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
 - VEGETATIVE COVER - SEE STANDARD FOR: TEMPORARY VEGETATIVE COVER, PG. 7-1; PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1 AND PERMANENT STABILIZATION WITH SOIL, PG. 6-1
 - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.
 - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
 - CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

- STABILIZATION SPECIFICATIONS:**
- I.A. TEMPORARY SEEDING AND MULCHING:
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 1 LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- I.B. PERMANENT SEEDING AND MULCHING:
TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
FERTILIZER - APPLY 1 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
SEED - TURF TYPE TALL FESCUE (BLENDED CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDINGS REQUIRE IRRIGATION).
MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

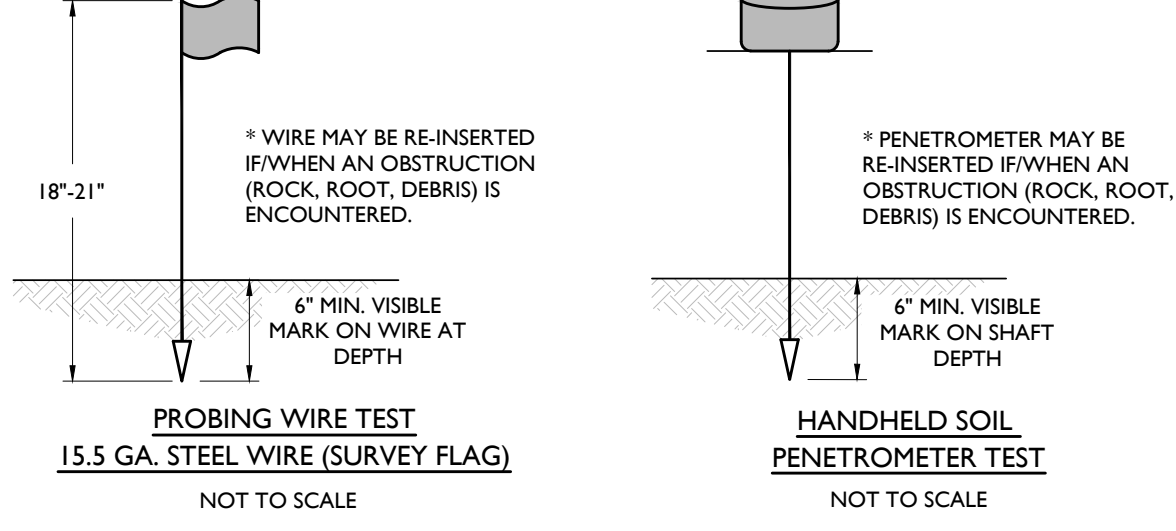
- SOIL DE-COMPACTION AND TESTING REQUIREMENTS**
- SOIL COMPACTION TESTING REQUIREMENTS**
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
 - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
 - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

- COMPACTION TESTING METHODS**
- A. PROBING WIRE TEST (SEE DETAIL)
B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
 - SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- PROCEDURES FOR SOIL COMPACTION MITIGATION**
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
 - RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

NOTES: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR EXCESSIVELY WET. DO NOT TEST WHEN SOIL IS SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE WIRE.

RECORD DEPTH OF PENETRATION WHEN WIRE DEFORMS; MINIMUM DEPTH OF 6" TO PASS TEST. EITHER PREMEDITATE OR PERFORM THE NEXT TEST.

NOTES: SOIL SHOULD BE MOIST BUT NOT SATURATED. DO NOT TEST WHEN SOIL IS EXCESSIVELY DRY OR EXCESSIVELY WET. DO NOT TEST WHEN SOIL IS SUBJECT TO FREEZING TEMPERATURES. SLOW, STEADY DOWNWARD PRESSURE USED TO ADVANCE THE PROBE. MEASURE DEPTH WHEN GAGE READING REACHES 300 PSI OR DEPTH OF 6"



SOIL CHARACTERISTICS CHART

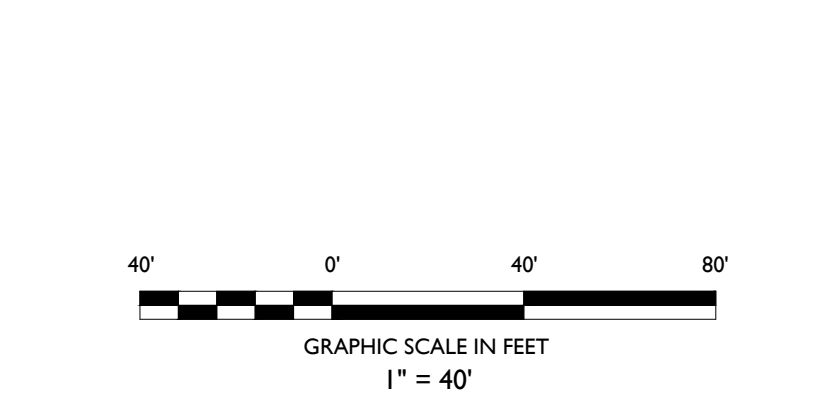
TYPE OF SOIL	URBAN LAND
PERCENT OF SITE COVERAGE	100%
HYDROLOGIC SOIL GROUP	UNRANKED
DEPTH TO RESTRICTIVE LAYER	N/A
SOIL PERMEABILITY	N/A
DEPTH TO WATER TABLE	N/A

SYMBOL DESCRIPTION

---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

- FREEHOLD SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES**
- The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
 - All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
 - Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
 - N.J.S.A. 4-24-39 et. Seq. requires that no Certificates of Occupancy be issued before the District determines that a project or portion thereof is in full compliance with the Certified Plan and Standards for Soil Erosion and Sediment Control in New Jersey and a Report of Compliance has been issued. Upon written request from the applicant, the District may issue a Report of Compliance with conditions on a lot-by-lot or section-by-section basis, provided that the project or portion thereof is in satisfactory compliance with the sequence of development and temporary measures for soil erosion and sediment control have been implemented, including provisions for stabilization and site work.
 - Any disturbed areas that will be left exposed more than sixty (60) days, and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to the Standard for Stabilization with Mulch Only.
 - Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. soil stockpiles, steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, and a mulch anchor, in accordance with State Standards.
 - A sub-base course will be applied immediately following rough grading and installation of improvements to stabilize streets, roads, driveways, and parking areas. In areas where no utilities are present, the sub-base shall be installed within fifteen (15) days of the preliminary grading.
 - The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site. After initial roadways are paved, individual lots require a stabilized construction access consisting of one inch to two inch (1" - 2") stone for a minimum length of ten feet (10') equal to the lot entrance width. All other access points shall be blocked off.
 - All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
 - Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
 - At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
 - In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less or containing iron sulfides shall be ultimately placed or buried with limestone applied at the rate of 10 tons/acre, (or 550 lbs./1,000 sq ft of surface area) and covered with a minimum of 12" of settled soil with a pH of 5 or more, or 24" where trees or shrubs are to be planted.
 - Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system becoming operational.
 - Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
 - Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet; temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control.
 - Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
 - All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #6.
 - The property owner shall be responsible for any erosion or sedimentation that may occur beyond stormwater outfalls or offsite as a result of construction of the project.



ISSUE	DATE	BY	DESCRIPTION
3	03/10/2021	AMB	COUNTY SUBMISSION
2	01/27/2021	AMB	COUNTY SUBMISSION
1	12/29/20	PC	FIRST SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLANS

M&M NEPTUNE, LLC

PROP IMPROVEMENTS

BLOCK 701, LOT 1 (TAX MAP SHEET 7)
704 N.J. ROUTE 35
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NEW JERSEY

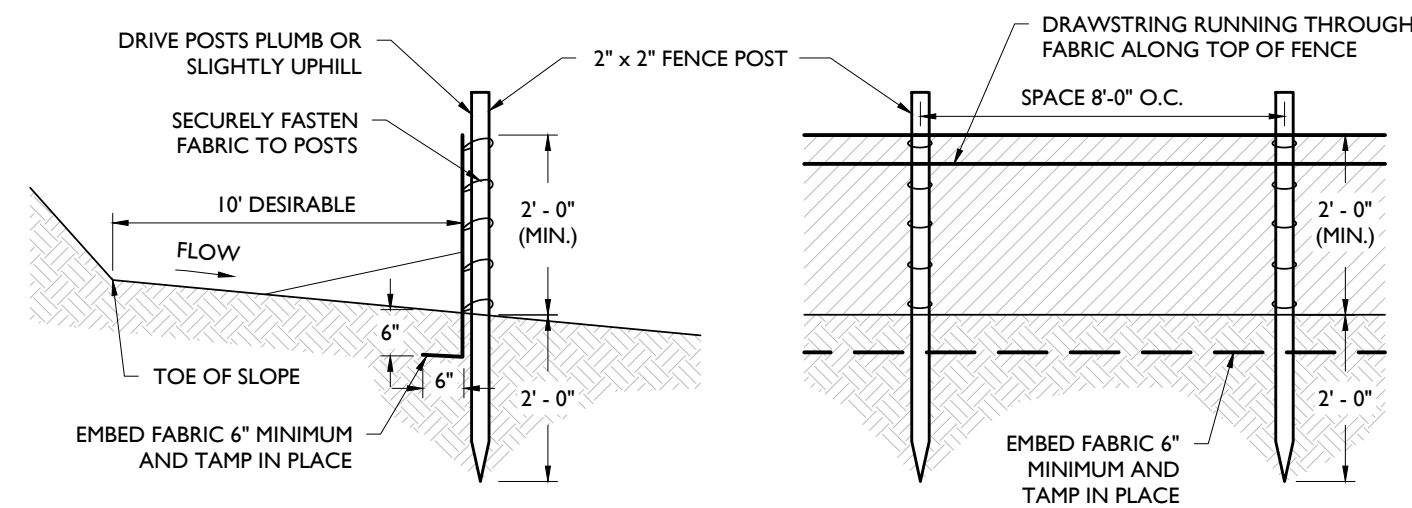
JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

DRAWING:
C-10

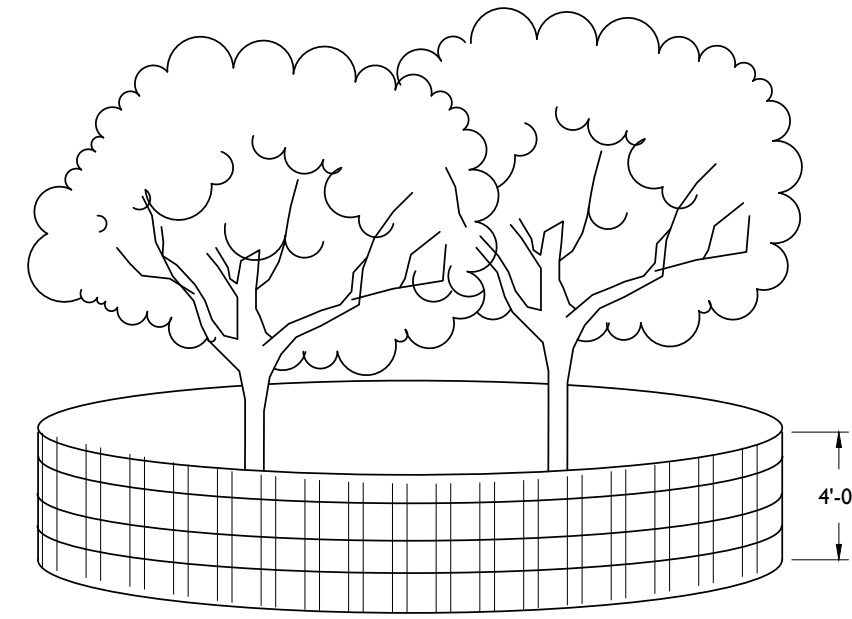


- NOTES:
1. SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOG RINGS, STAPLES OR POCKETS. FOUR TO SIX FASTENERS PER POST.
 2. GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
 3. SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED IN NOTE 1 ABOVE. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
 4. SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE DETAIL

NOT TO SCALE

1

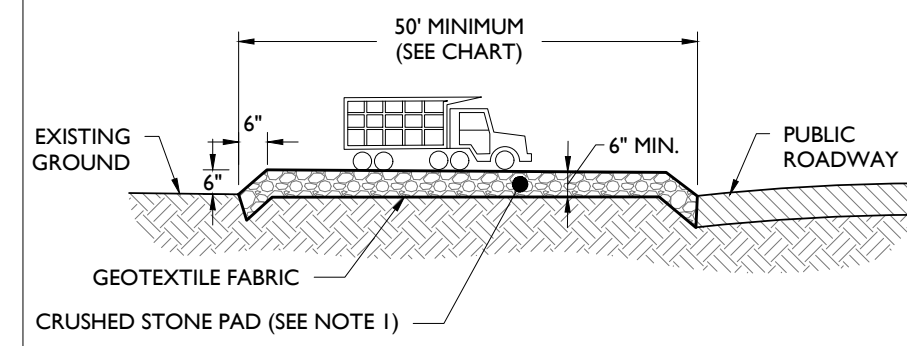


- NOTES:
1. SNOW FENCING IS TO BE 4'-0" HIGH AND SELF SUPPORTED.
 2. DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
 3. SNOW FENCE TO BE INSTALLED AT DRIP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED OR NO CLOSER THAN 6' FROM TREE TRUNK IF NECESSARY.
 4. IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DRIP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE OF THE TOTAL AREA OF WITHIN THE DRIP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR REGRADING AND A 3" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DRIP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

TREE PROTECTION DETAIL

NOT TO SCALE

2



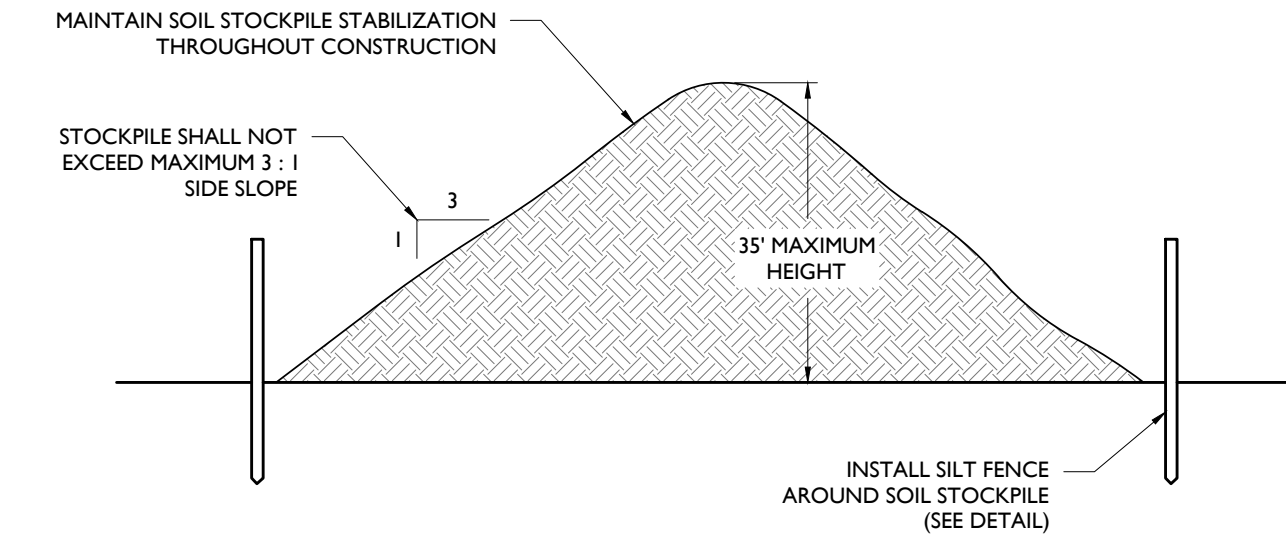
SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE REQ'D	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FEET	100 FEET
2% TO 5%	100 FEET	200 FEET
> 5%	SEE NOTE 4	

- NOTES:
1. STONE SHALL BE ASTM C-33, SIZE No. 2 (2.5" TO 1.5") OR No. 3 (2" TO 1") CLEAN CRUSHED ANGULAR STONE.
 2. WIDTH SHALL BE 15' MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
 3. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD, WHERE POSSIBLE. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE THE STABILIZED CONSTRUCTION ENTRANCE.
 4. WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
 5. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

STABILIZED CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

3

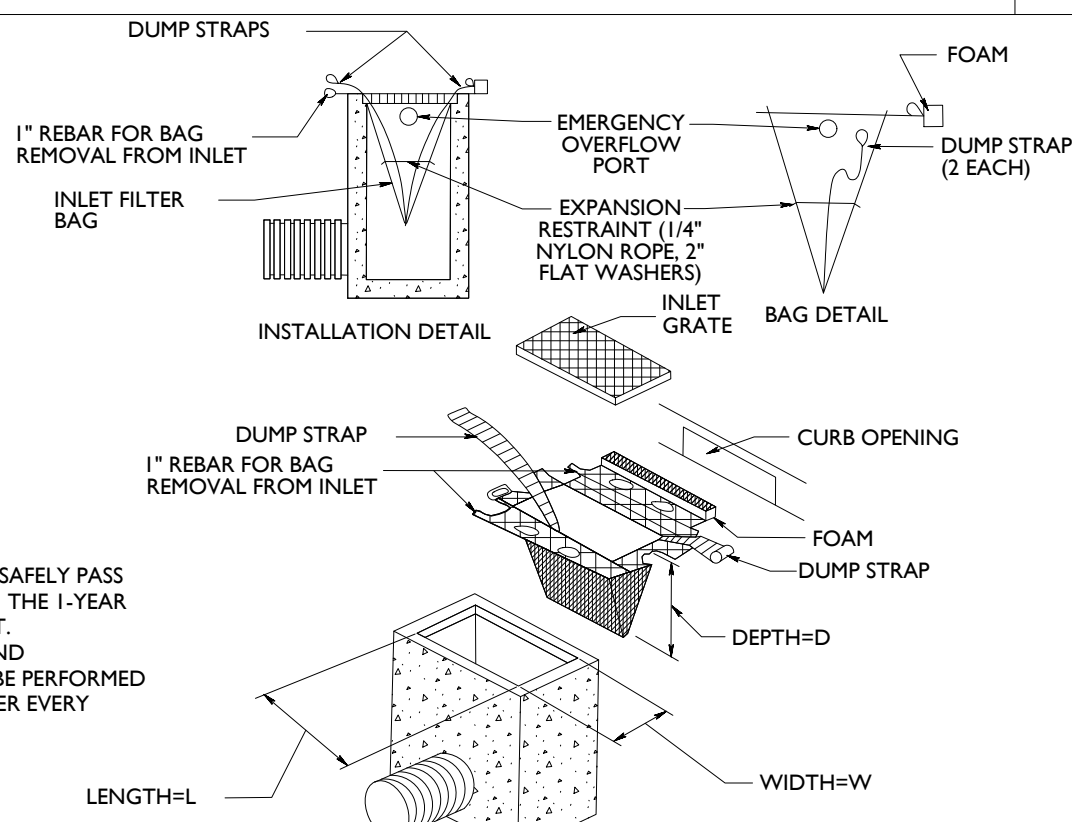


- NOTES:
1. STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
 2. STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, AS APPROPRIATE (SEE SOIL EROSION NOTES).

SOIL STOCKPILE DETAIL

NOT TO SCALE

4



- NOTES:
1. THE FILTER BAG SHALL SAFELY PASS FLOWS GREATER THAN THE 1-YEAR 24-HOUR STORM EVENT.
 2. SEDIMENT REMOVAL AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

INLET FILTER BAG DETAIL

NOT TO SCALE

5

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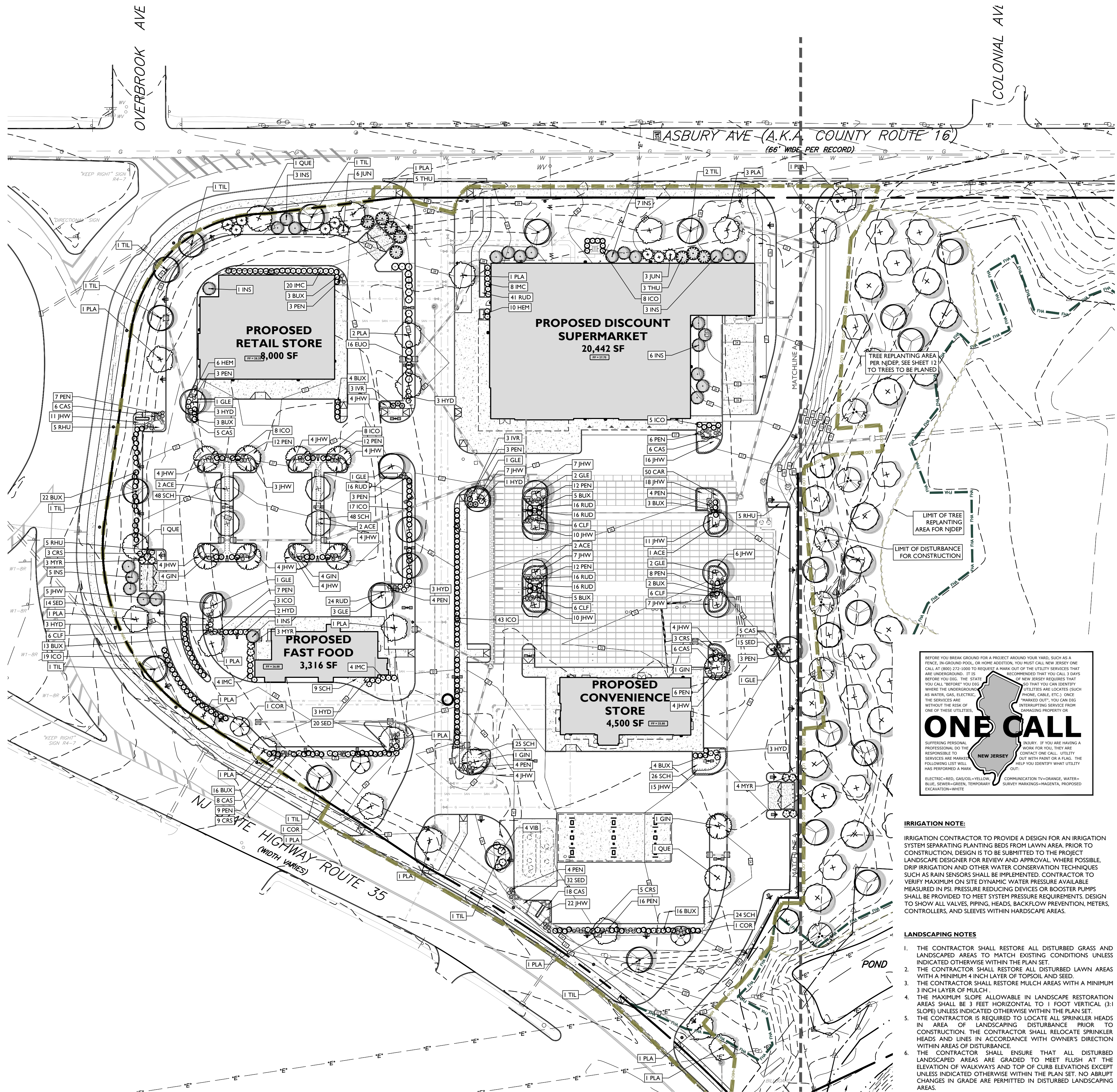
JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-200142

TITLE:
SOIL EROSION & SEDIMENT CONTROL DETAILS

DRAWING:
C-II



PLANT SCHEDULE							
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	ACE	7	ACER CAMPESTRE	HEDGE MAPLE	3" - 3.5" CAL	B&B	AS SHOWN
	COR	3	CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF DOGWOOD	3" - 3.5" CAL	B&B	AS SHOWN
	GIN	11	GINKGO BILOBA	MAIDENHAIR TREE	3" - 3.5" CAL	B&B	AS SHOWN
	GLE	12	GLEDTISIA TRIACANTHOS	HONEY LOCUST	3" - 3.5" CAL	B&B	AS SHOWN
	PLA	20	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	3" - 3.5" CAL	B&B	AS SHOWN
	QUE	3	QUERCUS ACUTISSIMA	SAWTOOTH OAK	3" - 3.5" CAL	B&B	AS SHOWN
	TIL	11	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	3" - 3.5" CAL	B&B	AS SHOWN
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	INS	26	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	8" - 10" HT	B&B	AS SHOWN
	JUN	9	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8" - 10" HT	B&B	AS SHOWN
	THU	8	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8" - 10" HT	B&B	AS SHOWN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CRS	20	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	18" - 24"	POT	AS SHOWN
	EUO	16	EUONYMUS ALATUS	WINGED EUONYMUS	36" - 42"	B&B	AS SHOWN
	HYD	21	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	BAILMER HYDRANGEA	24" - 30"	POT	AS SHOWN
	IVR	6	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	18" - 24"	POT	AS SHOWN
	VIB	4	VIBURNUM DENTATUM	VIBURNUM	36" - 42"	POT	AS SHOWN
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	BUX	96	BUXUS MICROPHYLLA 'WINTER GEM'	GLOBE WINTER GEM BOXWOOD	36" HT	B&B	AS SHOWN
	ICO	111	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	36" HT	B&B	AS SHOWN
	IMC	36	ILEX X MESERVEAE 'CHINA GIRL'	CHINA GIRL HOLLY	36" HT	B&B	AS SHOWN
	MYR	10	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	36" HT	B&B	AS SHOWN
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CLF	24	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL	POT	AS SHOWN
	CAS	54	CAREX STRICTA	TUSSOCK SEDGE	1 GAL	POT	AS SHOWN
	PEN	138	PENNISETUM ALOPECUROIDES 'HAMELI'	HAMELI FOUNTAIN GRASS	1 GAL	POT	AS SHOWN
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	JHW	199	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	1 GAL	POT	36" o.c.
	RHU	15	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL	POT	42" o.c.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	HEM	16	HEMERCALLIS X 'PURPLE DE ORO'	PURPLE DE ORO DAYLILY	1 GAL	POT	18" o.c.
	RUD	145	RUDBECKIA FULGIDA	CONEFLOWER	1 GAL	POT	18" o.c.
	SED	81	SEDUM SPECTABILE 'AUTUMN FIRE'	SHOWY STONECROP	1 GAL	POT	18" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	CAR	50	CAREX X 'ICE DANCE'	ICE DANCE SEDGE	1 GAL	POT	18" o.c.
	SCH	180	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1 GAL	POT	24" o.c.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE

ONE CALL

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE" YOU DIG. WHERE THE UNDERGROUND UTILITY SERVICES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, CABLE, ETC.), ONCE THE SERVICES ARE MARKED OUT, YOU CAN DIG WITHOUT THE RISK OF DAMAGING PROPERTY OR ONE OF THESE UTILITIES.

IF YOU ARE HAVING A WORK FOR YOU, THEY ARE CONTRACT ONE CALL. UTILITY SERVICES ARE MARKED OUT WITH PAINT OR A FLAG. THE FOLLOWING LIST WILL HELP YOU IDENTIFY WHAT UTILITY HAS PERFORMED A MARK OUT:

- ELECTRIC-RED, GAS-ORANGE, WATER-BLUE, SEWER-GREEN, TEMPORARY SURVEY MARKINGS-MAGENTA, PROPOSED EXCAVATION-WHITE
- TELEPHONE-ORANGE, WATER-BLUE, SEWER-GREEN, TEMPORARY SURVEY MARKINGS-MAGENTA, PROPOSED EXCAVATION-WHITE

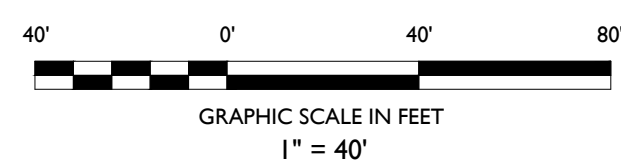
IRRIGATION NOTE:

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRIP IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONTRACTOR TO VERIFY MAXIMUM SITE DYNAMIC WATER PRESSURE AVAILABLE MEASURED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SLEEVES WITHIN HARDSCAPE AREAS.

LANDSCAPING NOTES

- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
- THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
- THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
- THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.

PAUL DEVITTO, L.L.A.
NEW JERSEY LICENSE No. 21A500123500
LCS-SED LANDSCAPE ARCHITECT



ISSUE	DATE	BY	DESCRIPTION
3	03/10/2021	AMB	COUNTY SUBMISSION
2	01/27/2021	AMB	COUNTY SUBMISSION
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TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NEW JERSEY

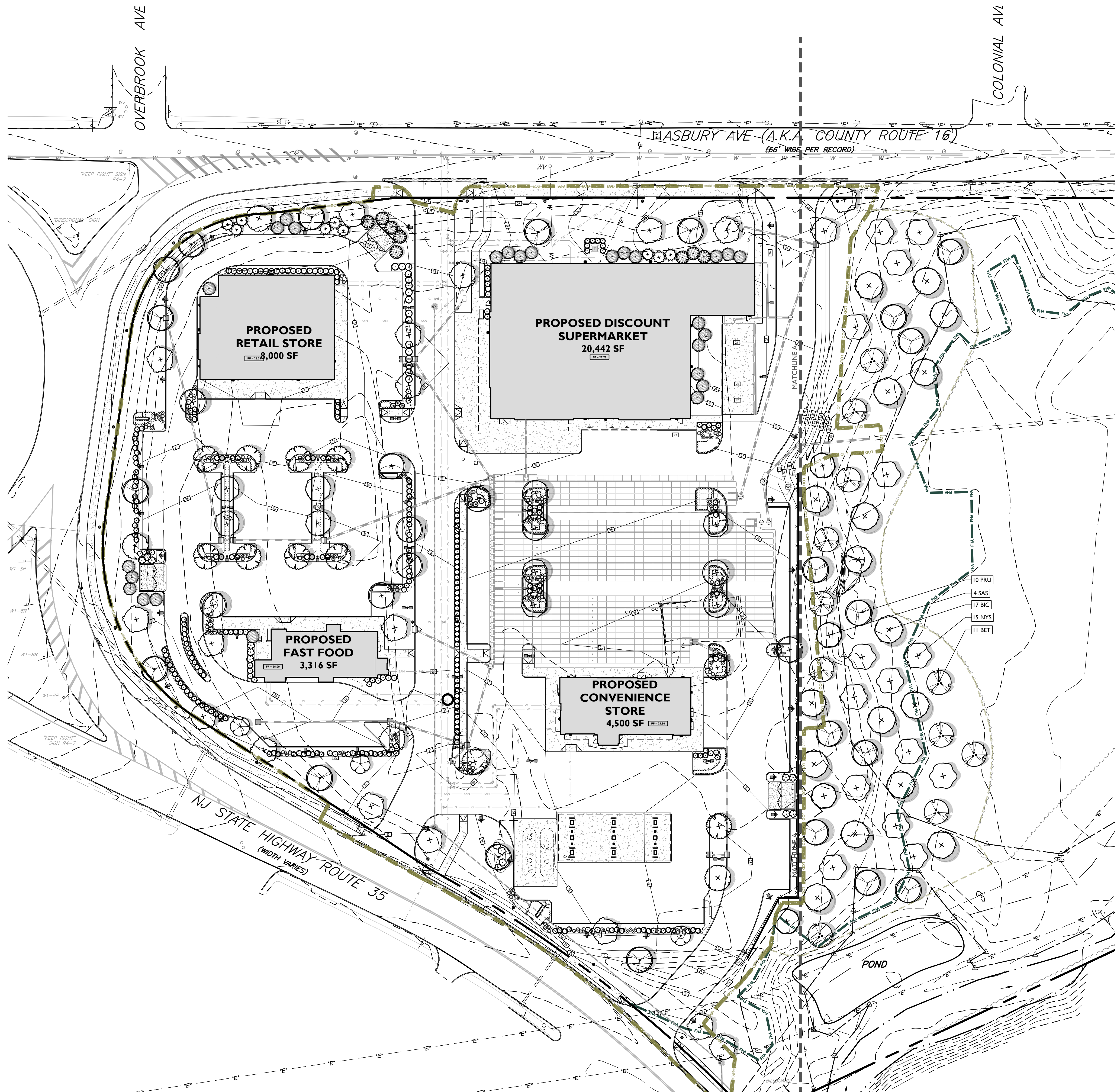
JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE:
LANDSCAPING PLAN

DRAWING:
C-12



GP5 WETLAND TRANSITION AREA PLANT LIST

MITIGATION TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
	BET	11	BETULA LENTA	SWEET BIRCH	1.5" - 2" CAL	WHIP	AS SHOWN
	NYS	15	NYSSA SYLVATICA	SOUR GUM	1.5" - 2" CAL	WHIP	AS SHOWN
	PRU	10	PRUNUS SEROTINA	WILD BLACK CHERRY	1.5" - 2" CAL	WHIP	AS SHOWN
	BIC	17	QUERCUS BICOLOR	SWAMP WHITE OAK	1.5" - 2" CAL	WHIP	AS SHOWN
	SAS	4	SASSAFRAS ALBIDUM	SASSAFRAS	1.5" - 2" CAL	WHIP	AS SHOWN

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

DISTURBED TRANSITION AREAS

VEGETATION TYPE:	ESTIMATED AREA:
FORESTED AREA	60,897 SF (1.40 ACRE)
SCRUB-SHRUB AREA	8,354 SF (0.19 ACRE)

AREAS ARE INDICATED PER HISTORIC AERIALS DATED 2011.

