

06. Window and Door Condition Report

The house currently contains 89 doors and windows that fall under the purview of the Commission. We have sorted these into five categories: Basement Windows, Historic Windows, Secondary Windows, Vinyl Windows, and Modern Windows. To assist in understanding and reviewing so many fenestrations, we have color-coded them by type and illustrated their location on the enclosed floor plans and elevations. Also included are photographs of each individual window and door showing its characteristics and condition.

Note: The fenestrations are numbered sequentially on the attached floor plans, beginning on the basement level and ending on Level 3. Doors are included in this sequence, distinguished by an appended “d” for “door” following the number. A basement Bilco door is labeled as such.

Purple Basement Windows

Yellow Vinyl Windows

Note: All basement (purple) and vinyl (yellow) windows are proposed for replacement using a conforming, wood-cord, Andersen “A” Series window with appropriate True Simulated Divided Light muntins in a conforming configuration as indicated on the proposed elevation drawings (subject to HPC approval).

Green “Other” Windows (these are non-original windows enclosing the historic porch—to be removed— and aluminum and modern windows and doors in the garage area—to be addressed in a later application).

Red Original Historic Windows

Note: Red windows are original and are the oldest in the building. We hired Bob Eastin, a local craftsman with years of experience restoring historic wood windows, to review their condition in hopes of repairing and retaining them. His report is included below.

Blue Secondary Windows

Note: Blue windows (mostly 1/1 double hung windows located in and around the tower) and are of various ages. They mostly occupy the north and east elevations, including the tower. These areas are not original to the building. The tower was added in 1894 as part of a modification that eliminated the wraparound porch to the west, repositioned the entry stairs and pediment roof, and installed 1/1 windows in these street facing elevations.

However, the north dormer and the three upper tower windows appear to be the only remaining windows from this 1894 renovation and the condition of these windows is deteriorated beyond repair.

All other 1/1 windows appear to have been rebuilt at some later point, likely the 1950s, judging by the way they are fabricated. The original glass panes (or old glass panes) may have been retained and reused but the sash frames themselves are not original and date from this period. Such rebuilding of windows at Level 1 and Level 2 coincides with the conversion of this building into a funeral home in 1956.

Although the window sashes were rebuilt or replaced, the original window frames and cases do not appear to have been updated or maintained. They have been without storm windows for the last 55 years and the sill pans are rotted and/or missing, resulting in deep and sustained water penetration into the walls of the building

The one original 1894 dormer is damaged beyond questions. The remaining windows are not original but date to a later repair 60 years after they were first installed. The condition of each window and door is noted along with its accompanying interior and exterior photograph. To aid in the review of these windows, refer to the following floor plans and elevations that have been color-coded and keyed to the number and “category” of each window.

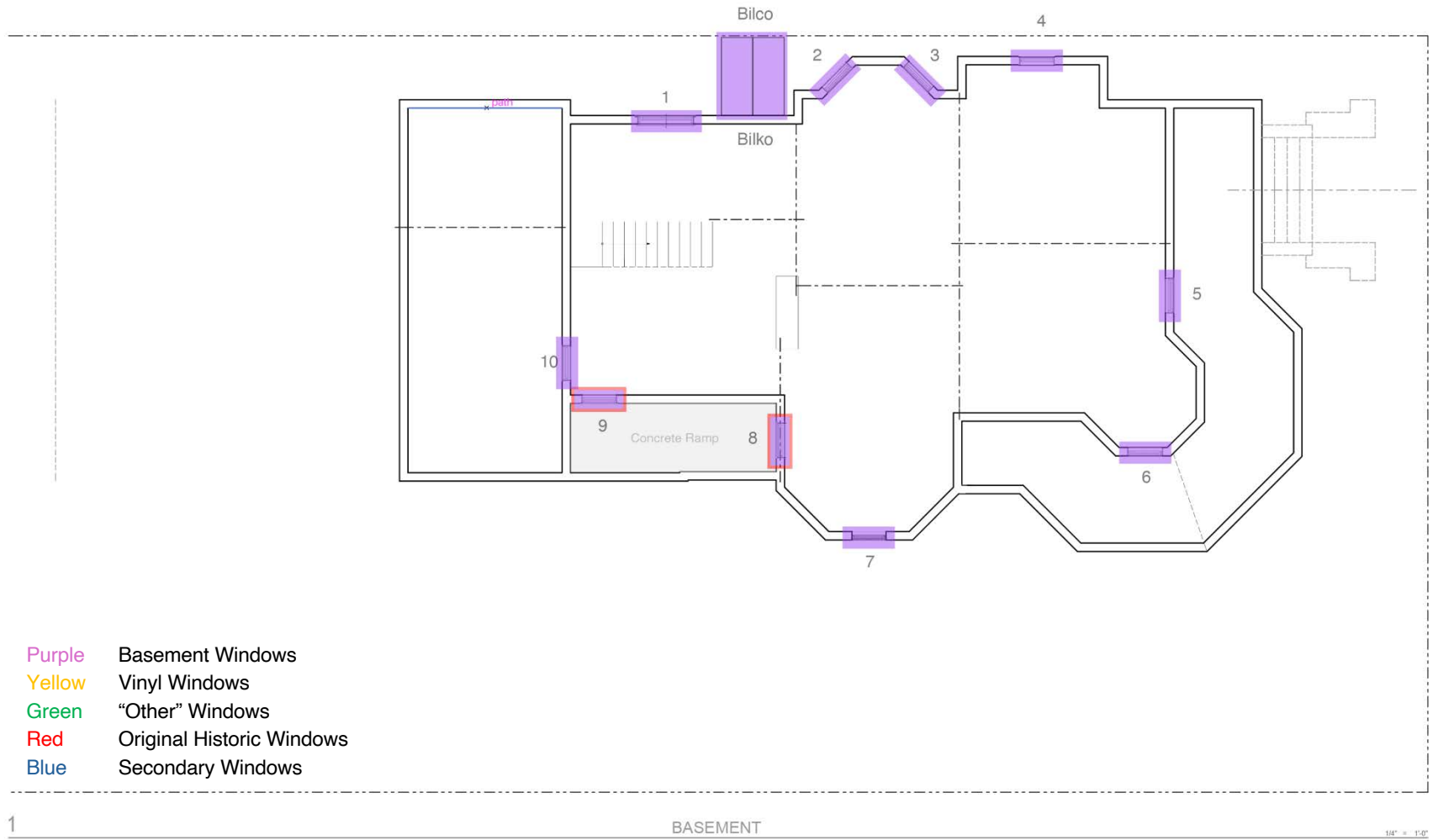
Note: Throughout the window condition report, proposed replacements will be noted as “with a historically appropriate muntin pattern.” Due to the large number of windows and the variety of muntin patterns proposed, the proposed muntin patterns are best illustrated on the proposed elevation drawings.

In brief, window muntin patterns are proposed to be retained for all original windows and all stained-glass windows, and all doors.

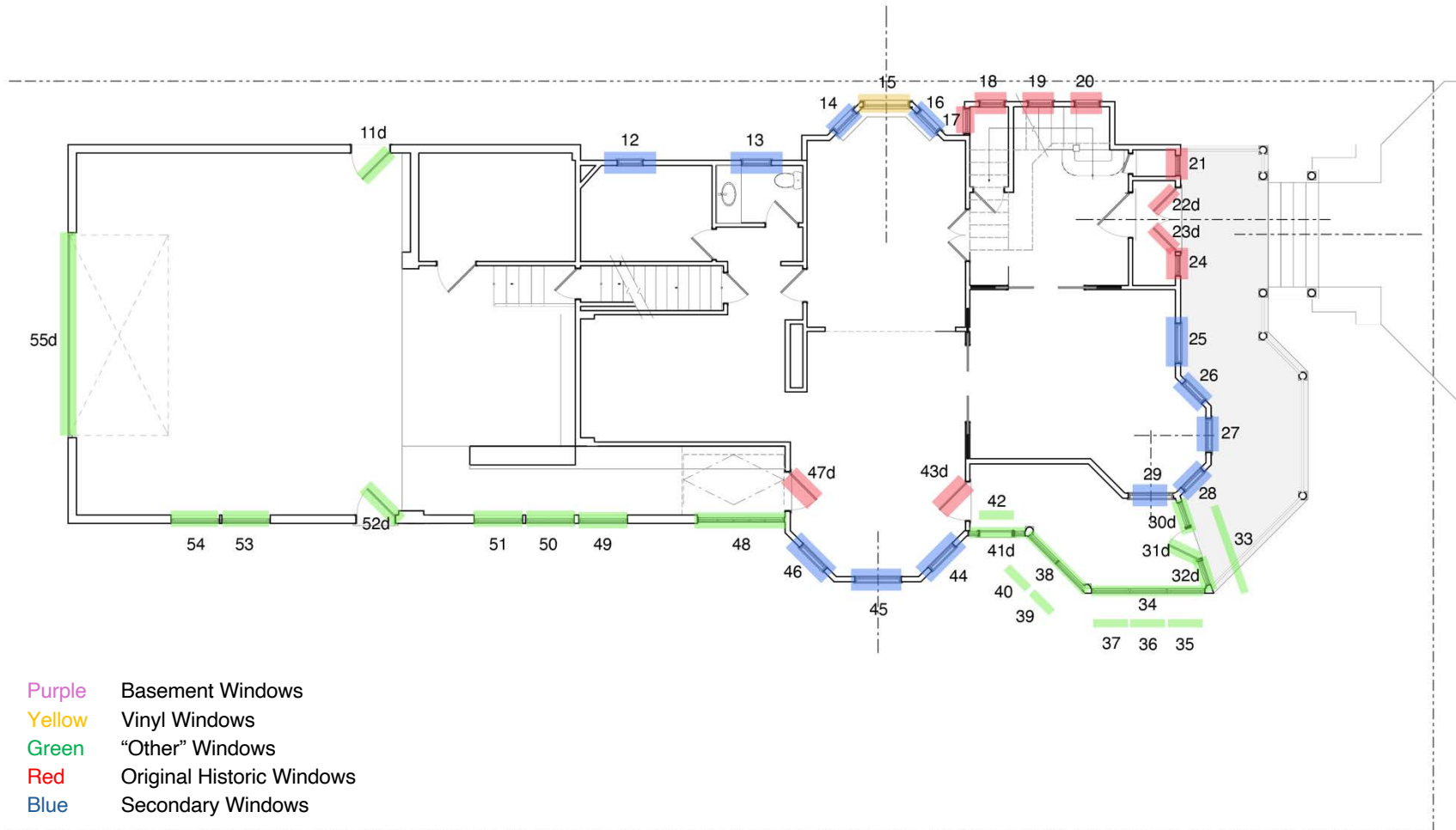
For windows that are not original, muntin patterns are proposed that mimic existing historic patterning found elsewhere on the house.

