

## Kristie Dickert

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**From:** George Waterman  
**Sent:** Friday, October 01, 2021 11:40 AM  
**To:** Kristie Dickert; Monica Kowalski (mckowalskiesq@gmail.com); Jennifer Beahm (jbeahm@leonsavakian.com)  
**Subject:** 44 Ridge Avenue - Zoning Officers Incident Report to the Zoning Board of Adjustment  
**Attachments:** 44 Ridge Avenue - Survey of Property by Lakeland Surveying dated 12-20-2017.pdf; 44 Ridge Avenue - Site Plan by Parallel Architectural Group dated 03-05-2019.pdf; 44 Ridge Avenue - Survey by Azimuth Land Surveying Co., Inc dated 06-11-2009.pdf; 44 Ridge Avenue - Survey of Property by Charles Surmonte dated 01-29-2019.pdf; 44 Ridge Avenue - Zoning Permit Application - Received on 01-12-2018.pdf; 44 Ridge Avenue - Zoning Permit Application - Received on 05-14-2018.pdf; 44 Ridge Avenue - Zoning Permit Application - Received on 03-15-2019.pdf; 44 Ridge Avenue - Zoning Permit Application - PLAN PAGE 1 - Received on 05-14-2018.pdf; 44 Ridge Avenue - Zoning Permit Application - PLAN PAGE 2 - Received on 05-14-2018.pdf; 44 Ridge Avenue - Zoning Permit Application - PLAN PAGE 1 - Received on 03-15-2019.pdf; 44 Ridge Avenue - Zoning Permit Application - PLAN PAGE 2 - Received on 03-15-2019.pdf; 44 Ridge Avenue - Zoning Permit Application - Received on 09-04-2012.pdf; 44 Ridge Avenue - Zoning Permit Application - Received on 09-04-2012.pdf

**Importance:** High

### **ZONING USE OF THE PROPERTY:**

The property is located within the R-5 Zoning District.

The present zoning use of the property is a Multi-Family Residence. The property consists of One (1) building containing two (2) units residential.

In reviewing the Zoning Permit File the Zoning Officer was able to identify the following existing nonconformities:

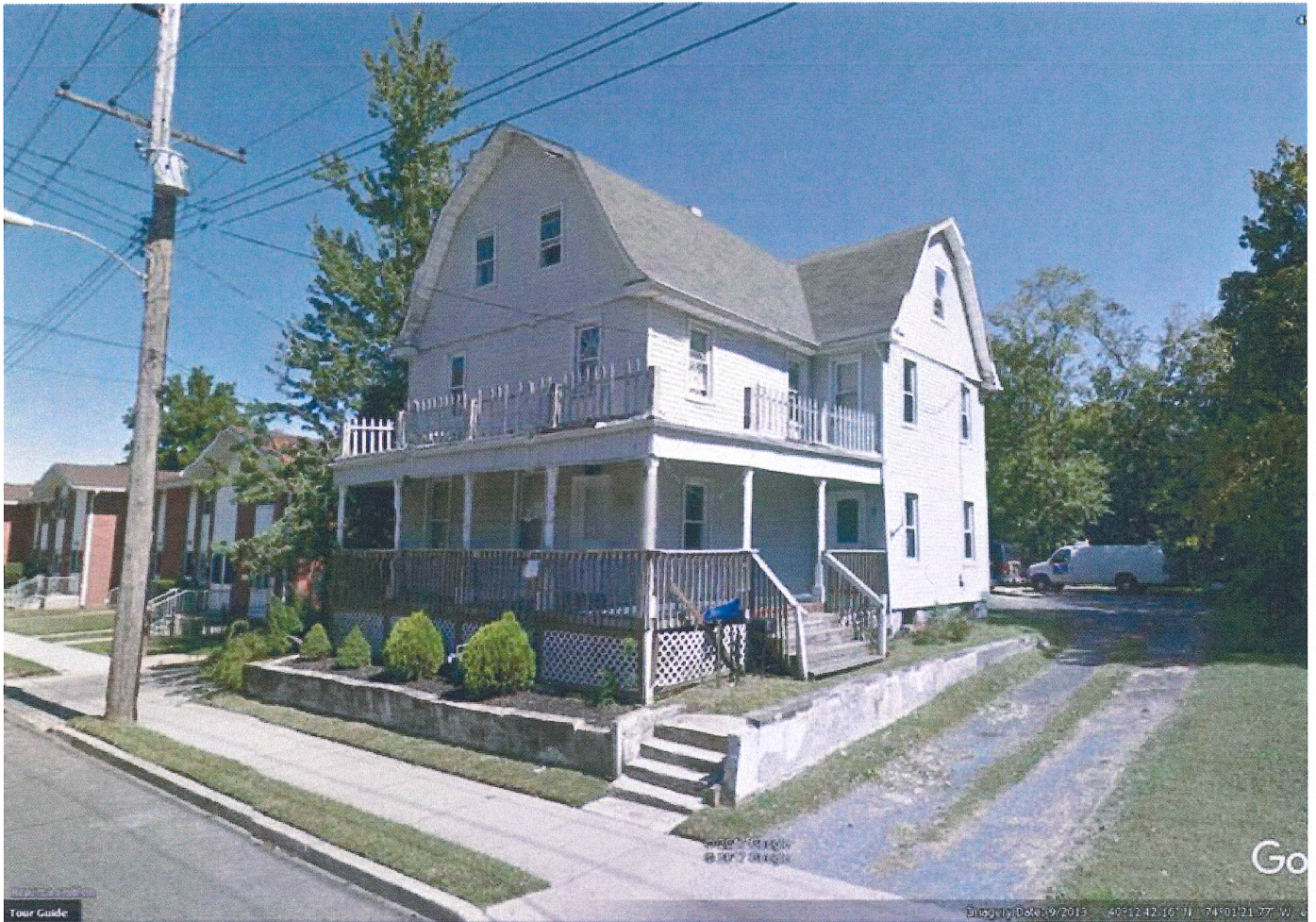
- The Principal Structure is nonconforming as it does not comply with the current setback requirements.
- The front (L-shaped) Porch is nonconforming as it does not comply with the current setback requirements.
- The Structural Retaining Wall is nonconforming as it does not comply with the current setback requirements.
- The Driveway is nonconforming as it exceeds the maximum permitted width, it does not comply with the current setback requirements, and it encroaches onto the neighboring property.

In the past, the property owner repeatedly returned the operation of a Nonconforming Home Occupation to the property, despite zoning violations and summons issued.

The property owner certifies that the premises has not been the subject of any prior application to the Zoning Board of Adjustment or Planning Board.

### **PHOTOS OF THE PROPERTY:**

44 Ridge Avenue – Google Earth Street View – September 2013:



44 Ridge Avenue – Zoning Officers Photos – 09-27-2017:





**ZONING OFFICERS NOTE:**

- The Zoning Officer has met with Victorino Torres and his attorney's, and/or representatives on multiple occasions, via telephone and in person, at the zoning counter. The Zoning Officer has reviewed all applicable Land Development Ordinances and the requirements with Victorino Torres and his attorney's, and/or representatives on multiple occasions, via telephone and in person, at the zoning counter. The Zoning Officer has reviewed the zoning process (from submitting a complete Zoning Permit Application to submitting a complete Zoning Board of Adjustment application) with Victorino Torres and his attorney's, and/or representatives on multiple occasions, via telephone and in person, at the zoning counter.

- In reviewing the zoning permit applications submitted, the Zoning Officer is able to ascertain that the Nonconforming Structural Retaining Wall, Nonconforming Porch with stairs, Nonconforming Driveway, and increased Total Lot Cover all require variances.

A Nonconforming Structural Retaining Wall has been constructed and does not meet the current setback requirements. The prior Structural Retaining Wall was nonconforming as it did not meet the setback requirements, and encroached over the front property line into the Right-Of-Way. Victorino Torres replaced the Nonconforming Structural Retaining Wall without first acquiring zoning approval. When the prior Nonconforming Structural Retaining Wall was removed, the nonconformity was abandoned. Victorino Torres contests his ability to replace the Structural Retaining Wall as he indicates that he contacted the Township and was told that he did not need a permit to construct the Structural Retaining Wall. Mr. Torres did not identify or document with whom he spoke. Mr. Torres did not provide a copy of any documentation stating such from the Township. Victorino Torres has not submitted the appropriate plans displaying compliance with Land Development Ordinance section 421 (Pertaining to Slope Regulations and Retaining Walls), 422 (Pertaining to Nonconforming Uses, Structures, and Lots), and 527 (Pertaining to Retaining Walls). In

reviewing the surveys submitted with each application the Zoning Officer was able to ascertain that the Structural Retaining Wall does not meet the setback requirement.

An unknown portion of the Nonconforming Porch has been reconstructed and expanded on with the construction of the stairs. Victorino Torres has not submitted the appropriate plans displaying compliance with Land Development Ordinance section 411.07A-C (Pertaining to Porches), 418 (Pertaining to Height Exemptions and Permitted Projections), and 422 (Pertaining to Nonconforming Uses, Structures, and Lots). The submitted Construction Plans by Parallel Architectural Group dated 03-05-2019, do not clearly identify what portions of the Nonconforming Porch have been replaced.

Over time the Nonconforming Driveway has been expanded, increasing the Total Lot Coverage. The Zoning Permit Application submissions contain different dated surveys. There is a Survey by Azimuth Land Surveying Co., Inc dated 06-11-2009, a Survey of Property by Lakeland Surveying dated 12-20-2017, a Survey of Property by Charles Surmonte dated 01-29-2019, and a Site Plan by Parallel Architectural Group dated 03-05-2019.(attached) Each survey displays different layouts of the property in referencing the Driveway and side yard setbacks. In reviewing Google Earth history view, vehicles have been parking in the rear yard area before 2007. This proves the Survey by Azimuth Land Surveying Co., Inc dated 06-11-2009 to be incorrect. The Google Earth View also displays expansion of the Driveway in the rear yard area, over time.

- Victorino Torres repeatedly stores commercial vehicles and outdoor storage associated to his commercial business Torres Contractor on the property in a manner noncompliant with Land Development Ordinance section 411.03. Zoning Violations was issued in 2012 and Zoning Violations and a summons were issued in 2014. In both cases Mr. Torres appeared to remove the vehicles and outdoor storage for a period of time, and then returns them to the property.

**BACKGROUND:**

08-21-2012: A zoning violation notice was issued with a comply by date of 09-04-2012.

09-04-2012: A Zoning Permit Application submission was received. (Attached)

09-13-2012: The Zoning Permit Application submission received on 09-04-2012 was reviewed, denied and referred to the Zoning Board of Adjustment. Zoning Determination, Application#: 3460

03-12-2014: A zoning violation notice was issued with a comply by date of 03-22-2014. There was no response to the zoning violation notice issued.

04-10-2014: The following summons was issued:

- SC-15437 Operating a Home Occupation without first acquiring zoning approval.

- In court Mr. Torres pled guilty, paid a fine, and removed the use from the property.

09-27-2017:

- The Zoning Officer inspected 44 Ridge Avenue after receiving a complaint regarding the construction of a Retaining Wall on the property.

- The following zoning violations were discovered:

- Construction of a structural retaining wall without first acquiring zoning approval.
- Construction of Porch stairs without first acquiring zoning approval.
- Construction to the front porch without first acquiring zoning approval.

- It was also noticed that one commercial van belonging to Torres Contractor parked in the driveway. There were no additional vehicles parked in the Driveway, and no outdoor storage of supplies associated with the contracting business.

09-28-2017:

- A zoning violation notice was issued with a comply by date of 10-17-2017. There was no response to the zoning violation notice issued.
- The Construction Department was notified of the zoning violations issued.

11-17-2017: A zoning violation notice was issued with a comply by date of 11-27-2017. There was no response to the zoning violation notice issued.

- The Construction Department was notified of the zoning violations issued.

11-29-2017: The following summons' were issued:

- SC-018263 Construction of a structural retaining wall without first acquiring zoning approval.
- SC-018264 Construction of Porch stairs without first acquiring zoning approval.
- SC-018265 Construction to the front porch without first acquiring zoning approval.

- The requested court date was 01-04-2018.

01-12-2018: A Zoning Permit Application submission was received. (Attached)

01-24-2018: The Zoning Permit Application submission received on 01-12-2018 was reviewed, denied and referred to the Zoning Board of Adjustment. Zoning Determination, ID: 380095242

- Over time the court case was adjourned on multiple occasions for the following reasons: the need for an interpreter; multiple changes of attorney's and representatives for Victorino Torres; multiple failures to appear; multiple orders from the Judge for Victorino Torres to meet with the Zoning Officer; multiple requests for adjournment for time extension's.

- The Zoning Officer has met with Victorino Torres, attorney's, and representatives on multiple occasions, via telephone and in person, at the zoning counter. The Zoning Officer has reviewed all applicable Land Development Ordinances and the requirements with Victorino Torres, attorney's, and representatives on multiple occasions, via telephone and in person, at the zoning counter. The Zoning Officer has reviewed the zoning process (from submitting a complete Zoning Permit Application to submitting a complete Zoning Board of Adjustment application) with Victorino Torres, attorney's, and representatives on multiple occasions, via telephone and in person, at the zoning counter.

05-14-2018: A Zoning Permit Application submission was received. (Attached)

05-30-2018: The Zoning Permit Application submission received on 05-14-2018 was reviewed, denied and referred to the Zoning Board of Adjustment. Zoning Determination, ID: 400026651

02-07-2019: COURT = The court case was adjourned 30 days for a discovery request by Victorino Torres.

03-07-2019: COURT = Victorino Torres made the following plea agreement: - dismissal of summons SC-018263 and SC-018264, and; - pay a fine of \$500, suspending \$250, provided Victorino Torres submit a complete Zoning Board of Adjustment Application with in 60 days.