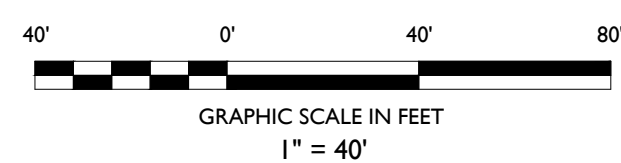
ONE CALL

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR YARD, SUCH AS A FENCE, IN-GROUND POOL, OR HOME ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-0000 TO REPORT A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE" YOU DIG SO THAT YOU CAN IDENTIFY WHERE THE UNDERGROUND UTILITIES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, PHONE, CABLE, ETC.) ONCE THE SERVICES ARE MARKED "MARKED OUT", YOU CAN DIG WITHOUT THE RISK OF INTERRUPTING SERVICE FROM DAMAGING PROPERTY OR HARMING YOURSELF.

IF YOU ARE HAVING A PROFESSIONAL DO THE WORK FOR YOU, THEY ARE RESPONSIBLE TO CONTACT ONE CALL. UTILITY SERVICES ARE MARKED "MARKED OUT" WITH PAINT OR A FLAG. THE FOLLOWING LIST WILL HELP YOU IDENTIFY WHAT UTILITY HAS PERFORMED A MARK:

ELECTRIC-RED, GASOL-YELLOW, BLUE, SEWER-GREEN, TELEPHONE-ORANGE, WATER, SLOPE MARKING-MAGENTA, PROPOSED EXCAVATION-WHITE

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



PAUL DEVITTO, L.L.A.
NEW JERSEY LICENSE No. 21A500123500
Landscape Architect

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LICENSED PROFESSIONAL ENGINEER