Great care was taken to avoid putting the same muntin pattern in every window. A variety of muntin patterns is one of the distinguishing characteristics of Queen Anne style homes and every attempt has been made to adhere to this feature.

118 Main Avenue — “Bellflower”
HPC Application, April 2025



118 Main Avenue — “Bellflower”
HPC Application, April 2025

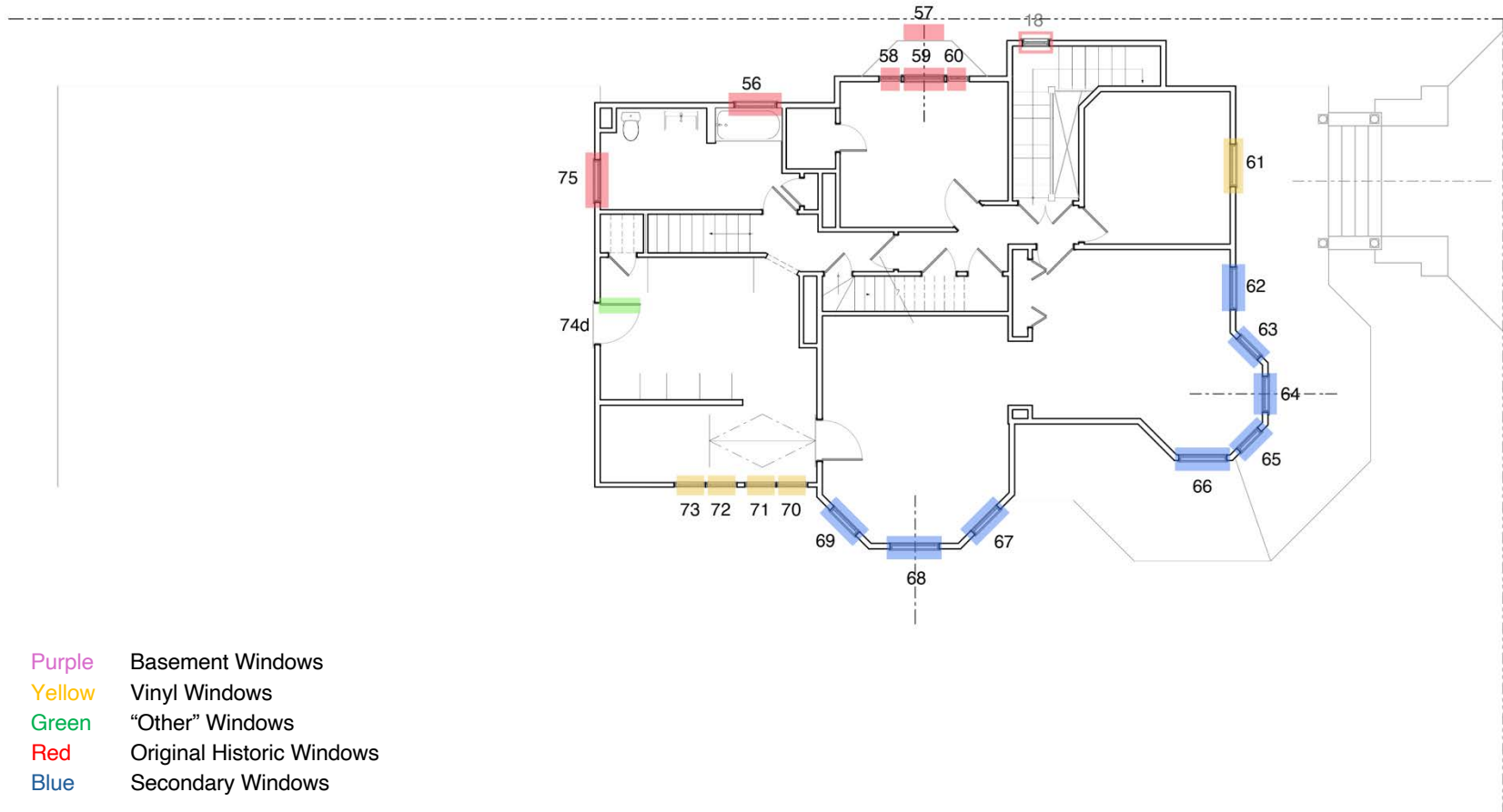


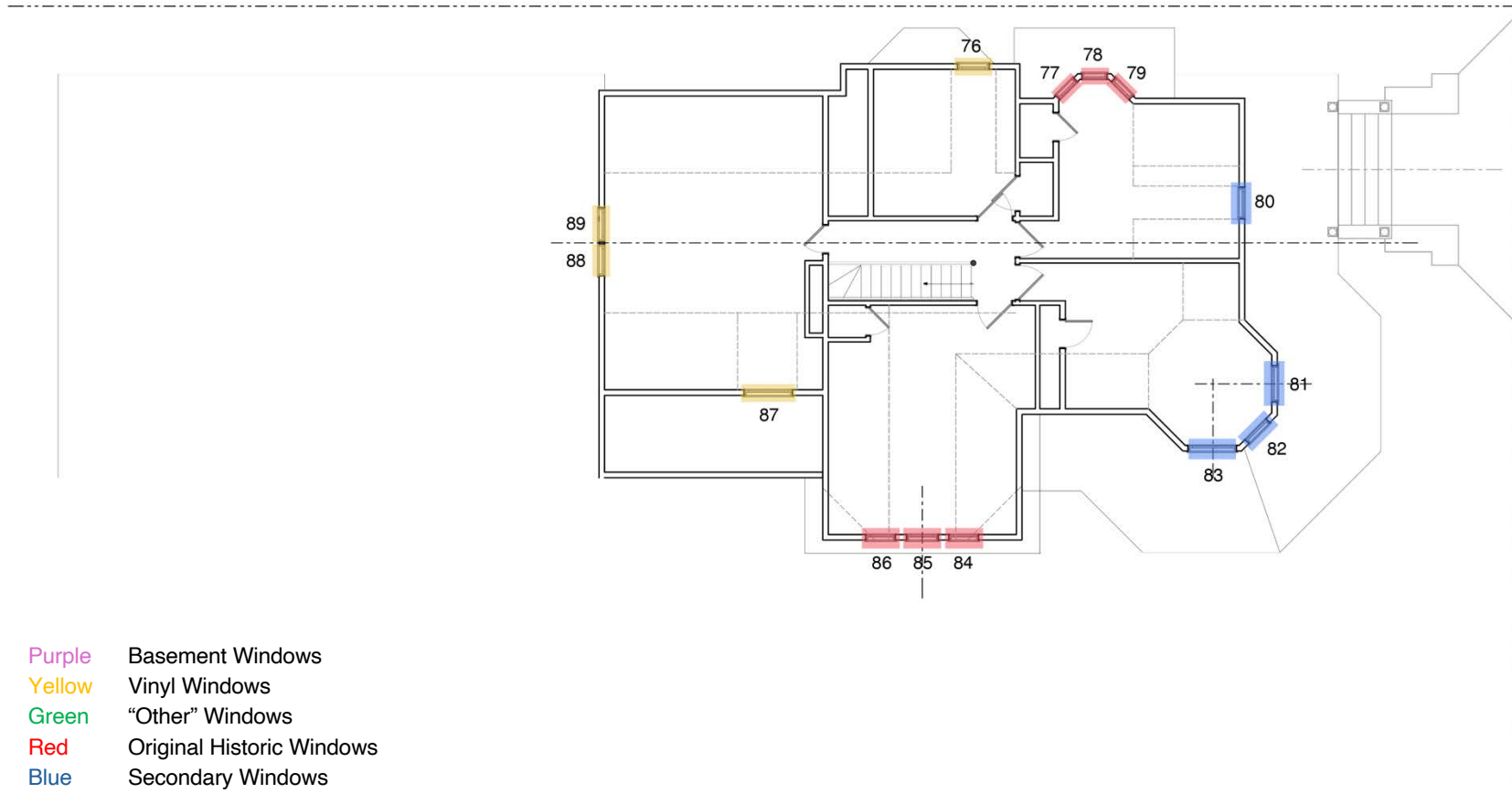
1

LEVEL ONE

1/8" = 1'-0"