03-15-2019: A Zoning Permit Application was received. (Attached)

03-24-2019: The Zoning Permit Application submission received on 03-15-2019 was reviewed, denied and referred to the Zoning Board of Adjustment. Zoning Determination, ID: 550244941

07-30-2020: COURT = Victorino Torres failed to appear in Court.

09-24-2020: COURT = The court case was adjourned 30 days.

10-29-2020: COURT = Victorino Torres stated that he had retained a new attorney and indicated that his attorney filed all necessary paperwork. The Zoning Officer informed the Court that an application to the Zoning Board of Adjustment had still NOT been filed. The Judge indicated that Victorino Torres acquire a Zoning Board of Adjustment Application within 24 hours and have it filed by 11-05-2020. The court case was then adjourned for 30 days.

11-05-2020: A Zoning Permit Application was received. After multiple attempts, the Zoning Officer contacted Victorino Torres clarifying that application needed to be made to the Zoning Board of Adjustment, not a Zoning Permit Application to the Zoning Officer. Please note, this had been reviewed and discussed with Victorino Torres, his prior attorney's and representatives on multiple occasions. The zoning permit application fee had been returned to Mr. Torres.

- The Zoning Officer met with Victorino Torres and a representative, and was provided the Zoning Board of Adjustment Application and the contact information for the Administrative Officer to the Planning Board & Zoning Board of Adjustment.

12-03-2020: COURT = Victorino Torres failed to appear in Court. The Zoning Officer noted for the Court that Victorino Torres submitted a Zoning Permit Application to the Zoning Officer, not application to the Zoning Board of Adjustment, and was provided the Zoning Board of Adjustment Application and the contact information for the Administrative Officer to the Planning Board & Zoning Board of Adjustment.

01-21-2021: COURT = Victorino Torres was directed by the Judge to speak with the Zoning Officer. The Zoning Officer reviewed the zoning process with Victorino Torres.

02-18-2021: COURT = Victorino Torres failed to appear in Court.

03-18-2021: COURT = It was noted by the Judge that the case was going to go to trial.

04-29-2021: COURT = The Zoning Officer stated for the record that application to the Zoning Board of Adjustment had been made on 04-27-2021, and was going to be deemed incomplete. The court case was adjourned for 30 days.

07-15-21: COURT = It was noted for the court that the Zoning Board of Adjustment hearing is scheduled for 11-03-2021. The court case has been adjourned until after the Zoning Board of Adjustments decision.

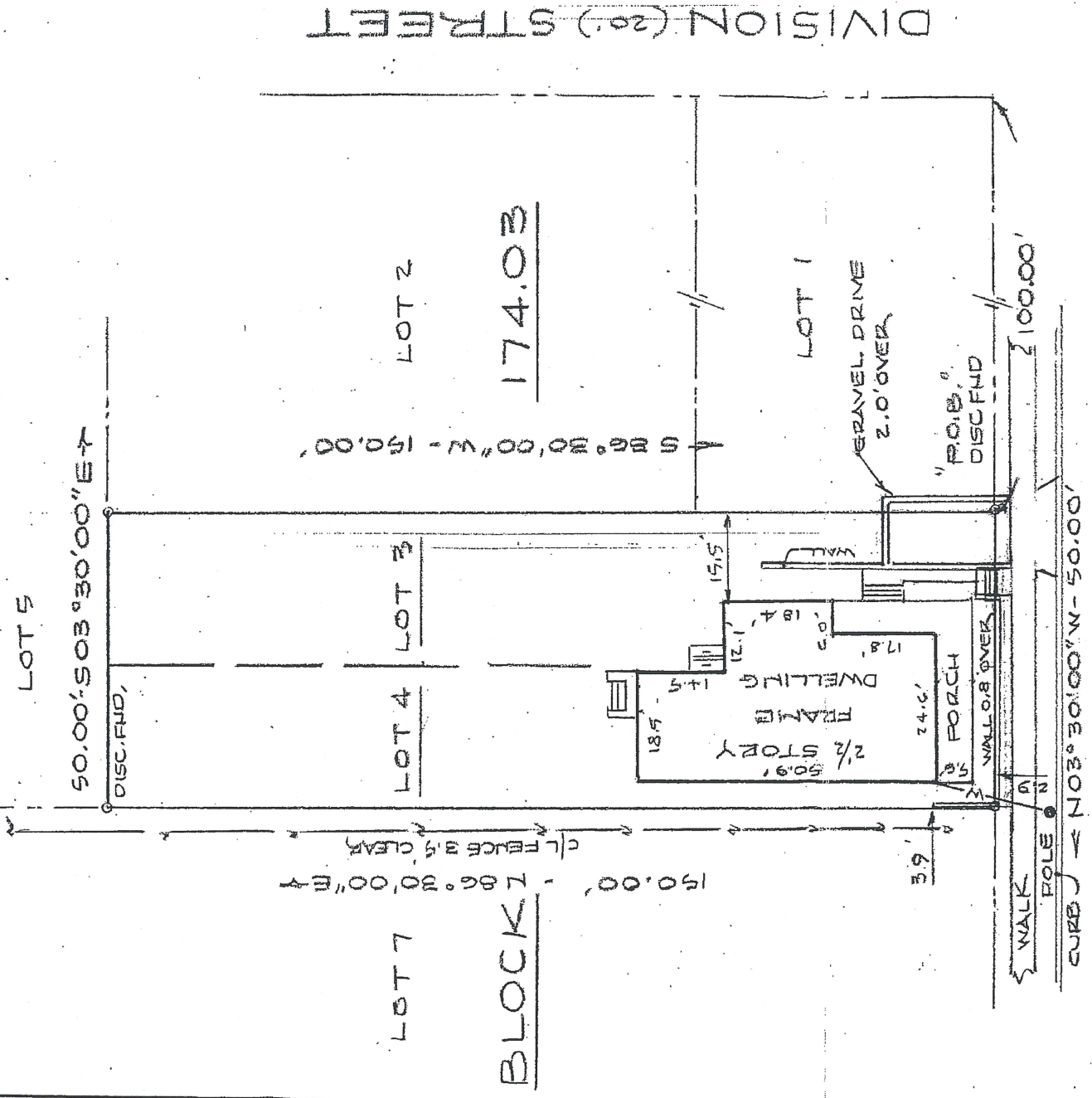
Regards,

George Waterman  
Assistant Land Use Administrator  
Township of Neptune  
25 Neptune Boulevard  
Neptune, NJ 07753  
Phone: 732.988.5200 ext. 217  
Fax: 732-988-4259  
[gwaterman@neptunetownship.org](mailto:gwaterman@neptunetownship.org)

**Confidentiality Notice!**

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N. DEED



### RIDGE (90°) AVENUE

CT - 49781-M. PAUL X. ESCANDON, ESQUIRE,  
 TO VICTORINO TORRES, UNMARRIED,  
 TO COASTAL TITLE AGENCY, INC.,  
 TO LAWYERS TITLE INSURANCE CORPORATION,  
 TO FGC COMMERTIAL MORTGAGE FINANCE  
 AND/OR ASSIGNS,  
 BY FREMONT MORTGAGE, ITS SUCCESSORS

CONTAINING: 7,500 SF.

SURVEY REFERENCE: DEED  
 LOT & BLOCK NUMBERS SHOWN HEREON  
 REFER TO THE OFFICIAL TAX MAP.

A WRITTEN WAIVER AND DIRECTION  
 NOT TO SET CORNER MARKERS  
 HAS BEEN OBTAINED FROM THE ULTIMATE USER  
 PURSUANT TO N.J.A.C. 13-40.5.(d)  
 P.L.2003.c.14 (C45-8-36.3)

THIS SURVEY IS SUBJECT TO ALL RESTRICTIONS  
 AND EASEMENTS OF RECORD, IF ANY.

THE CERTIFICATION IS MADE ONLY TO HEREON  
 NAMED PARTIES FOR PURCHASE AND/OR  
 MORTGAGE OF HEREON DELINEATED PROPERTY  
 BY HEREON NAMED PURCHASER. NO  
 RESPONSIBILITY OR LIABILITY IS ASSUMED BY  
 SURVEYOR FOR USE OF SURVEY FOR ANY OTHER  
 PURPOSE INCLUDING, BUT NOT LIMITED TO, USE  
 OF PROPERTY OR TO ANY OTHER PERSON NOT  
 LISTED IN CERTIFICATION, EITHER DIRECTLY OR  
 INDIRECTLY.

OFFSET DIMENSIONS FROM STRUCTURE TO  
 PROPERTY LINES SHOWN HEREON ARE NOT TO BE  
 USED FOR ESTABLISHING PROPERTY LINES.

SURVEY OF

### 44 RIDGE AVENUE

NEPTUNE TOWNSHIP, MONMOUTH COUNTY, N.J.

EUGENE AMRON, N.J. LIC. #8357 PROFESSIONAL ENGINEER AND LAND SURVEYOR	WILLIAM H. ZIEMAN, JR., N.J. LIC. #18259 PROFESSIONAL LAND SURVEYOR	SCALE 1" = 20'
<i>Azimuth Land Surveying Co., Inc.</i>		DRAWN BY E.S.
CERTIFICATE OF AUTHORIZATION NUMBER 24GA27981400 PROFESSIONAL ENGINEERS • LAND SURVEYORS • PLANNERS		CHECKED BY W.Z.
90 MONMOUTH ROAD • P.O. BOX 202 • OAKHURST, NEW JERSEY 07755 732-222-0431 • FAX 732-571-0461		DATE 6-11-09

5/10/23

6-11-2009





## ZONING PERMIT

Zoning Control Number: 3460 Date: \_\_\_\_\_ Fee: \$35.00

### TYPE OF APPLICATION

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Adding a New Use to a Property<br><input type="checkbox"/> Commercial Addition<br><input checked="" type="checkbox"/> Continuing/Changing the Use of a Property/Structure<br><input type="checkbox"/> Deck/Balcony<br><input type="checkbox"/> Fence/Retaining Wall*<br><input type="checkbox"/> Home Occupation<br><input type="checkbox"/> Interior Remodeling (Commercial/Residential) | <input type="checkbox"/> New Accessory Structure<br><input type="checkbox"/> New Commercial Business<br><input type="checkbox"/> New Ownership of a Property/Business<br><input type="checkbox"/> New Residence<br><input type="checkbox"/> Porch<br><input type="checkbox"/> Private Garage<br><input type="checkbox"/> Other: _____ | <input type="checkbox"/> Residential Addition<br><input type="checkbox"/> Signs<br><input type="checkbox"/> Storage Shed<br><input type="checkbox"/> Swimming Pool/Hot Tub**<br><input type="checkbox"/> Zoning Determination |
|--|---|---|

With each Zoning Permit Application you are required to submit: (for all projects within the Historic Zoning Districts) four (4) copies of a current survey/site plan and four (4) sets of construction plans; (for all projects outside of the Historic Zoning District) three (3) copies of a current survey/site plan and three (3) set of construction plans. Surveys must show the existing conditions and exact location of physical features including metes and bounds, drainage, waterways, specific utility locations and easements, all drawn to scale. All surveys *must* be prepared by a New Jersey State licensed land surveyor. Survey information may be transposed to a site plan if the date of the survey and by whom and for whom it was prepared is noted on the site plan. On all plans you are responsible for showing the actual shape and dimensions of the lot to be built upon, the exact location, size and height of all existing and proposed structures and substructures (drawn to scale), the number of dwelling units the structure is designed to accommodate, the number and location of off-street parking spaces and off-street loading areas and such other information with regard to the lot and neighboring lots as may be necessary to determine and provide for the enforcement of this Ordinance. A proposed grading plan shall be submitted for any retaining wall, construction in a steep slope area (or area abutting a steep slope), any building addition, new dwelling, swimming pool, or any work that would change the existing grading or drainage patterns at the discretion of the engineer. If you are using a business/corporation name, submit a copy of your certification of corporation or partnership interest pursuant to N.J.S.A. 40:55D-48.1 et seq.

\*Indicate location, height, and type of fence on survey/plot plan.  
 \*\*Pools require a fence. Please indicate type, height, and area of fence and location of filter.

ALL APPLICATIONS WITHIN THE HD ZONING DISTRICT REQUIRE HPC APPROVAL.

IF ANY OF THE REQUESTED INFORMATION IS SUBMITTED INCOMPLETE, THEN THIS APPLICATION SHALL BE RETURNED UNPROCESSED.

(PLEASE PRINT CLEARLY)

1. Location of property for which zoning permit is desired:  
 Street Address: 44 RIDGE AVE Block: 174.03 Lot: 3 Zone: R-S
2. Applicant Name: VICTORINO TORRES Phone No. 732 361-3337 Fax No. \_\_\_\_\_  
 Applicant's Address: 44 RIDGE AVE  
 Email: torrescontracting@gmail.com
3. Property Owner's Name: VICTORINO TORRES Phone No. 732 361-3337 Fax No. \_\_\_\_\_  
 Property Owner's Address: 44 RIDGE AVE  
 Email: torrescontracting@gmail.com
4. Present Approved Zoning Use of the Property: 2 Res Units - 1 Bldg
5. Proposed Zoning Use of the Property: \_\_\_\_\_

9-4-2012

6. Describe in detail the activity or activities you are proposing. If you are proposing construction, then describe in detail the dimension and setbacks. If you are proposing a use, then describe the proposed use.

I am proposing to let me use the parking driveway to park commercial vehicles from my company called "Torres Contracting Corp" I have 3 vehicles 2 vans and 1 pick up

7. Has the above referenced premises been the subject of any prior application to the ZONING BOARD OF ADJUSTMENT or PLANNING BOARD?

Yes No  If Yes, state date:

Board: Resolution # (if any): (submit a copy of the Resolution)

40:55D-68.3. Penalty for false filing. Any person who knowingly files false information under this act shall be liable to a civil penalty not to exceed \$1,000 for each filing. Any penalty imposed under this section may be recovered with costs in a summary proceeding pursuant to "the penalty enforcement law." N.J.S.2A:58- 1 et seq.