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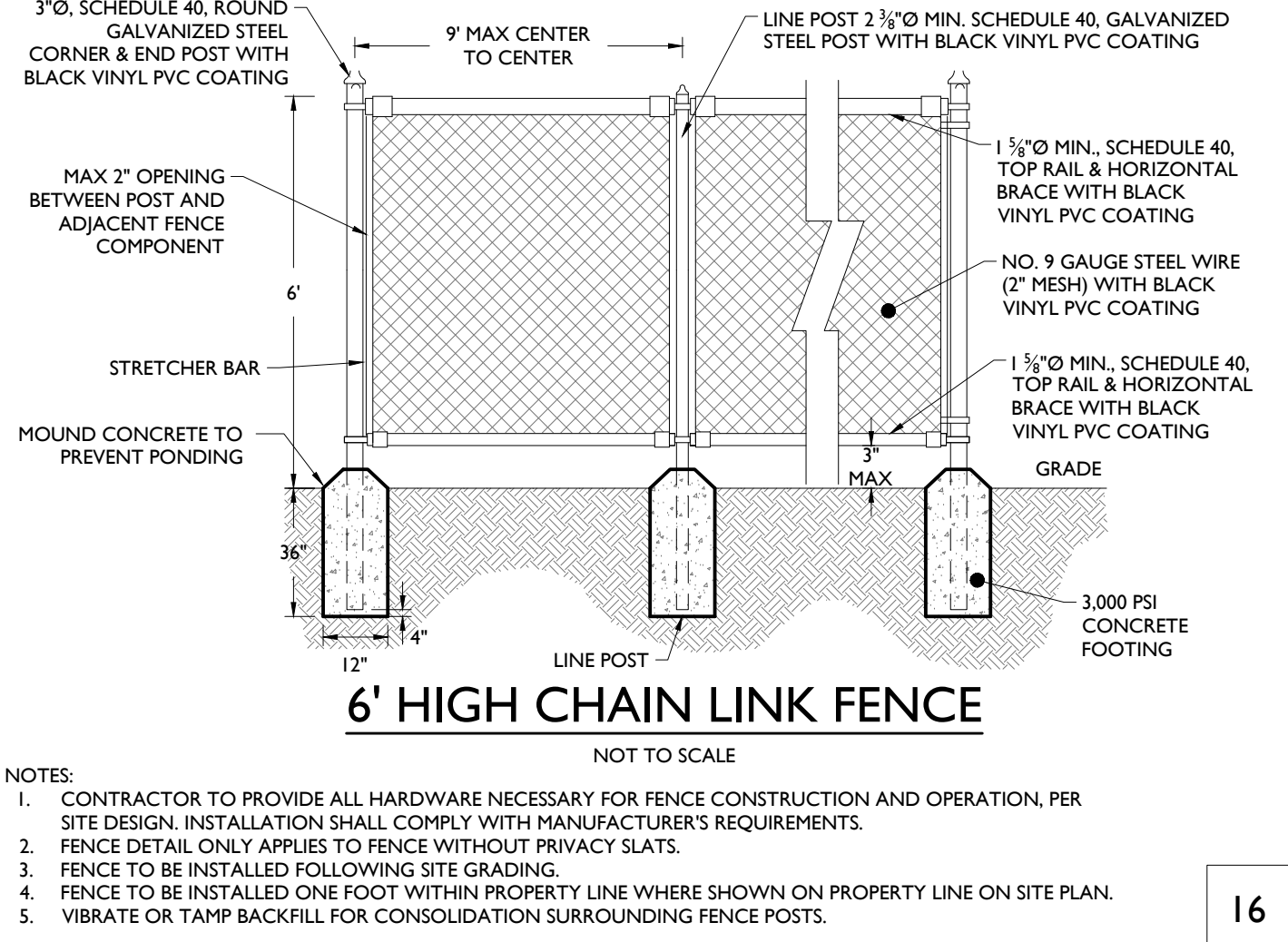
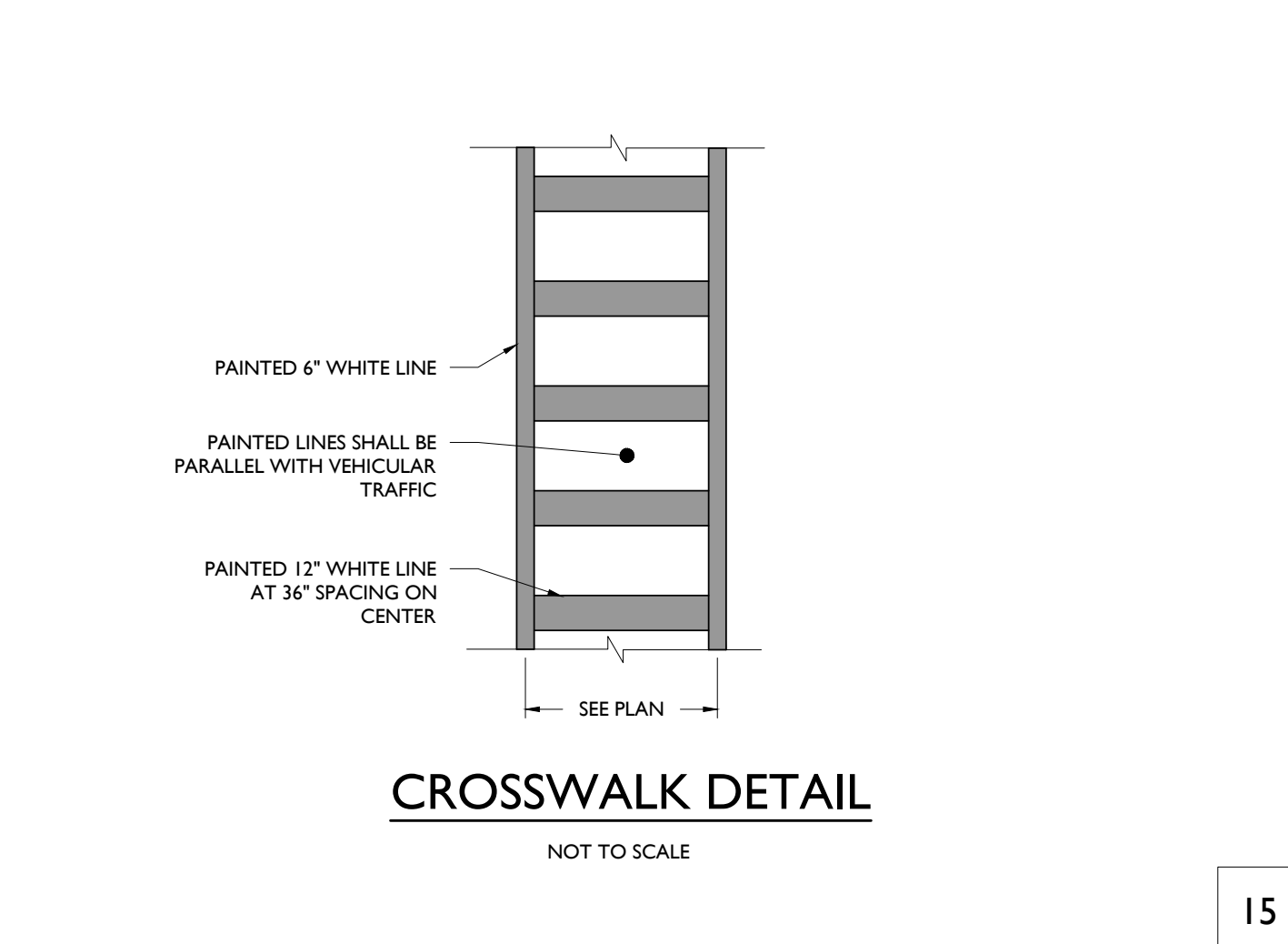
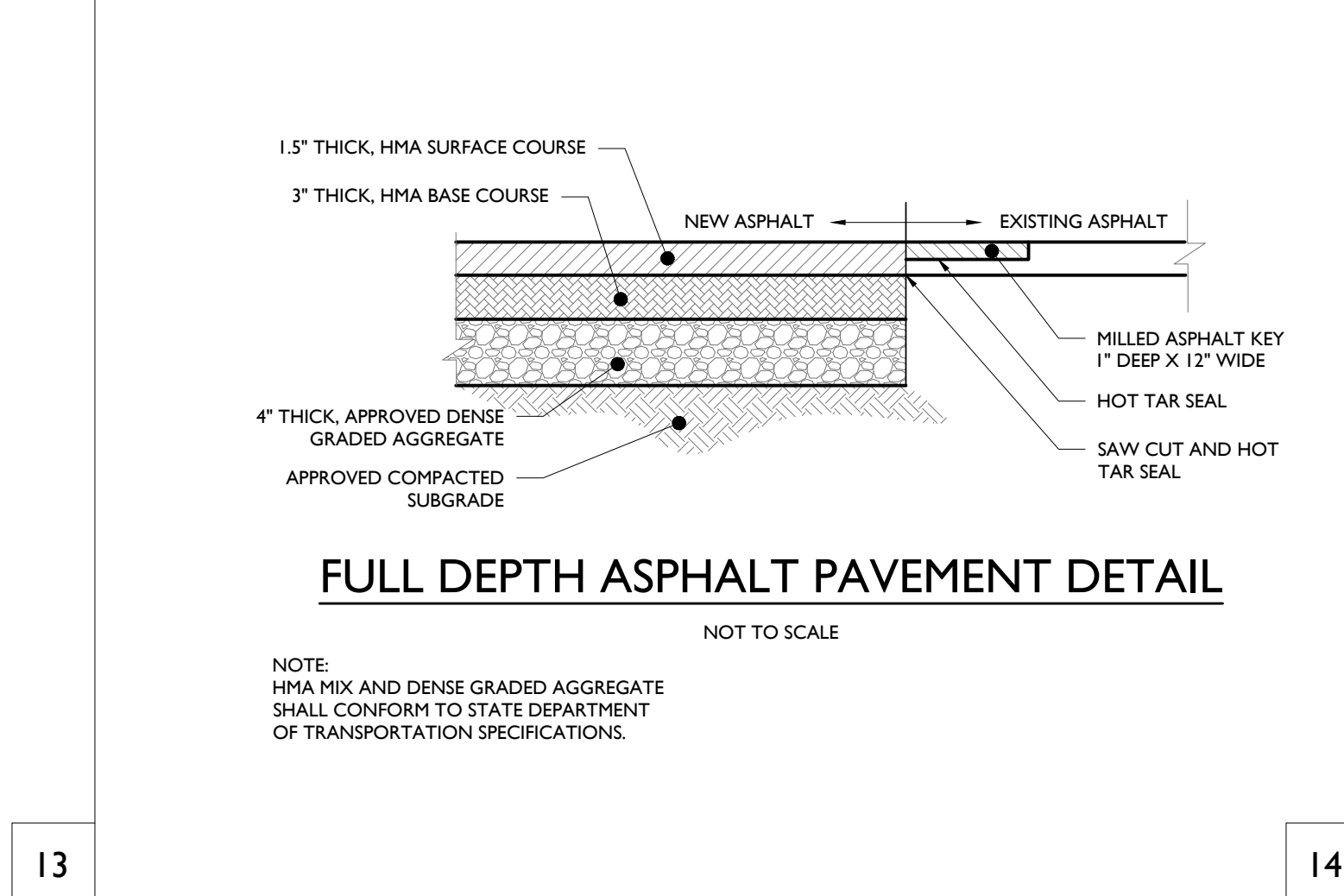
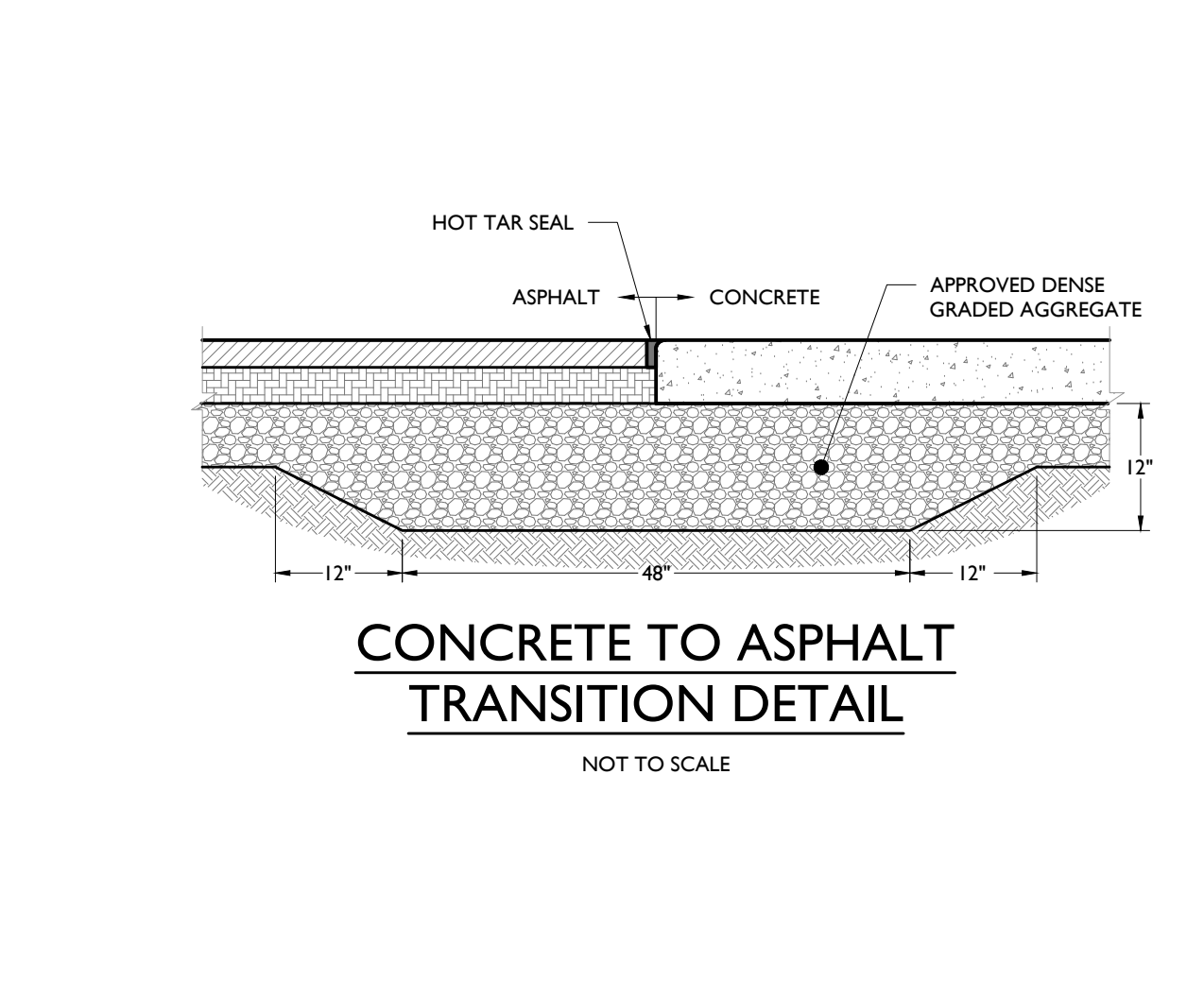
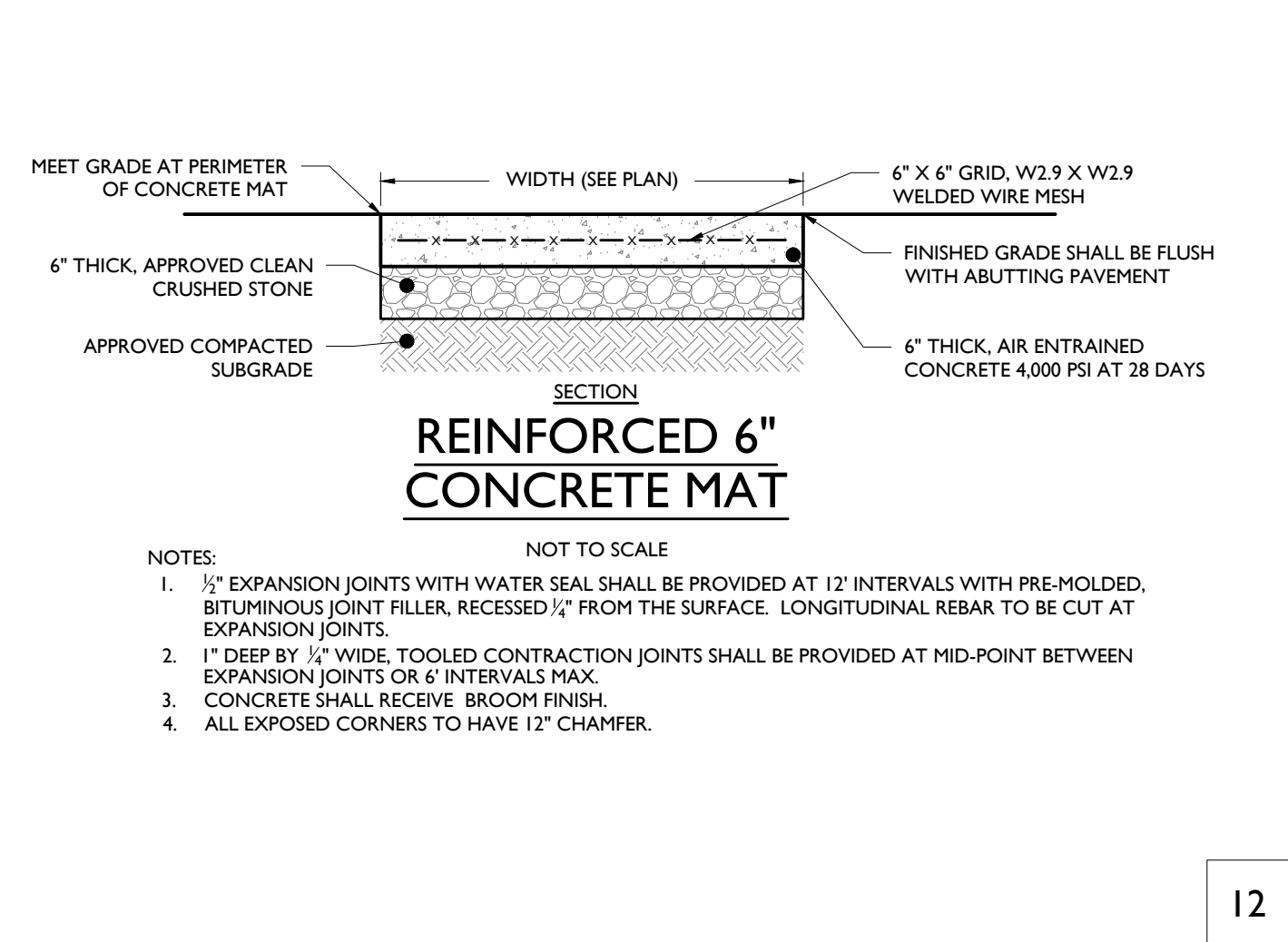
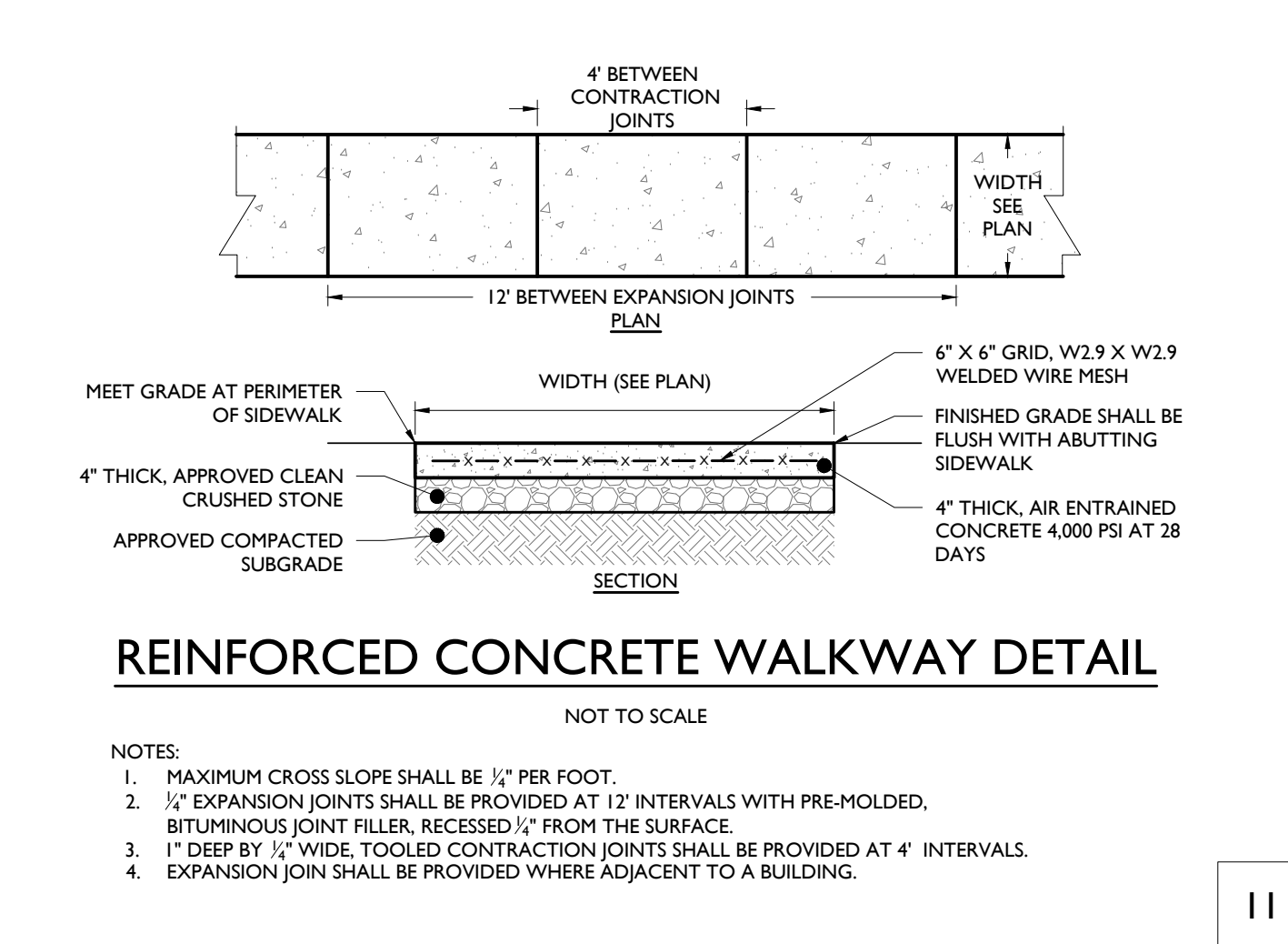
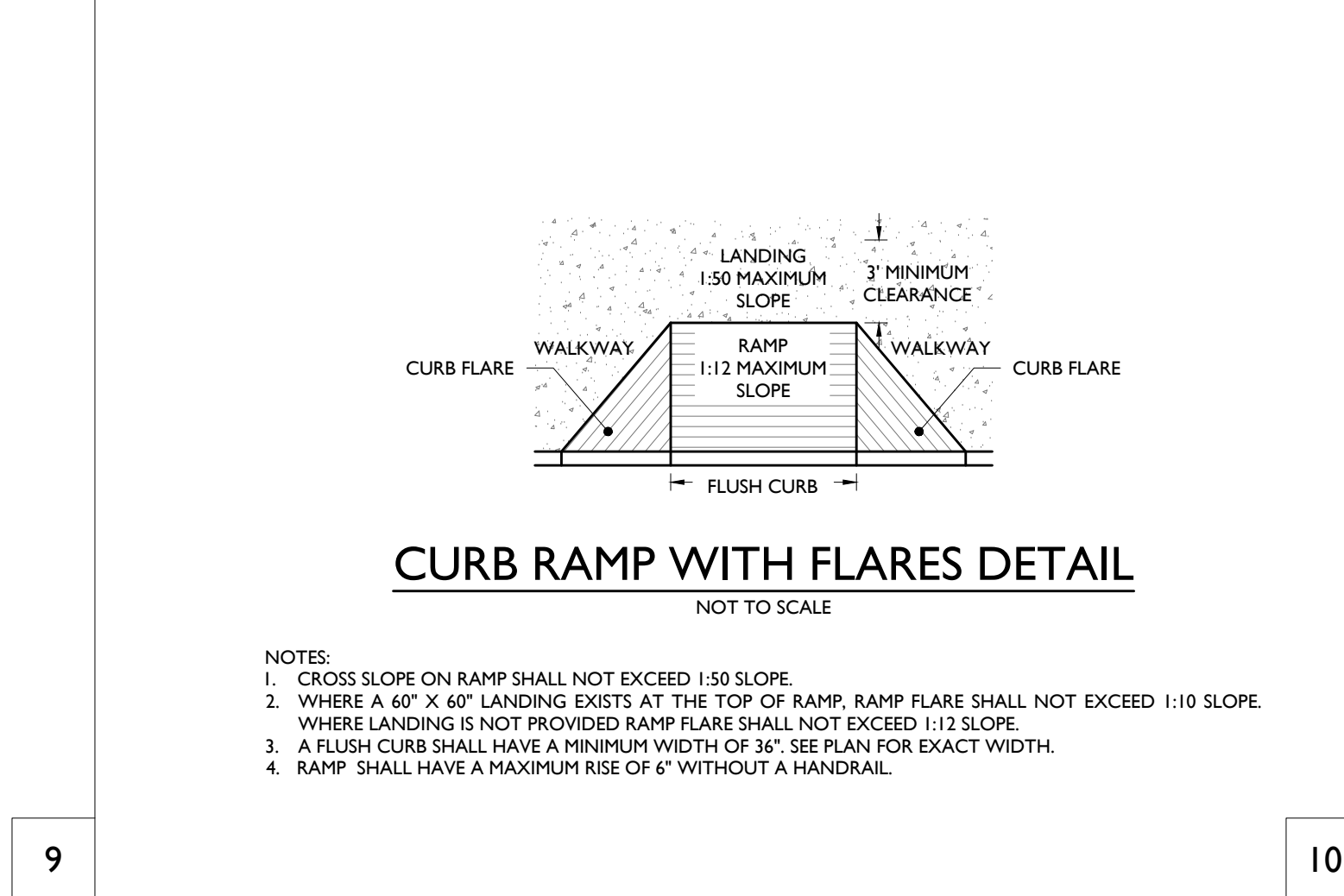
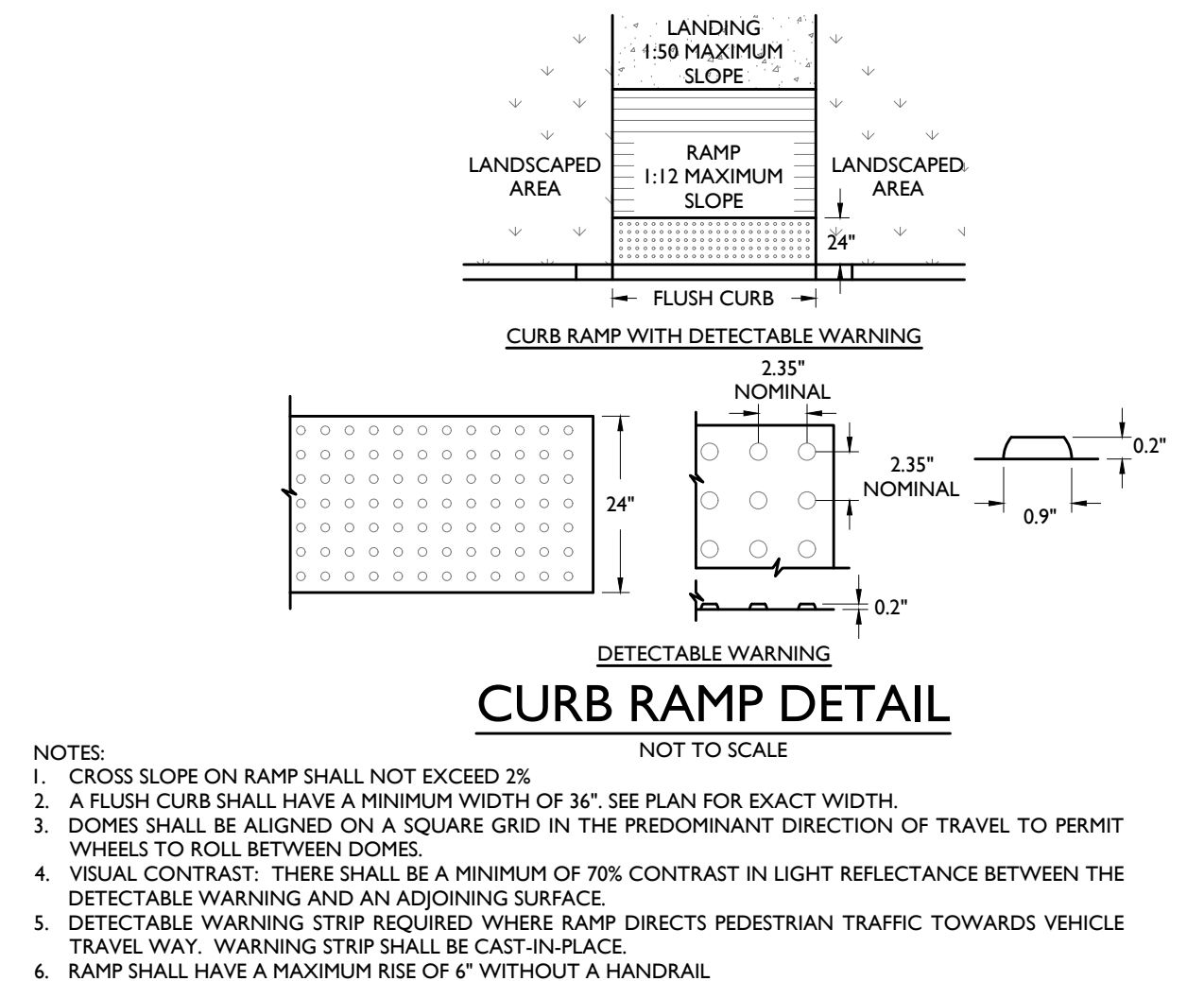
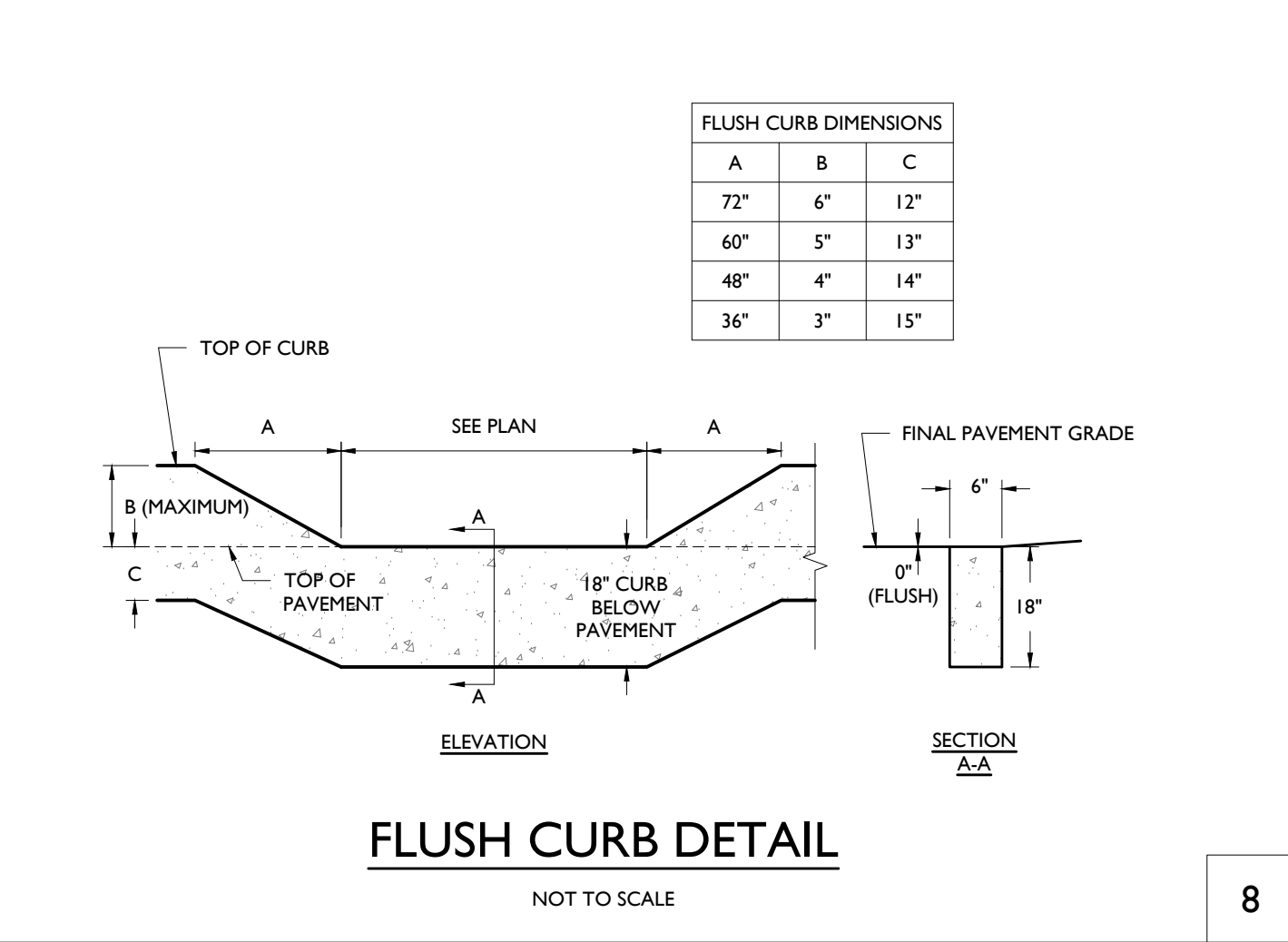
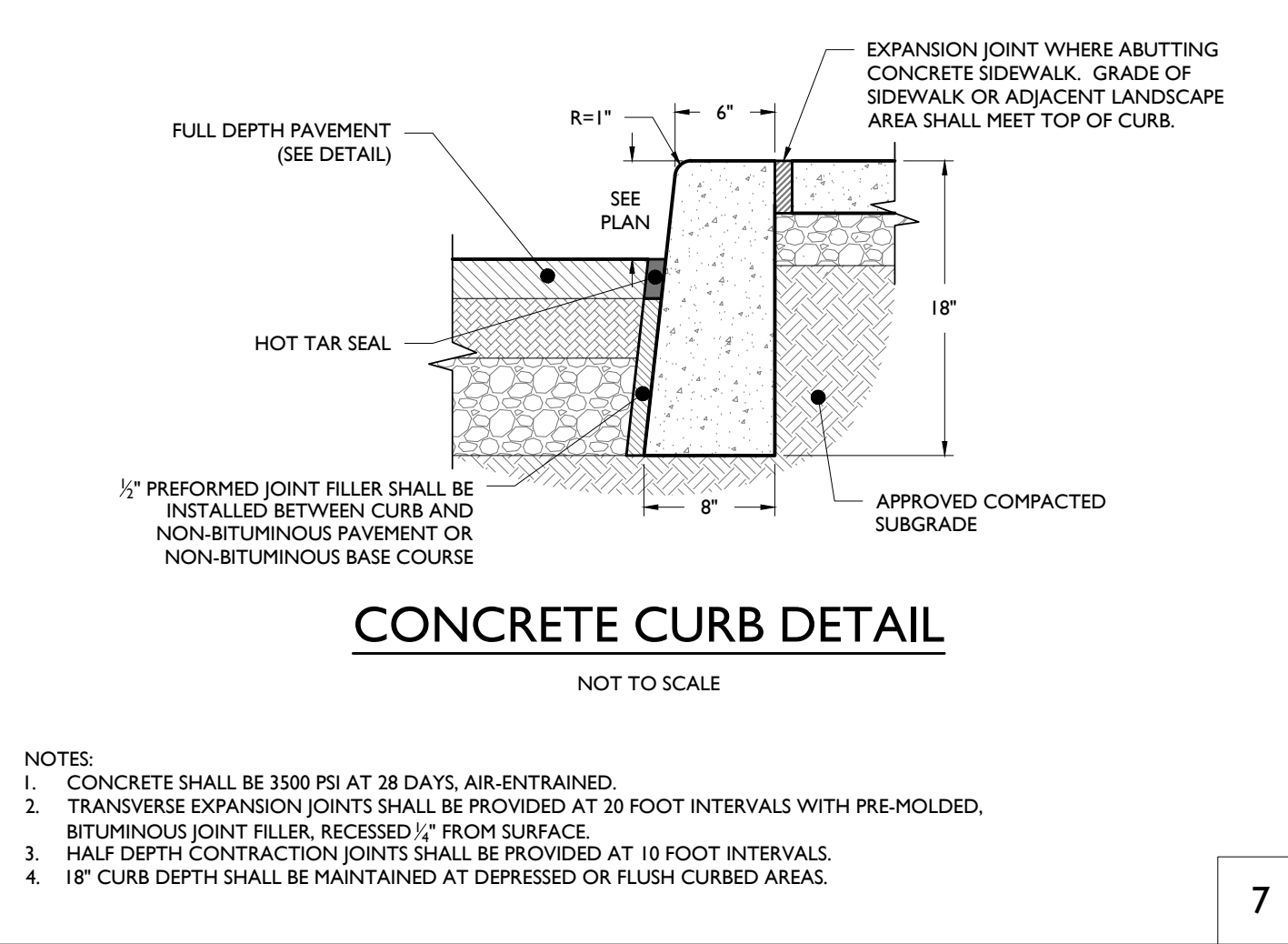
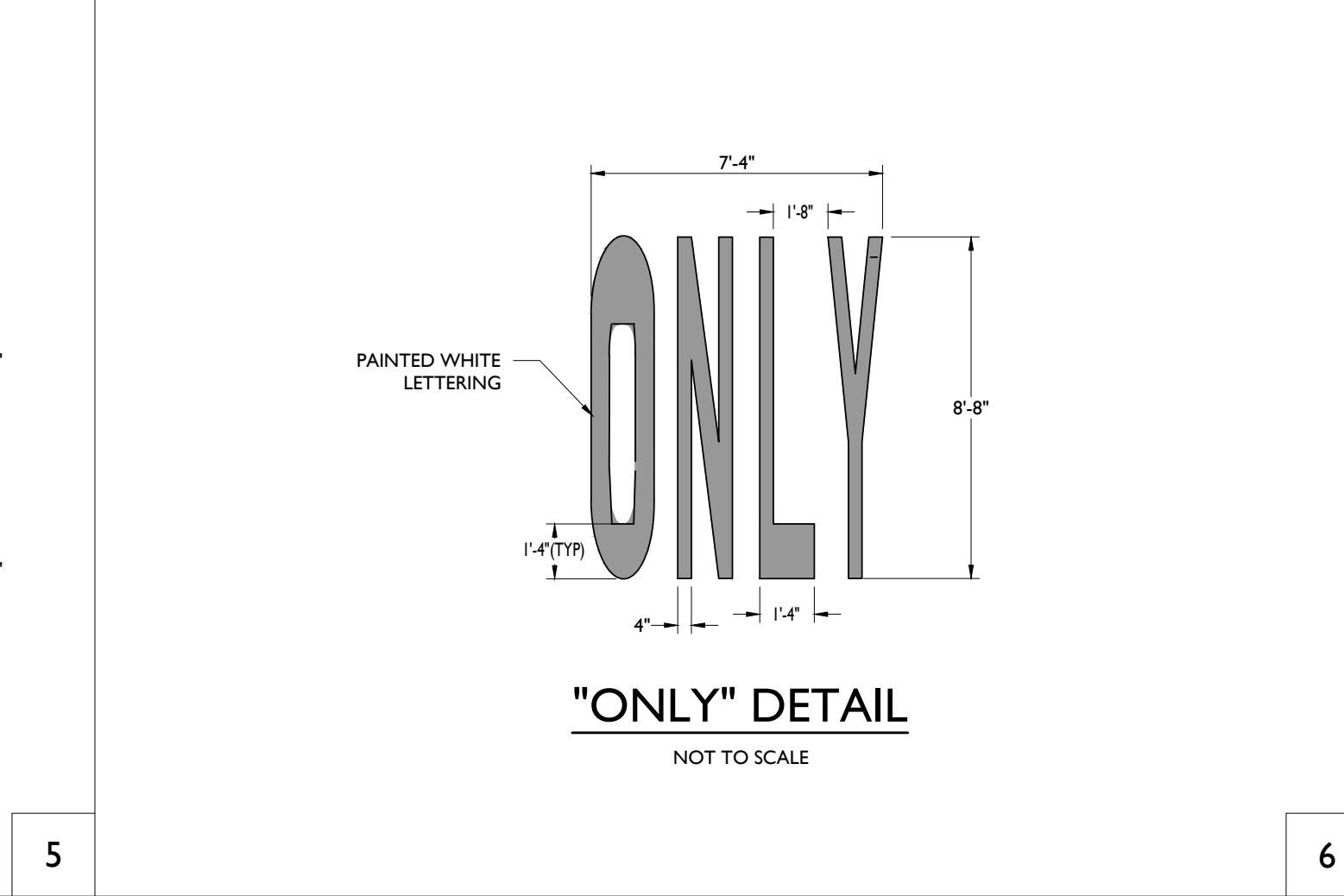
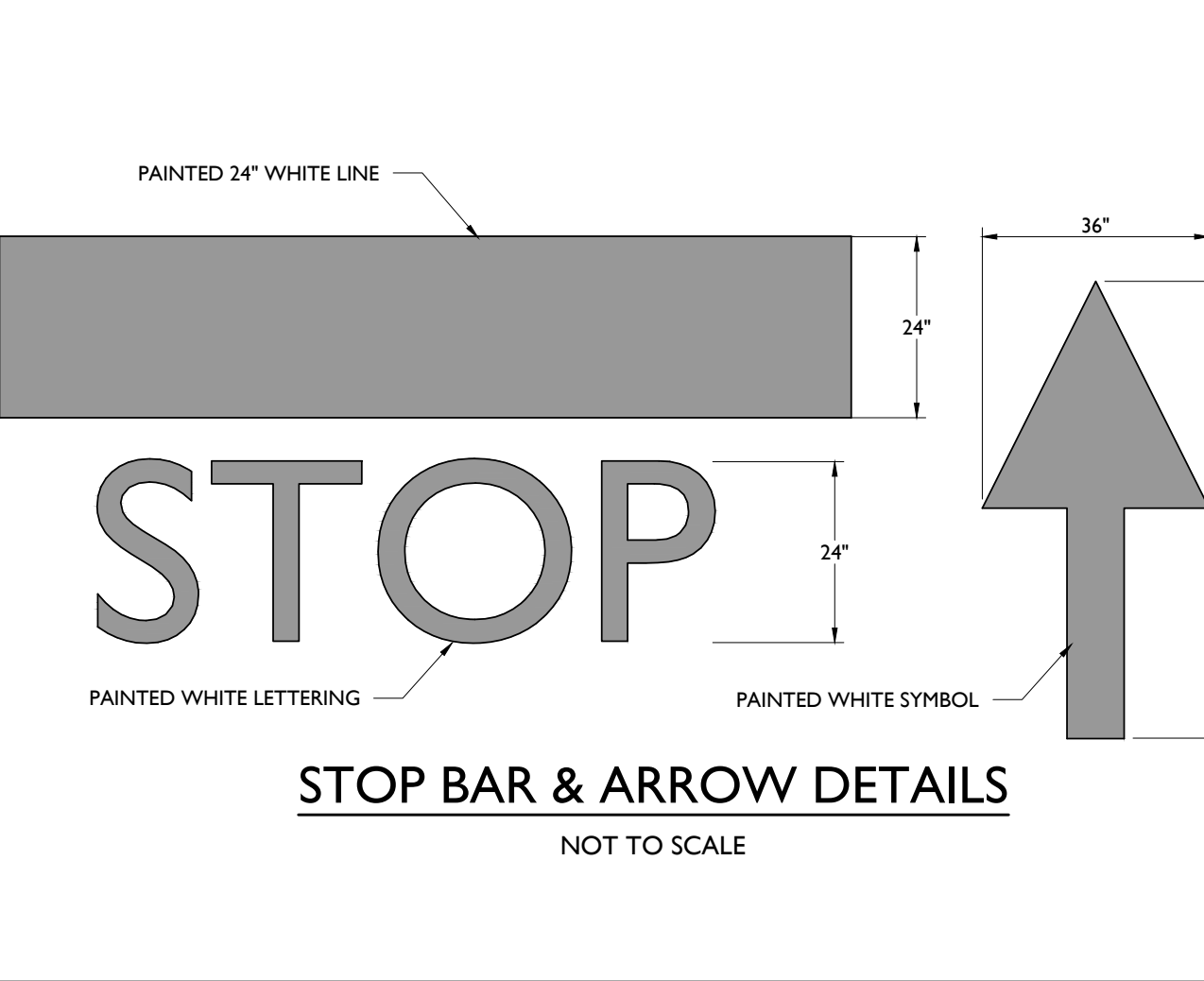
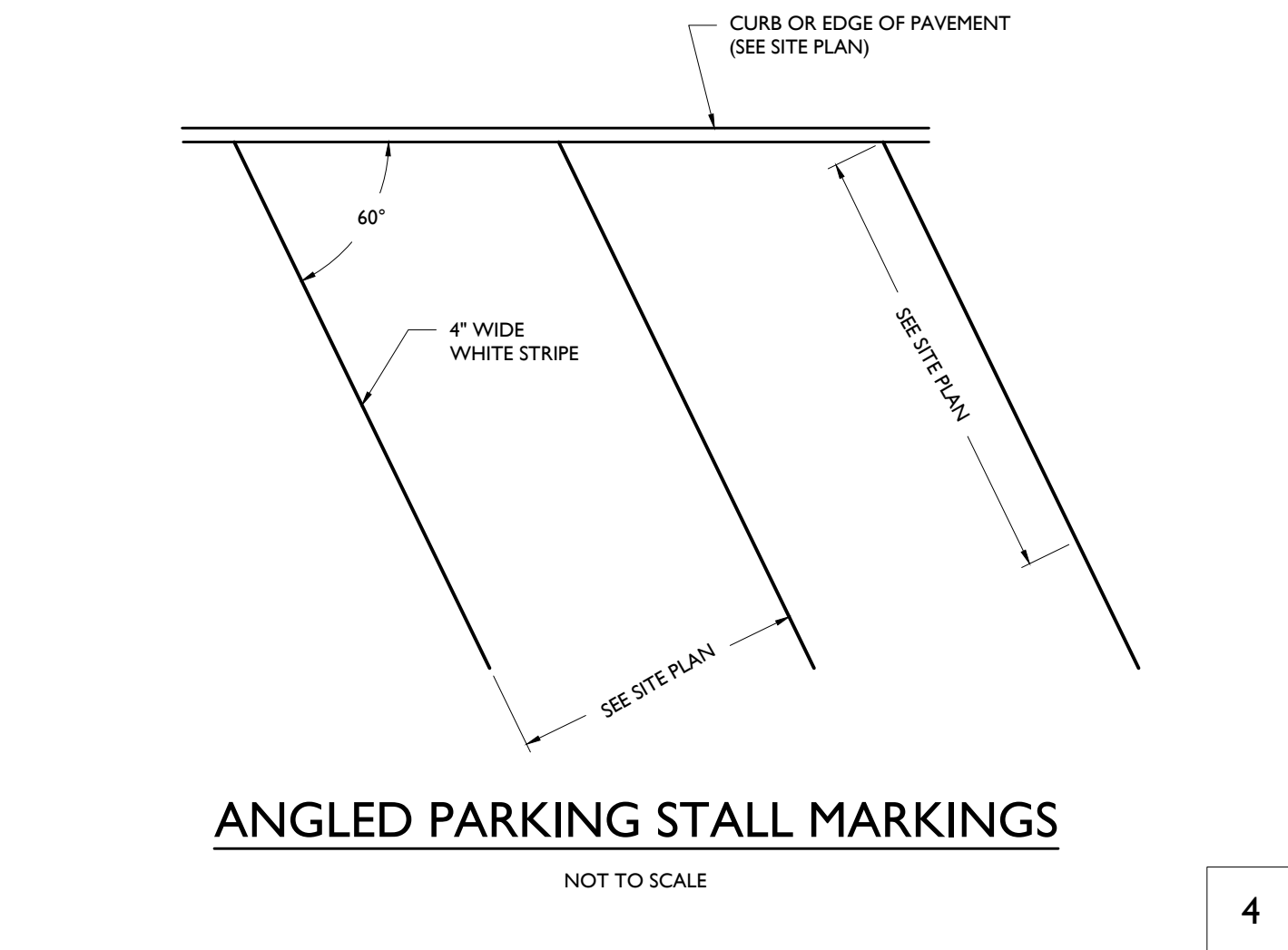
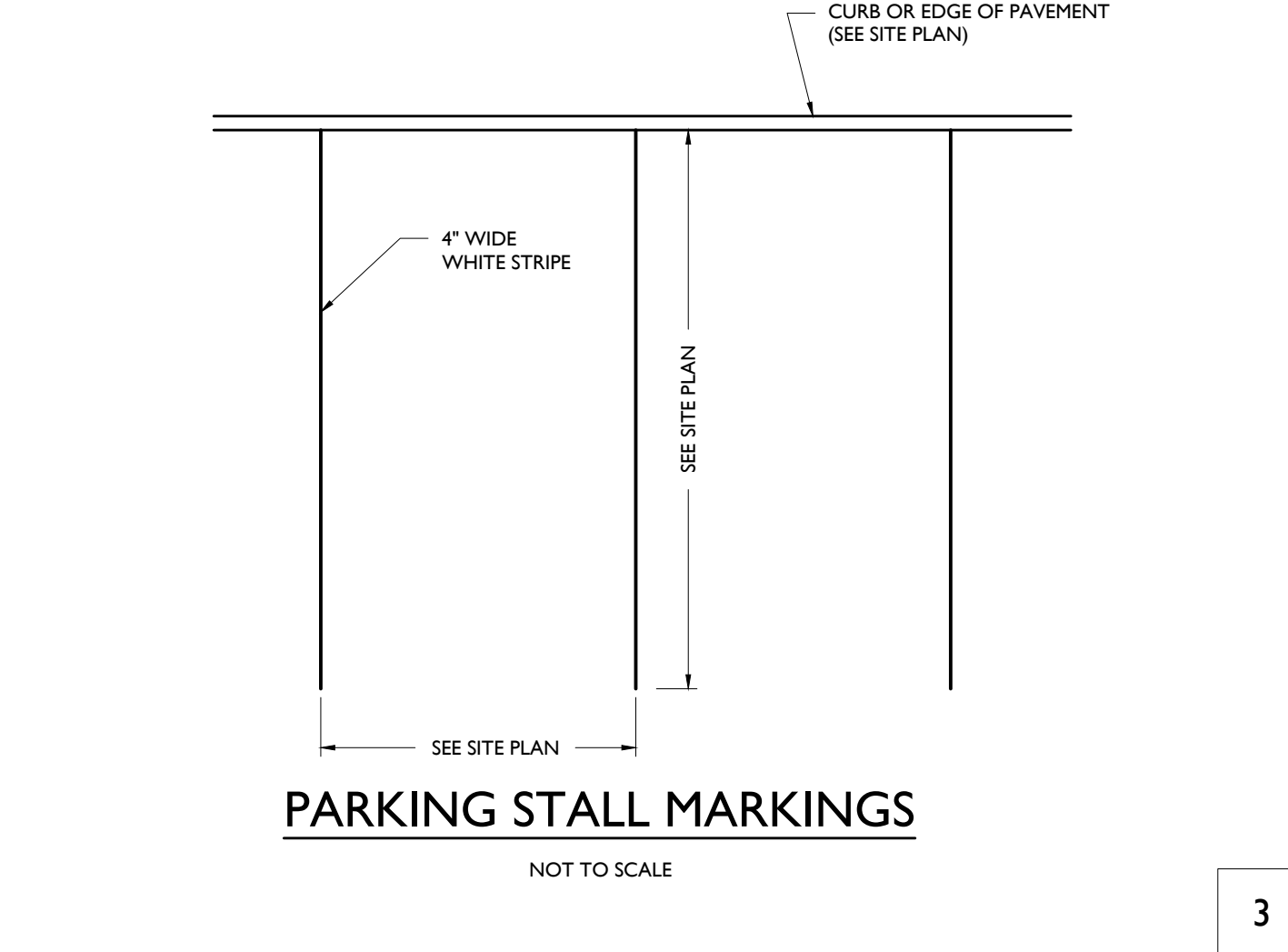
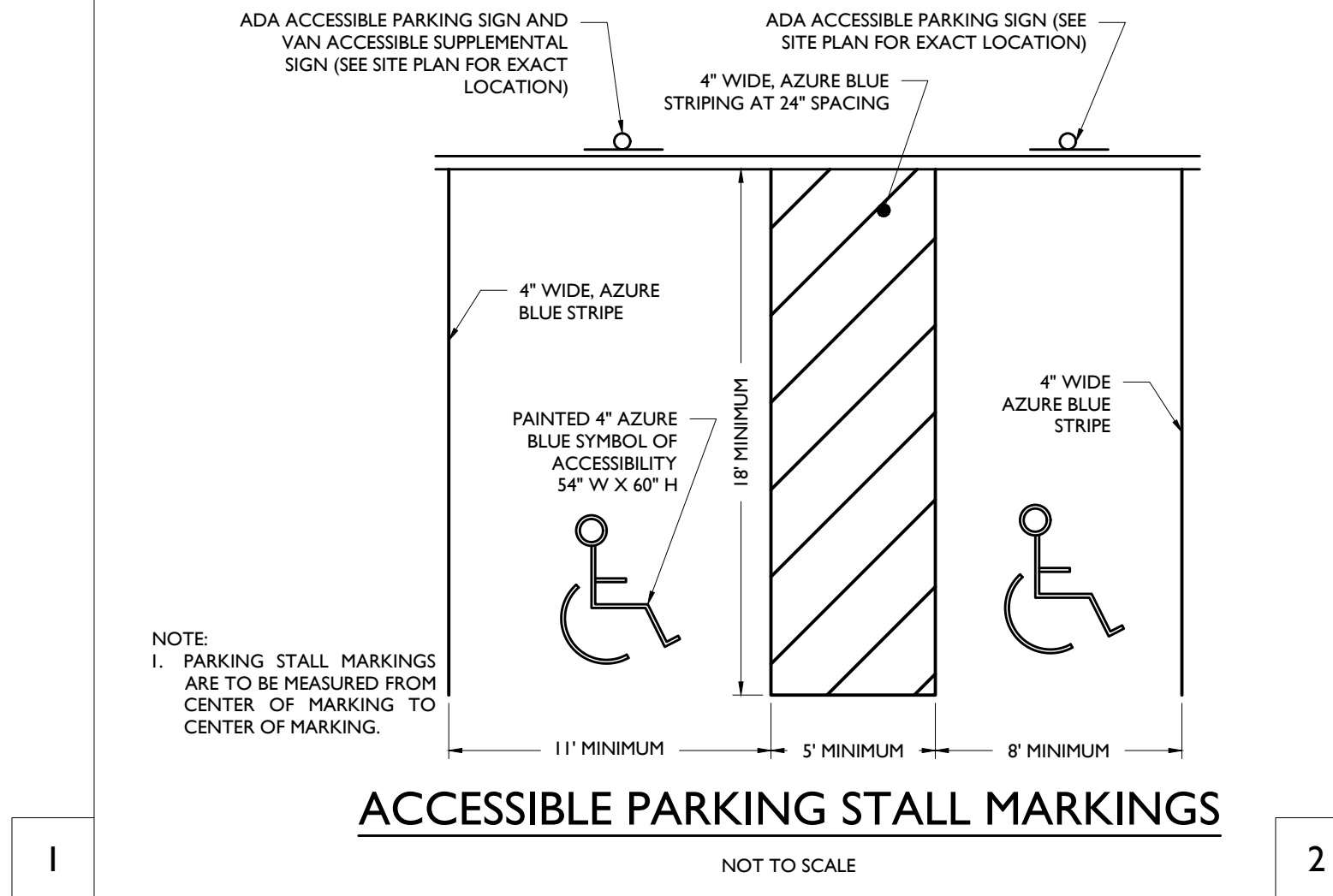
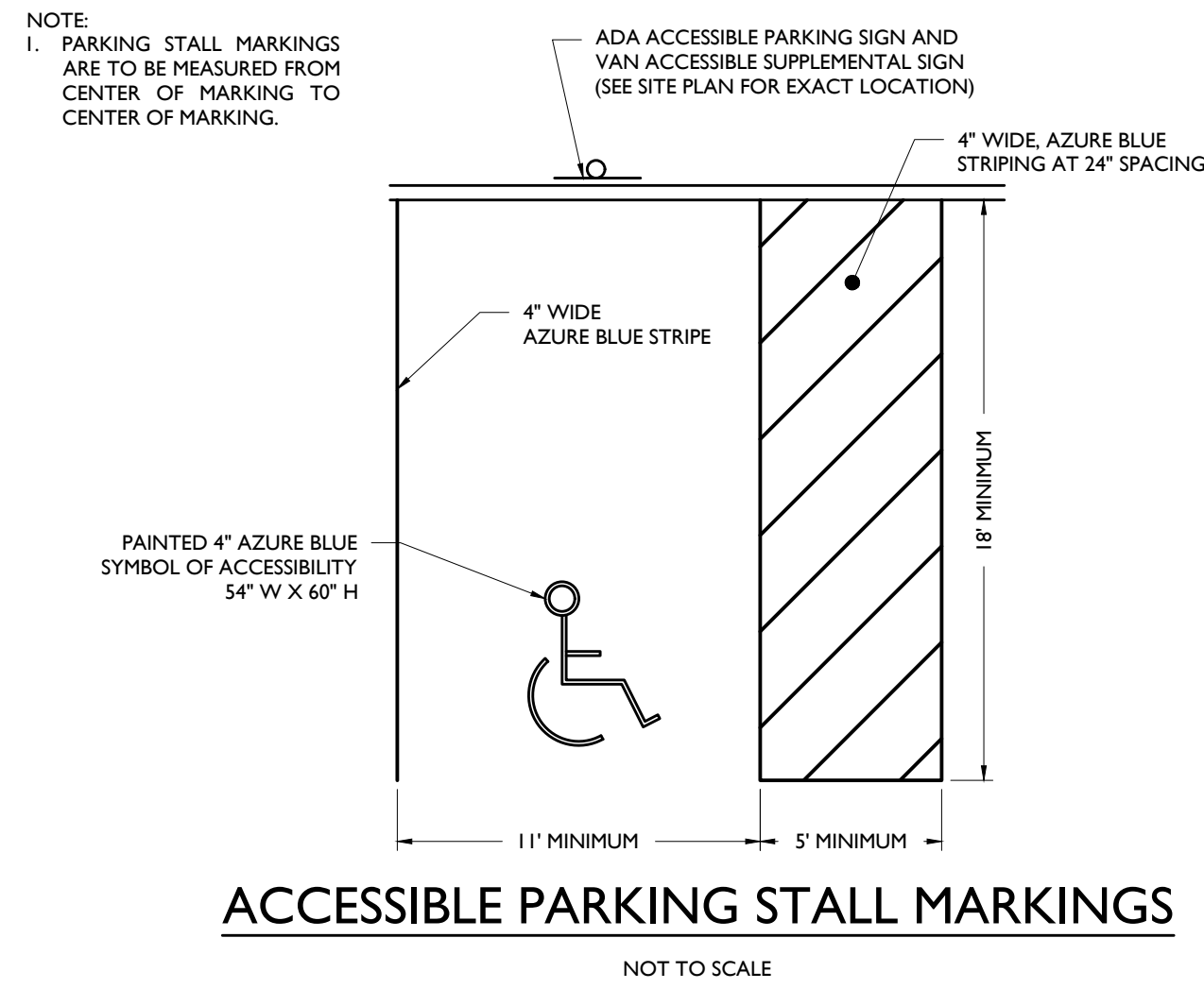
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TITLE:
NJDEP TREE REPLANTING PLAN