118 Main Avenue — “Bellflower”
HPC Application, April 2025





- Purple Basement Windows
- Yellow Vinyl Windows
- Green “Other” Windows
- Red Original Historic Windows
- Blue Secondary Windows



118 Main Avenue — “Bellflower”
HPC Application, April 2025

- Purple Basement Windows
- Yellow Vinyl Windows
- Green “Other” Windows
- Red Original Historic Windows
- Blue Secondary Windows



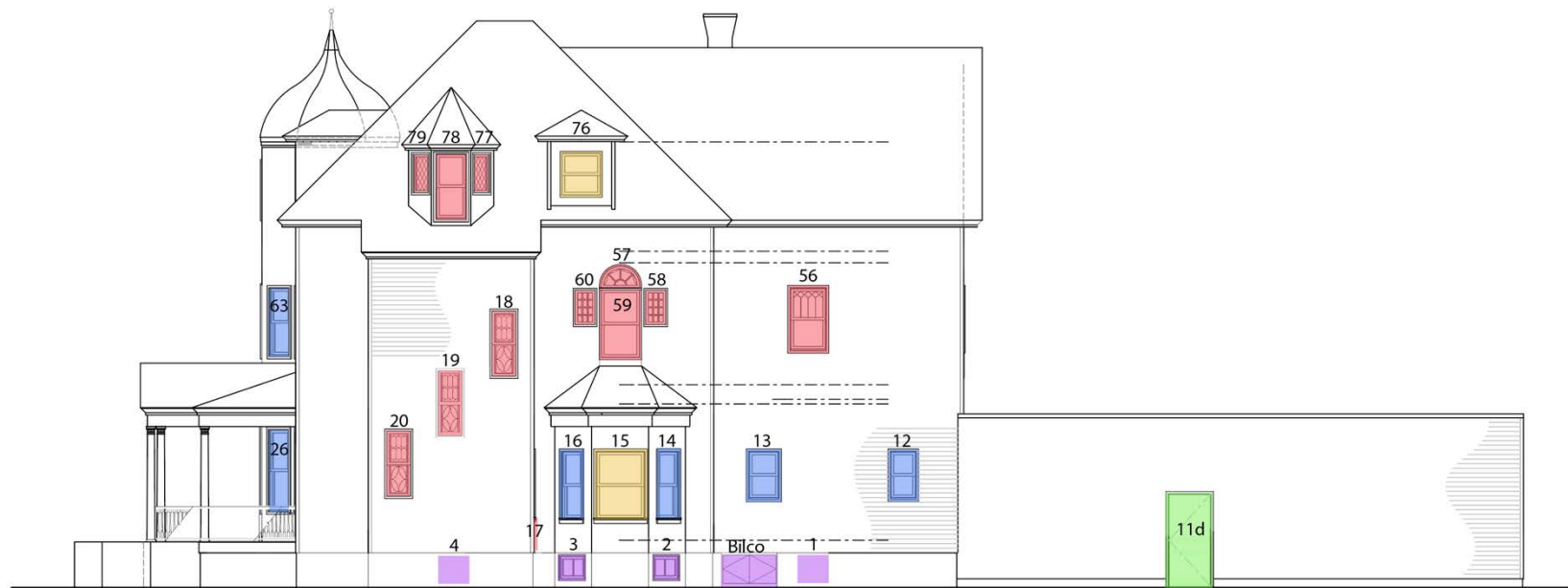
- Purple Basement Windows
- Yellow Vinyl Windows
- Green “Other” Windows
- Red Original Historic Windows
- Blue Secondary Windows

Note: South elevation is not part of this application and will be address in a later application.



118 Main Avenue — “Bellflower”
HPC Application, April 2025

- Purple Basement Windows
- Yellow Vinyl Windows
- Green “Other” Windows
- Red Original Historic Windows
- Blue Secondary Windows



1

WEST ELEVATION

1/4" = 1'-0"

Basement Windows and Doors

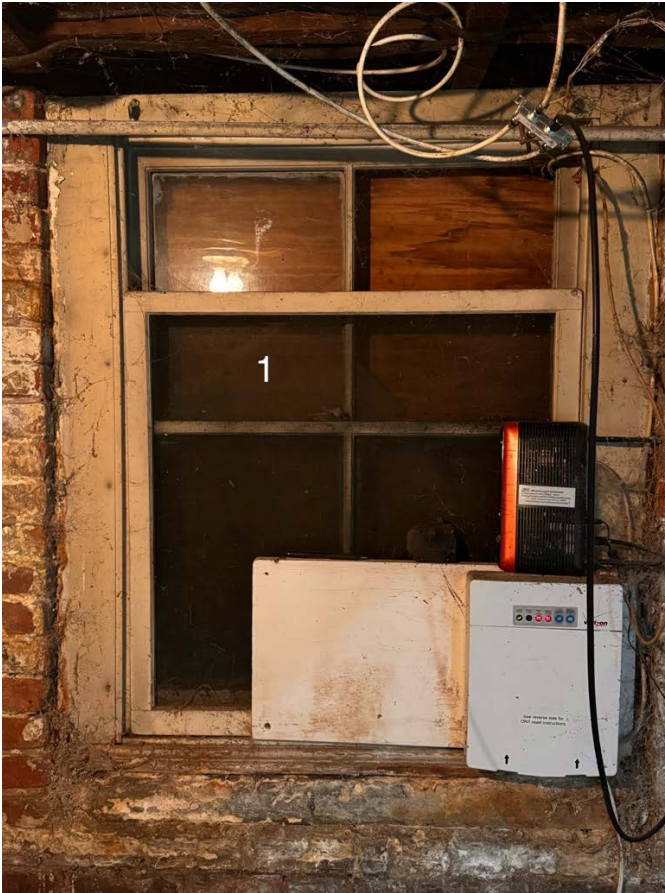
The Basement has 10 windows and 1 Bilco door. Window #7 is the only street-facing window (i.e., east toward Delaware Avenue).

Of the 10 windows, three of them have been subsumed into the interior of the house during earlier renovations. These windows will not be replaced because they are no longer ‘exterior’. These include windows 8 and 9, located under what was a Level 1 side porch but is now a concrete ramp leading to the garage. Window 10 faces south into the enclosed garage itself and is also no longer visible from the exterior.

Existing basement windows are wood with a single vertical muntin. They are all poor to very poor condition, do not provide the protection against water penetration, and are not an adequate barrier against animals, rodents, or intruders.

Replacement of all viable basement windows is proposed using a single muntin (i.e., two pane) Andersen “A” Series window. Alternatively, and at the discretion of the HPC, we would consider a two muntin (i.e., three pane) window. (Many elements on the property are grouped by threes, and so alternative is offered for consideration.)

#1 — Basement, west elevation. This basement window is larger than all the other basement windows and may have been modified at an earlier time. A portion of the window sits below grade. We propose modifying the opening to match the dimensions of the other, more typically shaped basement windows that sit above grade.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

Bilco — Basement, west elevation. Existing concrete steps to exit to grade. There are a pair of interior wooden doors and a pair of exterior wooden doors; all are in poor condition. We propose replacing the entire Bilco enclosure with a new metal unit painted to match the body of the house.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#2 — Basement, west elevation. This window is typical of the single-muntin, two-pane window found throughout the basement. All basement windows are wood and in poor condition. Many of these windows (including this one) have wet rot due to their proximity to grade. The wood is moist and spongy. We proposed replacing all basement windows with a conforming, wood-core window with the same muntin pattern.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

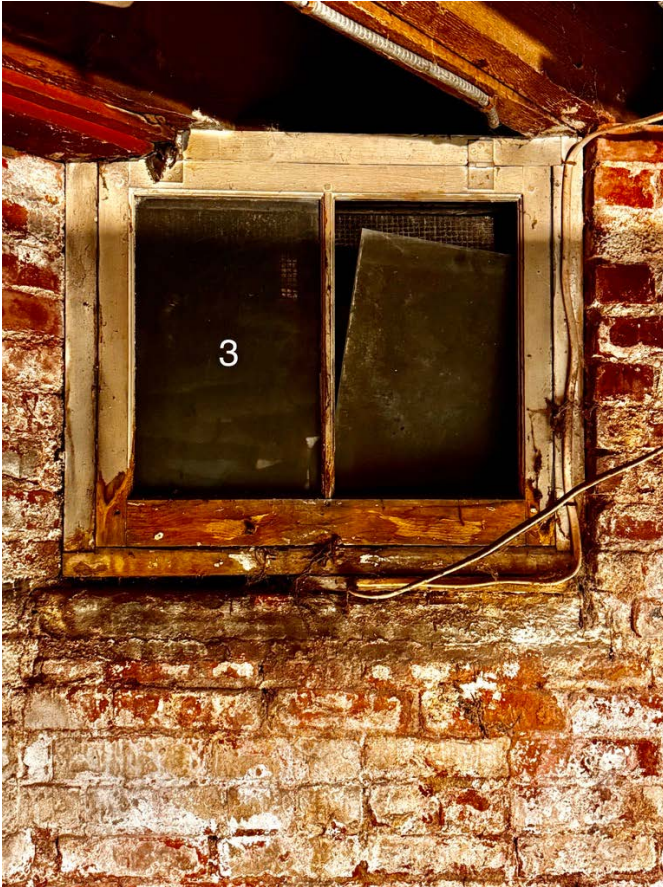
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#3 — Basement, west elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#4 — Basement, west elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