Adopted. L. 1989, c. 67, §3, effective April 14, 1989. The applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All zoning permits will be granted or denied within ten (10) business days from the date of complete application.

Signature of Applicant

Date 9/4/12

Print Applicant's Name Victorino Torres

Signature of Owner

Date

Print Owner's Name

Fee, date: Check

Received by:

<b>RECEIPT</b>		No. 895084
DATE 9/4/12		
FROM Torres Contr. Corp	\$35.00	
44 Ridge Ave	DOLLARS	
<input type="radio"/> FOR RENT	Zoning	
<input checked="" type="radio"/> FOR		
ACCT. PAID DUE	<input type="radio"/> CASH	FROM TO
	<input checked="" type="radio"/> CHECK 1025	BY
	<input type="radio"/> MONEY ORDER	
	<input type="radio"/> CREDIT CARD	



PJ 1/14/18

ZONING PERMIT

1/12/18 PJ

Zoning Control Number \_\_\_\_\_ Date: 1/30/17 Fee: \$35.00

TYPE OF APPLICATION

- Adding a New Use to a Property
- Commercial Addition
- Continuing/Changing the Use of a Property/Structure
- Deck/Balcony
- Fence/Retaining Wall\*
- Home Occupation
- Interior Remodeling (Commercial/Residential)
- New Accessory Structure
- New Commercial Business
- New Ownership of a Property/Business
- New Residence
- Porch
- Private Garage
- Other: \_\_\_\_\_
- Residential Addition
- Signs
- Storage Shed
- Swimming Pool/Hot Tub\*\*
- Zoning Determination

PLEASE READ THE ZONING PERMIT INFORMATION SHEET PRIOR TO COMPLETING THIS APPLICATION.

As per the Neptune Township Land Development Ordinance Section 1102 a zoning permit shall be issued prior to the commencement or change of use of a property, building or structure; the occupancy of any building or structure; the construction, erection, reconstruction, alteration, conversion, or installation of any building or structure; or the issuance of a Certificate of Appropriateness, where applicable.

The Neptune Township Zoning Map, Land Development Ordinance and its amendments can be found online at [www.neptunetownship.org/departments/land-use](http://www.neptunetownship.org/departments/land-use).

\*Indicate location, height, and type of fence on survey/plot plan.  
\*\*Pools require a fence. Please indicate type, height, and area of fence and location of filter.

ALL APPLICATIONS WITHIN THE HISTORIC DISTRICT REQUIRE HPC APPROVAL.

IF ANY OF THE REQUESTED INFORMATION IS SUBMITTED INCOMPLETE, THEN THIS APPLICATION SHALL BE RETURNED UNPROCESSED.

(PLEASE PRINT CLEARLY)

- Location of property for which zoning permit is desired:  
Street Address: 44 RIDGE AVE Block: S10 Lot: 23 Zone: R5
- Applicant Name: VICTORINO TORRES Phone No. 908 4336723 Fax No. \_\_\_\_\_  
Applicant's Address: 44 RIDGE AVE, NEPTUNE NJ 07753  
Email: \_\_\_\_\_
- Property Owner's Name: VICTORINO TORRES Phone No. 908 4336723 Fax No. \_\_\_\_\_  
Property Owner's Address: 44 RIDGE AVE, NEPTUNE NJ 07753  
Email: \_\_\_\_\_
- Present Approved Zoning Use of the Property: 2 Family
- Proposed Zoning Use of the Property: Same

1-12-2018

6. Describe in detail the activity or activities you are proposing. If you are proposing construction, then describe in detail the dimension and setbacks. If you are proposing a use, then describe the proposed use. \_\_\_\_\_

• TO FIX AND RENOVATE THE RETAINING WALL  
• FIX AND GRIND THE DRIVE WAY WITH PAVER  
250 SQF  
• FIX THE STEP PAVERS  
(ATTACHED PLAN)

7. Has the above referenced premises been the subject of any prior application to the ZONING BOARD OF ADJUSTMENT or PLANNING BOARD?

Yes \_\_\_ No  If Yes, state date: \_\_\_\_\_


Board: \_\_\_\_\_ Resolution # (if any): \_\_\_\_\_ (submit a copy of the Resolution)

8. For all exterior work pertaining to additions and accessory structures, excluding fences, please provide:

Building Coverage: \_\_\_\_\_% Lot Coverage: \_\_\_\_\_% (Please include calculations)

40:55D-68.3. Penalty for false filing. Any person who knowingly files false information under this act shall be liable to a civil penalty not to exceed \$1,000 for each filing. Any penalty imposed under this section may be recovered with costs in a summary proceeding pursuant to "the penalty enforcement law," N.J.S.2A:58- 1 et seq.

Adopted. L. 1989, c. 67, §3, effective April 14, 1989. The applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All zoning permits will be granted or denied within ten (10) business days from the date of complete application.

  
\_\_\_\_\_  
Signature of Applicant

11/30/17  
\_\_\_\_\_  
Date

VICTORINO TORRES  
\_\_\_\_\_  
Print Applicant's Name

  
\_\_\_\_\_  
Signature of Owner

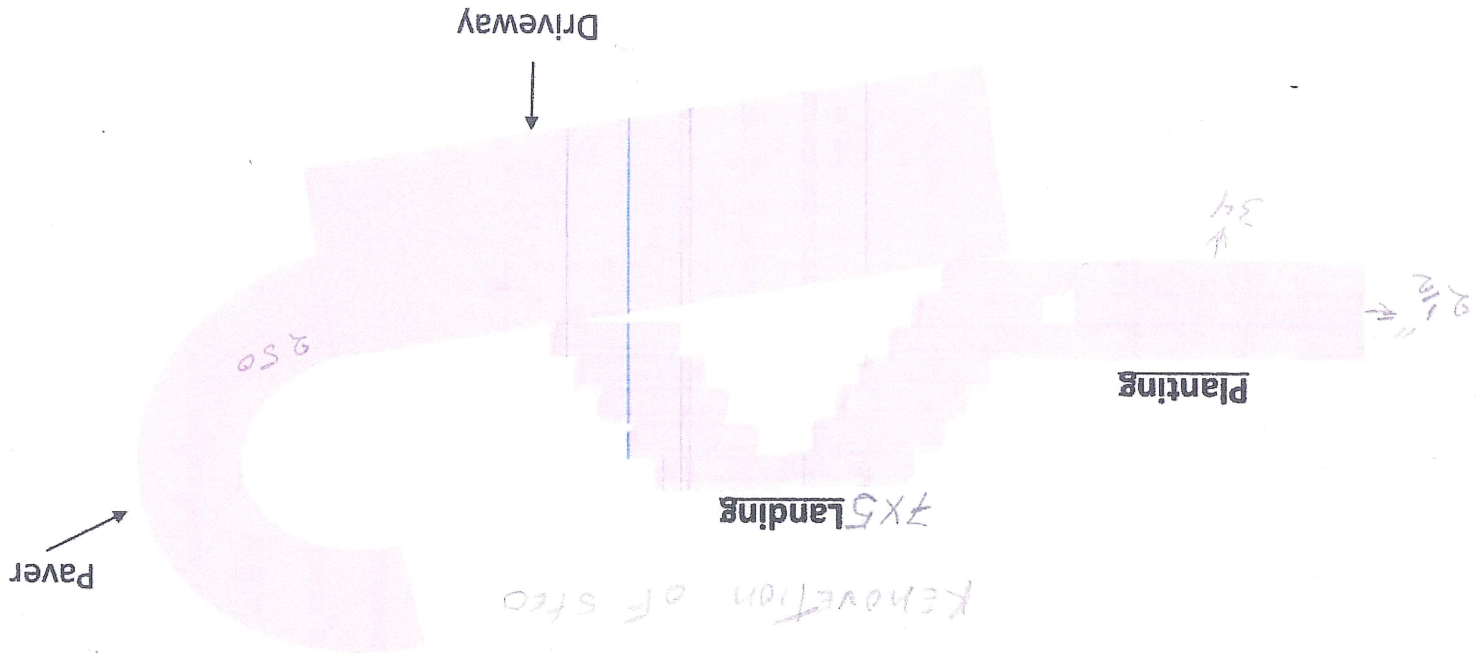
11/30/17  
\_\_\_\_\_  
Date

VICTORINO TORRES  
\_\_\_\_\_  
Print Owner's Name

----- FOR OFFICE USE -----

Fee date: \_\_\_\_\_ Check#: \_\_\_\_\_ Cash: \_\_\_\_\_

Received by: \_\_\_\_\_ Receipt#: \_\_\_\_\_



REMOVAL OF STCO



LOT 20  
BLOCK 510  
(TM)

S 03°30'00" E 50.00'

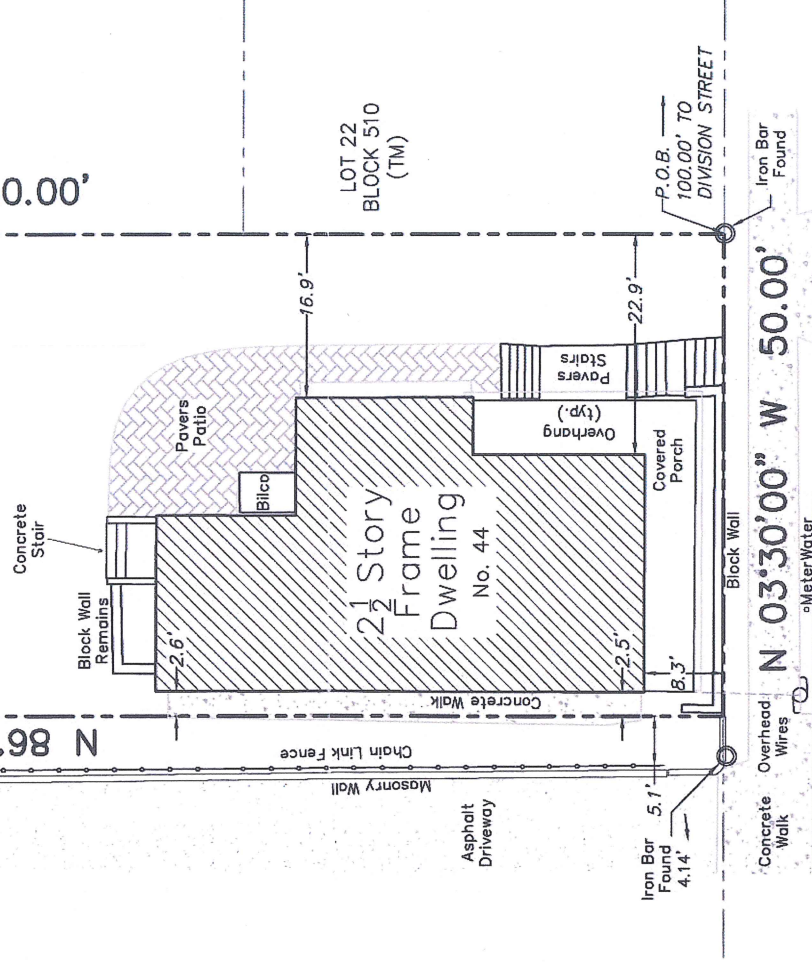


LOT 21  
BLOCK 510  
(TM)

LOT 23  
BLOCK 510  
(TM)  
7,500 S.F.

N 86°30'00" E 150.00'

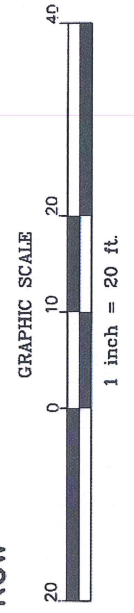
S 86°30'00" W 150.00'



N 03°30'00" W 50.00'

RIDGE AVENUE

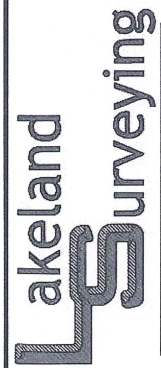
50' ROW



This survey certified to:  
**VICTORINO TORRES**

**This survey references:**  
Deed Book 8481 Page 8799  
Survey of property of Azimuth Surveying,  
dated 06/11/05

**Notes:**  
Field Survey Performed on 12/19/17  
Subject to an accurate title search  
Subject to documents of record



117 Hibernia Avenue | Rockaway | NJ  
Ph: (973) 625-5670 | Fax: (973) 625-4121  
www.LakelandSurveying.com  
Certificate of Authorization #Z4G428090000

PROJECT NUMBER  
174089

SCALE  
1" = 20'

DATE  
12/20/17

FIELD:  
OAA

DWN BY:  
DBU

CHECKED:  
MJC

**SURVEY OF PROPERTY**  
Tax Lot 23 - Block 510

44 Ridge Avenue, Township of Neptune  
Monmouth County, New Jersey

MAFIO CIFONE, Professional Land Surveyor N.J. Lic. No 24GS04132900  
JEFFREY O. MALES, Professional Land Surveyor N.J. Lic. No 24GS03008700

A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003, c.14 (C45:8-36.3) and N.J.A.C. 13:40-5.1 (d).