DRAWING:

C-12A

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NO.	DATE	ISSUE	BY	DESCRIPTION
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LICENSED PROFESSIONAL ENGINEER

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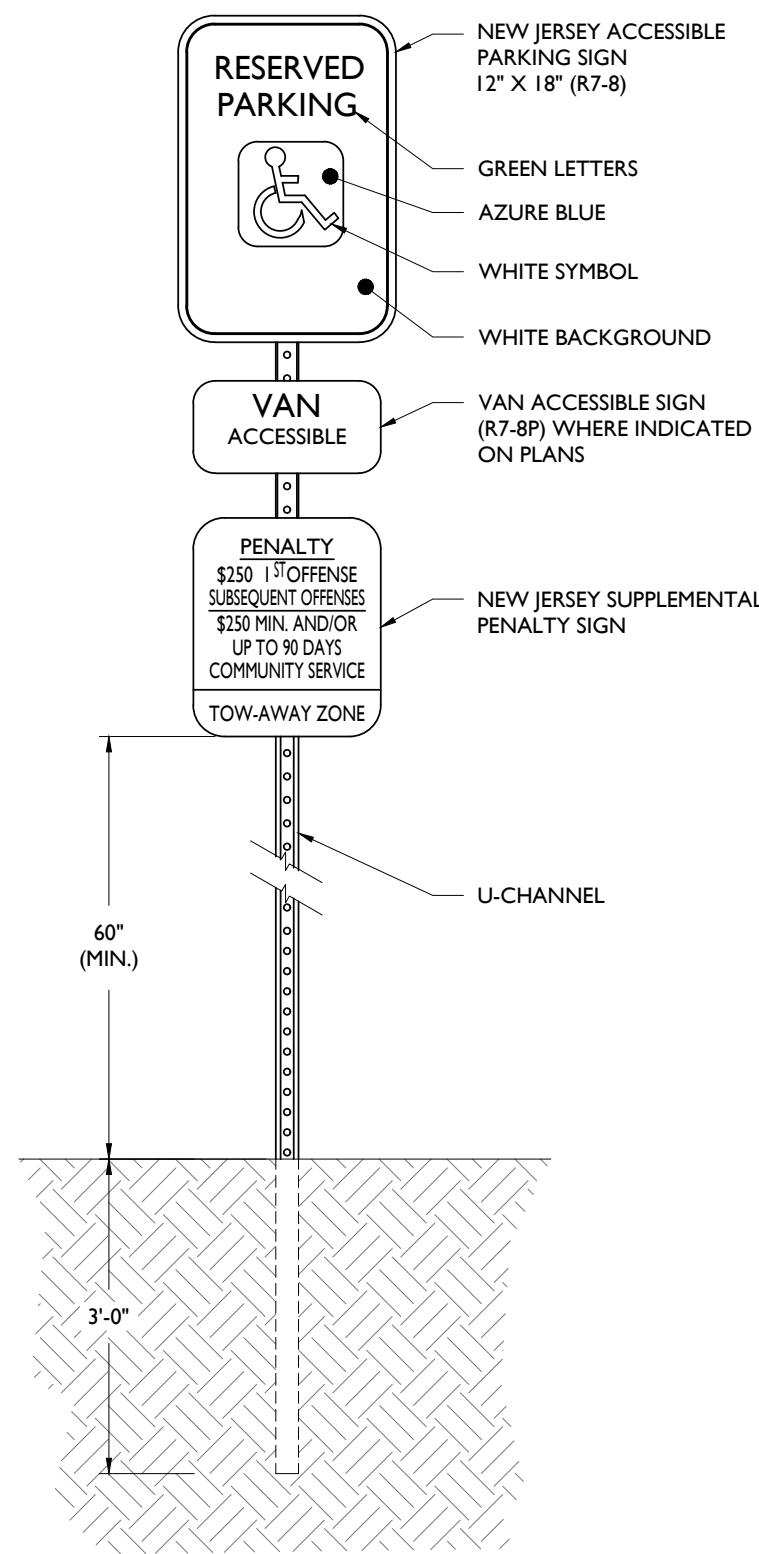
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TITLE:
CONSTRUCTION DETAILS

DRAWING:

C-14

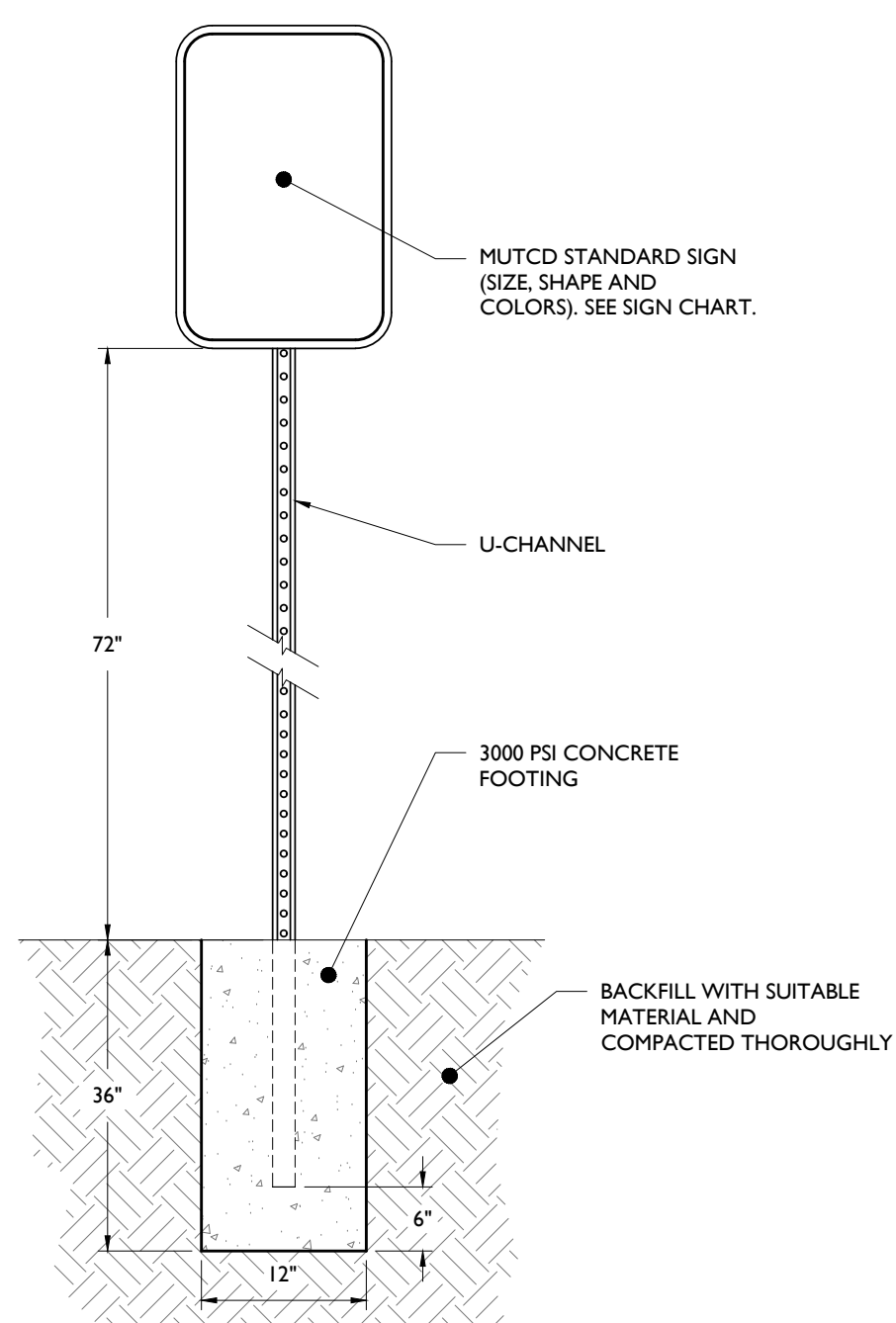
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ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

1



SIGN POST DETAIL

NOT TO SCALE

2

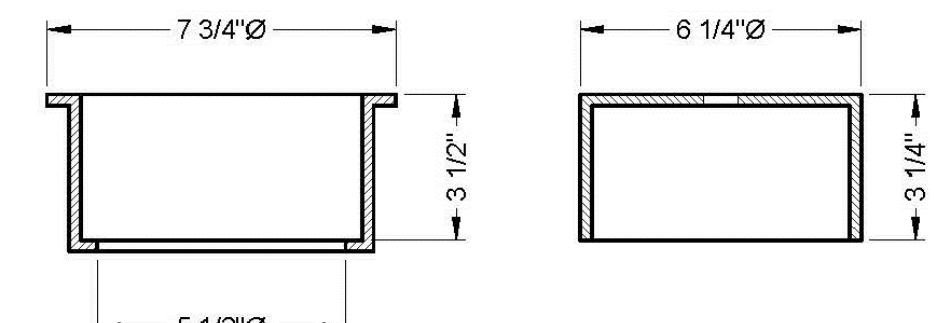
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)	STOP	WHITE	RED	36"x36"	GROUND
DO NOT ENTER (R5-1)	DO NOT ENTER	RED	WHITE	30"x30"	GROUND

NOTE:
 1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
 2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE

NOT TO SCALE

3



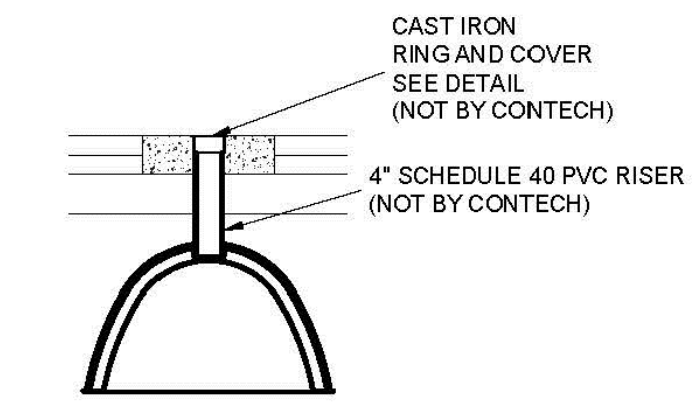
RING AND COVER DETAIL

NOT TO SCALE

INSTALLATION NOTES

- CHAMBERMAXX INSTALLATION GUIDE TO BE REVIEWED BY CONTRACTOR PRIOR TO INSTALLATION.
- PRIOR TO PLACING BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, UNSUITABLE MATERIAL SHALL BE REMOVED AND BROUGHT BACK TO GRADE WITH FILL MATERIAL AS APPROVED BY THE ENGINEER OF RECORD. ONCE THE FOUNDATION PREPARATION IS COMPLETE, THE BEDDING MATERIAL CAN BE PLACED.
- THE SCOUR PROTECTION NETTING TO EXTEND 1'-0" BEYOND OUTSIDE EDGE OF INLET CHAMBERS.
- COVER ANY OPEN VOID SPACES GREATER THAN 3/4" ON CHAMBERS WITH A NON-WOVEN GEOTEXTILE TO PREVENT INFILTRATION OF BACKFILL MATERIAL.
- STONE EMBEDMENT MATERIAL SHALL BE INSTALLED TO 95% STANDARD PROCTOR DENSITY AND PLACED IN 8-INCH TO 8-INCH LIFTS SUCH THAT THERE IS NO MORE THAN A TWO LIFT DIFFERENTIAL BETWEEN ANY OF THE CHAMBERS AT ANY TIME. GRANULAR BACKFILL MATERIAL SHALL BE COMPACTED TO 90% SPD. BACKFILLING SHALL BE ADVANCED ALONG THE LENGTH OF THE CHAMBER ROWS AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING AND DISPLACEMENT OF THE CHAMBERS. THE MINIMUM CHAMBER SPACING MUST BE MAINTAINED.
- REFER TO CHAMBERMAXX INSTALLATION GUIDE FOR TEMPORARY CONSTRUCTION LOADING GUIDELINES.
- IT IS ALWAYS THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.
- GENERAL INSTALLATION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH ASTM D2321.

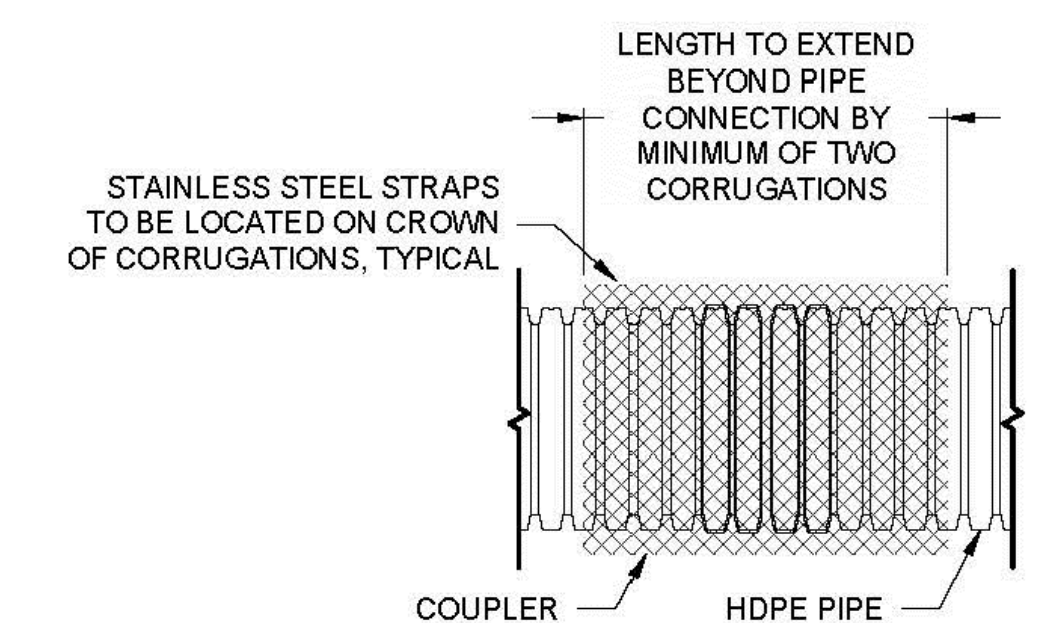
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INSPECTION PORT DETAIL

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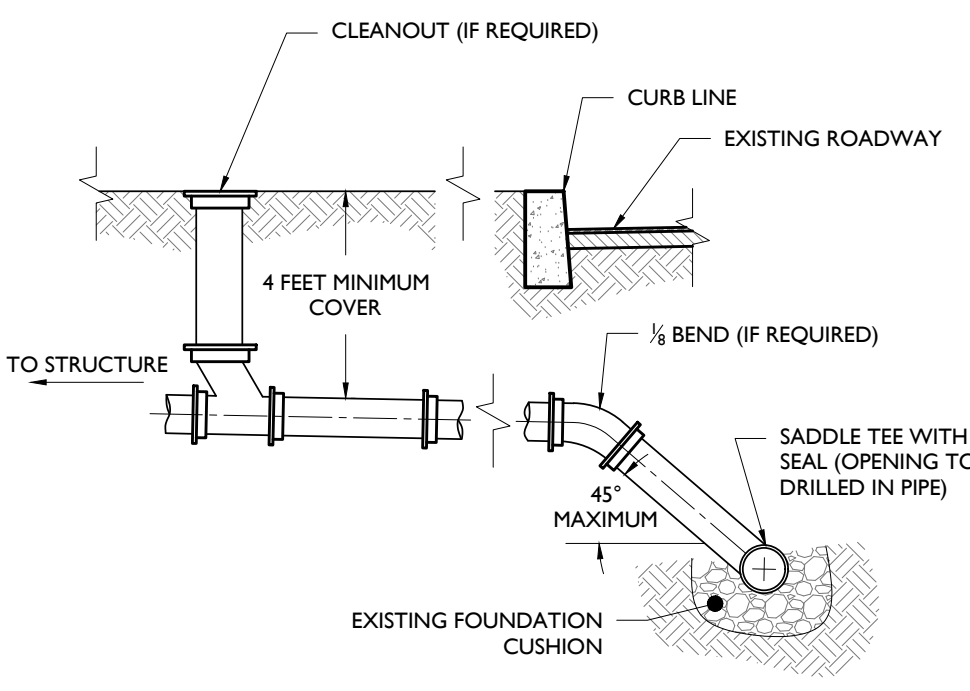
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HDPE COUPLER DETAIL

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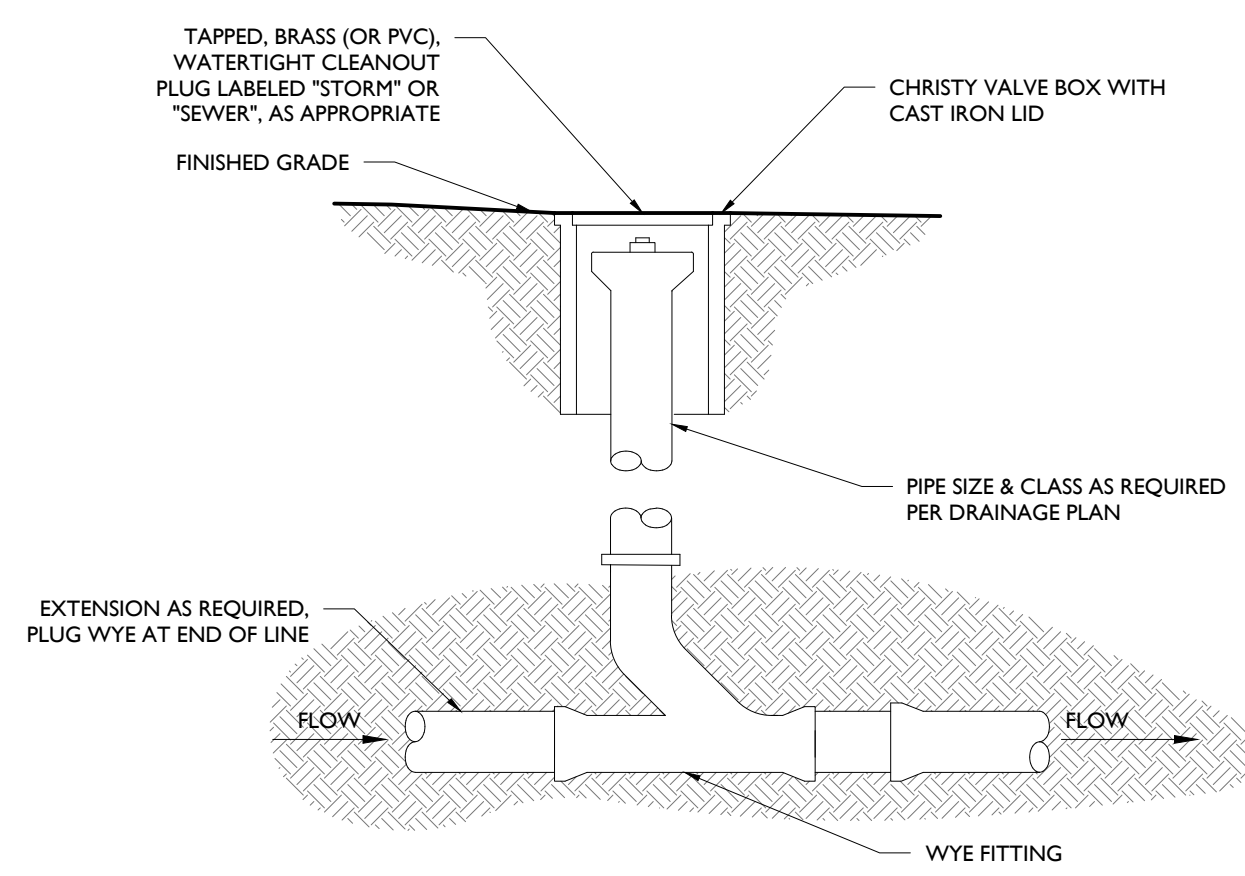
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SEWER CONNECTION DETAIL

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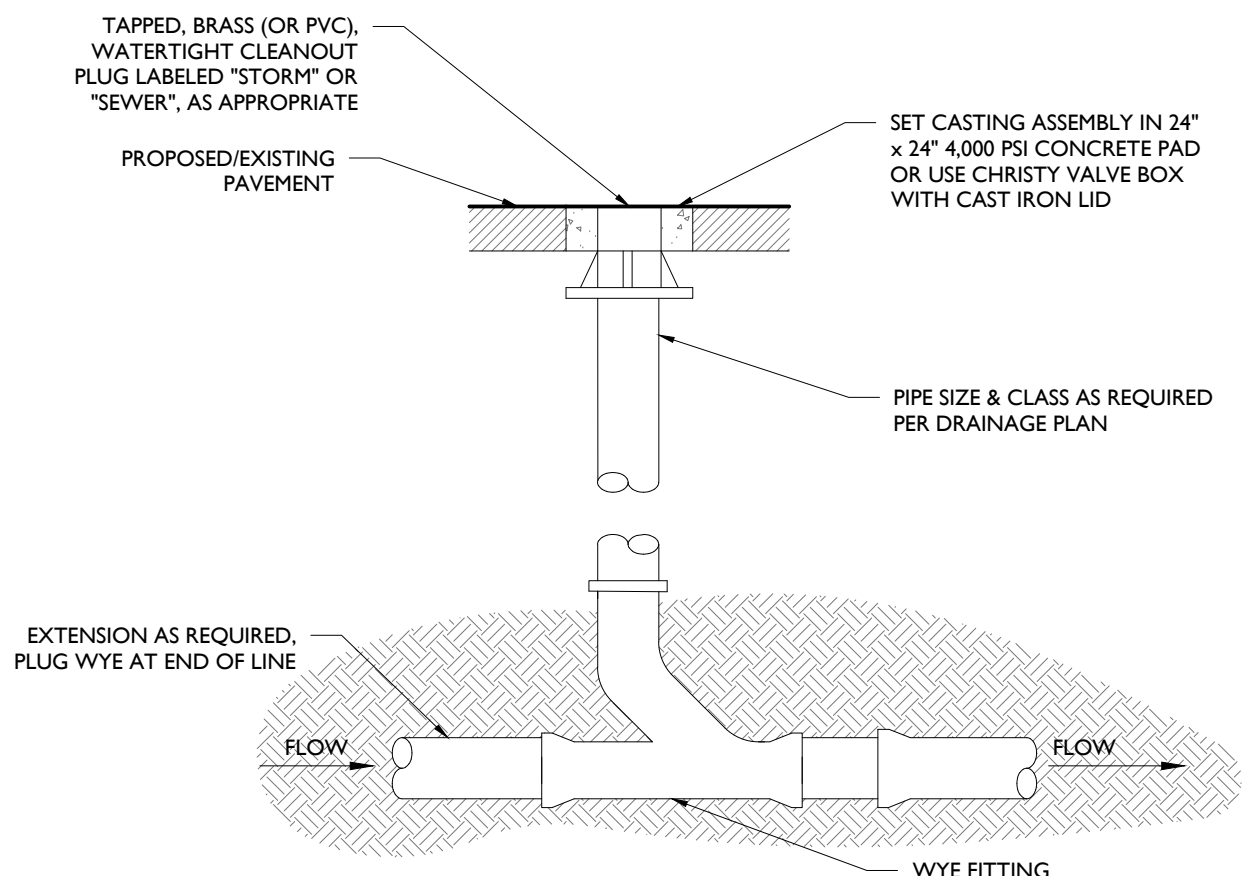
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SOFTSCAPE CLEAN-OUT

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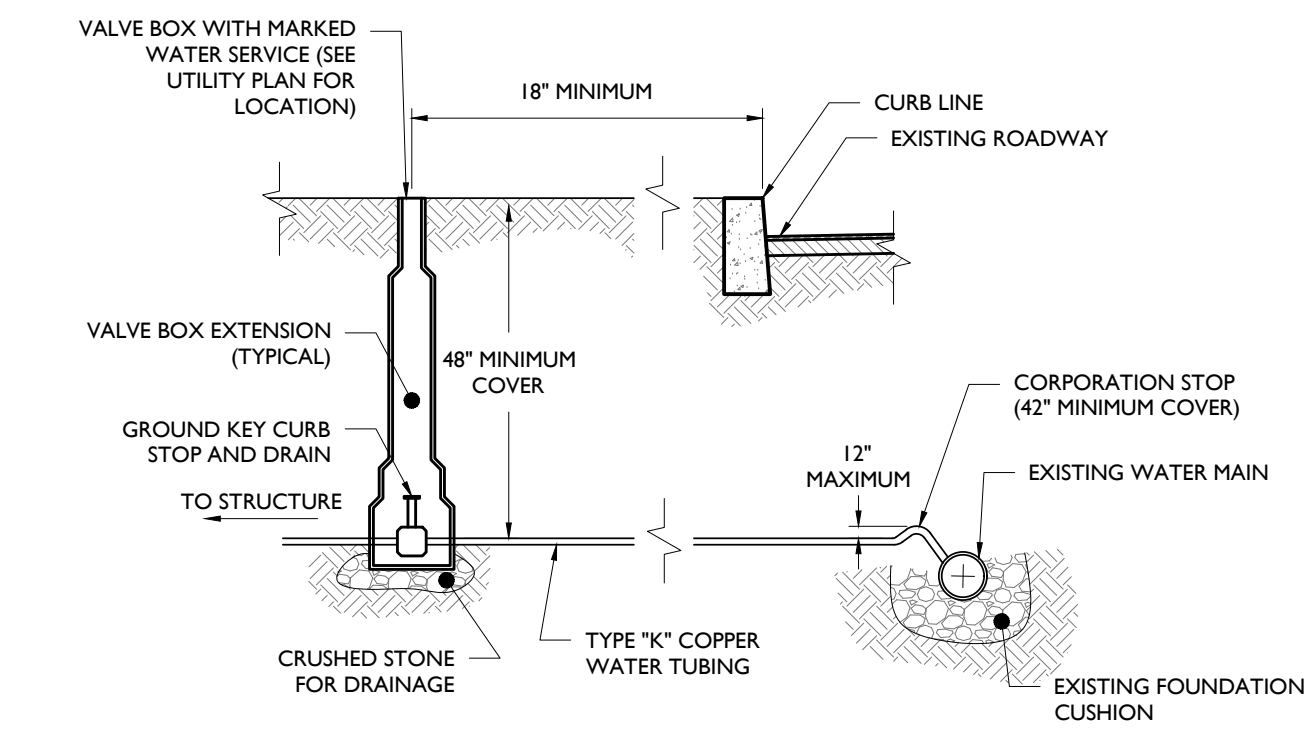
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HARDSCAPE CLEAN-OUT

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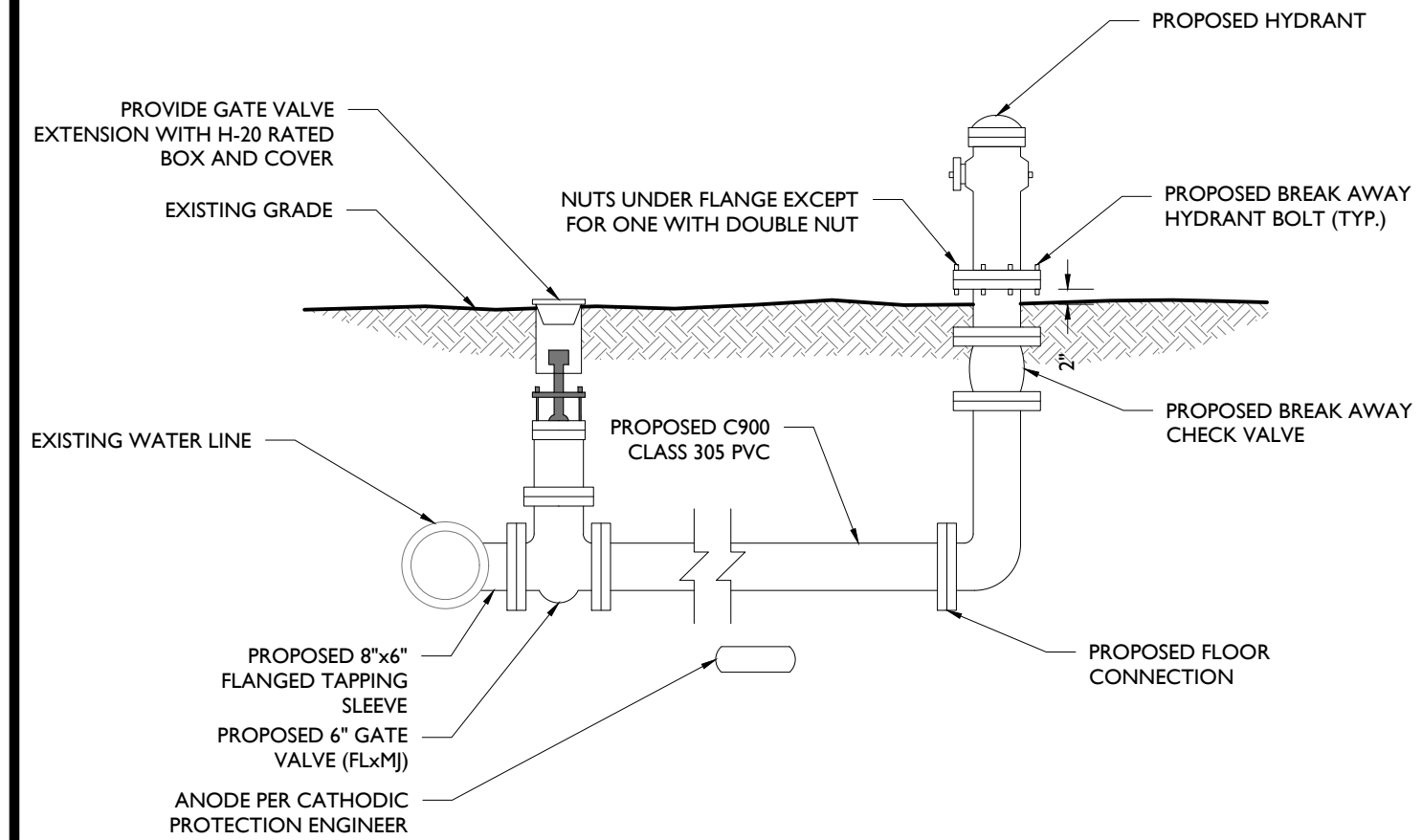
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WATER CONNECTION DETAIL