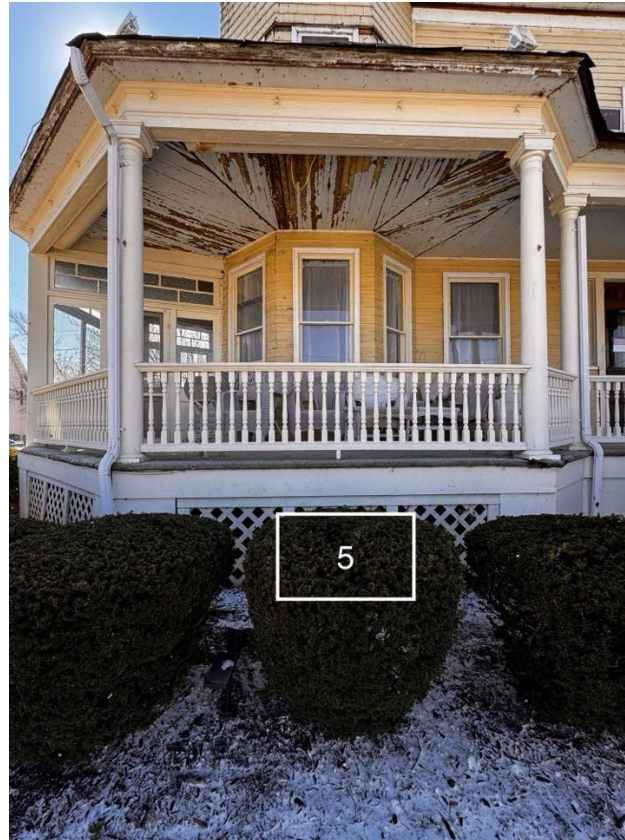
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#5 — Basement, north elevation. This window is located beneath the front porch. Because it is sheltered from the elements, it is very good condition. It is not, strictly speaking, visible but we propose retaining it for light and ventilation by replacing it with a conforming, wood-core window to match the others in the basement.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

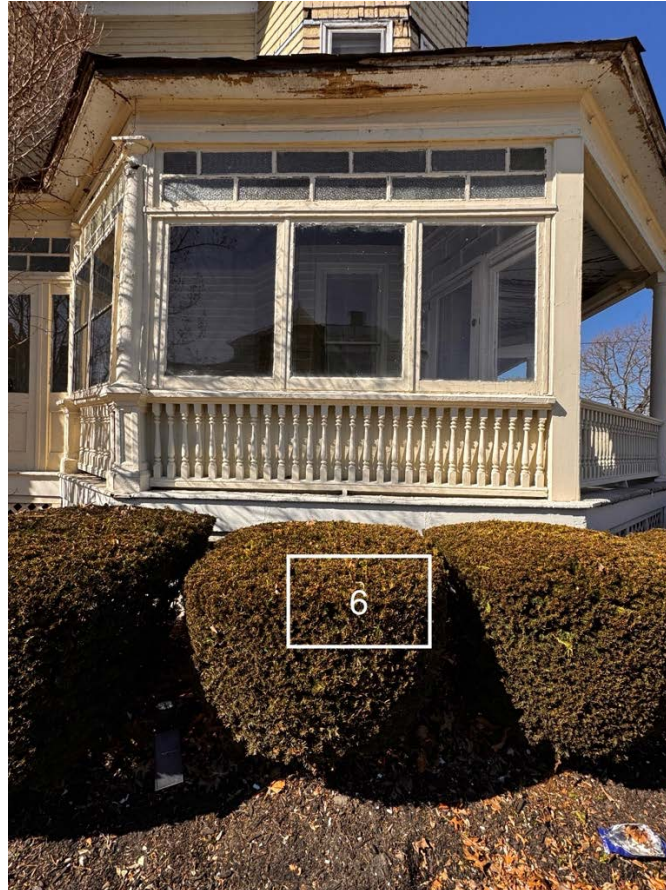
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#6 — Basement, east elevation. This window is located beneath the turret porch. Because it is sheltered from the elements, it is very good condition. As above, we proposed replacing this window with a conforming, wood-core window to match the others in the basement.



Proposed

- ☐ Repair
☐ Replicate
☒ Replace

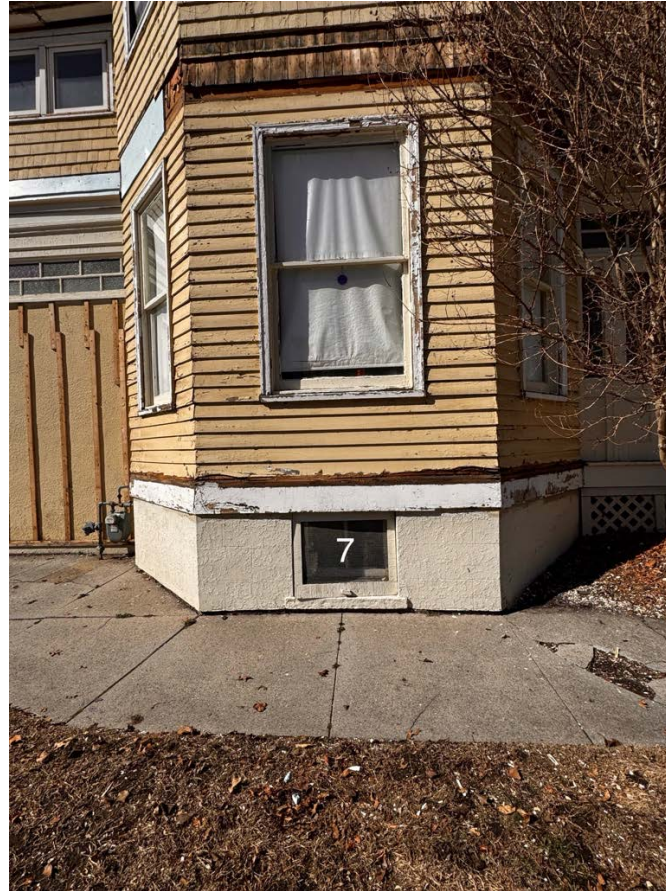
Tech Recommendation

- ☐ Conforming
☐ Non-Conforming
☐ To Be Discussed

Commission Decision

- ☐ Approve
☐ Deny

#7 — Basement, east elevation. This window is the only basement window that is visible from the street. The sash and the window frame are both rotted and spongy from water penetration. We propose replacing this window with a conforming, wood-core window to match the others in the basement.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

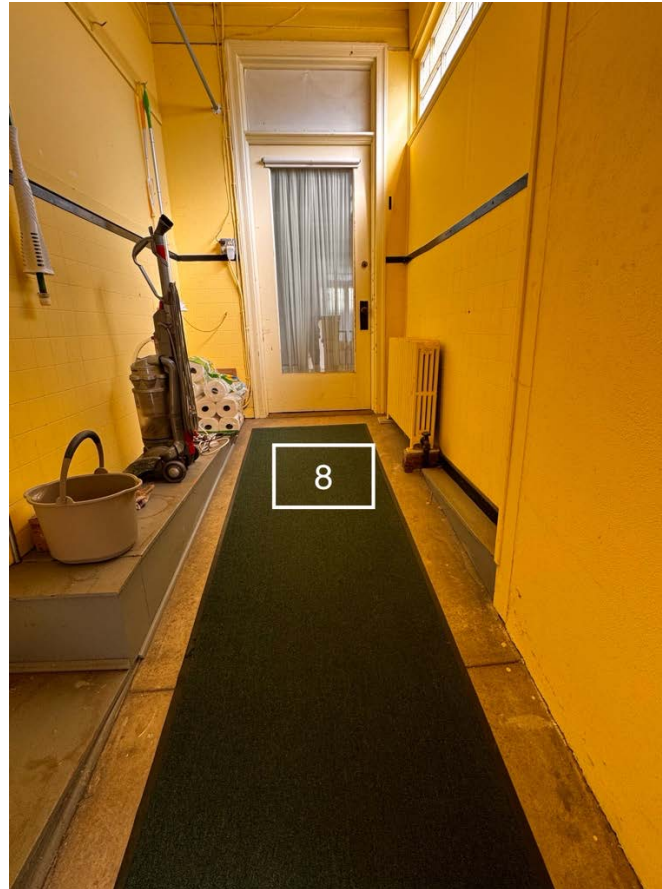
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#8 — Basement, south elevation. This window is hidden from view. It used to vent into an area beneath an east-facing side porch (enclosed during an earlier modification. This window (along with window #9) and the existing pitch of roof above this area, are evidence of there once being a porch here (as further shown on the Sanborn maps). This window is now blocked by a concrete ramp leading from the house into the garage. We propose closing this already blocked fenestration.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