1-12-2018

per 5/14/18

Fee \$35.00

ZONING DEPARTMENT  
PHONE 732-988-5200 .x. 217  
FAX 732-988-4259

Control Number: \_\_\_\_\_

Date: 5-14-2018

### Zoning Permit Application

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> ADDING A NEW USE TO A PROPERTY     | <input type="checkbox"/> HOME OCCUPATION                    | <input type="checkbox"/> PRIVATE GARAGE            |
| <input type="checkbox"/> AIR CONDENSER UNIT(S)              | <input type="checkbox"/> INTERIOR REMODEL - COMM / RES      | <input type="checkbox"/> RESIDENTIAL ADDITION      |
| <input type="checkbox"/> COMMERCIAL ADDITION                | <input type="checkbox"/> NEW ACCESSORY STRUCTURE            | <input type="checkbox"/> SIGNS                     |
| <input type="checkbox"/> CONTINUING / CHANGING USE          | <input type="checkbox"/> NEW COMMERCIAL BUSINESS            | <input type="checkbox"/> SOLAR                     |
| <input type="checkbox"/> DECK / BALCONY                     | <input type="checkbox"/> NEW OWNERSHIP OF PROPERTY/BUSINESS | <input type="checkbox"/> STORAGE SHED              |
| <input type="checkbox"/> DRIVEWAY / SIDEWALK / APRON        | <input type="checkbox"/> NEW RESIDENCE                      | <input type="checkbox"/> SWIMMING POOL / HOT TUB** |
| <input checked="" type="checkbox"/> FENCE / RETAINING WALL* | <input type="checkbox"/> PORCH                              | <input type="checkbox"/> ZONING DETERMINATION      |
| <input type="checkbox"/> OTHER: _____                       |   |  |

\*Indicate location, height, and type of fence or wall on survey / plot plan. \*\*Pools require a fence. Please indicate type, height, and area of fence, and location of filter.

**PLEASE READ THE ZONING PERMIT INFORMATION SHEET PRIOR TO COMPLETING THIS APPLICATION**

As per the Neptune Township Land Development Ordinance Section 1102, a Zoning Permit shall be issued prior to the commencement or change of use of a property, building or structure; the occupancy of any building or structure; the construction, erection, reconstruction, alteration, conversion, or installation of any building or structure; or the issuance of a Certificate of Appropriateness, where applicable.

The Neptune Township Zoning Map, Land Development Ordinance and its amendments can be found online at [www.neptunetownship.org/departments/land-use](http://www.neptunetownship.org/departments/land-use).

**ALL APPLICATIONS FOR PROPERTY WITHIN THE HISTORIC DISTRICT REQUIRE HPC APPROVAL**

PLEASE NOTE: If any of the requested information is submitted incomplete, this application shall be returned, unprocessed.

Please print clearly:

1. BLOCK: 510 LOT: 23 ZONE: R-5

2. ADDRESS: 44 RIDGE AVE, NEPTUNE, NJ 07753

<b>3. OWNER INFORMATION (required):</b>	<b>APPLICANT INFORMATION (required):</b>
Name: <u>VICTORIANO TORRES</u>	Name: <u>OWNER</u>
Address: <u>44 RIDGE AVE</u>	Address: _____
<u>NEPTUNE, NJ 07753</u>	_____
Phone: <u>908-433-6723</u>	Phone: _____
Email: _____	Email: _____

4. PRESENT APPROVED ZONING USE OF THE PROPERTY: RESIDENTIAL 2-FAMILY

5. PROPOSED ZONING USE OF THE PROPERTY: \_\_\_\_\_ OR  UNCHANGED

5-14-2018

6. Describe in detail the activity or activities you are proposing. If you are proposing construction, describe in detail the dimensions and setbacks. If you are proposing a use, describe the proposed use.

THERE WAS A WOODEN RETAINING WALL IN FRONT OF MY HOME WHICH WAS SEVERELY DETERIORATED. I ASKED THE TOWNSHIP IF I NEEDED A PERMIT TO REPAIR SAME. I WAS TOLD I DID NOT. NOW THAT I REPAIRED / REPLACED THE RETAINING WALL, I HAVE BEEN TOLD I REQUIRE A PERMIT.

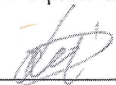
I HAVE ATTACHED A COPY OF A SURVEY AND AN ARCHITECTURAL RENDERING SHOWING THAT THE NEW WALL IS PLACED EXACTLY ON THE SAME FOOTING AS THE OLD WALL.


7. Has the above referenced premises been the subject of any prior application to the Zoning Board of Adjustment or Planning Board?  YES  NO  
If YES: Date: \_\_\_\_\_ Board:  ZONING Resolution # (if any): \_\_\_\_\_  
 PLANNING (Please supply a copy of the resolution)

8. For all exterior work pertaining to additions and accessory structures, excluding fences, provide:  
BUILDING COVERAGE: \_\_\_\_\_ % LOT COVERAGE: \_\_\_\_\_ %  
(Please include calculations.)

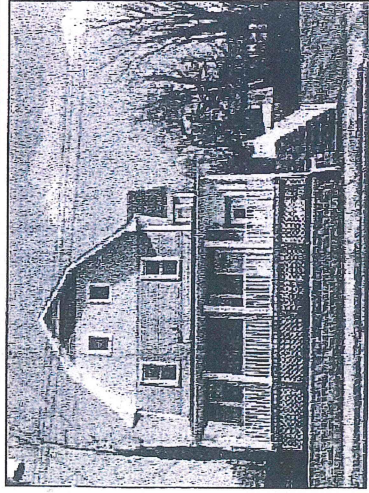
40:55D-68.3. Penalty for false filing. Any person who knowingly files false information under this act shall be liable to a civil penalty not to exceed \$1,000 for each filing. Any penalty imposed under this section may be recovered with costs in a summary proceeding pursuant to "the penalty enforcement law," N.J.S.2A:58- 1 et seq.

Adopted. L. 1989, c. 67, §3, effective April 14, 1989. The applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All zoning permits will be granted or denied within ten (10) business days from the date of complete application.

  
OWNER NAME - Please PRINT  
VICTORIANO TORRES  
OWNER SIGNATURE  
5/14/18  
DATE

  
APPLICANT NAME - Please PRINT  
VICTORIANO TORRES  
APPLICANT SIGNATURE  
5/14/18  
DATE





LOT 20  
BLOCK 510  
(TM)

S 03°30'00" E 50.00'

Wood Fence

1.7'

Rebar w/  
Cap Found

3.4'

LOT 1  
BLOCK 510  
(TM)

LOT 21  
BLOCK 510  
(TM)

Masonry  
Garage  
4.2'

S 86°30'00" W 150.00'

LOT 23  
BLOCK 510  
(TM)  
7,500 S.F.

N 86°30'00" E 150.00'

Asphalt  
Driveway

Concrete  
Stair

Block Wall  
Remains

2.6'

Block

Chain Link Fence

Masonry Wall

Asphalt  
Driveway

16.9'

LOT 22  
BLOCK 510  
(TM)

2.5'

Concrete Walk

Block Wall

Overhead:  
Wires

Concrete Walk

Iron Bar Found

4.14'

5.1'

22.9'

Pavers  
Stairs

Overhang  
(typ.)

Covered  
Porch

Block Wall

Overhead:  
Wires

Concrete Walk

Iron Bar Found

100.00' TO  
DIVISION STREET

P.O.B.

N 03°30'00" W 50.00'

Block Wall

Overhead:  
Wires

Concrete Walk

Iron Bar Found

4.14'

5.1'

22.9'

Pavers  
Stairs

Overhang  
(typ.)

Covered  
Porch

Block Wall

Overhead:  
Wires

Concrete Walk

Iron Bar Found

100.00' TO  
DIVISION STREET

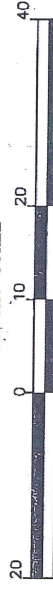
P.O.B.

Concrete Curb

RIDGE AVENUE

50' ROW

GRAPHIC SCALE



1 inch = 20 ft.

This survey certified to:  
VICTORINO TORRES

This survey references:  
Deed Book 8481 Page 8799  
Survey of property of Azimuth Surveying,  
dated 06/11/05

Notes:  
Field Survey Performed on 12/19/17  
Subject to an accurate title search  
Subject to documents of record



117 Hibernia Avenue | Rockaway | NJ  
Ph: (973) 625-5670 | Fx: (973) 625-4121  
www.LakelandSurveying.com  
Certificate of Authorization #Z4642899000

SURVEY OF PROPERTY

Tax Lot 23 - Block 510

44 Ridge Avenue, Township of Neptune  
Monmouth County, New Jersey

PROJECT NUMBER  
174089

SCALE  
1"=20'

DATE  
12/20/17

FIELD:  
OAA

DWN BY:  
DBJ

CHECKED:  
MJC

MAURIZIO CIFONE, Professional Land Surveyor N.J. Lic. No 246S04132900  
JEFFREY O. MALES, Professional Land Surveyor N.J. Lic. No 246S03008700

A written Waiver and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to P.L.2003-c.14 (C45-B-26.3) and R.S.A.C. 13:40-5.1(d).

5-14-2018

CODES REFERENCED

UNIFORM CONSTRUCTION CODE OF NEW JERSEY, SUB CHAPTER 6  
 2015 INTERNATIONAL RESIDENTIAL CODE NJ EDITION  
 2014 NATIONAL ELECTRIC CODE  
 2015 NATIONAL STANDARD PLUMBING CODE ILLUSTRATED  
 2015 INTERNATIONAL MECHANICAL CODE NJ EDITION  
 2015 INTERNATIONAL FUEL GAS CODE NJ EDITION  
 2015 INTERNATIONAL ENERGY CONSERVATION CODE NJ EDITION  
 ICC/ANSI A117.1 - 2009

NEW DECK TO THE :  
**TORRES RESIDENCE**  
 44 RIDGE AVENUE  
 NEPTUNE, NJ 07753

CODE CONFORMANCE NOTES

USE GROUP INFORMATION:	R-5
CONSTRUCTION CLASSIFICATION:	5B
AREA CALCULATIONS	NEW
NEW PORCH	2632 SF.
NEW STAIR	147.4 SF.
NEW RETAINING WALL	37.75 SF.
<b>TOTAL</b>	<b>44835 SF.</b>

INDEX OF DRAWINGS

- A-001 COVER SHEET  
 A-101 DECK FOUNDATION, DECK PLAN, DECK STRUCTURAL PLAN, DECK DTL

GENERAL NOTES

1 GENERAL CONDITIONS

- All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, county and city zoning, building, Elec. Mech. Plumbing and Fire codes. Prime Sub Contractor shall verify all code requirements before commencement of construction and bring any discrepancies between code requirements and construction documents to the attention of the Architect/Engineer.
- Prime Sub Contractor shall bring errors and omissions which may occur in Contract Documents to the attention of the Architect/Engineer in writing and written instructions shall be obtained before proceeding with the work. The Prime Sub Contractor will be held responsible for the results of any errors, discrepancies, or omissions in the Contract Documents, of which the Prime Sub Contractor failed to notify the Architect before construction and/or fabrication of the work.
- These documents are intended to define the work in general terms and comply with applicable codes and practices in force at this date. The owner/general contractor shall assume liability for their selection and installation of materials and finishes.
- Do not scale drawings. In the event of a conflict, written dimensions shall govern.
- Provide adequate blocking for support of shelves, grab bars, counters etc.

2 SITE WORK

- Presumptive Soil Bearing Capacity is 2000 psf on undisturbed soil, liquid earth pressure (e res) is 45 psf, and soil profile Type B. All concrete footings shall bear on undisturbed soil or engineered fill. All presumed soil values shall be verified by a Geotechnical Engineer before construction begins.
- No excavations shall be made whose depth below the footing is greater than 1/2 the horizontal distance from the nearest edge of that footing.
- All backfill at structures, slabs, steps, and pavements shall be clean fill. Compact to 95 percent maximum dry density determined in accordance with ASTM D-1557. Building site shall be dry so that erosion will not occur in the foundation.
- Backfill shall be brought up equally on each side of walls.
- Unless noted otherwise, all footings shall be centered under wall or column above.

3 METALS

- Steel lintels for non-bearing exterior masonry walls and exterior masonry veneer shall be:
  - For each 4" thickness of wall and opening:
    - Less than 3'-0" use 1 angle - 3 1/2" x 3 1/2" x 1/4"
    - 3'-0" to 6'-0" use 1 angle - 5" x 3 1/2" x 5/16"
    - 6'-0" to 8'-0" use 1 angle - 6" x 3 1/2" x 3/8"
    - Over 8'-0" see plan
  - Lintels shall be installed with their long leg vertical. c) Bearing at each end shall be 6" but not less than 1" for each foot of span.
- All steel shall be painted with one shop coat or red oxide paint primer or approved equal. Field painting shall be as directed by the Architect/Engineer.
- See General Specifications on this sheet for more information.

4 MECHANICAL

- Mechanical/Plumbing drawings prepared by Owner's Engineer.
  - Developer's Engineer shall prepare and submit plans, riser diagrams, and calculations as required.
  - The work shall be installed as indicated on drawings, however, changes to accommodate installation of this work with other work or in order to meet architectural or structural conditions shall be made without additional cost to owner.
  - For purposes of clarity and legibility, the drawings are essentially diagrammatic to the extent that offsets, bends, special fittings and exact locations are not indicated. Prime Sub Contractor shall make use of all cuts in all of the Contract Documents and shall verify this information submit one copy of shop drawings to Architect prior to construction for review for conformance with the design concept of project.

5 ELECTRICAL

- Electrical system layouts are generally diagrammatic, location of outlets and equipment is approximate. Exact routing of wiring, locations of outlets shall be governed by structural conditions and obstructions, wiring for equipment requiring maintenance and inspection shall be readily accessible.