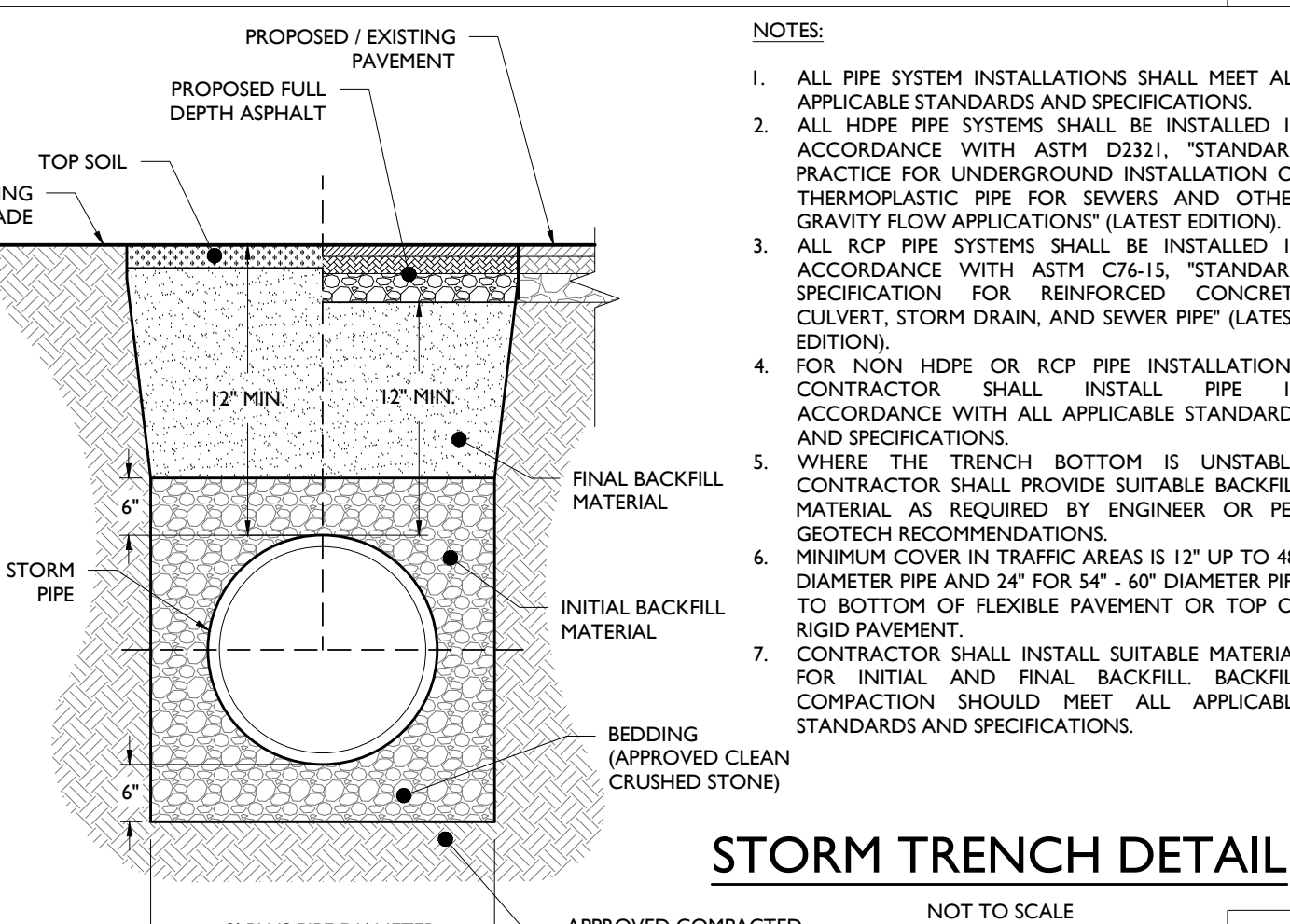
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10



FIRE HYDRANT INSTALLATION

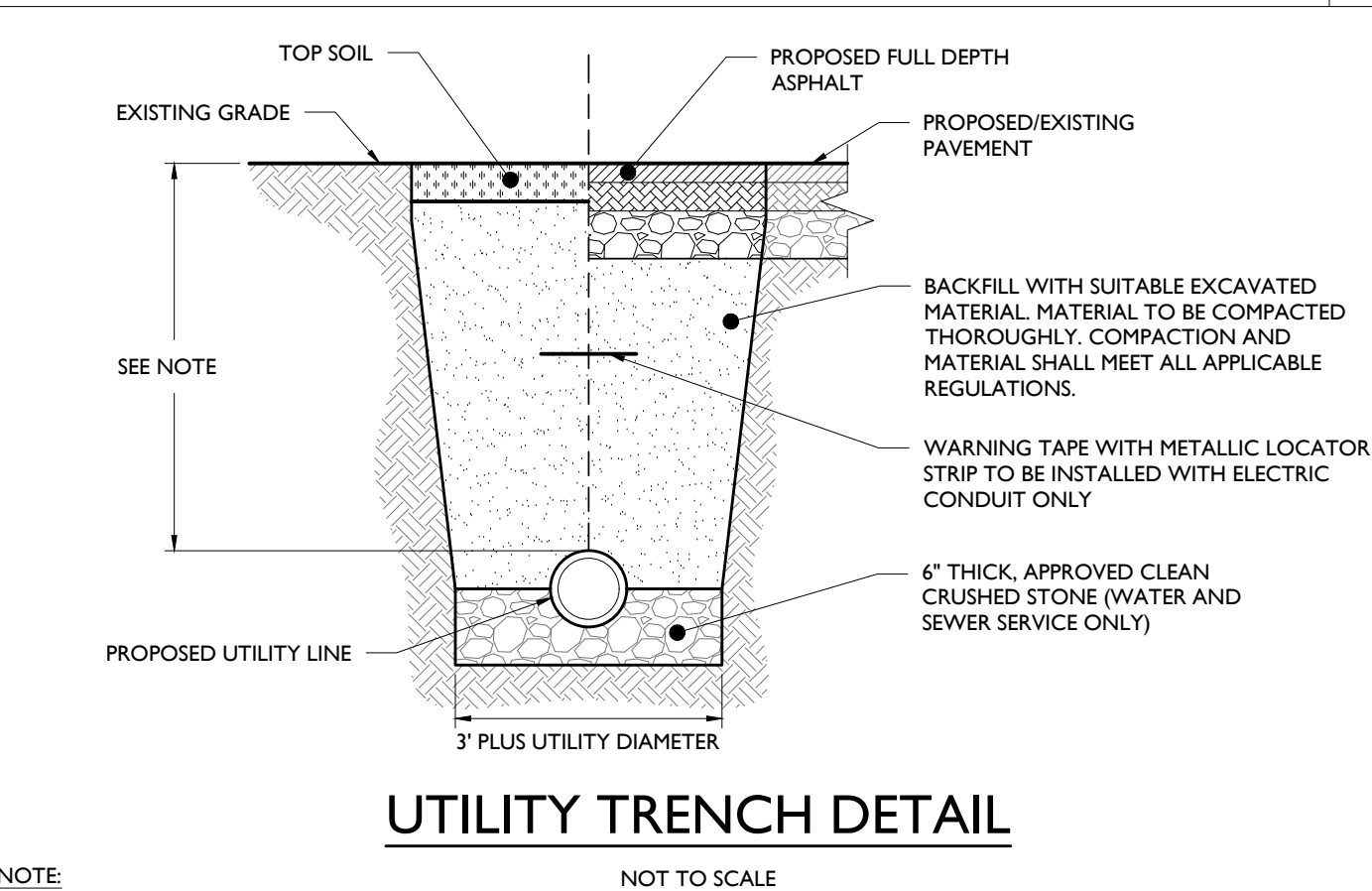
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STORM TRENCH DETAIL

NOT TO SCALE

12



UTILITY TRENCH DETAIL

NOT TO SCALE

- NOTE:
- * ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - * GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - * SEWER SERVICE - 36" MINIMUM
 - * WATER SERVICE - 48" MINIMUM

13

DATE	ISSUE	BY	DESCRIPTION
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01/27/2021	2	AMB	COUNTY SUBMISSION
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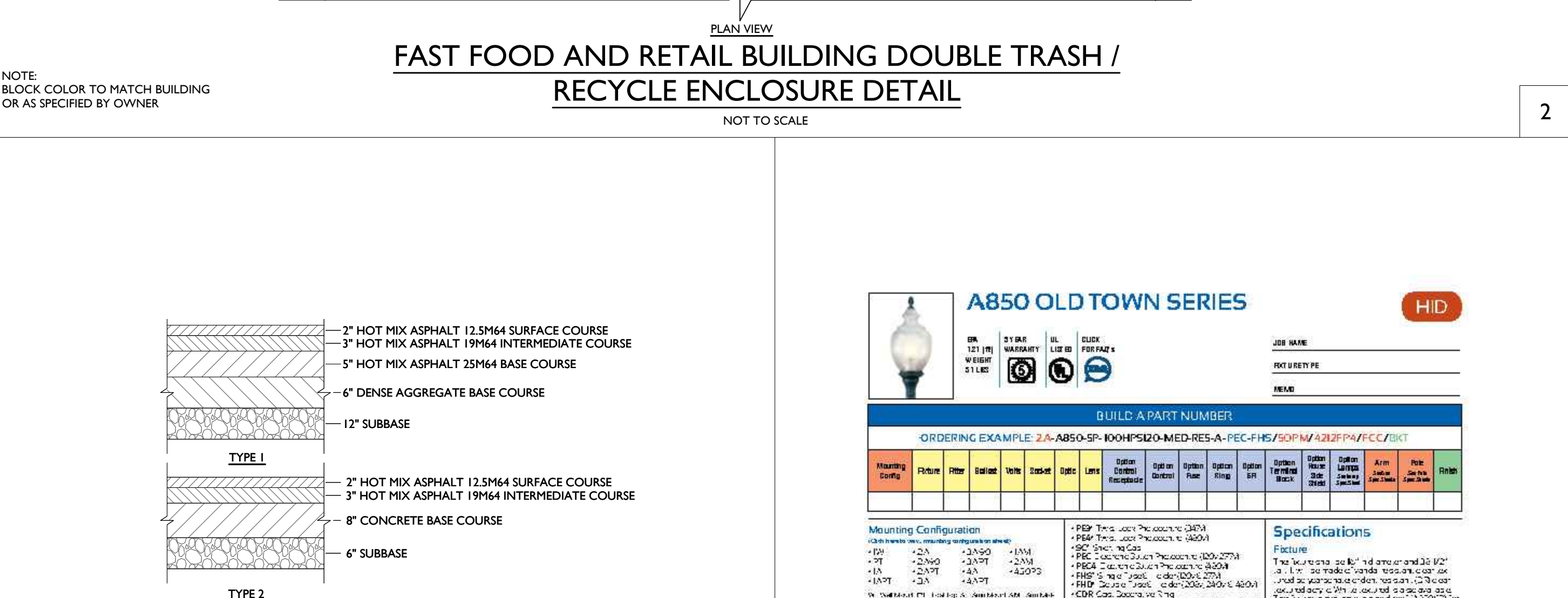
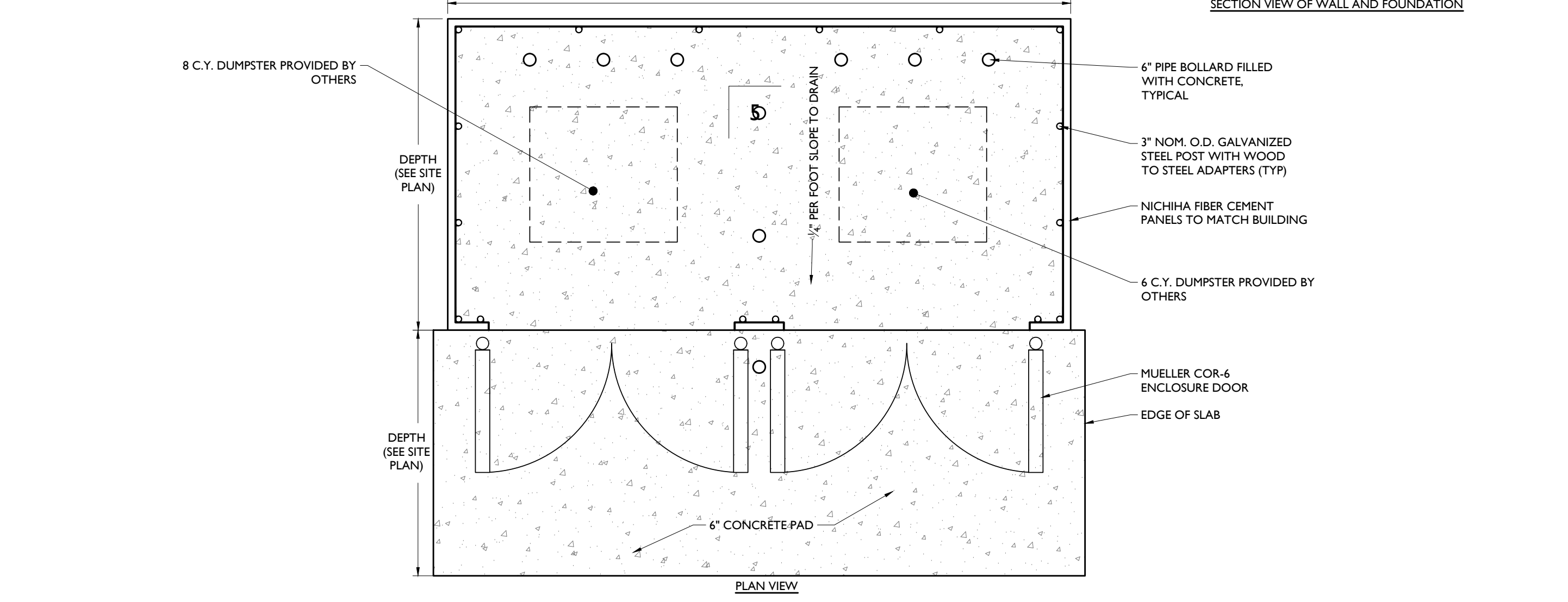
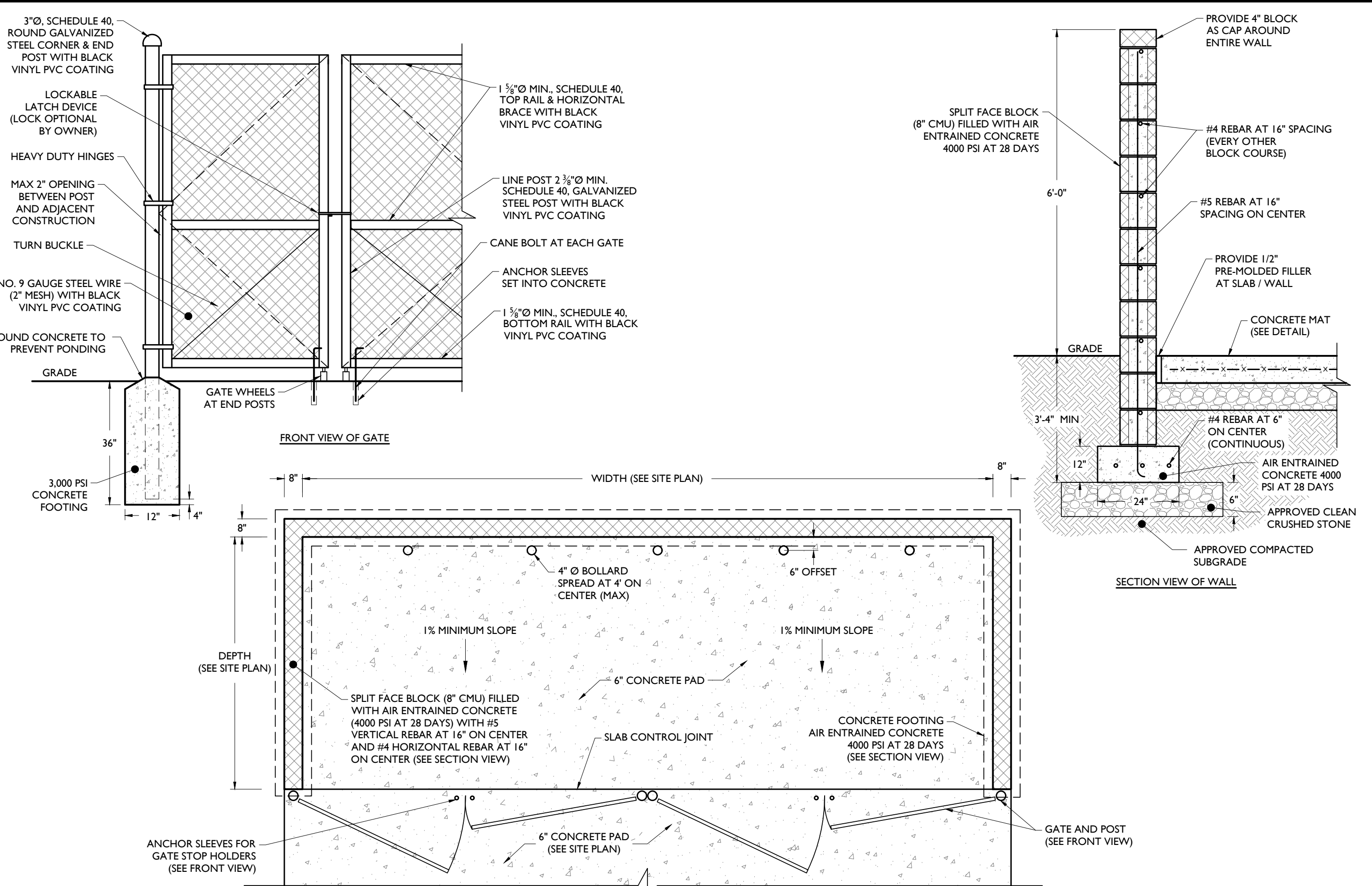
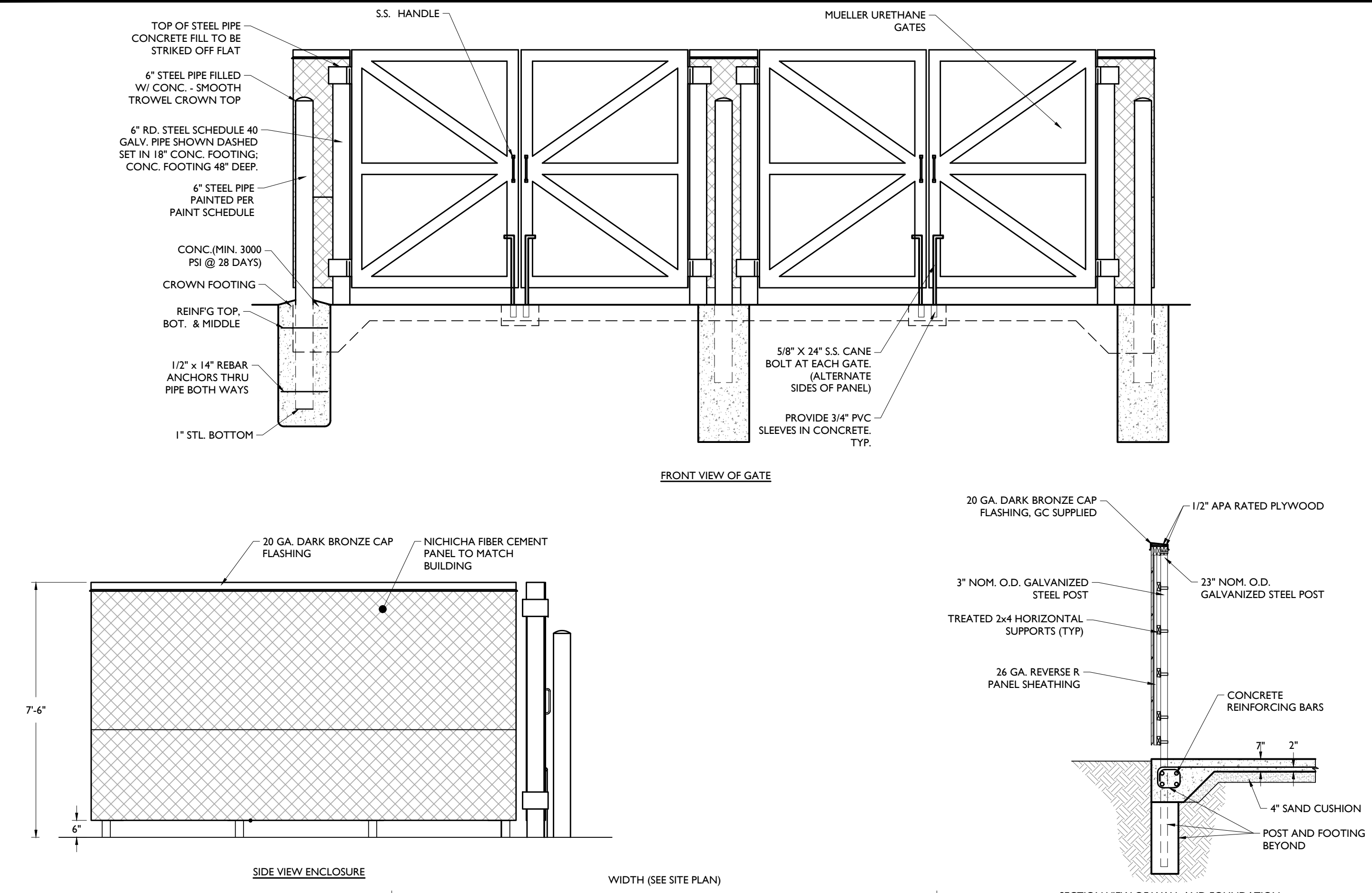
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DRAWING:

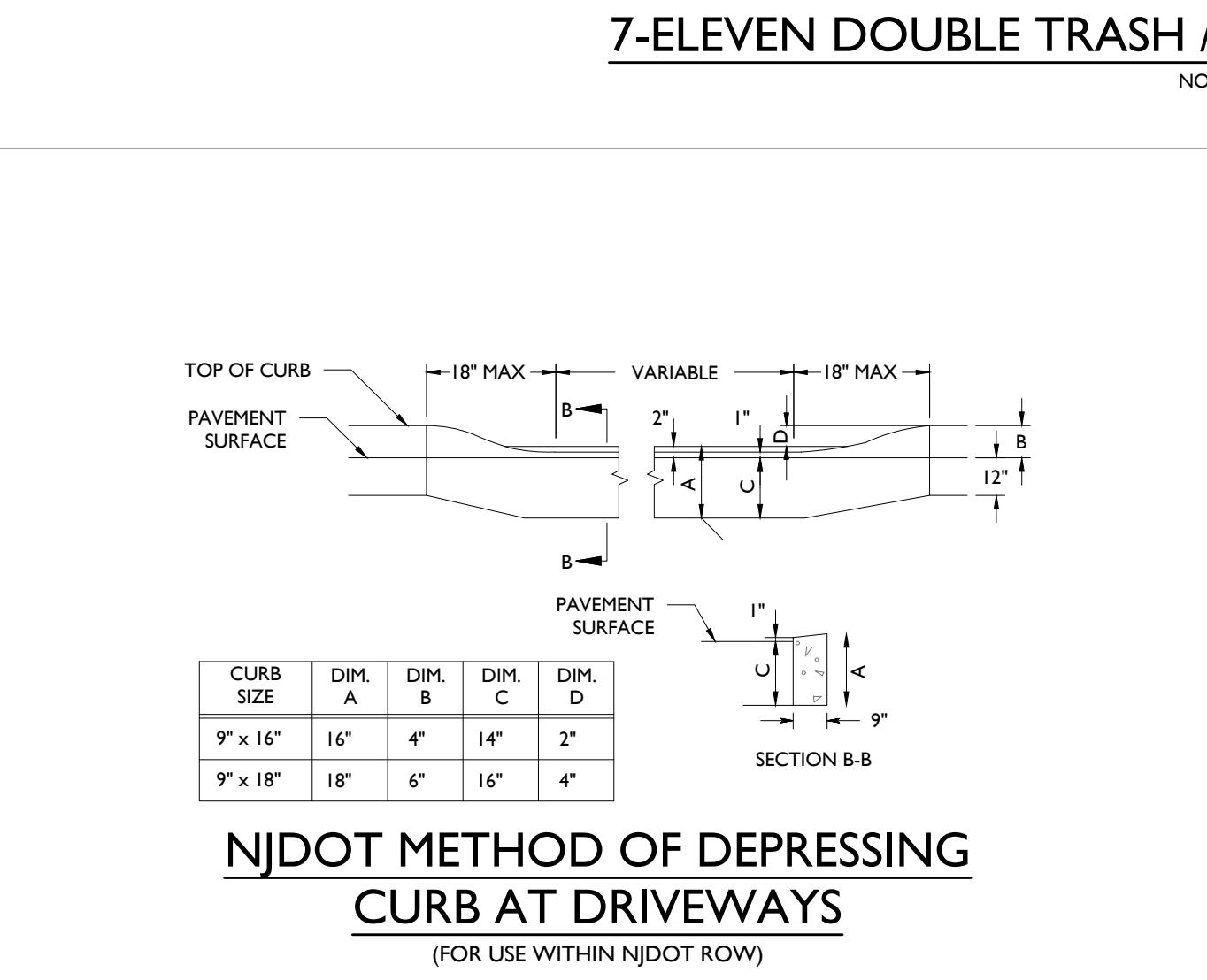
C-15

Z:\PROJECTS\2020\2020-03-10-EDWARDS\DWG\PROP IMP - 704 ROUTE 35, NEPTUNE, NJ\DWG\01-27-2021-4-HDR.DWG

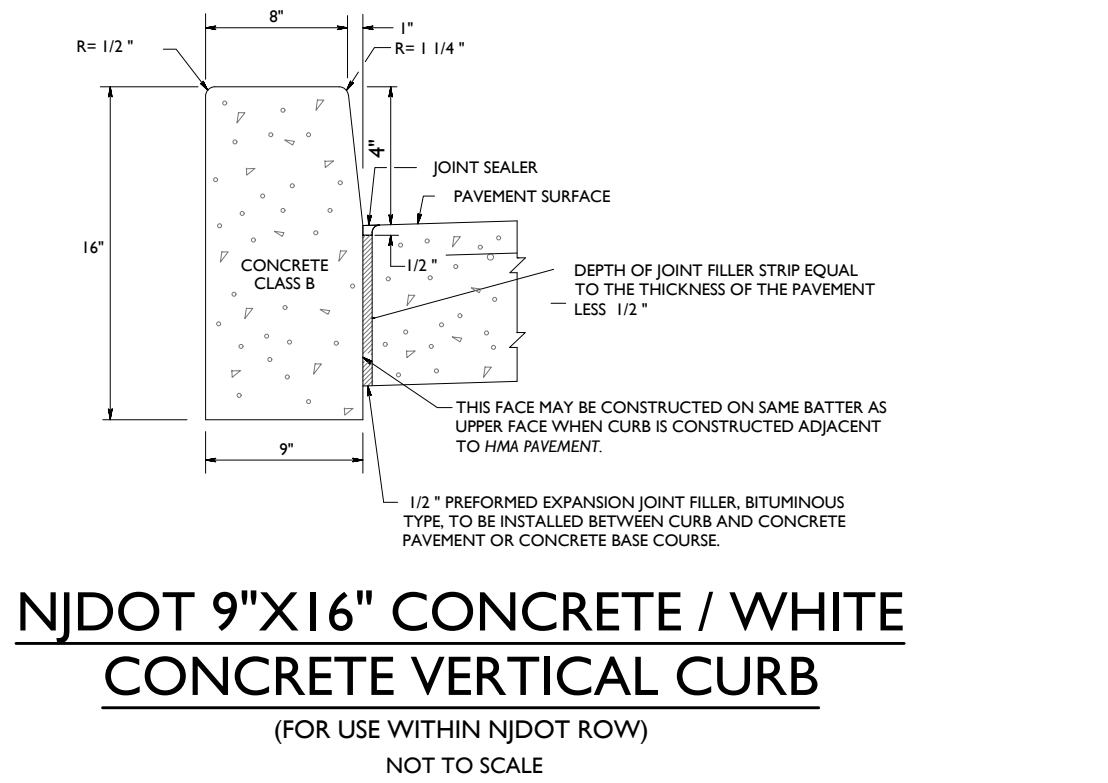


7-ELEVEN DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL
NOT TO SCALE

NJDOT PAVEMENT SECTION AND REPAIR STRIP DETAIL
(FOR USE WITHIN NJDOT ROW)
NOT TO SCALE



NJDOT METHOD OF DEPRESSING CURB AT DRIVEWAYS
(FOR USE WITHIN NJDOT ROW)
NOT TO SCALE



NJDOT 9\"/>

- NOTES:
- FOR AREAS 5.0 FEET OR MORE IN WIDTH, USE TYPE 1.
 - FOR AREAS LESS THAN 5.0 FEET IN WIDTH WHEN PROPER ASPHALT COMPACTION IS NOT POSSIBLE, USE TYPE 2.
 - IF PAVEMENT CONSTRUCTION ENCLOSES AN EXISTING TRAVEL LANE, THE ENTIRE LANE SHALL BE MILLED AND RESURFACED.
 - FOR MILLING AND RESURFACING, USE HOT MIX ASPHALT 12.5 SURFACE COURSE, 2\"/>

A850 OLD TOWN SERIES

12\"/>

Mounting Configuration	Height	Color	Material	Finish
FL (Flashed)	12.5\"/>			

Specifications

9000 Series (Type I) Fixture Option

For use in areas where high visibility is required, the A850 fixture is designed to provide maximum visibility through its clear lens and clear globe. The fixture is designed to be used in areas where high visibility is required, such as parking garages, tunnels, and other areas where high visibility is required.