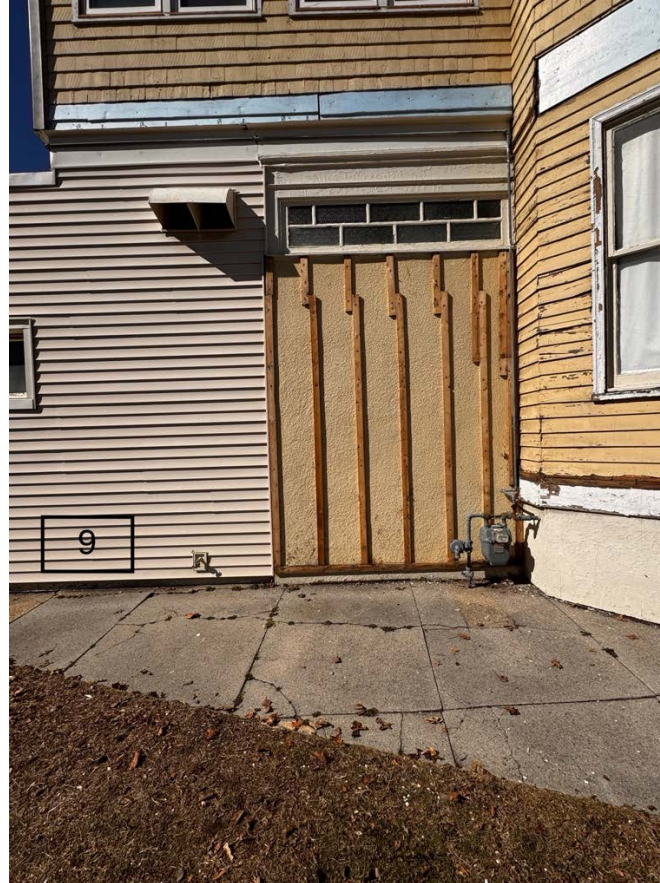
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#9 — Basement, east elevation. This window is hidden from view. It used to vent beneath a small east-facing side porch. The window is now blocked by a concrete ramp leading from the house to the garage. We propose closing this opening that is already blocked by poured concrete.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#10 — Basement, south elevation. This window his hidden from view. It used to vent into to the rear of the property but now opens into the garage. We propose closing this opening that no longer opens to the exterior of the building.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

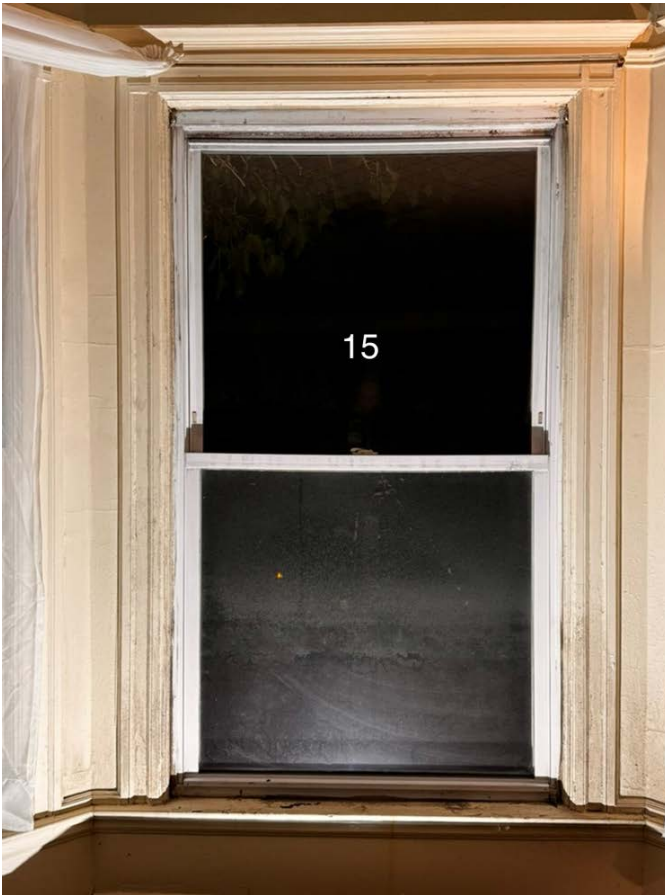
Commission Decision

- ☐ Approve
- ☐ Deny

Vinyl Windows

The property has 10 vinyl windows spread across Levels 1, 2, and 3. Vinyl is a non-conforming material within the Historic District and we propose replacing all such windows with conforming, wood-core, Andersen “A” Series windows of the exact same dimension as the existing and with historically appropriate True Simulated Divided Light muntin configurations.

#15 — Level 1, west elevation. This vinyl window is in the center of the Level 1 west bay.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#61 — Level 2, north elevation. This vinyl window is located on Level 2 above the entry pediment.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#70, #71, #72, #73 — Level 2, east elevation. These four vinyl awning windows occupy an area that used to be a balcony of covered porch. This area is proposed to be restored to a porch area and these four non-historic windows are to be eliminated from the elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#76 — Level 3, west elevation. This vinyl window is in a west-facing dormer.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

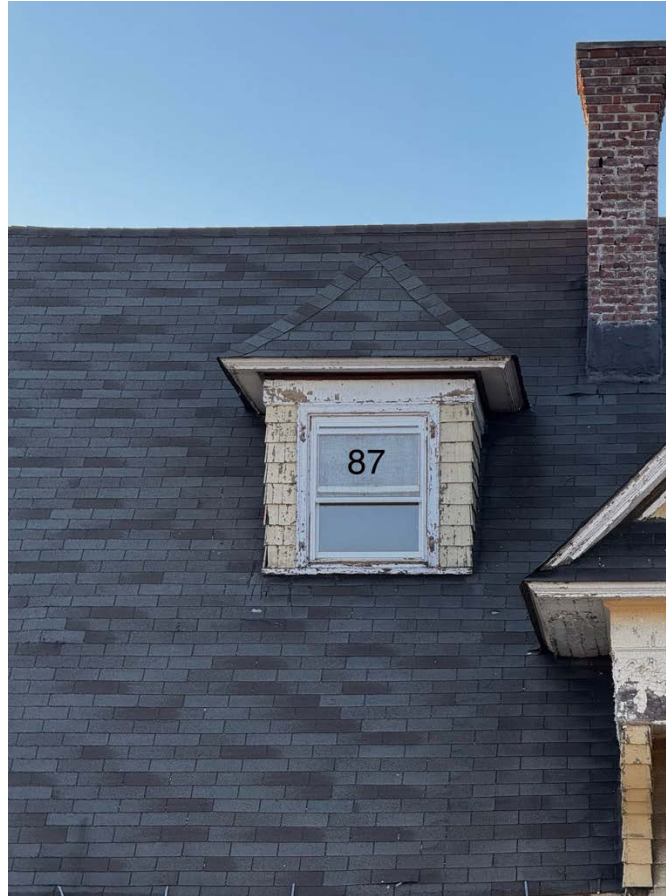
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#87 — Level 3, east elevation. This vinyl window is in an east-facing dormer near the rear of the house.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

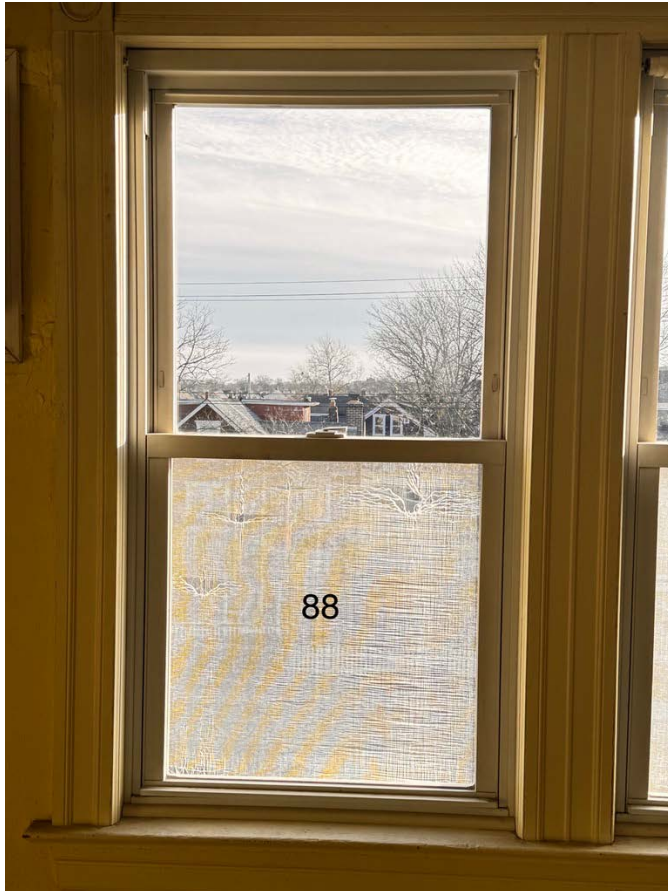
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#88 — Level 3, south elevation. This vinyl window is one of a pair in the south facing gable. (This window is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#89 — Level 3, south elevation. This vinyl window is one of a pair in the south facing gable. (This window is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

“Other” Windows

The property has 23 “Other” windows and doors. Fenestrations designated “Other” are non-historic or later additions to the property whose placement is non-conforming. Some windows in this category are wood, others aluminum, but none of them are original to the property.