6 WOOD

- All woods and wood construction shall comply with specifications and codes with modifications as specified in the governing code referenced on this sheet.
- The DESIGN LOADS are as follows:
 

<b>ROOF</b>	<b>FLOOR</b>
Ground Snow	Live Load - Living Areas
Allow Storage	• 20 psf (42" Ht. min.)
Wind Speed	• 10 mph, Exposed B
Dead Load	• 10 psf
	Dead Load - Tile Floors
	• 15 psf
	Live Load - Exterior Decks
	• 60 psf
- Shop drawings, signed and sealed by a professional engineer registered in the state of prop. const. shall be submitted to the Architect for approval prior to fabrication of trusses. Shop drawings shall include the following items:
  - drafted plan lay-outs identifying all trusses.
  - calculations for load determination on trusses, giving uniform loads (partial or otherwise) and/or point loads.
  - truss configuration drawing giving stresses on all members including plates.
- Hangers, framing anchors and fasteners: provide and install stamped and fabricated steel of type indicated as required. Nails to be those furnished by manufacturer for this specific use. Nails shall be fully driven in all holes in the anchor. "Skipson" or approved equal, conforming to the requirements indicated shall be provided. All hangers and anchors shall be galvanized or triple dipped zinc coated. Verify compatibility with specific lumber used.
- Install pressure treated lumber where lumber is in contact with concrete.
- All headers at bearing conditions shall be as size shown on plans.
- All headers at non-bearing conditions shall be as follows:
 

Opening Size	Interior Header	Exterior Header
Up to 3'-0"	(1) 2" x 4" cased opening	(2) 2" x 4"
Up to 3'-0"	(2) 2" x 4" non cased opening	(2) 2" x 4"
3'-0" to 6'-0"	(2) 2" x 4" non cased opening	(2) 2" x 6"
6'-0" to 8'-0"	(2) 2" x 4" non cased opening	varies, see plans
- Interior non-bearing partitions - stud spacing 16" o.c. Interior bearing walls - stud spacing 16" o.c. Exterior bearing or non-bearing walls - stud spacing 16" o.c. All bearing walls require temporary lateral bracing until final sheathing is in place. All studs shall be 2" x 4" min. unless otherwise noted on plan.
- Refer to 2015 IBC NJ Edition Table 2304.3.1 Fastening Schedule for items not addressed on this sheet or this plan.
- @ indicates point load above. Block solid within floor system and or girt CHU solid 16" wide two blocks down w/ 2000 psi pea gravel concrete or girt.
- Multiple joists, beams and/or headers - flush conditions shall be face nailed w/ 2 rows of 8d nails @ 8" o.c. staggered. Apply nailing from both faces @ 3-ply or more conditions.
- Pre-manufactured roof trusses and TJ floor joists shall be installed as recommended by the manufacturer, architectural and structural plans. In case of a discrepancy, the Architect/Engineer shall be notified before construction begins.
- Manufacturer to provide specification for temporary and permanent lateral and diagonal bracing as required for roof and floor systems.
- See General Specifications on this sheet for more information.
- Unless noted otherwise on plan, stahuel stringers, tracks and landing design and connection by others.

7 CONCRETE

- See General Specifications on this sheet for more information.

8 MASONRY

- Hollow concrete masonry units (CMU) shall be grade N, Type 2, of normal weight conforming to ASTM C90 with a minimum compressive strength of 2,000 psi (f'c=1500 psi).
- CMU grout shall have a 2,500 psi compressive strength with a 3/8" max aggregate size conforming to ASTM C416.
- Type "M" mortar conforming to C270 shall be used.

GENERAL SPECIFICATIONS

ALUMINUM WRAP	0.01" ALUMINUM
CEMENTITIOUS BOARD	"DURROCK" OR APPROVED EQUAL (PROVIDE AS A BACKER AT ALL TUB/SHOWER AREAS)
CRUSHED STONE	10% OF STONE NOT TO PASS #4 SIEVE
CULTURED STONE	CULTURED STONE PRO-FIT LEDGESTONE
DA"PROOFING	TYPE T COLD APPLICATION ASPHALT
FOUNDATION ANCHORAGE	GALVANIZED STRAPS SPACED AS PER MANUF OR 1/2" GALVANIZED ANCHOR BOLTS @ MAX 6'-0" O.C. VERIFY CORROSION RESISTANCE COMPATIBILITY W/ PRESERVATIVE TREATED LUMBER. SEE 6-103 FOR MORE INFO.
FRAMING NAILS	1/2" BOX (0.018" DIA. BY 3 1/4" LONG), 1/2" BOX (0.018" DIA. BY 3" LONG), 8d COMMON (0.013" DIA. BY 2 1/4" LONG), 8d COMMON MAY BE SUBSTITUTED W/10d BOX.
GUTTERS & LEADERS	0.27" SEAMLESS ALUMINUM
INSULATION-RIGID	1" EXTRUDED POLYSTYRENE WITH R-5 (MIN)
INSULATION-FIBERGLASS BATT	SEE DESCRIPTIVE PACKAGE CHART OR APPROVED EQUAL
JOIST HANGERS	GALVANIZED UNALS AS FURNISHED BY MANUFACTURER (SKIPSON OR APPROVED EQUAL)
LUMBER-WALL STUDS	DOUG FIR STUD GRADE
LUMBER-HEADERS/PLATES/RAFT	DOUG FIR 2
PARALLAMS, BEAMS/COLUMN	17PC BY TJ w/5+15,000 psi, E+2,000,000 psi, Fc+2500 psi, Fu+250 psi, Fv+25000 psi, Fc +650 psi
LUMBER-FOUNDATION PLATES	TREATED IN ACCORDANCE W/ ALPA STANDARDS OR TRUSJOIST TRIBERSTRAND L&L
MORTAR & GROUT	TYPE "M" MORTAR SHALL BE USED BELOW GRADE/ TYPE "S" MORTAR SHALL BE USED ABOVE GRADE
ROOF SHINGLES	ASPHALT-FIBERGLASS COMPOSITION THREE-TAB CONFORMING TO UL CLASS "A"
SHEATHING-ROOF	5/8" APA RATED SHEATHING 32& EXP. 1 PROVIDE PANEL-CLIPS @ MID-SPAN FOR SPANS GREATER THAN 24' O.C. W/8d NAILS @ 6" O.C. PANEL EDGES, 12" O.C. FIELD
SHEATHING-WALL (EXTERIOR)	7/8" APA RATED SHEATHING 24& EXP. 1 W/8d NAILS @ 6" O.C. EDGES, 12" O.C. FIELD
SHEATHING-FLOOR	23/32" APA RATED STURD-I-FLOOR 24 O.C EXP. 1 T & S GLUED AND NAILED W/8d @ 6" O.C. PANEL EDGE, 12" O.C. FIELD
HORIZONTAL SIDING	SEE ELEVATIONS
INTERIOR FINISH OF UNIT	DRYWALL ATTACHED TO STUDS, BLOCKING, TOP 4 BOTTOM PLATES WITH
PERIMETER STUD WALLS	DRYWALL FASTENERS, SPACE FASTENERS @ 1' O.C. TYP. UNO. (SEE PLANS & SECTIONS FOR SIZE OF DRYWALL)
REINFORCING STEEL	8#ALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-618 GRADE 60
SLAB REINFORCEMENT	6#X6-10@8 W/UP, CONFORMING TO ASTM A-108, W/UP SHALL BE LAPPED AT LEAST 8"
CONCRETE	4000 PSI/28 DAYS, 4" SLUMP AT 1", 4% TO 6% AIR ENTRAINMENT, MAX W/C RATION = 0.50
STRUCTURAL STEEL	ASTM A-36, (A-307) BOLTS
UNDERLAYMENT-ROOF	5 LB. ASPHALT IMPREGNATED BUILDING PAPER W/ ICE & WATER SHIELD TO 1" INSIDE WALL LINE. PROVIDE 2 LAYERS OF BUILDING PAPER WHEN ROOF PITCH IS 4:12 OR LESS. INSTALL MTL ROOF EDGE.
UNDERLAYMENT-WALL	5 LB. ASPHALT IMPREGNATED BUILDING PAPER OR "TYVEK" HOUSE WRAP OR APPROVED EQUAL
VAPOR BARRIER	1/6 MIL POLYETHYLENE

ABBREVIATIONS

• At the rate of	DIW Dishwater	NTS Not to scale	TOT Top of, Trimmed
EA Each	EA Electrical	OPNG Opening	TYF Typical
••• Number or Round	ELEV Elevation	PLBQ Plumbing	UL Underwriters' Laboratories
••• Approximately	ENTR Entrance	PLYD Plywood	VENT Ventilation, Ventilator
• Diameter	EQ Equal	PNT Paint	W/ With
• Center Line	EQPT Equipment	PVC Polyvinyl Chloride	W/O Without
• Flats	EXIST Existing	R Riser	W/ Wood
• AB Anchor bolt	EXT Exterior	REF Refrigerator	W/ Wood
• ABV Above	FIN Finish	REFL Reflected	W/ Wood
• AFFR Above Finished Floor	FIN FLR Finished Floor	REQ Required	W/ Wood
• APPROX Approximately	FIXT Fixture	REV Reverse, Revise,	W/ Wood
• BLKG Blocking	FLG Flooring	REV Revise	W/ Wood
• BLU Below	FLSH Flashing	RM Room	W/ Wood
• BO Bottom of	FM Fiber Mesh	RO Rough Opening	W/ Wood
• BSHT Basement	FTG Footing, Fitting	SCHED Schedule	W/ Wood
• CL Closet	CH Counter Height	SECT Section	W/ Wood
• CO Ceased Opening	HDY Header	SF Square Foot	W/ Wood
• CRPT Carpet	HTG Heating	SPEC Specification	W/ Wood
• CT Ceramic Tile	HTR Header	STD Standard	W/ Wood
• CTR Center	INSUL Insulation	STL Steel	W/ Wood
• DIA Diameter	MAX Maximum	STOR Storage	W/ Wood
• DN Down	MIN Minimum	T&G Tongue and Groove	W/ Wood
• DTL Detail	NECY Necessary	TEMP Temporary, Tempared	W/ Wood

MATERIAL SYMBOLS

CAST STONE	CUT STONE, BLUESTONE, FLAGSTONE OR SLATE	RESILIENT FLOORING	STEEL	LIGHTWEIGHT CONCRETE
EARTH, UNDISTURBED	STONE, ROUGH-CUT OR RUBBLE	CARPET AND PAD	PLASTER, CEMENT, SAND, GROUT	CRUSHED STONE, GRAVEL OR POROUS FILL
EARTH, BACKFILL	WOOD, FINISH	CERAMIC TILE, LARGE SCALE	ROCK OR STONE	STUCCO REINFORCED
BATT OR BLOWN INSULATION	WOOD, ROUGH	CERAMIC TILE, PROFILE	BRICK	PLYWOOD, SMALL SCALE
RIGID INSULATION	WOOD BLOCKING	GLASS, LARGE SCALE	CONCRETE MASONRY UNIT	METAL, SMALL SCALE STRUCTURAL, FLASHING
METAL, ALUMINUM, ETC.	PLYWOOD, LARGE SCALE	GLASS, SMALL SCALE	CAST IN PLACE OR PRE-CAST CONCRETE	GYPSUM WALL BOARD

DESIGNATIONS

ELEVATION NO.	DETAIL NUMBER	DOOR SYMBOL
INTERIOR ELEVATION	SHEET NUMBER	WINDOW SYMBOL
SHEET NO.	DETAIL	REVISION NUMBER
(TS) TEST BORING	(WP) WORK POINT	INTERIOR BRG. WALL
(DP) DATUM POINT	(CP) CONTROL POINT	INT. BRG. WALL ABOVE
DATUM ELEVATION	DETAIL ENLARGEMENT	SECTION NUMBER
MATCH LINE	G.I. CHANGE OF FLOOR FINISH	SHEET NUMBER
		BUILDING SECTION

**Parallel Architectural Group**  
 Certificate of Authorization # ACC020953  
 434 Broadway, Suite 3 Long Branch, NJ 07740  
 P: 732.275.4426 F: 732.275.4168

New Deck to The:  
**TORRES RESIDENCE**  
 44 RIDGE AVENUE  
 NEPTUNE, NJ 07753  
 Block: 510 Lot: 23

Antonia Scallies, AIA  
 NJ 14066-919  
 NY 09133-1  
 PA RA402995

Title:  
**COVER SHEET**

Comm. No.: 15713.10.022  
 Basis: As Shown  
 Drawn By: JC  
 Checked By: AS

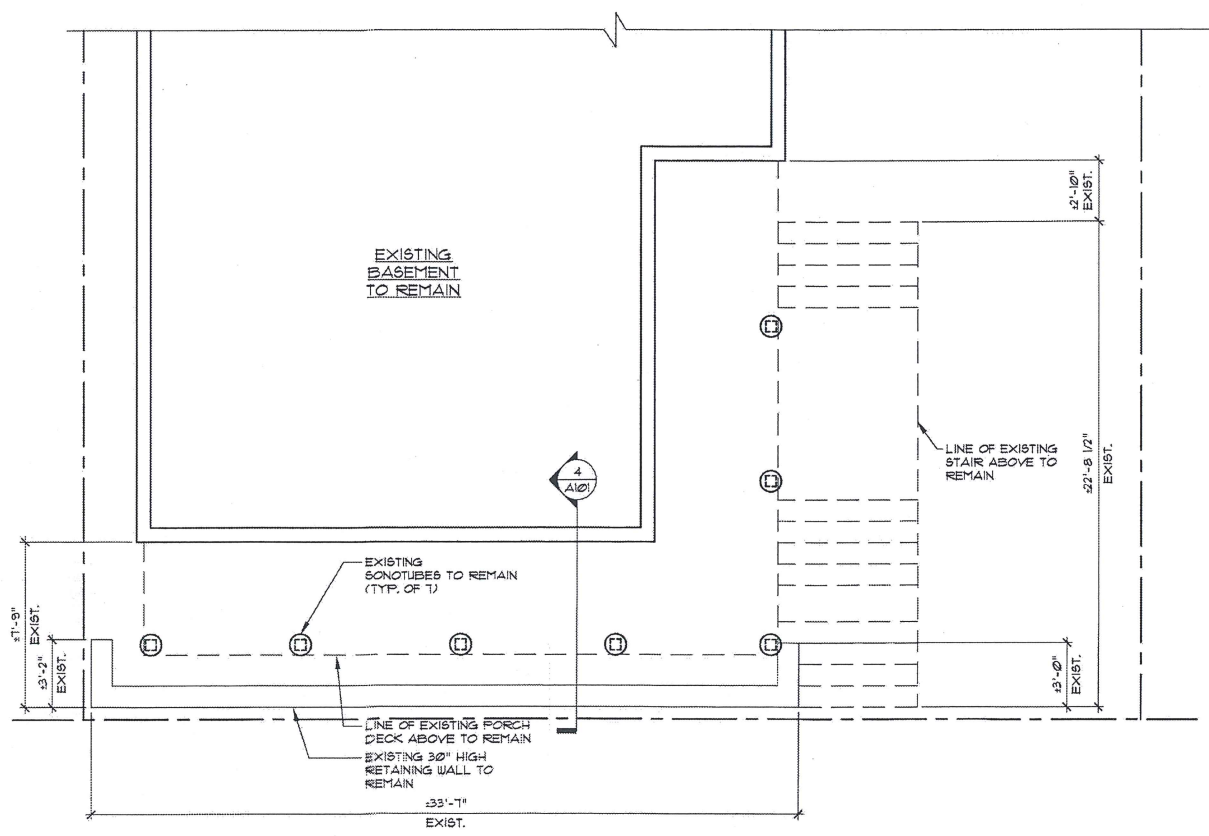
Date: April 16, 2018  
 Revisions:

No.	Date	Description

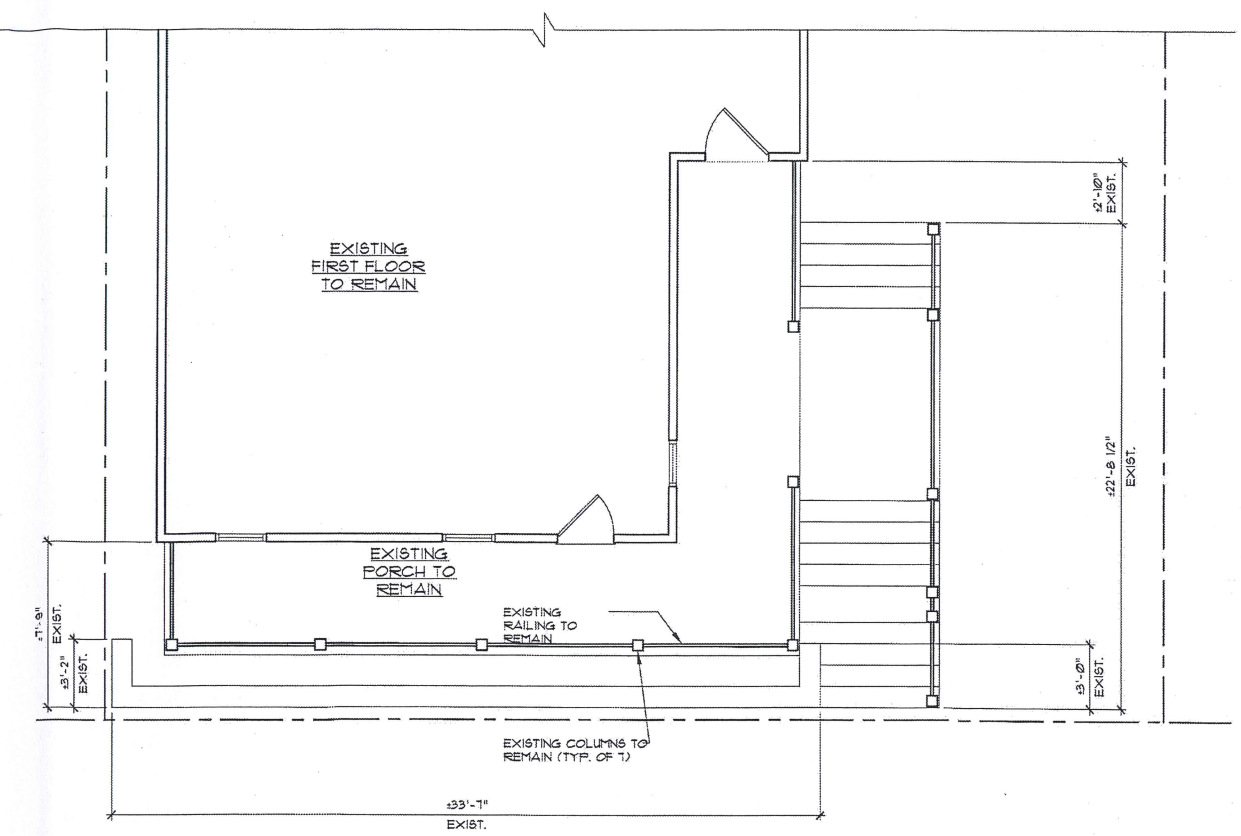
Parallel Architectural Group LLC  
 www.parallelgrp.com  
 44 Ridge Avenue  
 Neptune, NJ

A-001  
 1 OF 2  
 © 2018 Parallel Architectural Group LLC

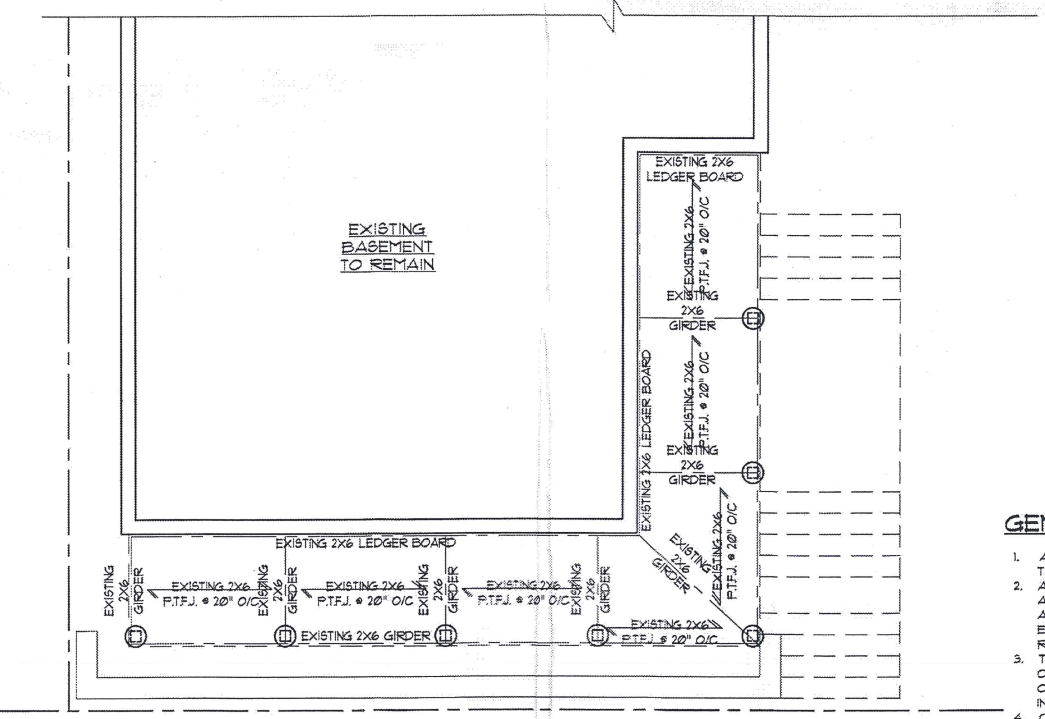
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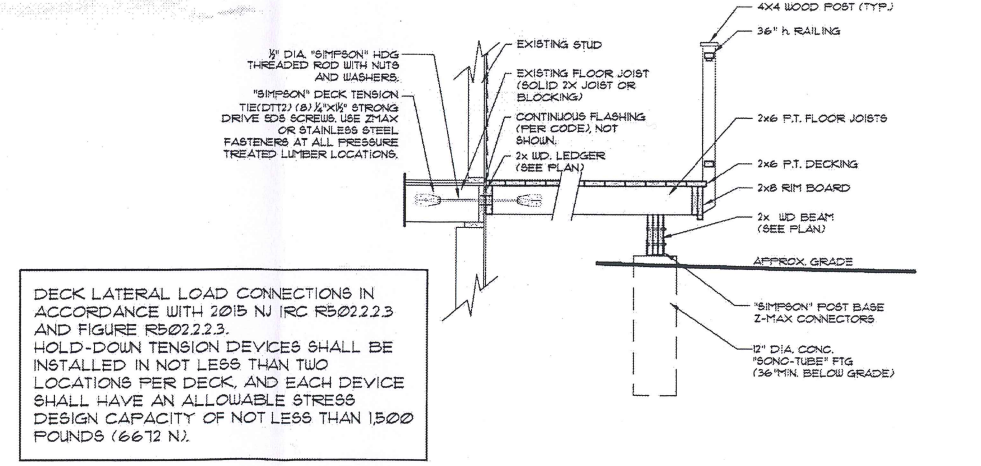
1 EXISTING FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



2 EXISTING PORCH FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 PORCH STRUCTURAL PLAN  
SCALE: 1/4" = 1'-0"



DECK LATERAL LOAD CONNECTIONS IN ACCORDANCE WITH 2015 NJ IRC R502.2.3 AND FIGURE R502.2.3. HOLD-DOWN TENSION DEVICES SHALL BE INSTALLED IN NOT LESS THAN TWO LOCATIONS PER DECK, AND EACH DEVICE SHALL HAVE AN ALLOWABLE STRESS DESIGN CAPACITY OF NOT LESS THAN 1,500 POUNDS (6672 N).

4 DECK LATERAL LOADS ATTACHMENT  
SCALE: 1/2" = 1'-0"

**STAIR & RAIL NOTES**

1. STAIR TREADS SHALL BE 10" MIN. PLUS 1" NOSING (TYP.)
2. STAIR RISERS SHALL BE 8 1/4" MAX.
3. ALL GUARDRAILS SHALL BE 36" MIN. ABOVE FLOOR (TYP.)
4. ALL BALUSTERS SHALL BE CONSTRUCTED TO NOT PERMIT A 4" DIA. SPHERE TO PASS.
5. HANDRAILS SHALL BE CONTINUOUS WITHOUT INTERRUPTION EXCEPT BY A NEWEL POST AT THE TURN.
6. THE USE OF A VOLUTE, TURNOUT, STARTING EASING OR STARTING NEWEL SHALL BE ALLOWED OVER THE LOWEST TREAD.
7. HANDRAIL GRIPS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4" MIN. TO 2 5/8" MAX. REFER TO IRC R319.6.3 FOR REQUIREMENTS FOR OTHER SHAPES AND SIZES.
8. HANDRAILS AND GRAB BARS DESIGNED TO RESIST A LOAD OF 50 LBS./LINEAR FOOT IN ANY DIRECTION.

**LEDGER DETAIL NOTE:**

1. 5" LEDGERLOCK LAG BOLT BOLTED INTO THE EXISTING 2 X 6 RIM JOIST. INSURE THREADS FULLY ENGAGE RIM MATERIAL, AND FASTENER TIP EXTENDS BEYOND THE INSIDE FACE OF THE RIM MATERIAL. CONTINUE UNTIL WASHER HEAD IS DRAIN FIRM AND FLUSH INTO LEDGER BOARD. DO NOT OVER DRIVE.
2. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS.
3. APPLY CORROSION RESISTANT FLASHING BEHIND LEDGER BOARD.

**LEDGERLOCK LAG BOLT SPACING:**

- (2) ROWS @ 12" O/C STAGGERED.
- MIN. EDGE DISTANCE = 1-3/4"
- MIN. END DISTANCE = 3-3/4"

**GENERAL NOTES**

1. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
2. ALL MATERIALS, ASSEMBLIES, CONSTRUCTION, AND EQUIPMENT, SHALL CONFORM TO APPLICABLE CODES AND REGULATIONS, AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS SET BY TRADE ORGANIZATIONS. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDED DETAILS AND INSTRUCTIONS.
3. THESE DOCUMENTS ARE INTENDED TO DEFINE THE WORK IN GENERAL TERMS AND COMPLY WITH APPLICABLE CODES AND PRACTICES IN FORCE AT THIS DATE. THE OWNER/GENERAL CONTRACTOR SHALL ASSUME LIABILITY FOR THE SELECTION AND INSTALLATION OF MATERIALS AND FINISHES.
4. CONTRACTORS AND SUBCONTRACTORS ARE REQUIRED TO VERIFY ALL DIMENSIONS, CODE REQUIREMENTS, AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL CONFIRM EXISTING STRUCTURAL CONDITIONS WITH THOSE ASSUMED ON THE CONTRACT DOCUMENTS PRIOR TO START OF WORK.
6. ALL DIMENSIONS ARE APPROXIMATE, ACTUAL DIMENSIONS SHALL BE DETERMINED BY EXISTING CONDITIONS AND CRITICAL CLEARANCES.
7. CONTRACTOR SHALL REMOVE EXISTING INTERIOR PARTITIONS AND FLOOR FINISHES AS INDICATED PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
8. VOIDS CREATED BY DEMOLITION AND FILLED WALLS, CEILING, FLOORS, ETC., SHALL ALIGN WITH EXISTING ADJACENT SURFACES.
9. PERFORM ALL DEMOLITION IN A CAREFUL, WORKMANLIKE MANNER. THE CONTRACTOR WILL BE HELD STRICTLY ACCOUNTABLE FOR ALL DAMAGE TO ALL EXISTING EQUIPMENT AND EXISTING WORK IN ALL WORK AREAS. THE OWNER WILL NOT EXCEPT THE REPAIR OF DAMAGED WORK OR EQUIPMENT, UNLESS IN HIS OPINION, THE REPAIRS, WORK OR EQUIPMENT MAKE IT AS USEFUL AND EQUAL IN APPEARANCE AS IT WAS BEFORE THE DAMAGE.
10. DO NOT REMOVE ANY EXISTING STRUCTURE UNTIL THE PROPER PROVISIONS HAVE BEEN MADE FOR SUPPORT OF REMAINING WORK. MAINTAIN ALL SHORING UNTIL SUPPORTING NEW CONSTRUCTION HAS BEEN INSTALLED.
11. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION WHERE NEW WORK ADJUTS EXISTING WORK. WHERE NEW OPENINGS HAVE BEEN CUT INTO EXISTING WORK AND WHERE NEW WORK OCCURS ADJACENT TO EXISTING WORK THE CONTRACTOR IN ALL INSTANCES WHERE HE IS WORKING IN SPACES WHICH HAVE EXISTING FINISHES SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE EXISTING WORK. TARPAILING, PLASTIC COVERS, PLYWOOD, ETC. MUST BE PROVIDED TO PROTECT EXISTING EQUIPMENT AND WORK.
12. CONTRACTOR WILL PROVIDE FOR DISPOSAL OF ALL DEMOLITION DEBRIS.
13. CONSULT WITH OWNER FOR ALL MATERIALS TO BE PLACED IN STORAGE AND/OR REUSED. ALL MATERIALS SAVED FOR THE OWNER SHALL BE STORED AS DIRECTED BY THE OWNER.
14. DOUBLE ALL FLOOR JOISTS UNDER WALLS RUNNING PARALLEL W/ FLOOR JOIST.
15. CONTRACTOR TO CONFIRM EXISTING CONDITIONS OF FLOOR SYSTEMS TO ENSURE A MINIMAL ACCEPTABLE FLOOR TRANSITION BETWEEN FLOOR FINISHES. CONTRACTOR TO INFORM OWNER PRIOR TO START OF ANY WORK, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