Ordering Example: 2A-A850-SP-100HPS20-MED-RES-A-PEC-FH2/50P/W/42R/PV/FC/BJCT

DATE	BY	DESCRIPTION
03/10/2021	AMB	COUNTY SUBMISSION
01/27/2021	AMB	COUNTY SUBMISSION
12/29/20	PC	FIRST SUBMISSION
	ISSUE	

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Phone 609.362.6900

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M&M NEPTUNE, LLC

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704 N.J. ROUTE 35
TOWNSHIP OF NEPTUNE
MORRISTOWN COUNTY, NEW JERSEY

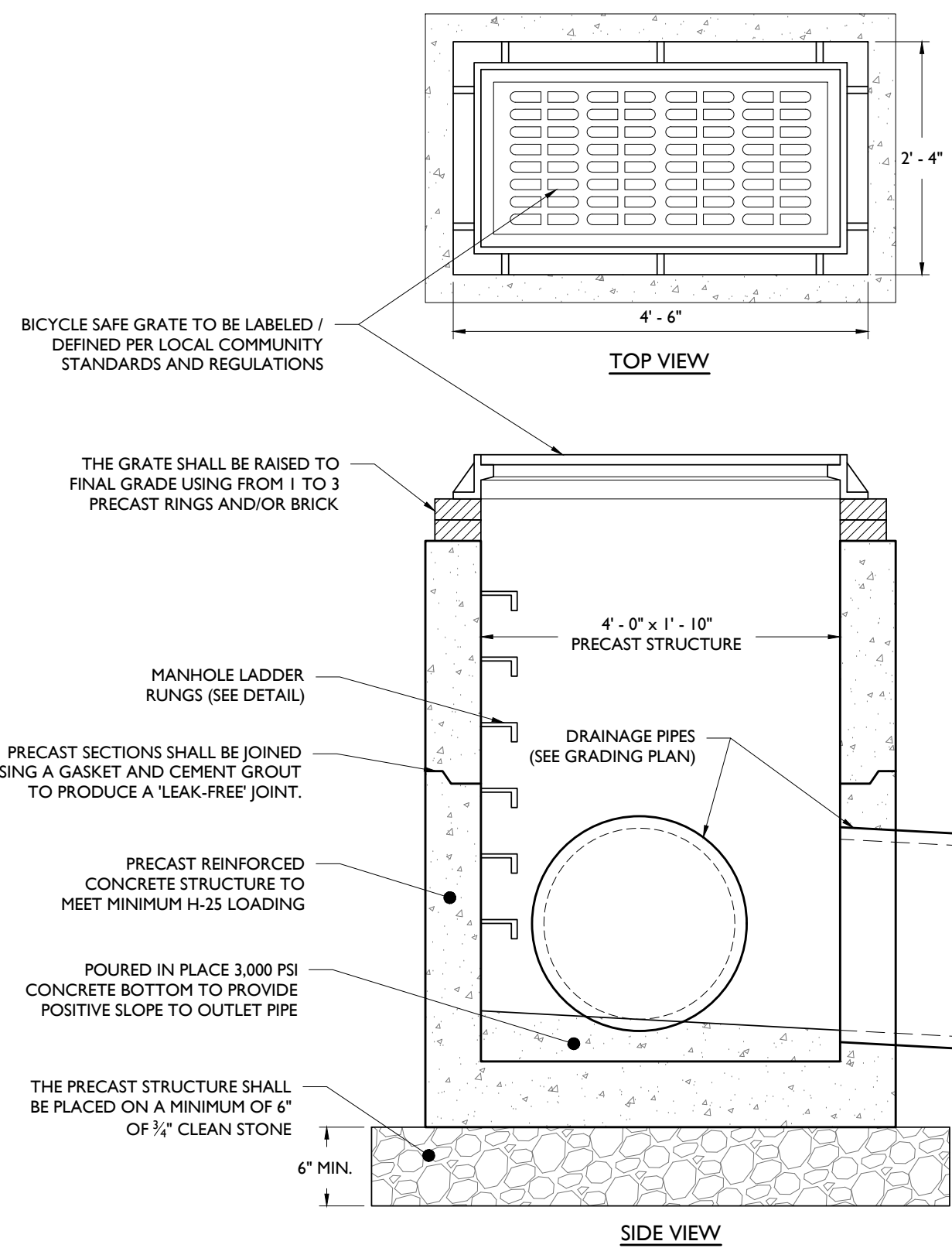
JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE NO. 47390
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: PRI-200142
TITLE: CONSTRUCTION DETAILS

C-16

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

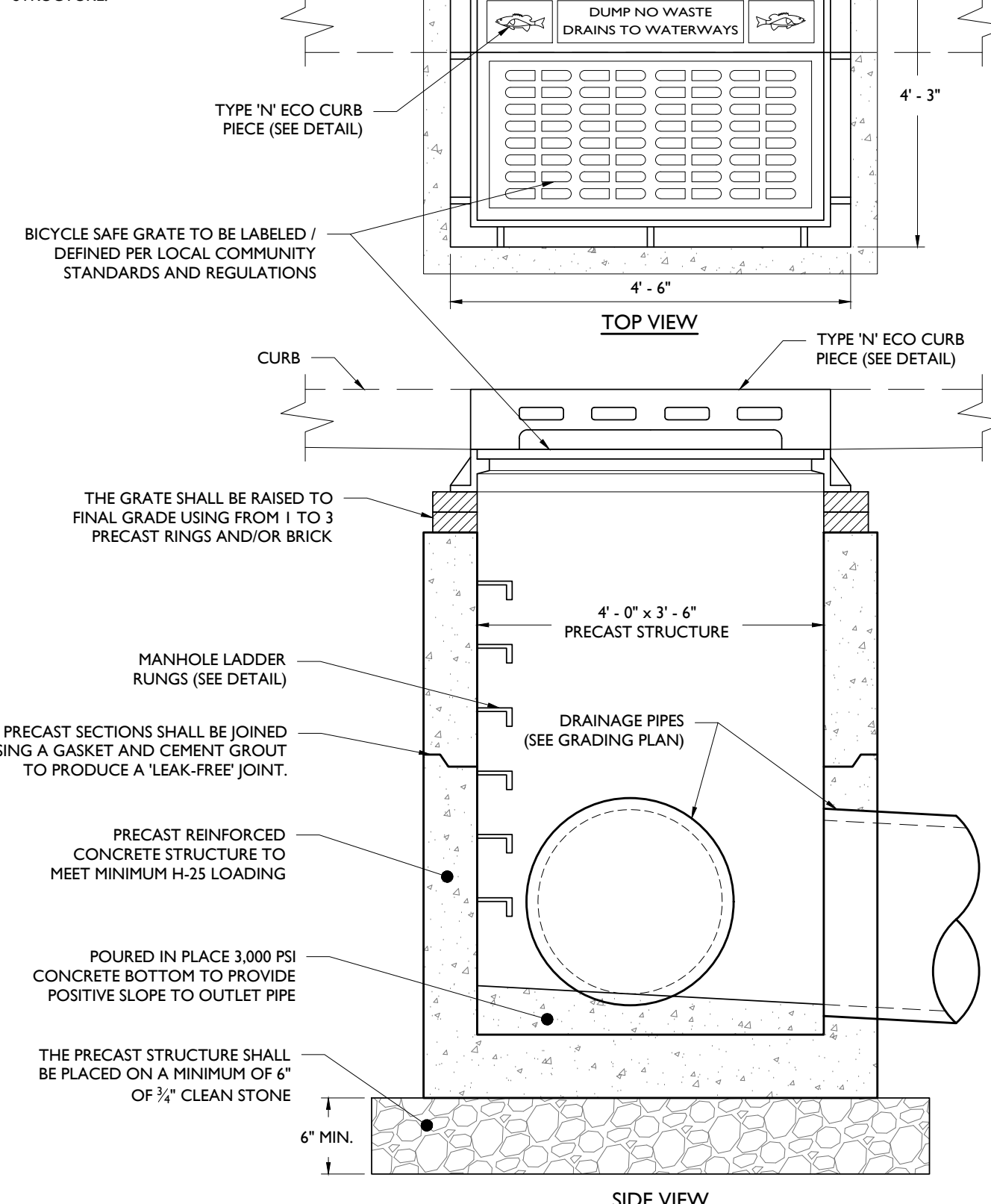


TYPE 'A' STORM INLET DETAIL

NOT TO SCALE

1

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

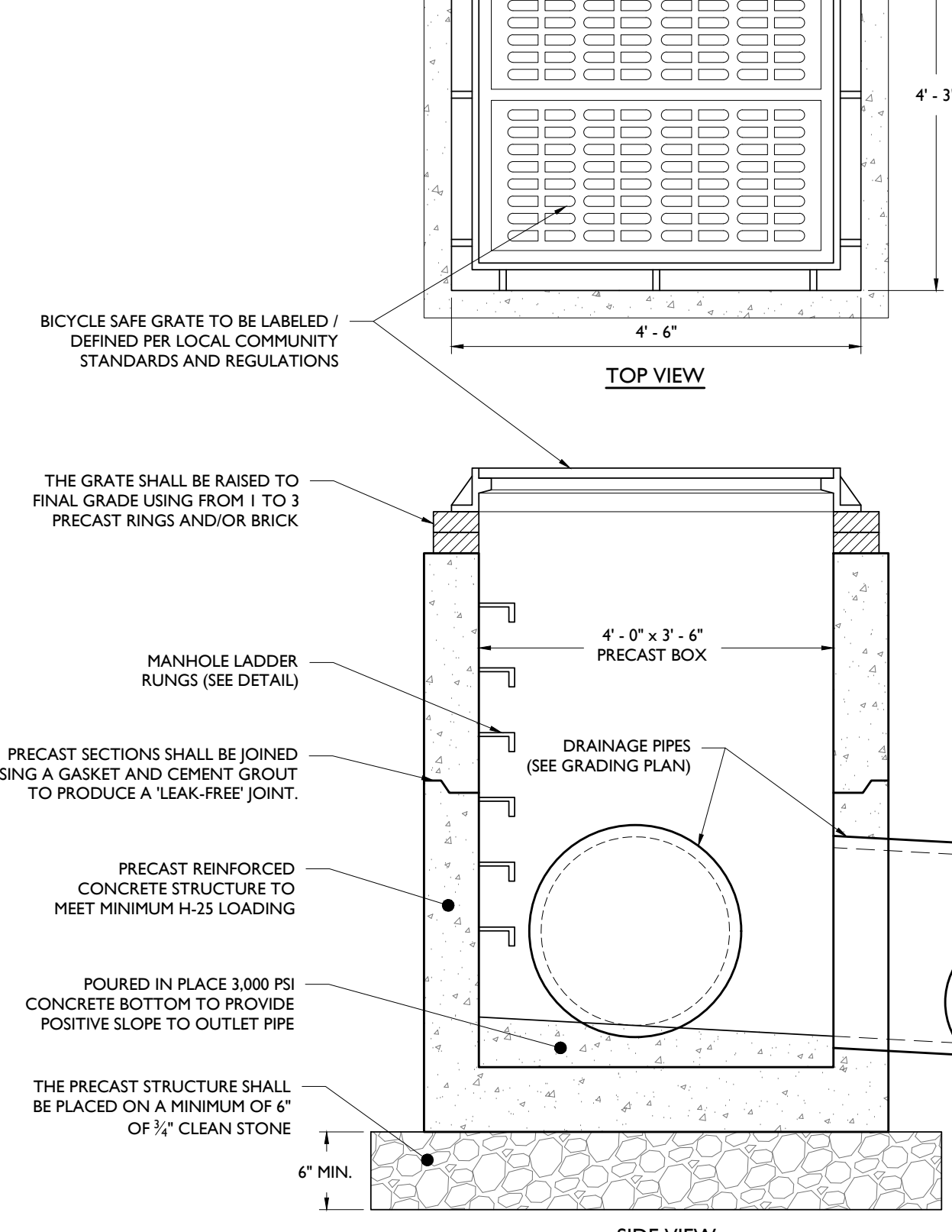


TYPE 'B' STORM INLET DETAIL

NOT TO SCALE

2

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND GRATE TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

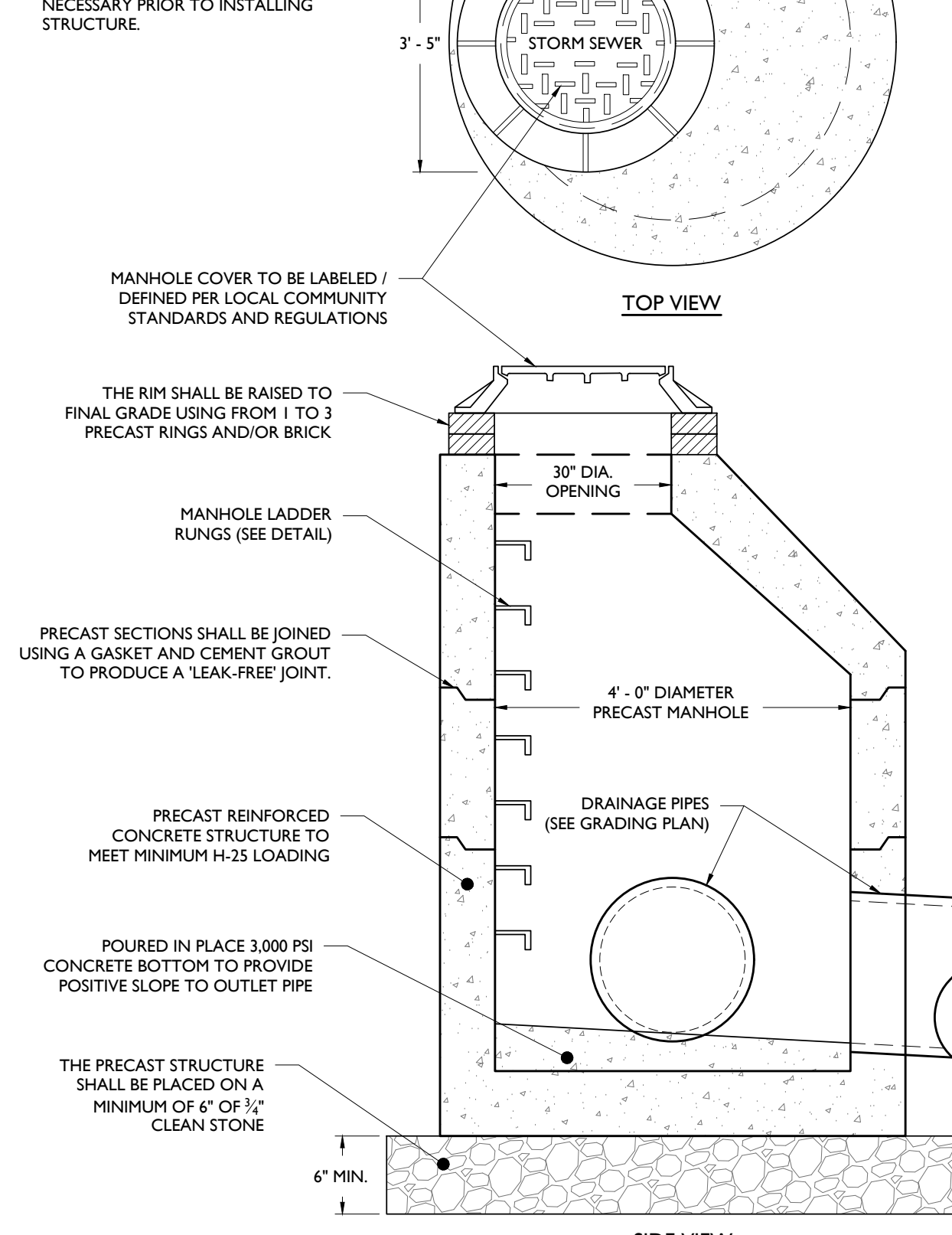


TYPE 'E' STORM INLET DETAIL

NOT TO SCALE

3

- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.

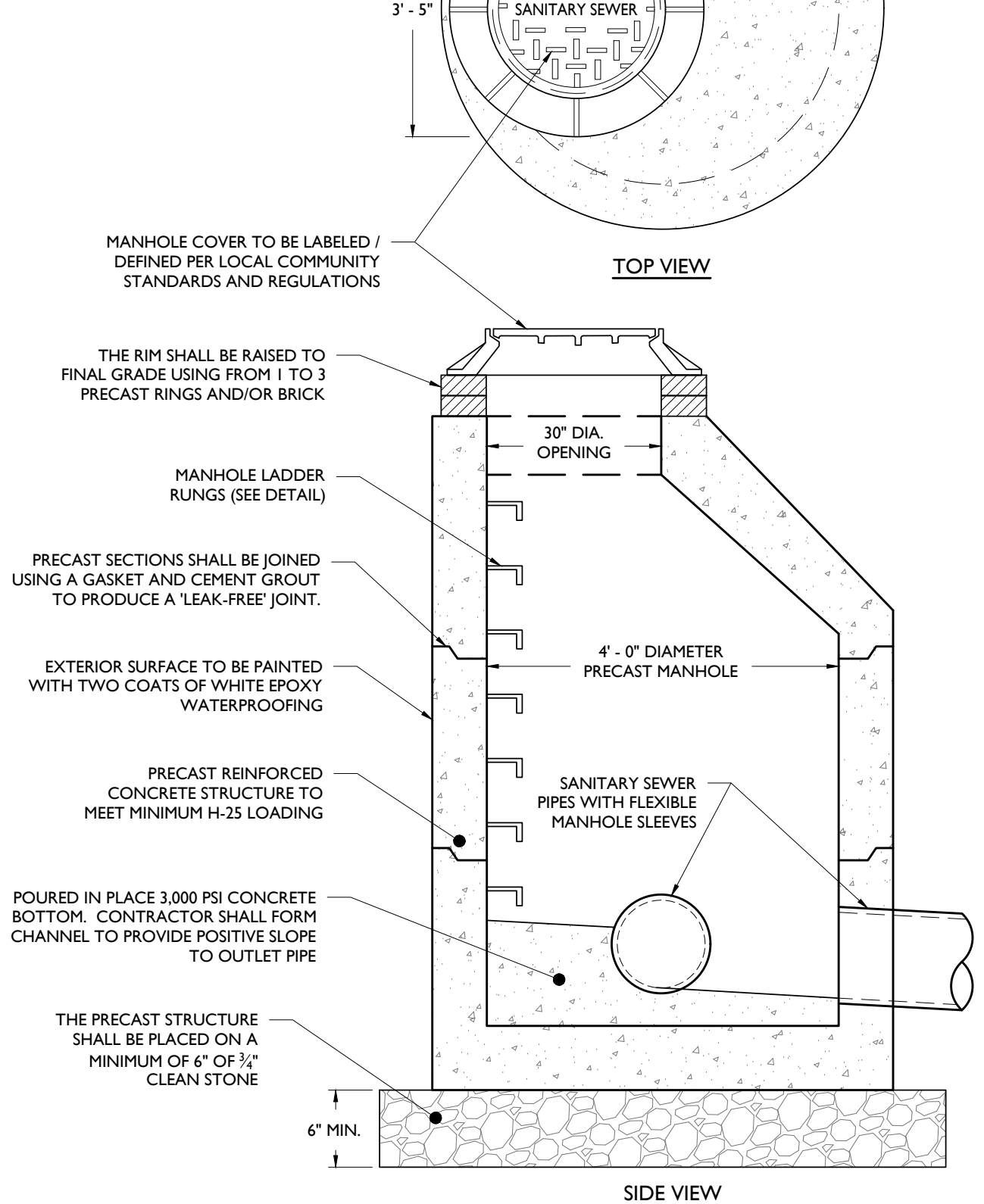


STORM MANHOLE DETAIL

NOT TO SCALE

4

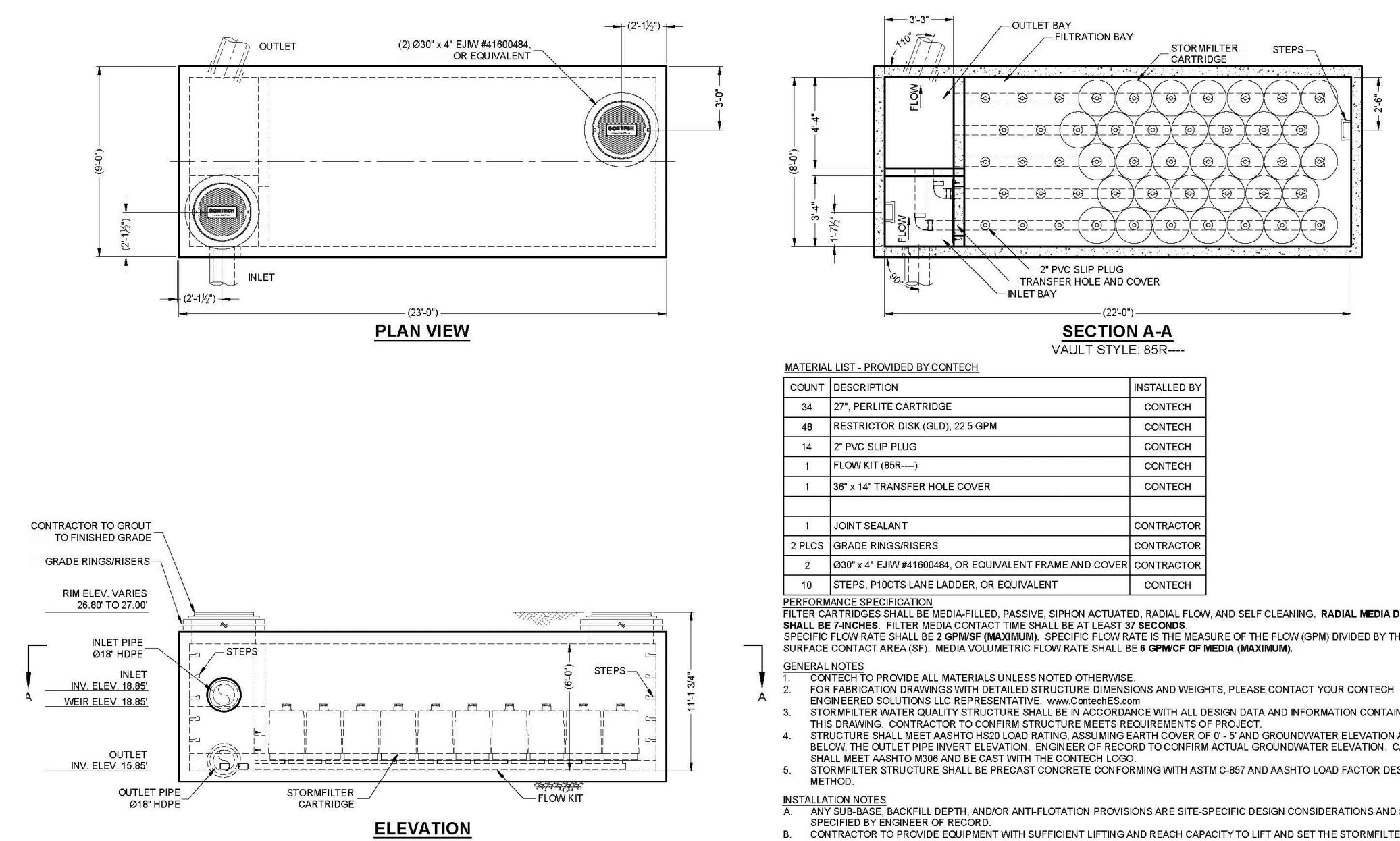
- NOTES:
1. STRUCTURE TO BE CONSTRUCTED OF REINFORCED PRECAST CONCRETE.
 2. FRAME AND COVER TO BE CAST-IRON AND SUPPORT MINIMUM H-25 LOADING.
 3. ALL JOINTS TO BE WATER-TIGHT.
 4. SUBGRADE BENEATH STRUCTURE SHALL BE LEVELED AND COMPACTED AS NECESSARY PRIOR TO INSTALLING STRUCTURE.



SANITARY MANHOLE DETAIL

NOT TO SCALE

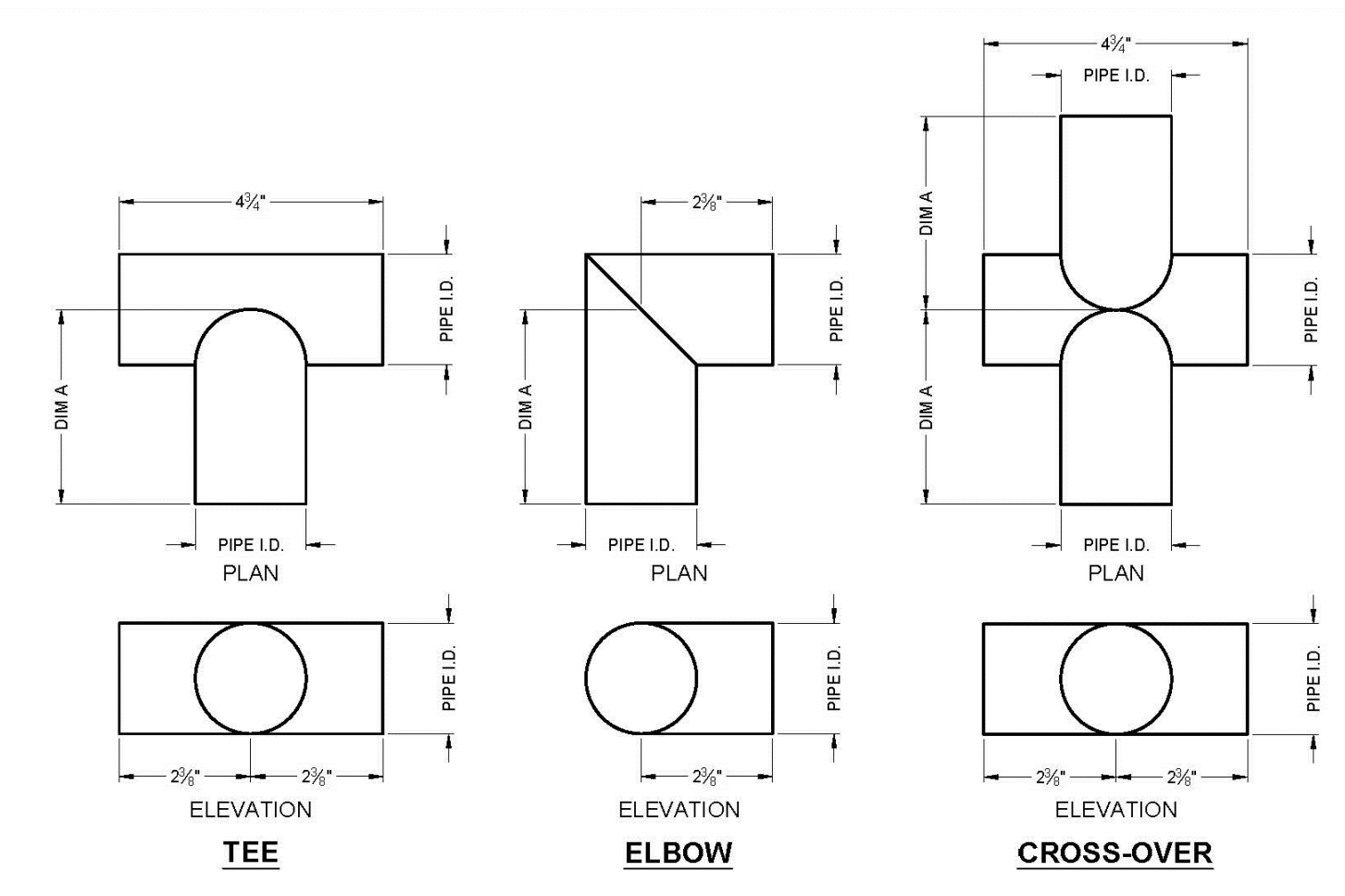
5



PEAK DIVERSION STORMFILTER

NOT TO SCALE

6



STANDARD MANIFOLD COMPONENT TO SCALE

	AVAILABLE DIAMETERS - INCHES			
TEE	12	15	18	24
ELBOW	12	15	18	24
D.M.A.	42	42	48	48

- GENERAL NOTES:
1. FITTING MATERIAL TO BE MANUFACTURED FROM CORRUGATED HIGH DENSITY POLYETHYLENE, AASHTO M294 PIPE.
 2. FITTINGS TO BE FABRICATED IN ACCORDANCE WITH THE REQUIREMENTS TO SCALE OF AASHTO M294.
 3. FITTINGS DESIGNED TO PROTRUDE 6" INTO THE END OF THE INLET CHAMBERS.
 4. MANIFOLD TEE AND ELBOW JOINTS TO SCALE TO BE CONNECTED UTILIZING HDPE COUPLERS.