They are found mostly in a later enclosed at the east side of the wraparound porch. They are also found in the concrete garage structure built prior to 1930. A single “Other” door exists on Level 2, at the south elevation, such as the non-historic, non-conforming, Dutch Colonial Revival “split” door that once led to a non-conforming roof deck (since removed).

In this application our focus is on restoring the exterior of the existing structure. In particular, we proposed reopening the enclosed and conditioned front porch and returning it to a fully open wraparound.

Aluminum windows in the south, garage area, will be address more fully in a later application but are outlined here in order to provide a comprehensive picture of the elements of the building.

Note: Since all “Other” windows are non-original and do not occupy any historic fenestration openings in the structure, they are summarized here by material and location; their condition being mute in this instance.

#11d — Level 1, west elevation. This is a metal door at grade on the west elevation of the garage. (This window is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#30d, #31d, #32d, #33 — Level 1, north elevation. These three non-operable ½ light, interior doors were rigged up as a makeshift wall of a non-conforming porch enclosure. They are surmounted by a multi-pane clerestory panel of textured (Florentine) glass. There is no indication any of these elements were part of the original building. These windows to be removed and the historic porch re-opened.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Remove

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#34, #35, #36, #37 — Level 1, east elevation. These three windows are hinged in such a manner as to have accorded open at one time. They are not original and are inoperable. These windows to be removed completely and the historic porch re-opened.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Remove

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#38, #39, #40 — Level 1, east elevation. These two aluminum windows are surmounted by a multi-pane clerestory panel of textured (Florentine) glass. They are non-original, interior windows that will be removed completely and the historic porch re-opened.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Removed

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#41d, #42 — Level 1, east elevation. This interior door set with sidelights is not original nor historic. It does not resemble any of the doors or windows found elsewhere in the house. These elements to be removed completely and the historic porch re-opened.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Removed

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#48 — Level 1, east elevation. This is a multi-pane clerestory panel of textured (Florentine) glass. There is no indication it is original to the building (interior or exterior) and is proposed to be replaced by a historically appropriate windows.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Remove

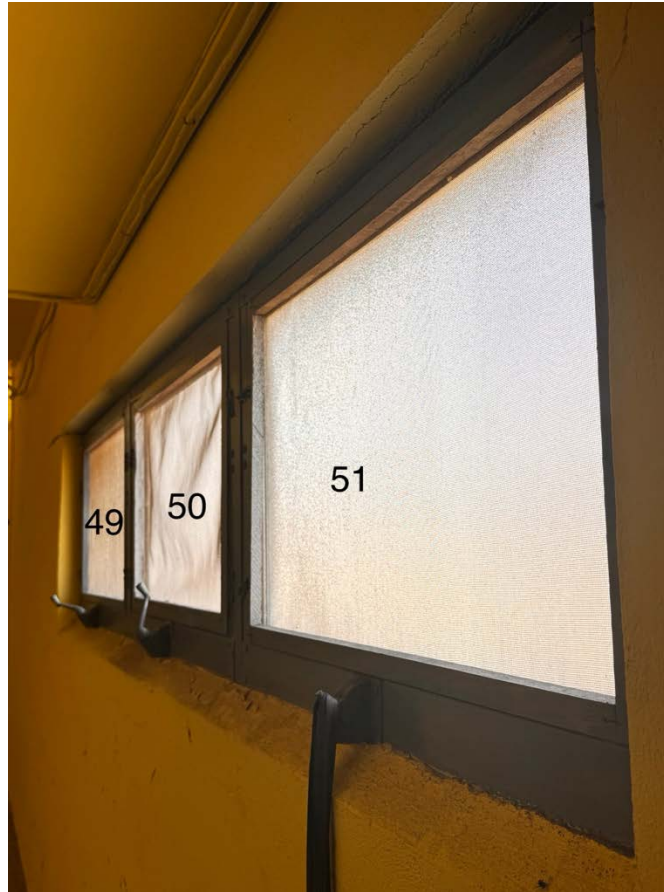
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#49, #50, #51 — Level 1, east elevation. This is a set of 3 aluminum awning windows set into the concrete block wall of the garage. New, historically appropriate windows to be installed instead. (This window is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#52d — Level 1, east elevation. This is a metal/fiberglass door at grade in the garage. This door to be removed completely. (This door is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Remove

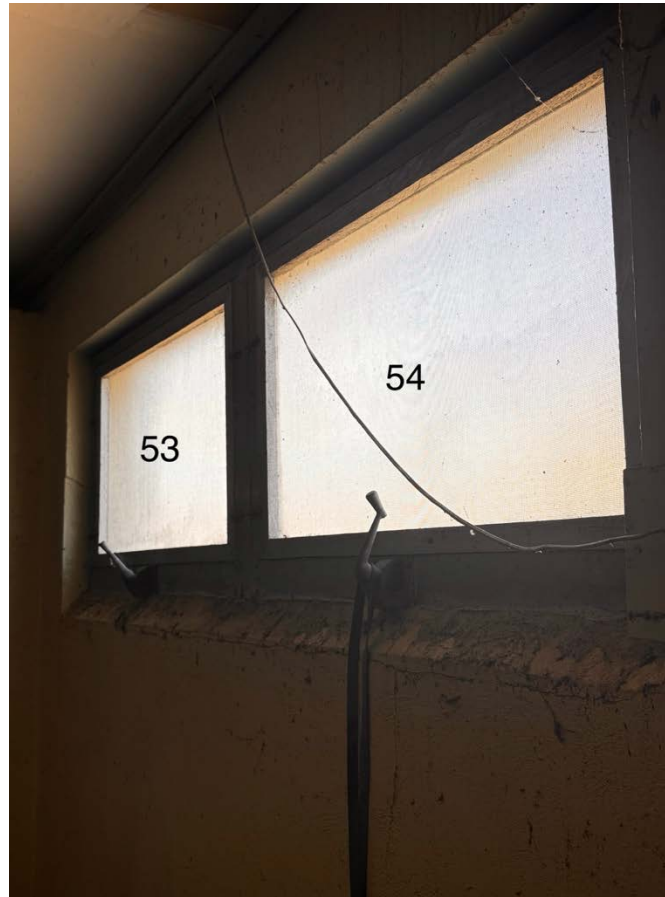
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#53, #54 — Level 1, east elevation. This is a set of 2 aluminum awning windows set into the concrete block wall of the garage. (This window is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Remove

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#55d — Level 1, south elevation. This is a fiberglass/plastic/metal 1 ½ width, non-conforming, top-rolling garage door. New, conforming carriage style doors will be proposed under a later application. (This door is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#74d — Level 2, south elevation. This non-conforming Dutch Colonial door is located over the garage and used to lead to a non-conforming roof deck. (This door is not part of the current application but is outlined here for clarity purposes only.)



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Remove

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

Original Historic Windows

The property has 22 original Based on our examination of the the materials, the location in the house, and the historic Sanborn maps, it is believed these windows days from the original 1880 house.

The age of these windows is evident not only in their craftsmanship and design, but in the effects of more than a century of exposure to the weather. Most of these have been without storm windows for 55 years; many of them seem never to have had storm window protection.

We contracted with Bob Eastin, of Ocean Grove Hardware (a contractor with a long history of restoring historic windows in the district) and hired him to examine each of these windows and recommend a plan for their restoration. His complete report is included with this application but his recommendations are summarized below

#21, #22 — “Thes units are worth regular upkeep / restoration.”

#17 — “This window should be remanufactured.”

43d, 47d — “These doors are worth restoring, getting the transoms functional and potentially remanufacturing wooden screen doors for the openings.”

#75 — “The sashes are beyond reasonable repair in my opinion.”

#57, #58, #59, #60 — These sashes are beyond reasonable repair in my opinion.”

#84, #85, #86 — “These sashes are beyond reasonable repair in my opinion.”

#77, #78, #79 — These sashes are beyond reasonable repair in my opinion.”

Interior and exterior photographs, and detail shots where relevant, are including below for your review.

#17 — Level 1, west elevation. This window is located beneath the main stair, in a narrow closet (once a stair leading to the basement). While visible from inside the house, the window had been painted over and buried behind vinyl siding. Removal of the vinyl revealed a window with clear and green, Florentine glass (in a ripple pattern), with diamond muntins. The design and color of this window matches two similar windows on Level 3 (#77 and #70). The presences of these three windows suggests windows #18, #19, and #20 once shared this design. The window is beyond repair but will be replicated by a custom builder using the existing glass.



Proposed

☐ Repair

☒ Replicate

☐ Replace

Tech Recommendation

☐ Conforming

☐ Non-Conforming

☐ To Be Discussed

Commission Decision

☐ Approve

☐ Deny

Detail images show the rot, deterioration of joints, splitting of muntins, evidence of water penetration, and mold.



#18, #19, #20 — Level 1, west elevation. Three narrow windows occupy the staircase projection at the west elevation. The fenestration openings are very old but the existing stained-glass dates from the 1950s when the building was converted to a funeral home. The stained-glass panels are **not** of the same design, color, or pattern of the older stained glass found in the sidelights flanking the front door (#21 and #24). The condition of the sashes does **not** show the same degree of deterioration as is evident in other windows in this same projection. Also, the interior Victorian trims have been updated and include square (art deco) corner blocks; other, older trims in the house have traditional, Victorian circular (or target) corner blocks.



#18 — Level 1, west elevation. We proposed returning these to diamond muntin windows that replicate the patterning, texture and color of windows #17, #77, and #79.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#18 — Level 1, west elevation.