New Deck To The:  
**TORRES RESIDENCE**  
 44 RIDGE AVENUE  
 NEPTUNE, NJ 07753  
 Block: 510 Lot: 23

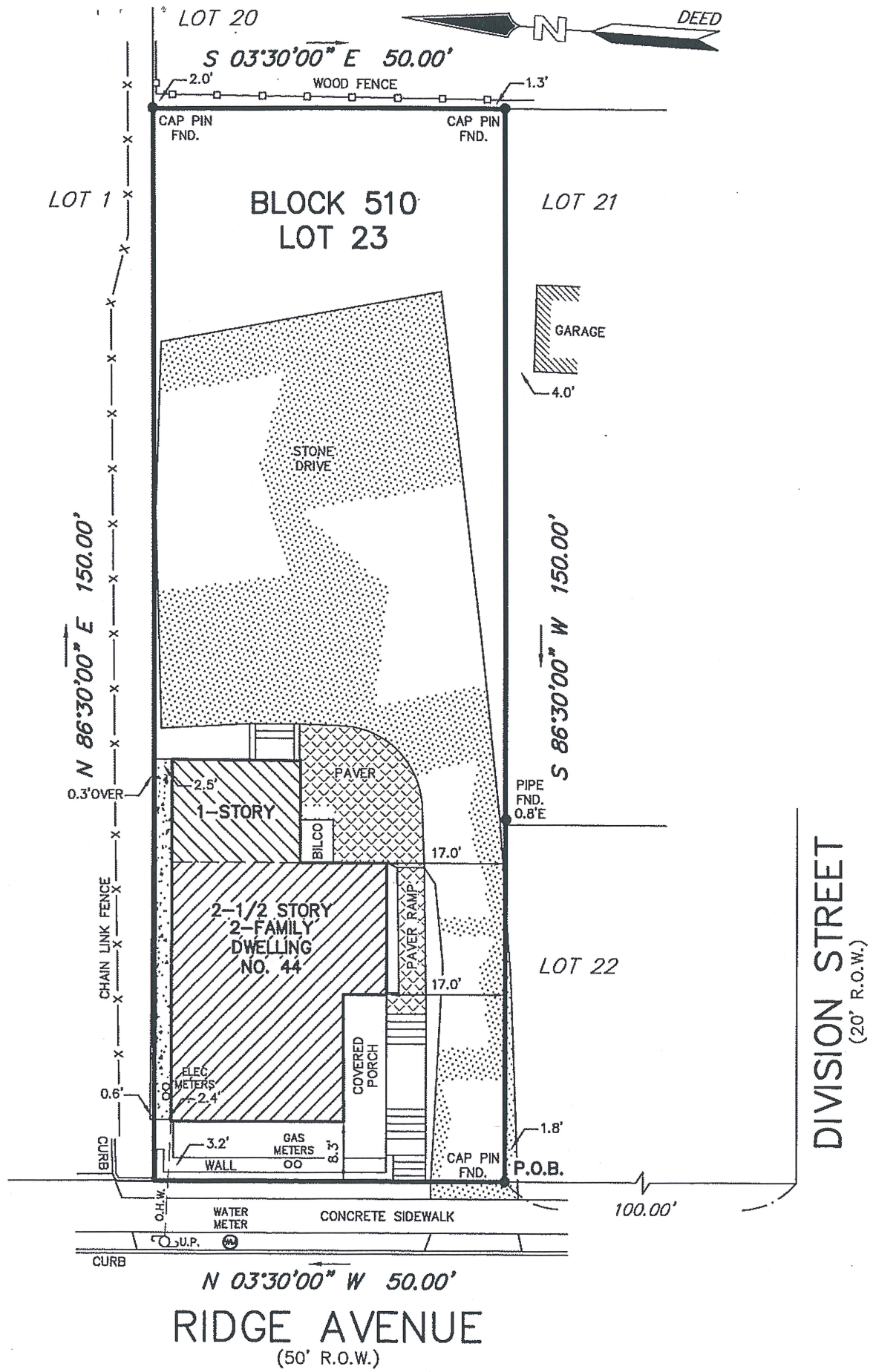
*[Signature]*  
 Anthony Scatena, AIA  
 NJ 07168-9119  
 NY 09133-11  
 PA 18420-9995

Title:  
 DECK FOUNDATION PLAN  
 DECK PLAN  
 DECK STRUCTURAL PLAN  
 DECK DETAIL

Cons. No. 15-13.18.0222  
 Scale: As Shown  
 Drawn By: JC  
 Checked By: AS  
 Date: April 16, 2018

Parallel Architectural Group LLC  
 www.parallelpg.com  
 44 Ridge Avenue  
 Neptune, NJ

5-14-2018 (2)



THIS SURVEY IS CERTIFIED TO:  
 - VICTORINO TORRES

DEED REFERENCE:  
 DEED BOOK 8481, PAGE 8799 et seq.

TAX MAP REFERENCE:  
 KNOWN AS LOT 23 IN BLOCK 510 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF NEPTUNE, MONMOUTH COUNTY, NEW JERSEY, SHEET No. 5.

<h2 style="margin: 0;">SURVEY OF PROPERTY</h2> <p style="margin: 5px 0 0 0;">44 RIDGE AVENUE LOT 23 BLOCK 510</p>		
TOWNSHIP OF NEPTUNE	MONMOUTH COUNTY	NEW JERSEY
<b>Charles Surmonte P.E. &amp; P.L.S.</b> New Jersey Professional Engineer and Land Surveyor License No. 35885		301 Main Street, 2nd Floor Allenhurst, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404

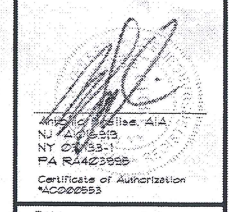
NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THE PROPERTY IS CLAIMED BY THE STATE OF NEW JERSEY AS TIDELANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY. THIS SURVEY IS SUBJECT TO CONDITIONS WHICH MIGHT BE DISCLOSED BY AN ACCURATE TITLE SEARCH. OFFSETS AS SHOWN HEREON ARE NOT TO BE USED TO ESTABLISH PROPERTY LINES.

PROJECT No. 19-084	DATE: 01-29-19	SCALE: 1"=20'	SHEET: 1 OF 1
-----------------------	-------------------	------------------	------------------

1-29-2019

494 Broadway, Suite 3  
Long Branch, NJ 07740  
V: 732.229.4400  
F: 732.229.4488  
www.ParallelGrp.com

Existing Deck and Wall:  
**44 RIDGE AVENUE**  
Township of Neptune  
NJ 07753  
Block: 510 Lot: 23



Title:  
**SITE PLAN  
KEY MAP**

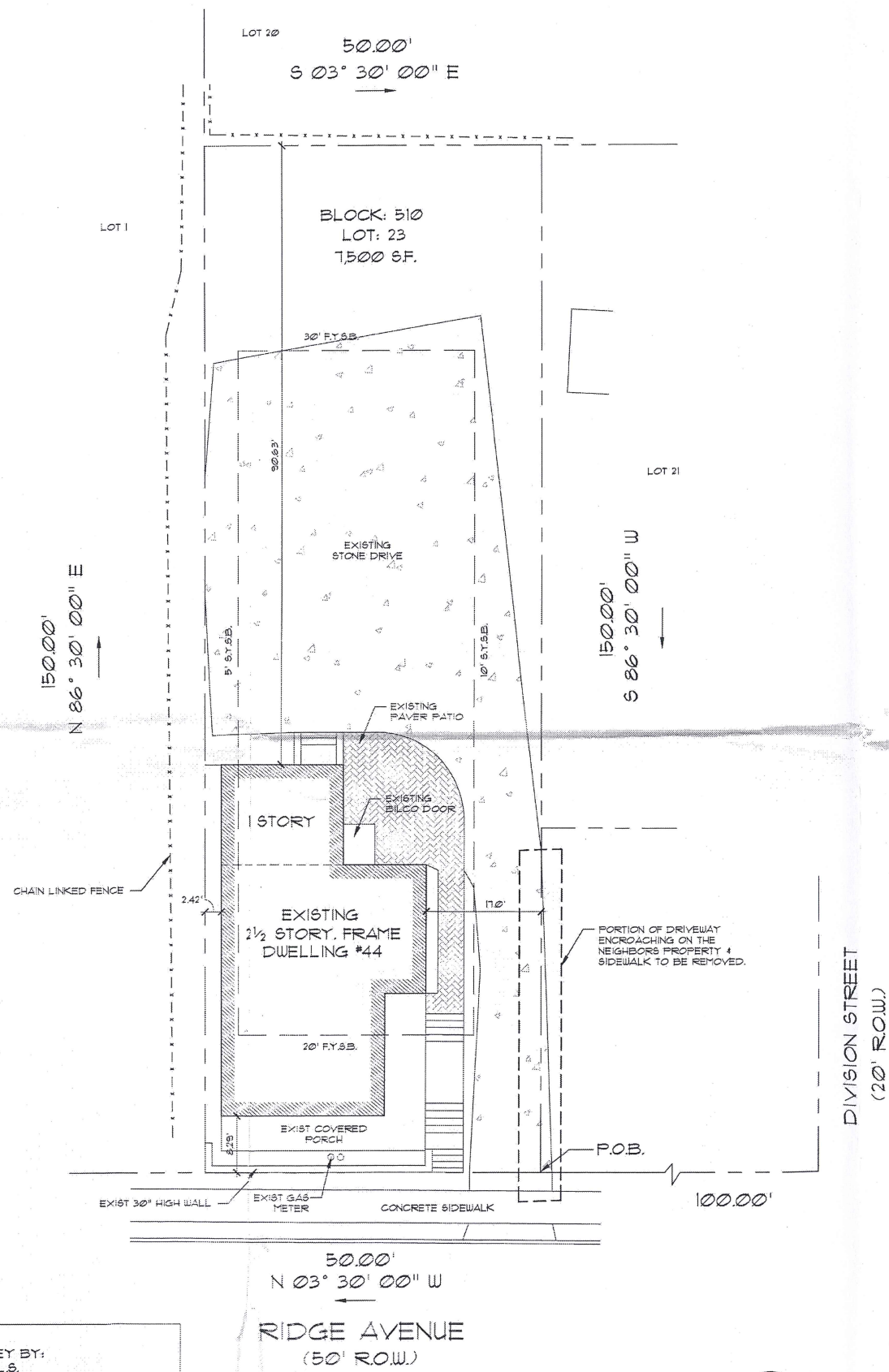
Comm. No. 1573.0.0022  
Date: March 5, 2019  
Drawn By: NS  
Checked By: AS  
Scale: As Shown

Revisions		
No.	Date	Description

44 Ridge Ave  
Township of Neptune  
NEW JERSEY

**A-002**  
1 OF 2

ZONING REQUIREMENTS: R-3	BLOCK: 510		LOT: 23	
	REQUIRED	EXISTING	PROPOSED	CODE COMPLIANCE Y N I REMARKS
MIN. LOT AREA	5,000 SF.	7,500 SF.	NO CHANGE	● EXISTING
MIN. LOT FRONTAGE	50'	50.00'	NO CHANGE	● EXISTING
MIN. LOT DEPTH	100'	150.00'	NO CHANGE	● EXISTING
MIN. PRINCIPAL FRONT YARD	20'	8.23'	NO CHANGE	● EXISTING
MIN. PRINCIPAL SIDE YARD	5'/BOTH 15'	2.42'/BOTH 19.42'	NO CHANGE	● EXISTING
MIN. PRINCIPAL REAR YARD	30'	90.63'	NO CHANGE	● EXISTING
PRINCIPAL BUILDING HT.	35'	N/A	NO CHANGE	● EXISTING
MAX. BUILDING COVERAGE	50%	21%	NO CHANGE	● EXISTING
MAX. IMPERVIOUS COV.	65%	70%	69%	● PROPOSED
AREAS		EXISTING	PROPOSED	TOTALS
DWELLING FOOTPRINT		1,275 SF.		1,275 SF.
COVERED FRONT PORCH		263 SF.		263 SF.
STONE DRIVEWAY		3,215 SF.	DEMO 40 SF.	3,175 SF.
PAVER WALK/PATIO		373 SF.		373 SF.
CONCRETE WALL		40 SF.		40 SF.
CONCRETE STAIR		63 SF.		63 SF.
<b>TOTALS</b>		<b>5,229 SF.</b>		<b>5,109 SF.</b>



NOTE:  
SITE PLANS BASED ON SURVEY BY:  
CHARLES BURMONTE P.E. & P.L.S.  
301 MAIN STREET  
ALLENHURST, NJ 07711  
N.J. PROFESSIONAL LAND SURVEYOR LIC. NO. 35885

DATED: JANUARY 29, 2019  
JOB No. 19-084

**1 SITE PLAN**  
SCALE: 1"=10'-0"

3-5-2019



N 3/15/19

Fee \$35.00

ZONING DEPARTMENT  
PHONE 732-988-5200 x. 217  
FAX 732-988-4259

Control Number: 2019-0148

Date: 3-14-19

### Zoning Permit Application

- ADDING A NEW USE TO A PROPERTY
- AIR CONDENSER UNIT(S)
- COMMERCIAL ADDITION
- CONTINUING / CHANGING USE
- DECK / BALCONY
- DRIVEWAY / SIDEWALK / APRON
- FENCE / RETAINING WALL\*
- HOME OCCUPATION
- INTERIOR REMODEL - COMM / RES
- NEW ACCESSORY STRUCTURE
- NEW COMMERCIAL BUSINESS
- NEW OWNERSHIP OF PROPERTY/BUSINESS
- NEW RESIDENCE
- PORCH
- PRIVATE GARAGE
- RESIDENTIAL ADDITION
- SIGNS
- SOLAR
- STORAGE SHED
- SWIMMING POOL / HOT TUB\*\*
- ZONING DETERMINATION

OTHER: DRIVEWAY, STEPS

\*Indicate location, height, and type of fence or wall on survey / plot plan. \*\*Pools require a fence. Please indicate type, height, and area of fence, and location of filter.