TYPICAL MANIFOLD DETAIL

NOT TO SCALE

7

NO.	DATE	ISSUE	BY	DESCRIPTION
3	03/10/2021	AMB	PC	COUNTY SUBMISSION
2	01/27/2021	AMB	PC	COUNTY SUBMISSION
1	12/29/20	PC	PC	FIRST SUBMISSION

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MONMOUTH COUNTY, NEW JERSEY

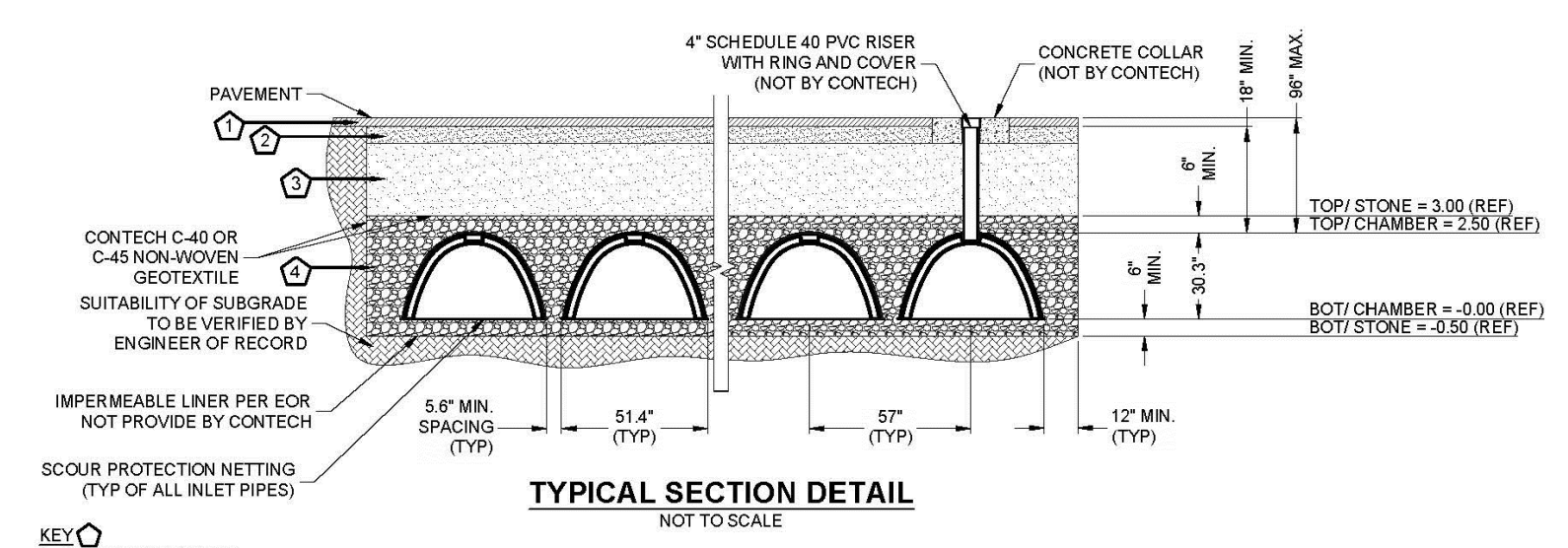
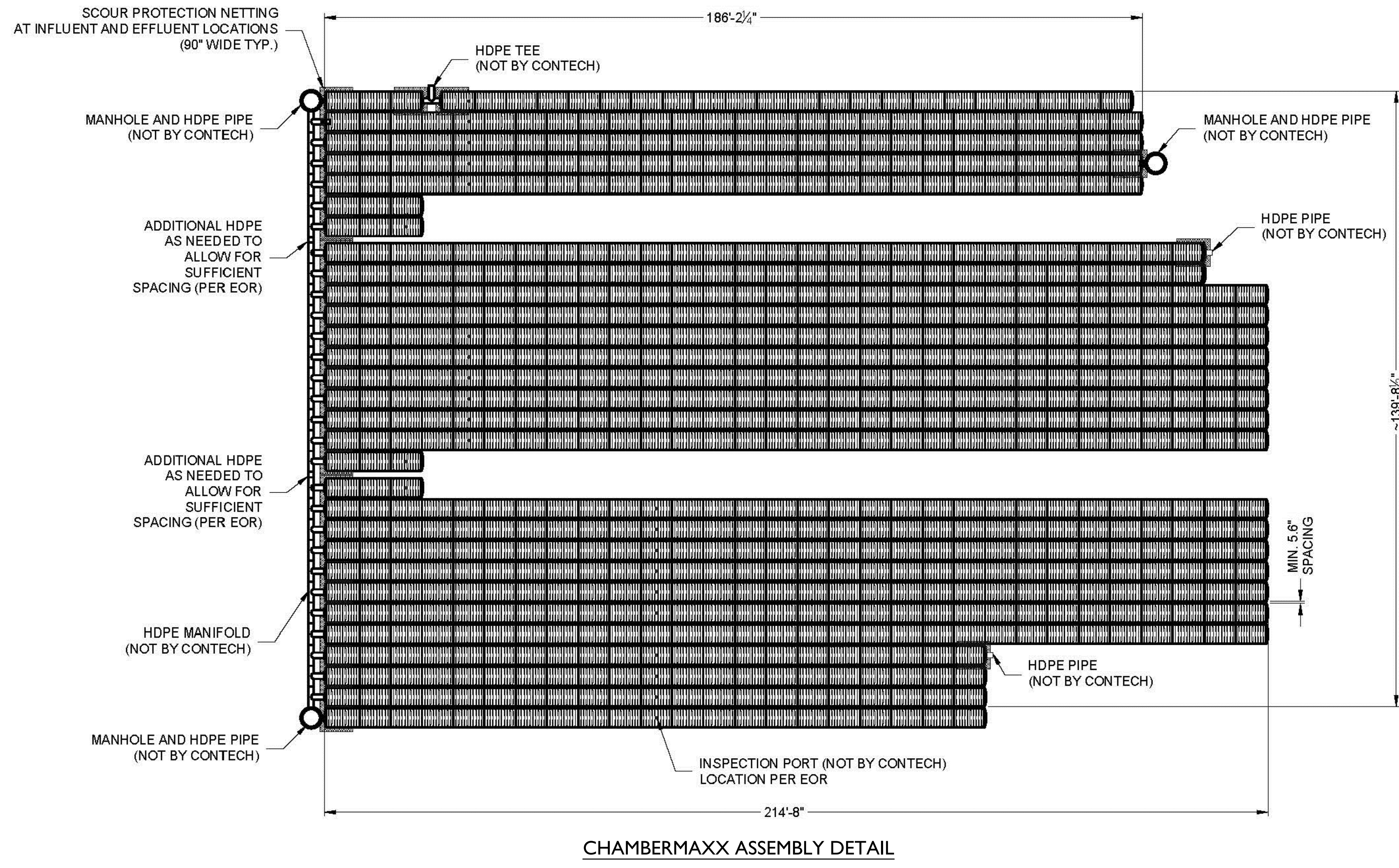
JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

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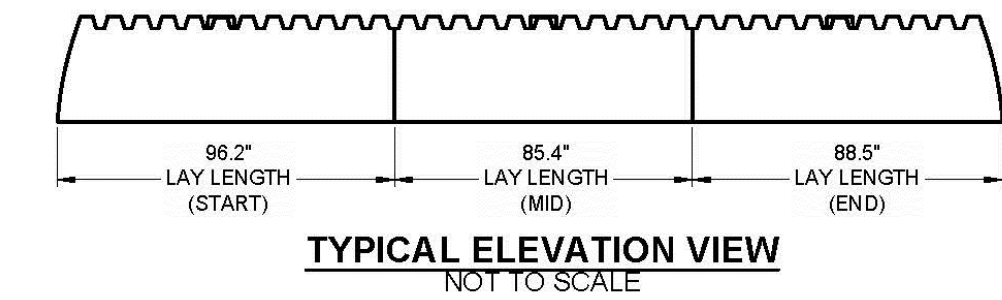
SCALE: AS SHOWN PROJECT ID: PRI-200142

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-17



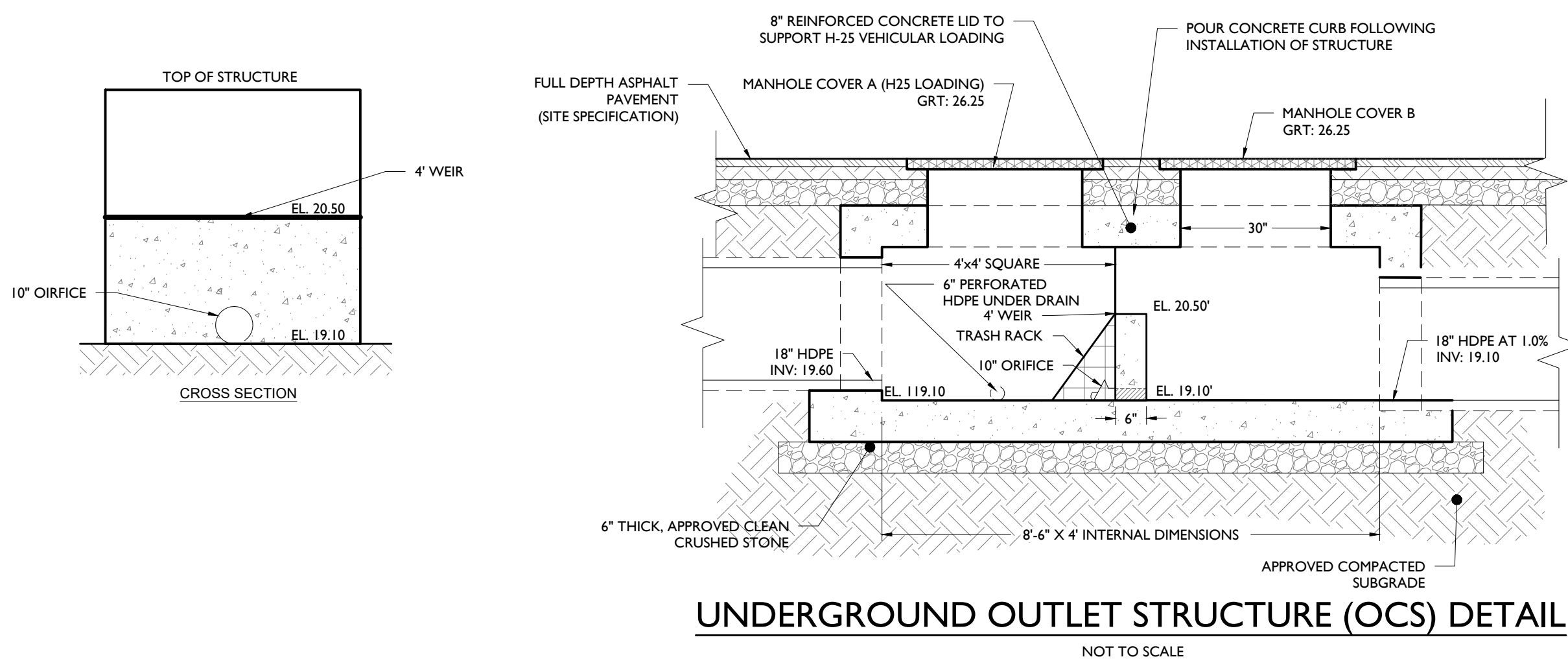
KEY:
 1. FLEXIBLE PAVEMENT
 2. GRANULAR ROAD BASE
 3. ANY SUITABLE MATRICE OR GENERAL BACKFILL, SEE ENGINEER PLANS
 4. THE BACKFILL MATERIAL SHALL BE FREE-DRAINING ANGLULAR WASHED STONE 3/4" - 2" PARTICLE SIZE. MATERIAL SHALL BE PLACED IN 8"-10" MAXIMUM LIFTS. MATERIAL SHALL BE WORKED INTO THE CHAMBER SPACING BY MEANS OF SHOVEL-CLING, RODDING, AIR-TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS. COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE PROJECT ENGINEER OR THEIR REPRESENTATIVE IS SATISFIED WITH THE LEVEL OF COMPACTION. INADEQUATE COMPACTION CAN LEAD TO EXCESSIVE DEFLECTIONS WITHIN THE SYSTEM AND SETTLEMENT OF THE SOILS COVER THE SYSTEM. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO-LIFT DIFFERENTIAL BETWEEN THE SIDES OF ANY CHAMBER IN THE SYSTEM AT ALL TIMES DURING THE BACKFILL PROCESS. BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON ANY PIPES IN THE SYSTEM.
 EQUIPMENT USED TO PLACE AND COMPACT THE BACKFILL SHALL BE OF A SIZE AND TYPE SO AS NOT TO DISTURB, DAMAGE, OR DISPLACE THE CHAMBERS. ATTENTION MUST BE GIVEN TO PROVIDING ADEQUATE MINIMUM COVER FOR SUCH EQUIPMENT, AND MAINTAIN BALANCED LOADING ON ALL CHAMBERS IN THE SYSTEM DURING ALL SUCH OPERATIONS.
 OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS. CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR DETAILS.



CHAMBERMAXX DESIGN DETAILS			
FEATURE	START CHAMBER	MIDDLE CHAMBER	END CHAMBER
OVERALL CHAMBER HEIGHT - mm [IN]	770 [30.3]	770 [30.3]	770 [30.3]
OVERALL CHAMBER WIDTH - mm [IN]	1306 [51.4]	1306 [51.4]	1306 [51.4]
ACTUAL LENGTH - mm [IN]	2500 [98.4]	2311 [91.0]	2337 [92.0]
INSTALLED LAY LENGTHS - mm [IN]	2443 [96.2]	2169 [85.4]	2248 [88.5]
CHAMBER STORAGE VOLUME - m ³ [CF]	1.421 [50.2]	1.336 [47.2]	1.307 [46.2]
CHAMBER STORAGE PER LINEAR FOOT - m ³ /m [CFLF]	0.582 [6.3]	0.616 [6.6]	0.582 [6.3]
*MIN. INSTALLED CHAMBER VOLUME - m ³ [CF]	2.211 [78.1]	2.127 [75.1]	2.088 [74.1]
*MIN. INSTALLED CHAMBER VOLUME PER LINEAR FOOT - m ³ /m [CFALF]	0.905 [9.7]	0.981 [10.6]	0.934 [10.0]
CHAMBER WEIGHT - kg [LB]	37.65 [83]	33.11 [73]	34.47 [76]

*152 mm [6"] OF STONE ABOVE AND BELOW CHAMBER, 142 mm [5.6"] CHAMBER SPACING AND 40% POROSITY

- GENERAL NOTES**
- ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY THE ENGINEER OF RECORD.
 - PRIOR TO INSTALLATION OF THE CHAMBERMAXX SYSTEM A PRE-CONSTRUCTION MEETING SHALL BE CONDUCTED. THOSE REQUIRED TO ATTEND ARE THE SUPPLIER OF THE SYSTEM, THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND THE ENGINEER.
 - CHAMBERMAXX CHAMBERS ARE MANUFACTURED FROM POLYPROPYLENE PLASTIC.
 - CHAMBERMAXX SYSTEM TO MEET AASHTO HS20HS25 LIVE LOADING, PER AASHTO LRFD SECTION 12.
 - ACCESS COVERS TO MEET AASHTO HS20HS25 LIVE LOADING.
 - MINIMUM COVER IS 18-INCHES TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR COVER HEIGHTS GREATER THAN 96-INCHES CONTACT YOUR LOCAL REPRESENTATIVE.
 - ALL PARTS PROVIDED BY CONTECH UNLESS OTHERWISE NOTED.
 - FOR INFORMATION ON PRE-TREATMENT SYSTEMS, REFERENCE CONTECH PRE-TREATMENT SYSTEM STANDARD DETAILS OR CONTACT YOUR LOCAL REPRESENTATIVE.
 - CHAMBERMAXX BY CONTECH ENGINEERED SOLUTIONS (800) 925-5240



COUNTY SUBMISSION		BY	
AMB	AMB	PC	BY
03/10/2021	01/27/2021	12/29/20	DATE
3	2	1	ISSUE

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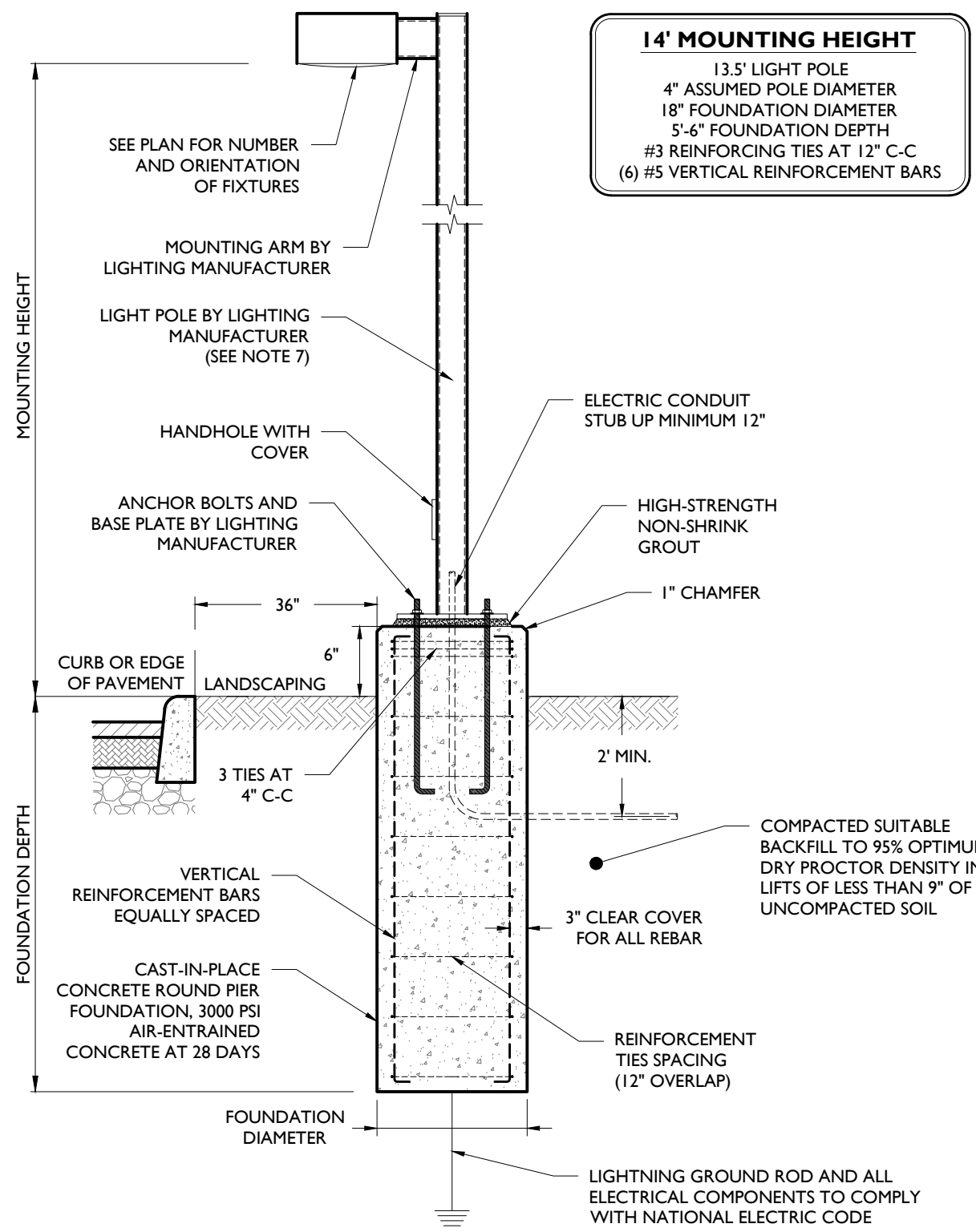
JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

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SCALE: AS SHOWN PROJECT ID: PRI-200142

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-18



LIGHT POLE INSTALLATION DETAIL

- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. Poured concrete mix REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/ASSE 9.93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Cree Edge™ Series
LED Area/Flood Luminaire

Product Description
The Cree Edge Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherproof LED driver component and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, Splice, or Side Arm (details on page 7). Includes a leaf/rod guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

Performance Summary

Utilizes BetaLED™ Technology
Patented NanoOptic® Product Technology
Meets IP65, IK07, UL5, and Impeded parts
CIE: Minimum 70 CRI
CCT: 4000K (+/- 3000K), 5700K (+/- 500K) standard
Limited Warranty: 10 years on luminaire/10 years on ColorFast DefogGuard® finish
*See www.cree.com/lighting/product/warranty for warranty terms

Accessories

Part Number	Description	Notes
4000K Color Separator <td>Reduces color temperature <td>Must be used with 4000K luminaire</td> </td>	Reduces color temperature <td>Must be used with 4000K luminaire</td>	Must be used with 4000K luminaire
5700K Color Separator <td>Reduces color temperature <td>Must be used with 5700K luminaire</td> </td>	Reduces color temperature <td>Must be used with 5700K luminaire</td>	Must be used with 5700K luminaire

Ordering Information

Product	Optic	Mounting	LED Count (pts)	Series	Voltage	Color Options	Drive Current	Options
4000K	15°	DM	48	DM	48V	4000K	3.5A	4000K Color Separator
5700K	15°	DM	48	DM	48V	5700K	3.5A	5700K Color Separator

BetaLED TECHNOLOGY CULUS DLC
US: www.cree.com/lighting T: (800) 236-6800 F: (262) 504-5415
Rev. Date: V1 (05/20/2015) **CREE**

AREA LIGHT FIXTURE SPECIFICATION (FIXTURE 'A')

Cree Edge™ Series
LED Area/Flood Luminaire

Product Description
The Cree Edge Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatherproof LED driver component and high performance aluminum heat sinks. Various mounting choices: Adjustable Arm, Direct Arm, Direct Arm Long, Splice, or Side Arm (details on page 7). Includes a leaf/rod guard.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways.

Performance Summary

Utilizes BetaLED™ Technology
Patented NanoOptic® Product Technology
Meets IP65, IK07, UL5, and Impeded parts
CIE: Minimum 70 CRI
CCT: 4000K (+/- 3000K), 5700K (+/- 500K) standard
Limited Warranty: 10 years on luminaire/10 years on ColorFast DefogGuard® finish
*See www.cree.com/lighting/product/warranty for warranty terms

Accessories

Part Number	Description	Notes
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5700K Color Separator <td>Reduces color temperature <td>Must be used with 5700K luminaire</td> </td>	Reduces color temperature <td>Must be used with 5700K luminaire</td>	Must be used with 5700K luminaire

Ordering Information

Product	Optic	Mounting	LED Count (pts)	Series	Voltage	Color Options	Drive Current	Options
4000K	15°	DM	48	DM	48V	4000K	3.5A	4000K Color Separator
5700K	15°	DM	48	DM	48V	5700K	3.5A	5700K Color Separator

BetaLED TECHNOLOGY CULUS DLC
US: www.cree.com/lighting T: (800) 236-6800 F: (262) 504-5415
Rev. Date: V1 (05/20/2015) **CREE**

AREA LIGHT FIXTURE SPECIFICATION (FIXTURE 'B' & 'C')

Cree Edge™ Series
LED Security Wall Pack Luminaire

Product Description
The Cree Edge™ wall mount luminaire has a slim, low profile design. The luminaire and eye are made from rugged cast aluminum with integral, weatherproof LED driver components and high performance aluminum heat sinks specifically designed for LED applications. Housing is rugged aluminum. Includes a lightweight mounting box for installation over standard and mid ring single gang 2-5 Gang Security to wall with 2" (50mm) clearance from top, bottom, sides and rear. Allow for 1" (25mm) clearance from top, bottom, sides and rear. Allow for 1" (25mm) clearance from top, bottom, sides and rear. Allow for 1" (25mm) clearance from top, bottom, sides and rear. Allow for 1" (25mm) clearance from top, bottom, sides and rear. Allow for 1" (25mm) clearance from top, bottom, sides and rear.

Applications: General area and security lighting

Performance Summary

Utilizes BetaLED™ Technology
Patented NanoOptic® Product Technology
Assembled in the U.S.A. of U.S. and imported parts
CIE: Minimum 70 CRI
CCT: 4000K (+/- 3000K), 5700K (+/- 500K) standard
Limited Warranty: 10 years on luminaire/10 years on ColorFast DefogGuard® finish
*See www.cree.com/lighting/product/warranty for warranty terms

Accessories

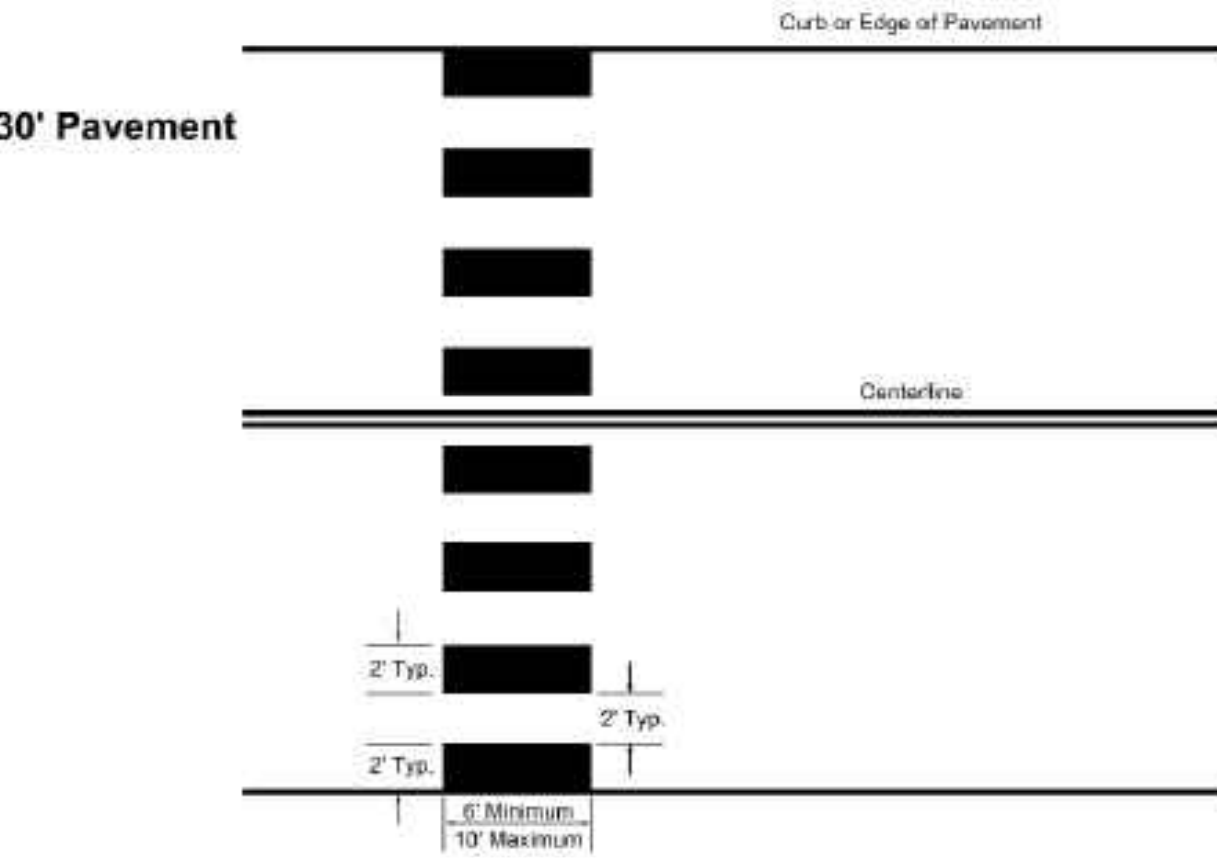
Part Number	Description	Notes
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Ordering Information

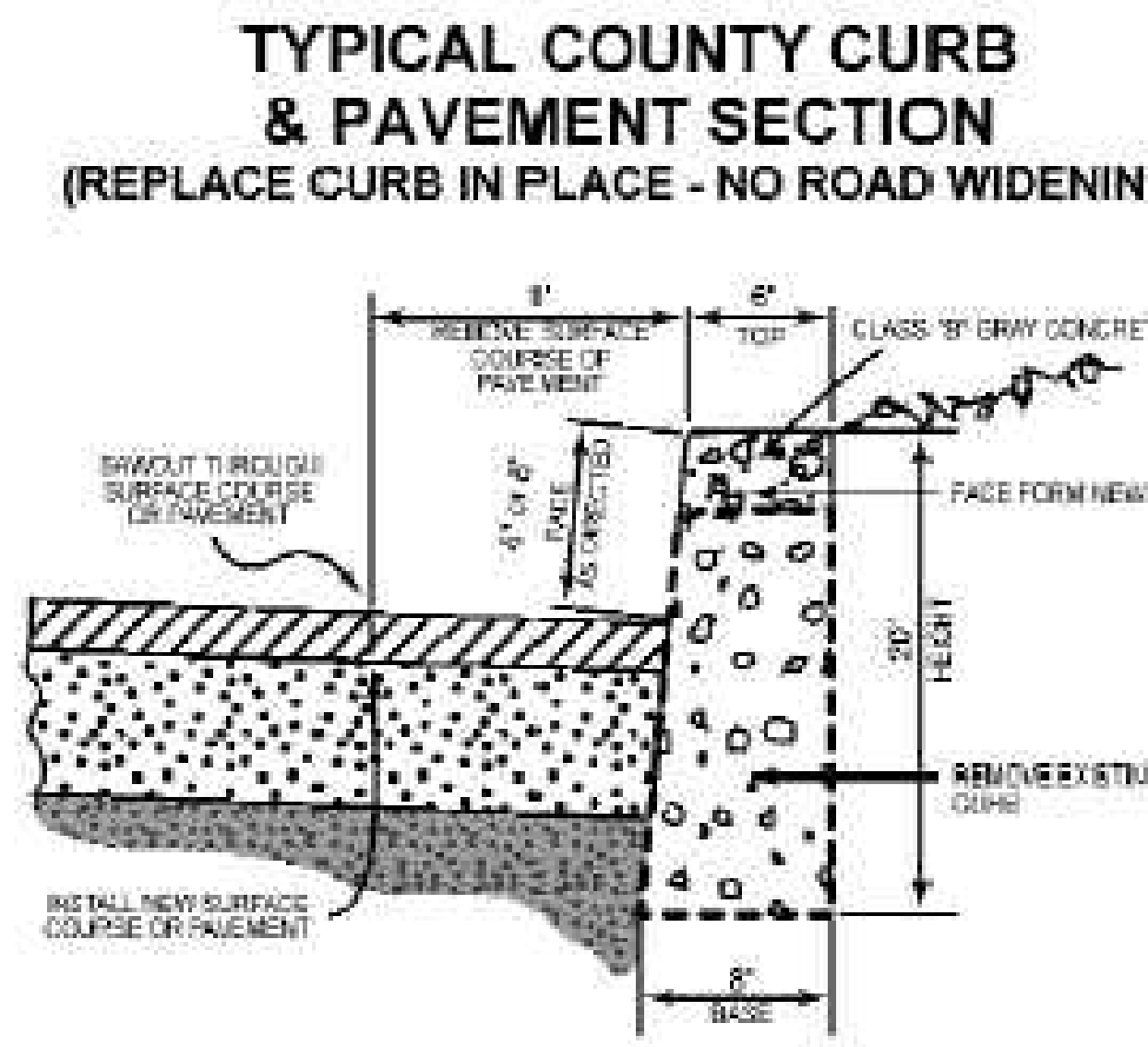
Product	Optic	Mounting	LED Count (pts)	Series	Voltage	Color Options	Drive Current	Options
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5700K	15°	DM	48	DM	48V	5700K	3.5A	5700K Color Separator

BetaLED TECHNOLOGY CULUS DLC
US: lighting.cree.com T: (800) 236-6800 F: (262) 504-5415
Canada: www.cree.com/canada T: (800) 473-1234 F: (800) 490-7307
Rev. Date: V1 (10/20/2015) **CREE**

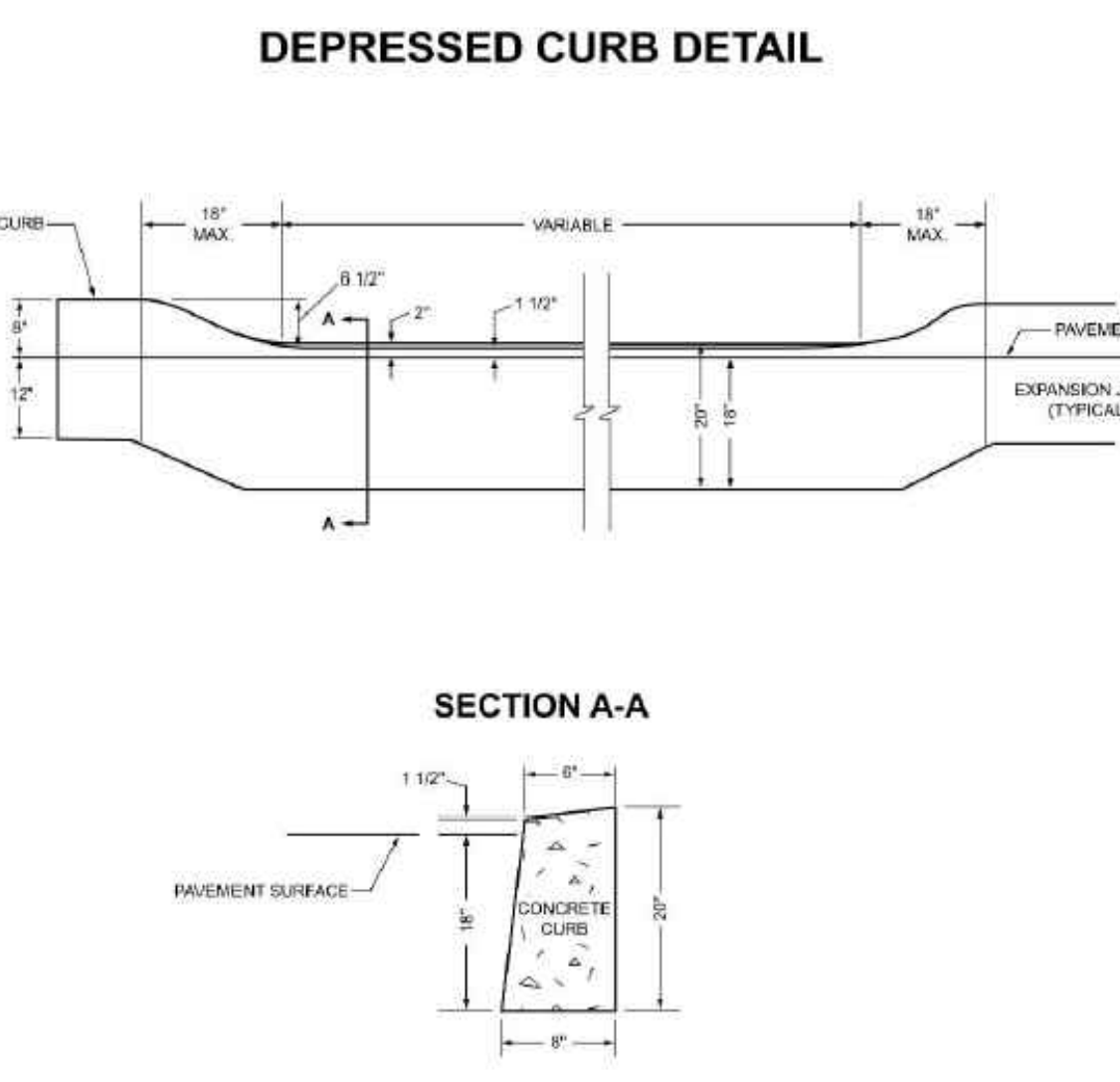
WALL MOUNT LIGHT FIXTURE SPECIFICATION (FIXTURE 'D')