#19 — Level 1, west elevation. We proposed returning these to diamond muntin windows that replicate the patterning, texture and color of windows #17, #77, and #79.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

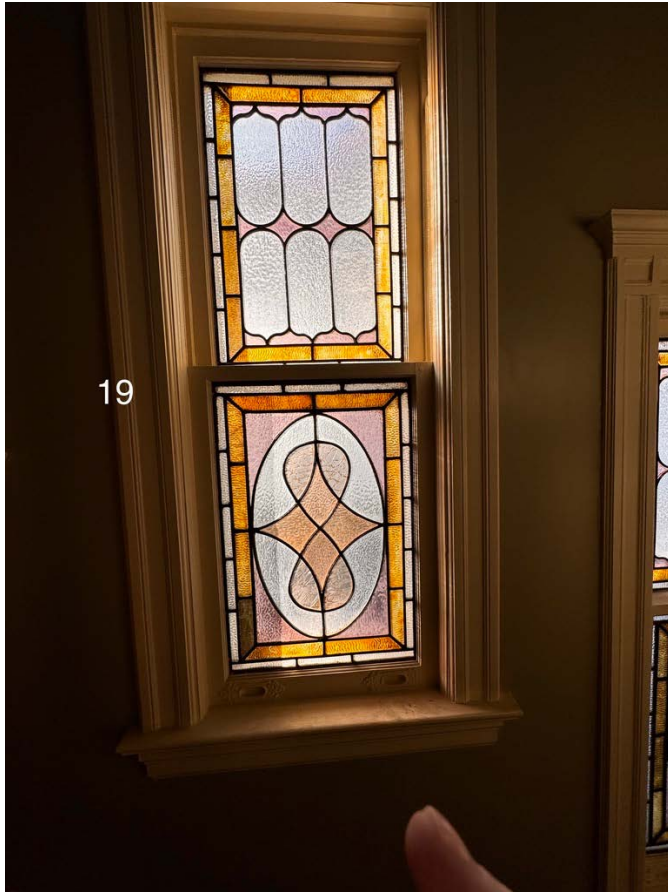
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#19 — Level 1, west elevation.



#20 — Level 1, west elevation. We proposed returning these to diamond muntin windows that replicate the patterning, texture and color of windows #17, #77, and #79.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

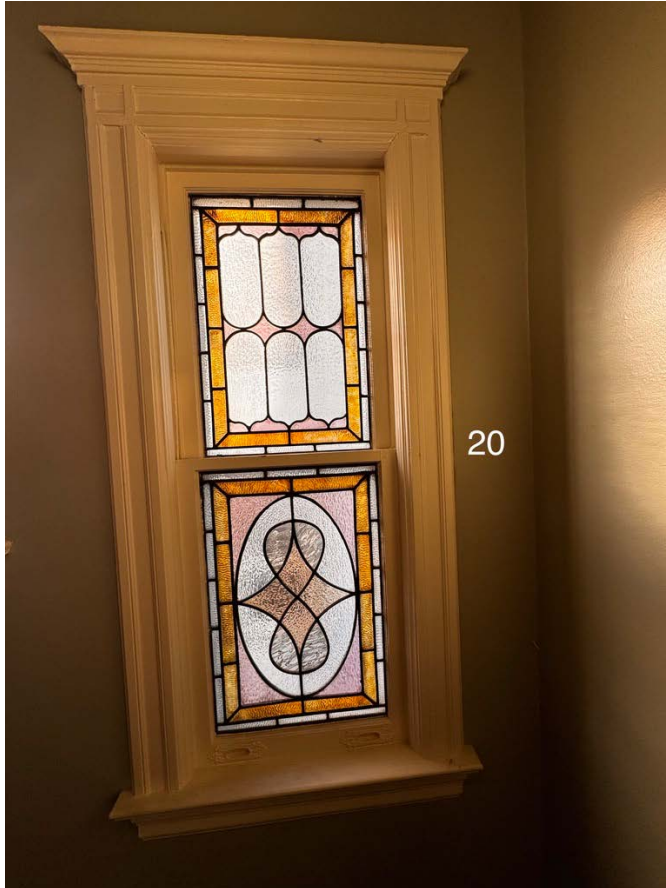
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#20 — Level 1, west elevation.



#21, #22, #23, #24 — Level 1, north elevation. Two stained-glass sidelights flank the double-front doors. One window (#21) is offset from the door trim in an atypical placement. We believe this is an artifact of the entry doors and pediment being shifted to the left during an earlier renovation. The upper right corner of window (#21) is unusually close to areas where the porch roof returns to the body of the house.

It is impossible to know why this one sidelight is offset. We proposed nudging the window left so that it flanks the door set (and falls within the door-frame trim) in a more historically appropriate manner.



#21 — Level 1, north elevation. The how the sidelight at the right of the entry doors does not abut, and is not enclosed in the entry trims, as is typical with sidelights. Also, note how the upper right corner of the window crowds the area where the porch roof returns to the body of the house.



Proposed

- ☒ Repair
☐ Replicate
☐ Replace

Tech Recommendation

- ☐ Conforming
☐ Non-Conforming
☐ To Be Discussed

Commission Decision

- ☐ Approve
☐ Deny

#22d, #23d — Level 1, north elevation. Minor deterioration will be repaired and the restored doors retained.





Proposed

- ☒ Repair
- ☐ Replicate
- ☐ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#24 — Level 1, north elevation. Note how this sidelight aligns with, and is included in the entry trim, making it part of the door set, unlike the modified window (#21) above. Retain and restore.



Proposed

- ☒ Repair
☐ Replicate
☐ Replace

Tech Recommendation

- ☐ Conforming
☐ Non-Conforming
☐ To Be Discussed

Commission Decision

- ☐ Approve
☐ Deny

#43d — Level 1, east elevation. This door currently opens into the enclosed portion of the front porch. Once the porch is re-opened to its historic configuration, this door and transom will become a highly visible exterior elements. They will be retained and restored.



Proposed

- ☒ Repair
☐ Replicate
☐ Replace

Tech Recommendation

- ☐ Conforming
☐ Non-Conforming
☐ To Be Discussed

Commission Decision

- ☐ Approve
☐ Deny

#47d — Level 1, east elevation. This door mirrors 43d (above) and currently opens into a hallway/ramp leading to the garage. This door and transom, while once exterior, are and will remain interior.



Proposed

- ☒ Repair
- ☐ Replicate
- ☐ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#56 — Level 2, west elevation. Window 56 is buried in the wall behind a tiled shower wall. However, the window is still visible from the exterior. This window matches window 75, which is located on the south elevation of the building but within the same room. The upper sash has fallen (the lower sash appears to be missing completely). An aluminum storm window is apparently holding everything in place.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

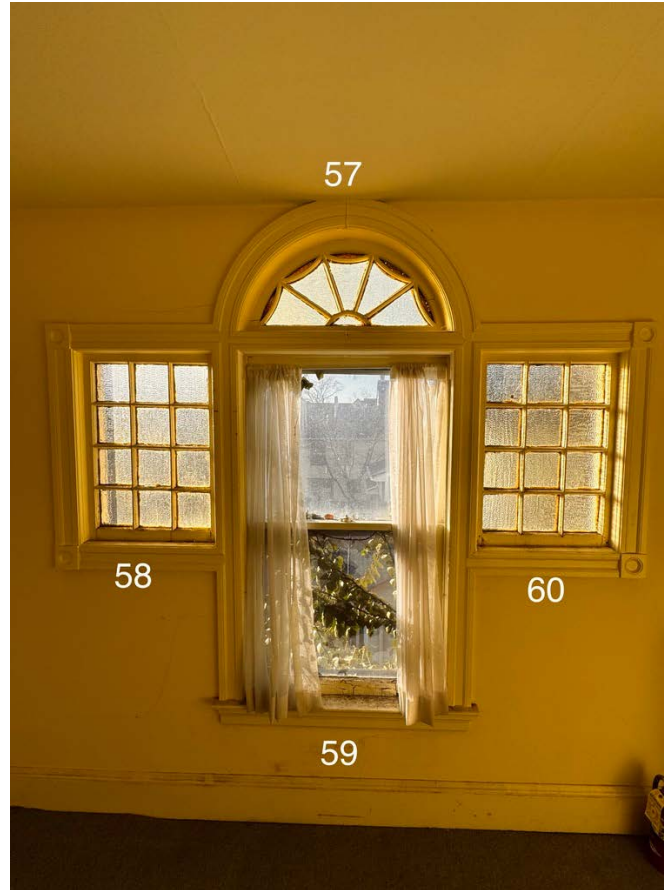
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

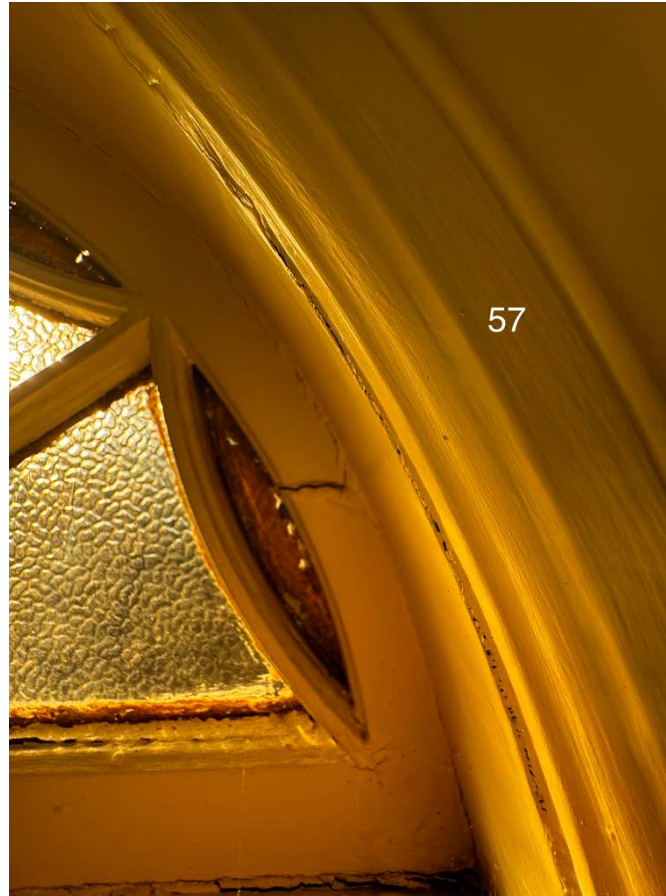
Commission Decision

- ☐ Approve
- ☐ Deny

#57, #58, #59, #60 — Level 2, west elevation. These four windows form a group.