**PLEASE READ THE ZONING PERMIT INFORMATION SHEET PRIOR TO COMPLETING THIS APPLICATION**

As per the Neptune Township Land Development Ordinance Section 1102, a Zoning Permit shall be issued prior to the commencement or change of use of a property, building or structure; the occupancy of any building or structure; the construction, erection, reconstruction, alteration, conversion, or installation of any building or structure; or the issuance of a Certificate of Appropriateness, where applicable.

The Neptune Township Zoning Map, Land Development Ordinance and its amendments can be found online at [www.neptunetownship.org/departments/land-use](http://www.neptunetownship.org/departments/land-use).

**ALL APPLICATIONS FOR PROPERTY WITHIN THE HISTORIC DISTRICT REQUIRE HPC APPROVAL**

**PLEASE NOTE: If any of the requested information is submitted incomplete, this application shall be returned, unprocessed.**

Please print clearly:.

1. BLOCK: 510 LOT: 23 ZONE: R-5

2. ADDRESS: 44 RIDGE AVE, NEPTUNE, NJ 07753

<p>3. <b><u>OWNER INFORMATION (required):</u></b></p> <p>Name: <u>VICTORINO TORRES</u></p> <p>Address: <u>44 RIDGE AVE</u> <u>NEPTUNE, NJ 07753</u></p> <p>Phone: <u>908-433-6723</u></p> <p>Email: _____</p>	<p><b><u>APPLICANT INFORMATION (required):</u></b></p> <p>Name: <u>SAME</u></p> <p>Address: _____</p> <p>Phone: _____</p> <p>Email: _____</p>
---	---

4. PRESENT APPROVED ZONING USE OF THE PROPERTY: 2-FAMILY RESIDENTIAL

5. PROPOSED ZONING USE OF THE PROPERTY: 2-FAMILY RESIDENTIAL OR  UNCHANGED

3-15-2019

6. Describe in detail the activity or activities you are proposing. If you are proposing construction, describe in detail the dimensions and setbacks. If you are proposing a use, describe the proposed use.

EXISTING PORTION OF DRIVEWAY TO BE REMOVED WHERE IT EN-CROACHES ON THE NEIGHBORS PROPERTY. EXISTING PORCH & LOW WALL TO REMAIN.

7. Has the above referenced premises been the subject of any prior application to the Zoning Board of Adjustment or Planning Board?  YES  NO

If YES: Date: \_\_\_\_\_ Board:  ZONING Resolution # (if any): \_\_\_\_\_  PLANNING (Please supply a copy of the resolution)

8. For all exterior work pertaining to additions and accessory structures, excluding fences, provide:

BUILDING COVERAGE: 24% LOT COVERAGE: 70% (Please include calculations.)

40:55D-68.3. Penalty for false filing. Any person who knowingly files false information under this act shall be liable to a civil penalty not to exceed \$1,000 for each filing. Any penalty imposed under this section may be recovered with costs in a summary proceeding pursuant to "the penalty enforcement law," N.J.S.2A:58- 1 et seq.

Adopted. L. 1989, c. 67, §3, effective April 14, 1989. The applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All zoning permits will be granted or denied within ten (10) business days from the date of complete application.

VICTORIANO TORRES  
OWNER NAME - Please PRINT

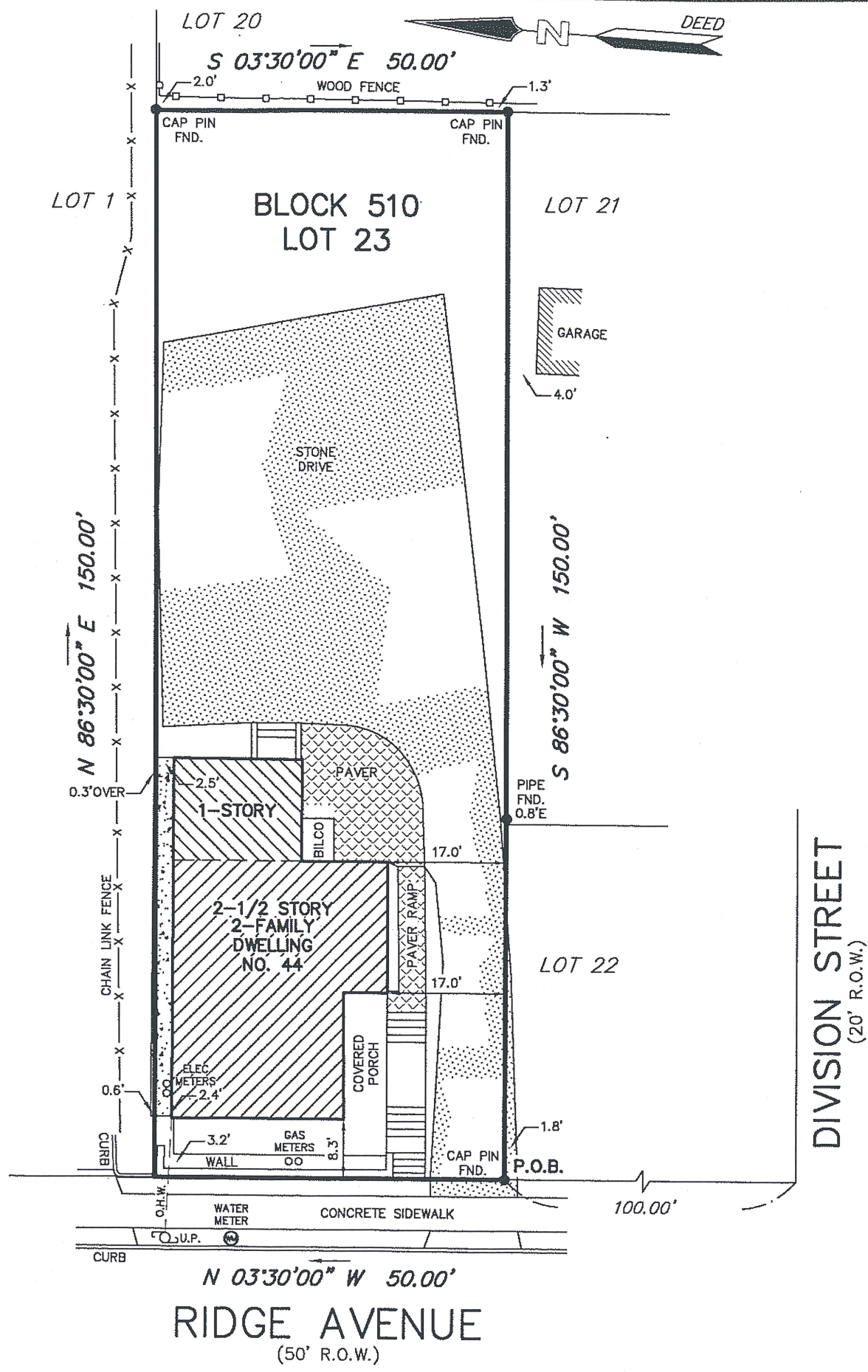
X [Signature]  
OWNER SIGNATURE

3.14.19  
DATE

APPLICANT NAME - Please PRINT

APPLICANT SIGNATURE

DATE



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<b>SURVEY OF PROPERTY</b>			
44 RIDGE AVENUE LOT 23 BLOCK 510			
TOWNSHIP OF NEPTUNE		MONMOUTH COUNTY	
		NEW JERSEY	
<b>Charles Surmonte P.E. &amp; P.L.S.</b> New Jersey Professional Engineer and Land Surveyor License No. 35885			301 Main Street, 2nd Floor Allenhurst, New Jersey, 07711 Phone 732-660-0606 Fax 732-660-0404
PROJECT No.	DATE:	SCALE:	SHEET:
19-084	01-29-19	1"=20'	1 OF 1

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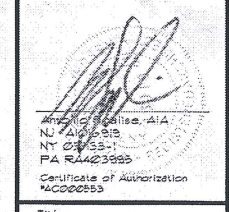


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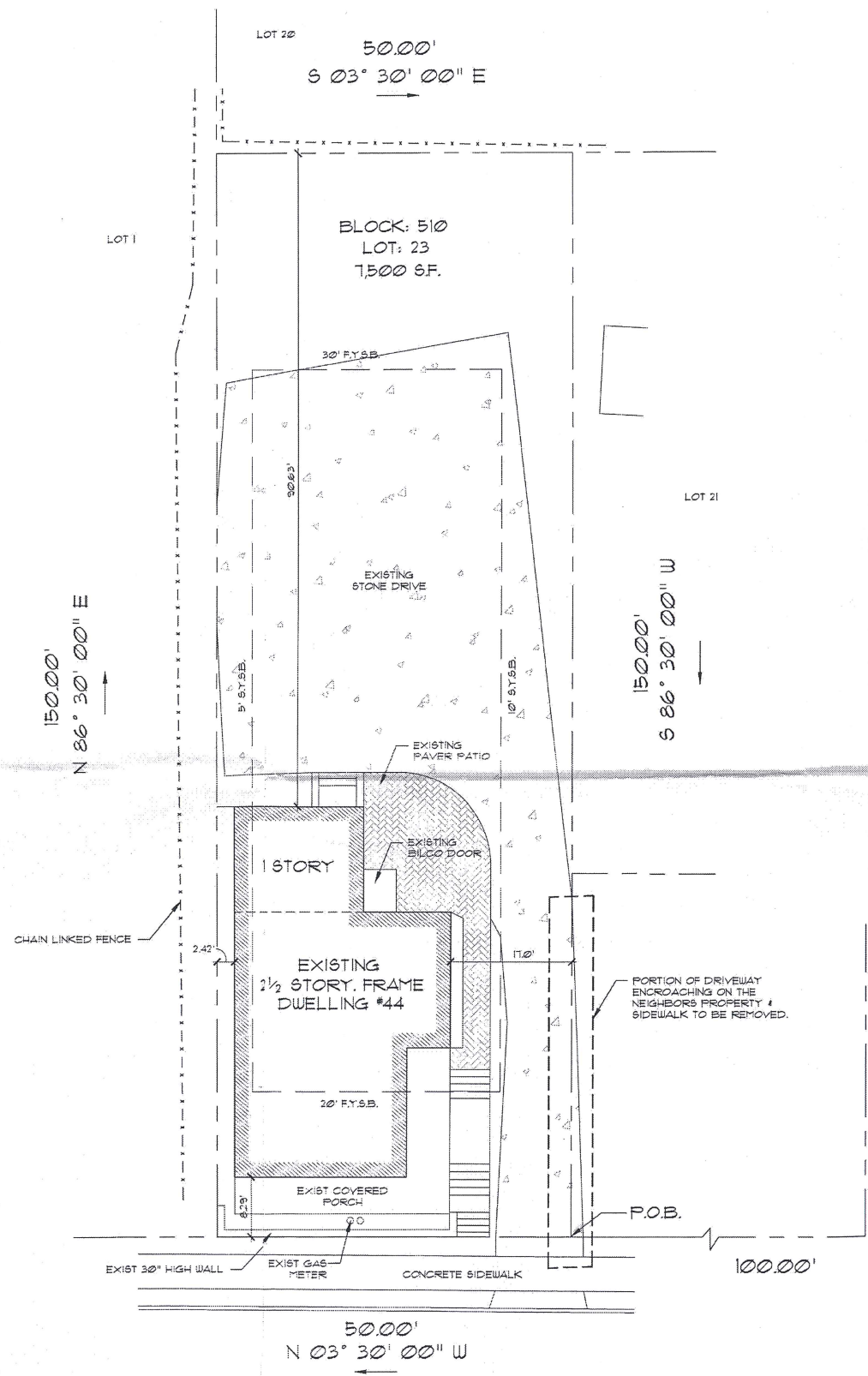
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Revisions		
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44 Ridge Ave  
Township of Neptune  
NEW JERSEY

A-002  
1 OF 2

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ALLENHURST, NJ 07711  
N.J. PROFESSIONAL LAND SURVEYOR LIC. NO. 35885

DATED: JANUARY 29, 2019  
JOB No. 19-084

**1 SITE PLAN**  
SCALE: 1"=10'-0"

**2 KEY MAP**  
SCALE: NTS

3-15-2019 (1)