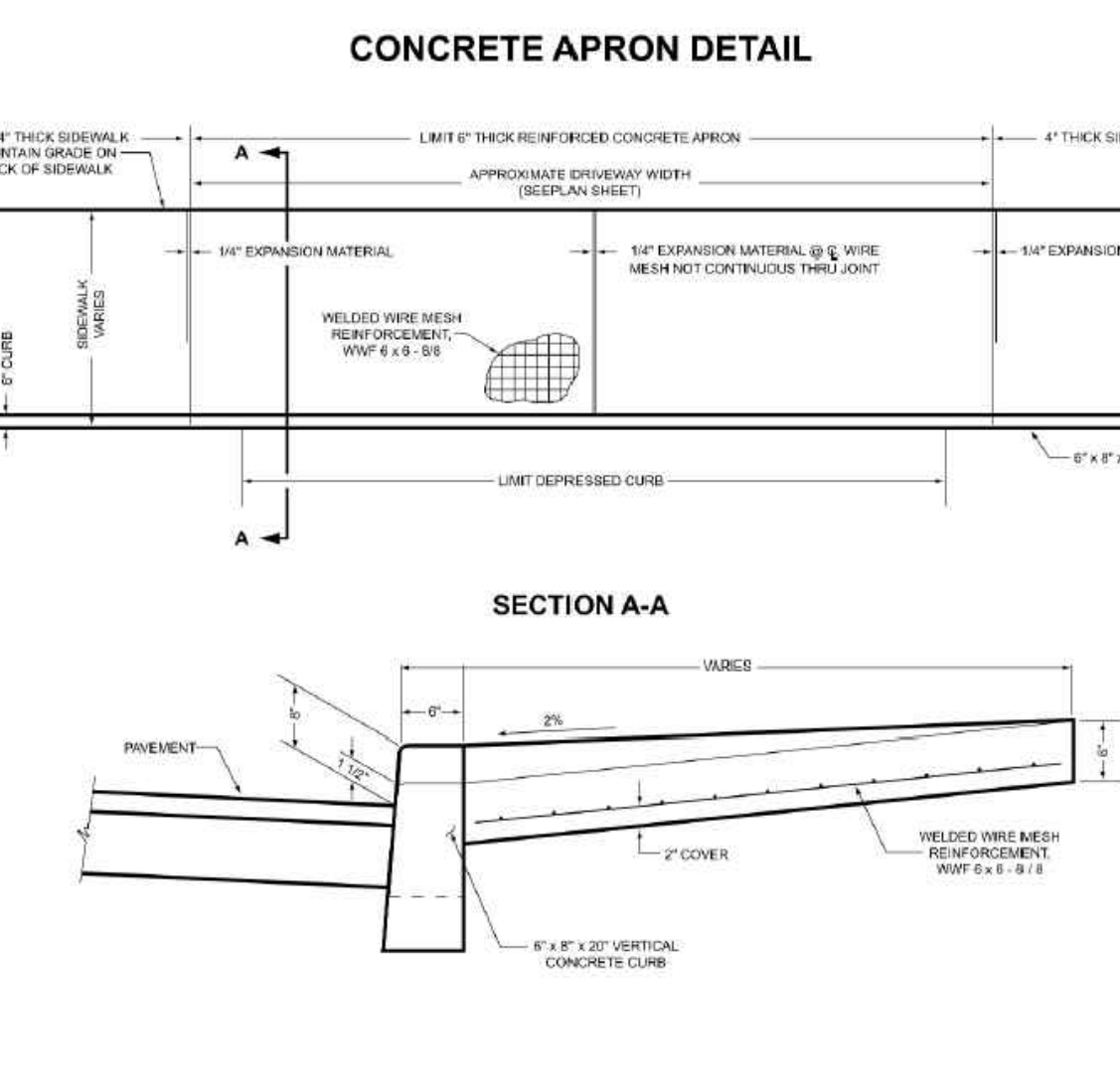
MONMOUTH COUNTY STANDARD CROSSWALK DETAIL



MONMOUTH COUNTY STANDARD CURB AND PAVEMENT SECTION DETAIL



MONMOUTH COUNTY STANDARD DEPRESSED CURB DETAIL



MONMOUTH COUNTY STANDARD CONCRETE APRON DETAIL

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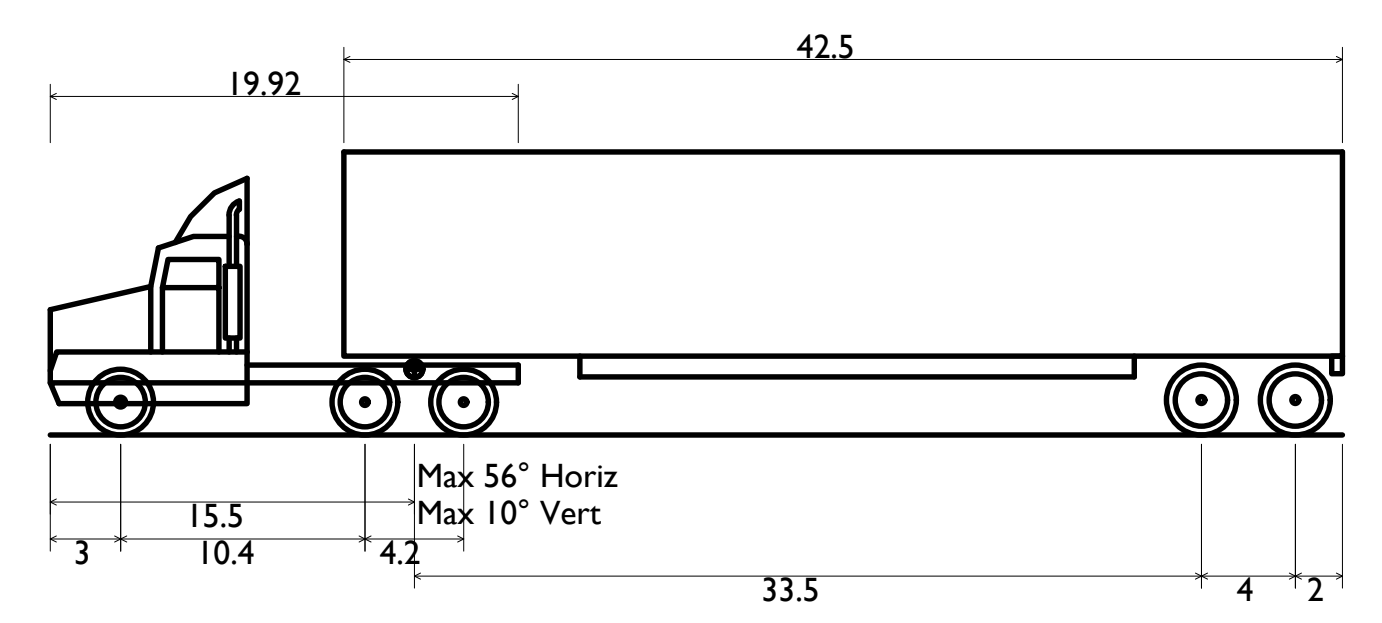
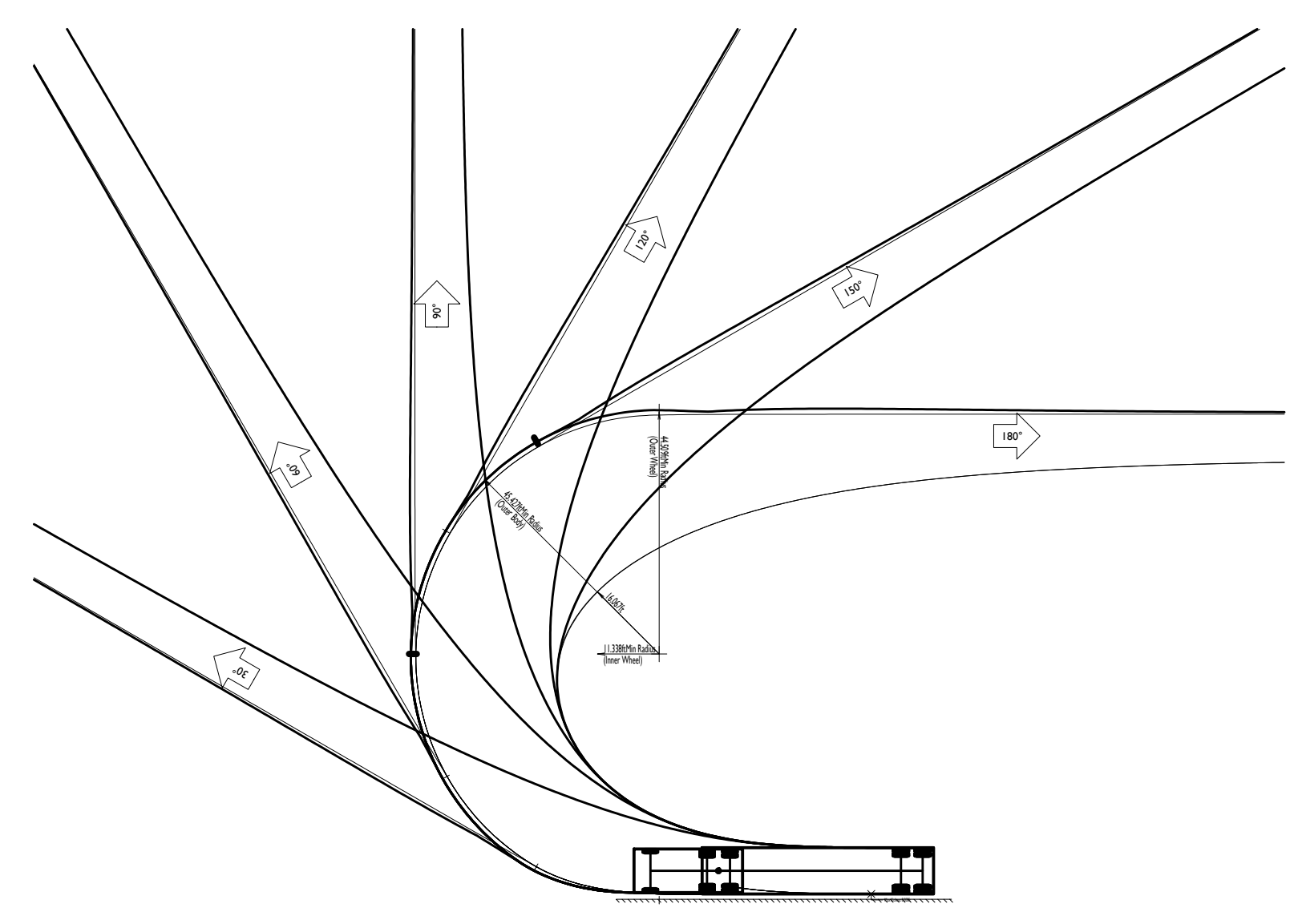
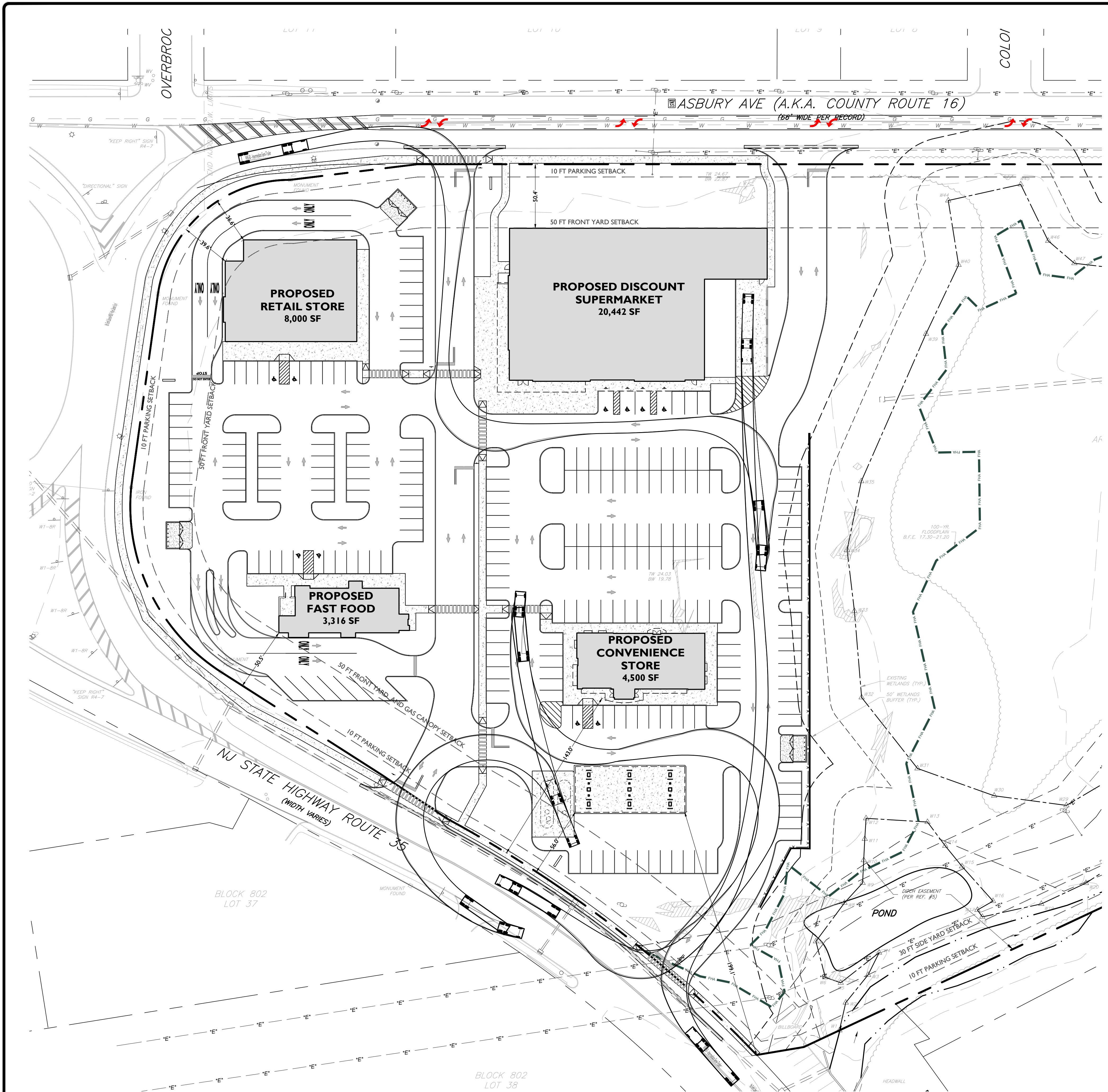
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TITLE: CONSTRUCTION DETAILS
DRAWING: **C-19**

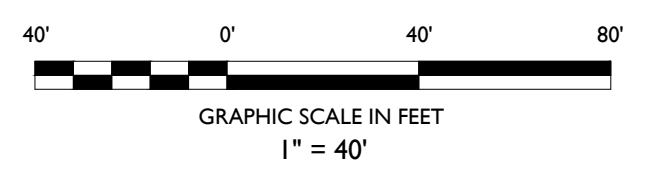
NOT APPROVED FOR CONSTRUCTION

NO.	DATE	ISSUE	BY	DESCRIPTION
1	12/29/20	PC		FIRST SUBMISSION
2	01/27/2021	AMB		COUNTY SUBMISSION
3	03/10/2021	AMB		COUNTY SUBMISSION

Z:\PROJECTS\2020\200142\EDWARDS\WORKING\704 ROUTE 35 NEPTUNE, NJ\CAD\DWG\C-19.DWG



WB-50 - Intermediate Semi-Trailer
 Overall Length 55.000ft
 Overall Width 8.500ft
 Overall Body Height 12.052ft
 Min Body Ground Clearance 1.334ft
 Max Track Width 8.500ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 17.90°



WB-50 (DELIVERY AND FUEL SERVICE TRUCK)

ISSUE		DATE	BY	DESCRIPTION
3	03/10/2021	AMB	PC	COUNTY SUBMISSION
2	01/27/2021	AMB	PC	COUNTY SUBMISSION
1	12/29/20	AMB	PC	FIRST SUBMISSION

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PRELIMINARY & FINAL MAJOR SITE PLANS

M&M NEPTUNE, LLC

PROP IMPROVEMENTS

BLOCK 701, LOT 1 (TAX MAP SHEET 7)
704 N.J. ROUTE 35
TOWNSHIP OF NEPTUNE
MONMOUTH COUNTY, NEW JERSEY

JEFFREY A. MARTELL, P.E.
NEW JERSEY LICENSE No. 47290
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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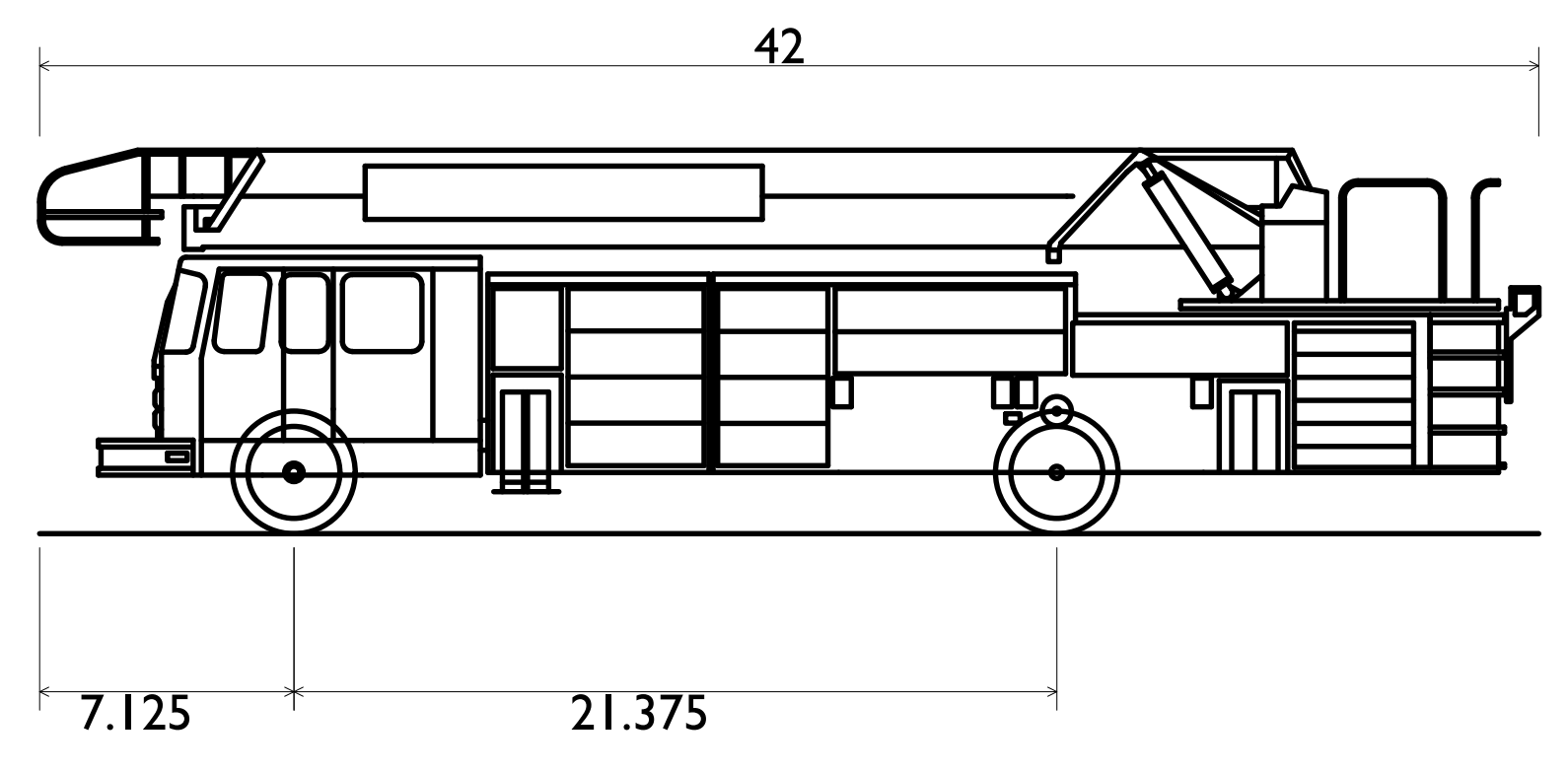
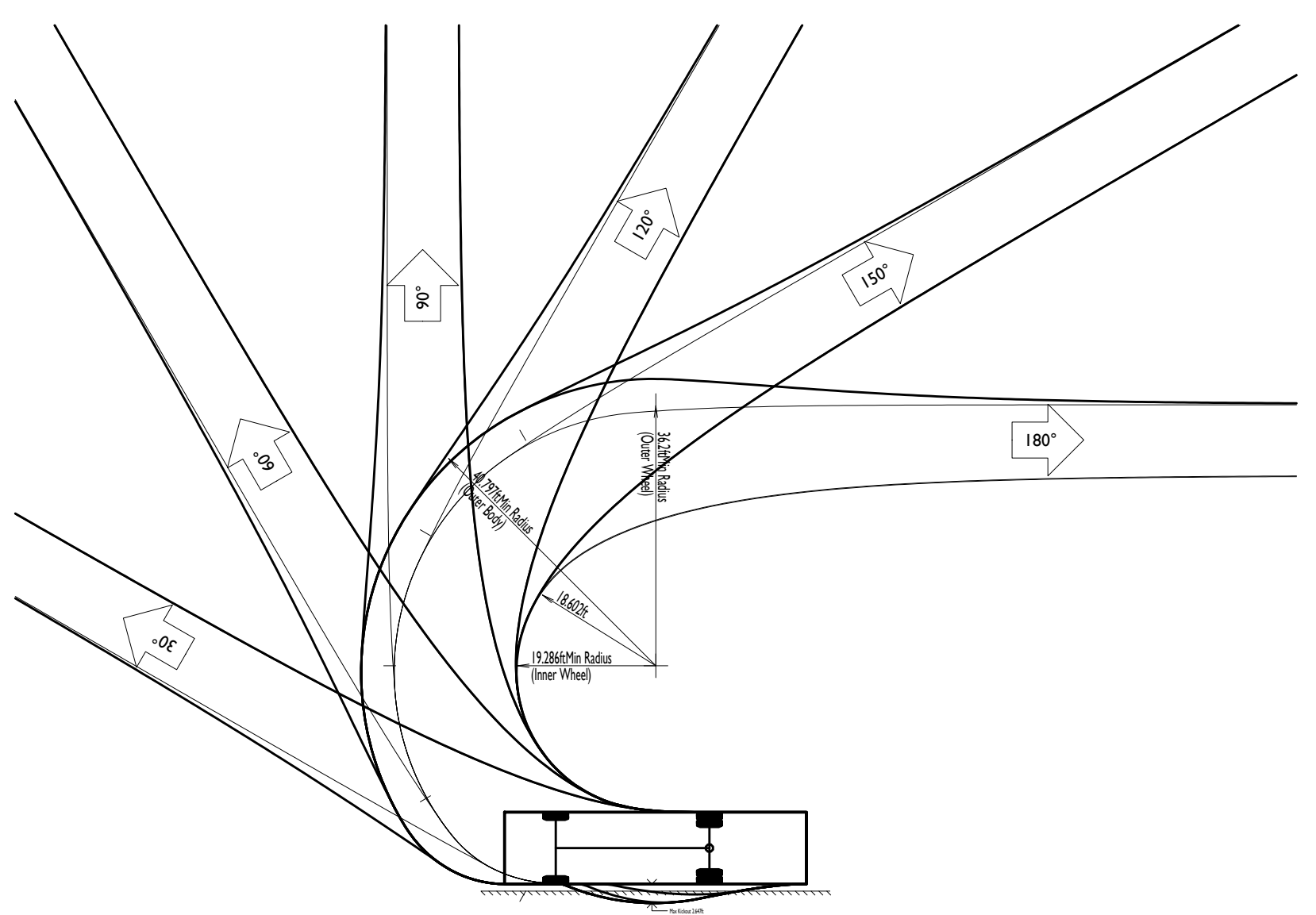
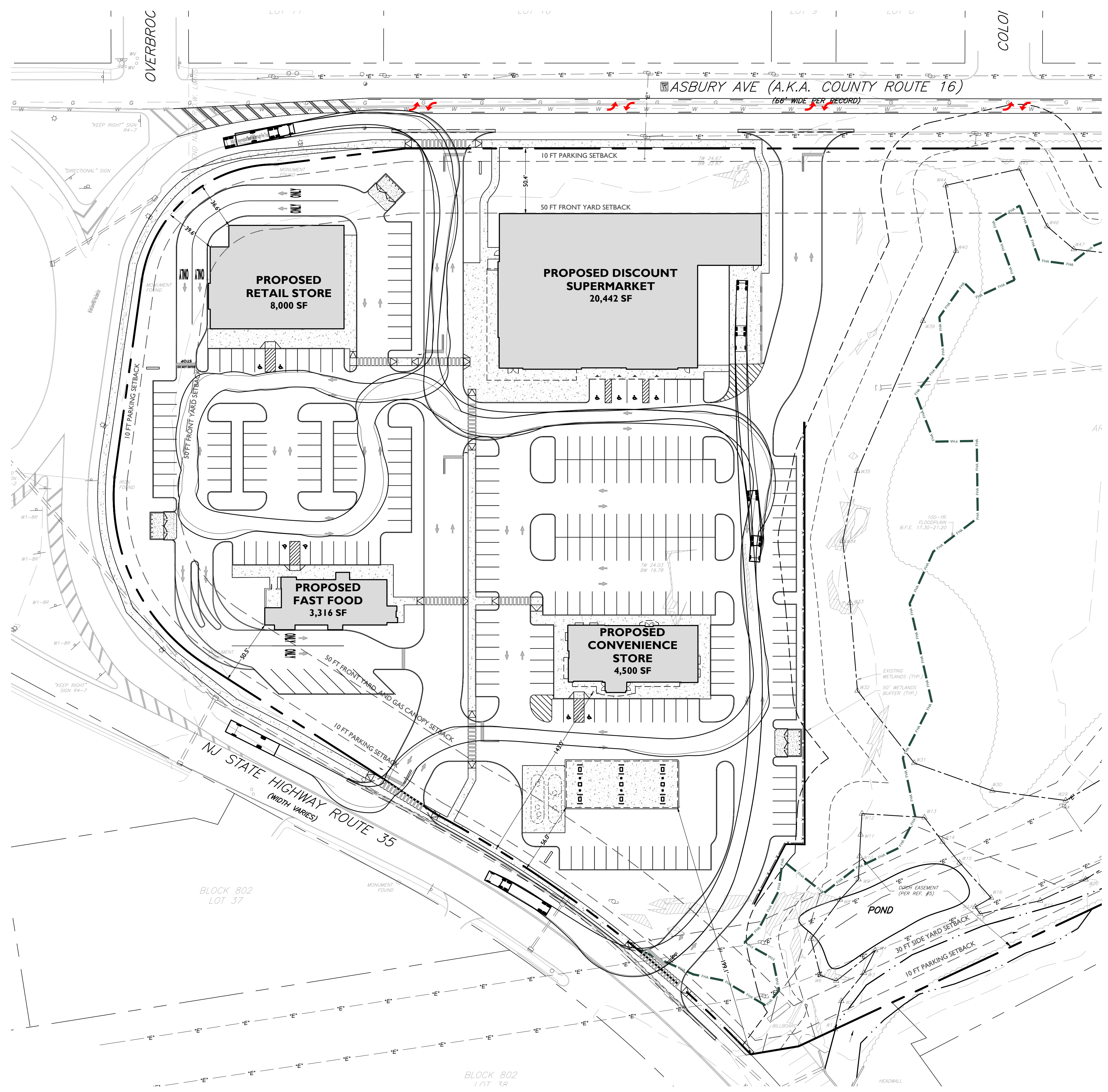
SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE:
VEHICULAR CIRCULATION PLANS

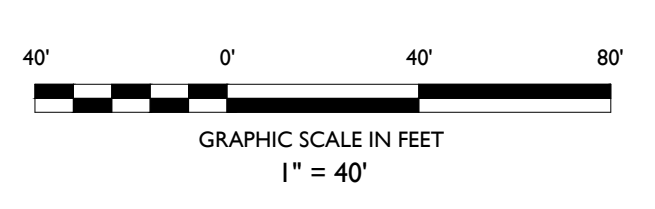
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Z:\PROJECTS\2020\2020-301-16 EDWARDSWOOD PROPERTIES - 704 ROUTE 35, NEPTUNE, NJ\CAD\DWG\2021-11-17-10-05.DWG



Fire Truck	Overall Length	42.000ft
	Overall Width	10.000ft
	Overall Body Height	10.748ft
	Min Body Ground Clearance	1.179ft
	Track Width	9.810ft
	Lock-to-lock time	4.00s
	Curb to Curb Turning Radius	36.200ft



FIRE TRUCK

ISSUE	DATE	BY	DESCRIPTION
3	03/10/2021	AMB	COUNTY SUBMISSION
2	01/27/2021	AMB	COUNTY SUBMISSION
1	12/29/20	PC	FIRST SUBMISSION

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SCALE: 1" = 40' PROJECT ID: PRI-200142

TITLE:
VEHICULAR CIRCULATION PLANS

DRAWING:
C-21