#57 – Level 2, west elevation. This is the only fan window in the building. Mr. Eastin’s report states, “The mulls have deteriorated to the point that only the pressure of the window being in place is keeping them together.” The window to be replicated by a custom building using existing glass.



Proposed

- ☐ Repair
- ☒ Replicate
- ☐ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#57 – Level 2, west elevation.



#58 — Level 2, west elevation. This appears to be a stationary window, though it may be a hopper windows (as is be found in #84 and #86). The window will have to be removed before its operability can be determined. The wood of the window is not restorable. Window to be replaced with a conforming window of the same dimensions and muntin configuration.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#58 – Level 2, west elevation.



#59 — Level 2, west elevation. This double-hung window is the only operable window in this group. The interior wood condition is poor with the assembly pegs missing in areas (and replaced with caulk). Window to be replaced with conforming Andersen “A” Series.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#60 — Level 2, west elevation. This window is the pair to window #58. Pegs holding the sashes together have dried and shrunk to the point where they have come unmoored or fallen out completely. Exterior conditions are very poor. Window to be replaced with a conforming window of the same dimensions and muntin configuration.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#60 — Level 2, west elevation. Detail of muntins showing them deteriorated to the point they’ve become soft and fibrous.



#75 — Level 2, south elevation. This appears to be the type of window that was used throughout the house prior to later renovations. While one of the oldest windows, it is also the most severely damaged. Mr. Eastin’s report states, “Muntins are worn down or rotted down to near nothing leaving no area to be glazed.” Exterior conditions (the window is accessible from the garage roof) are very poor and are representative of exterior conditions on all original windows. Window to be replaced with a conforming Andersen “A” Series window with diamond and bars upper sash.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

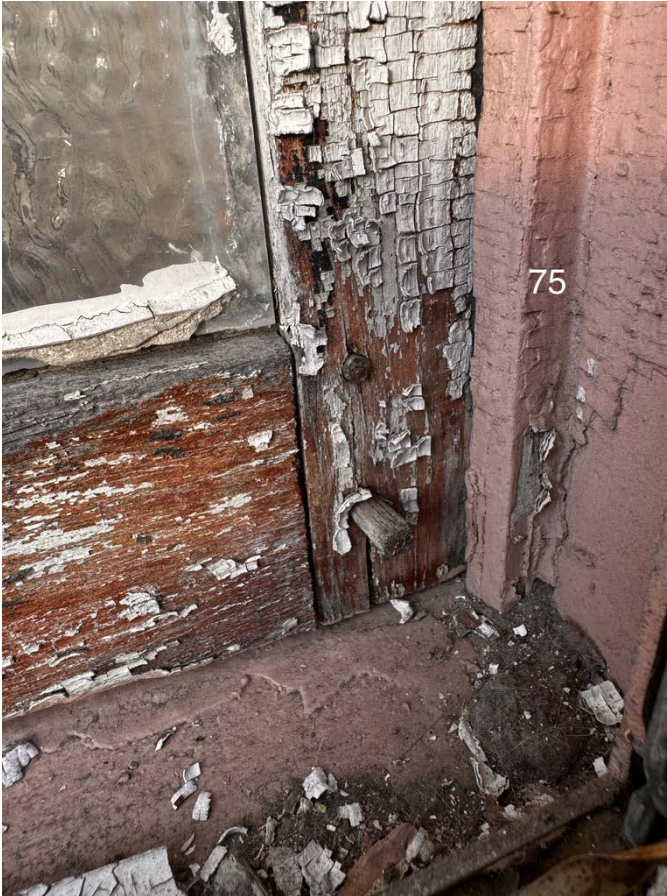
Commission Decision

- ☐ Approve
- ☐ Deny

#75 — Level 2, south elevation.



#75 — Level 2, south elevation.



#75 — Level 2, south elevation.



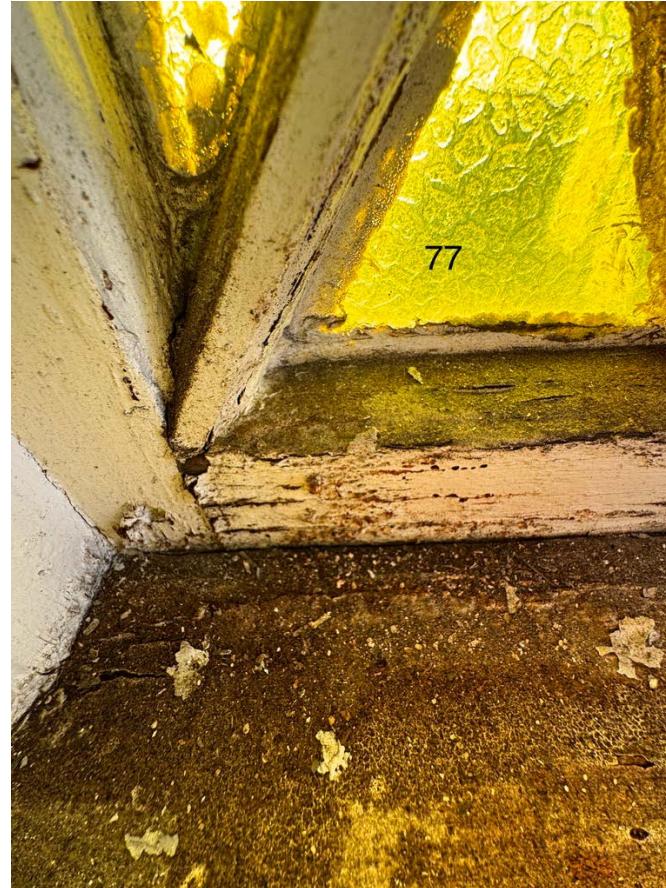
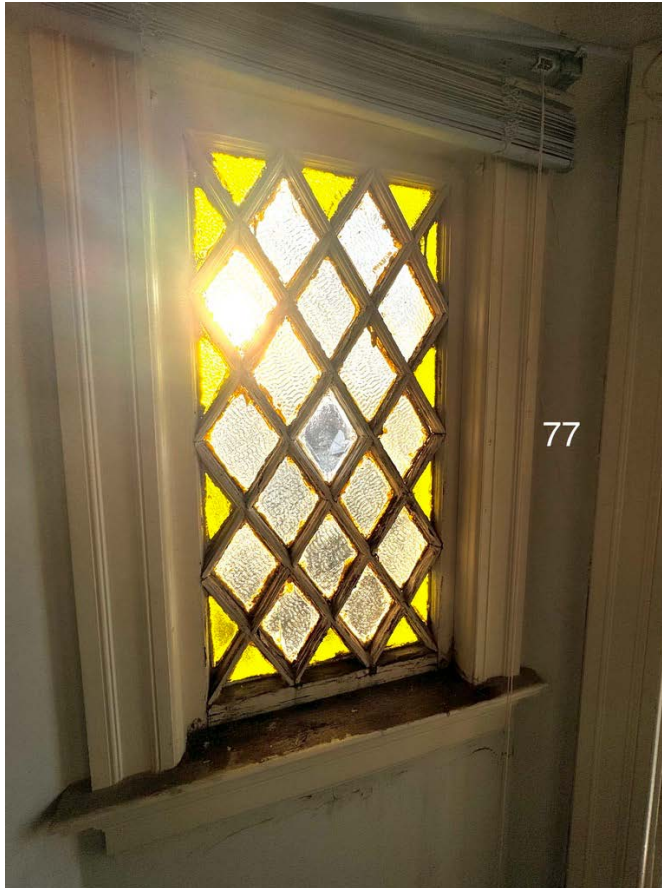
#75 — Level 2, south elevation.



#77, #78, #79 — Level 3, west elevation. These three windows form a group. They are located above the staircase projection at the west. Two of the windows (#77, #79) share the same muntin pattern, glass type (ripple) and coloration as window #17, located to levels below.



#77 — Level 3, west elevation. Window to be replicated by custom builder reusing existing glass.



Proposed

- ☐ Repair
☒ Replicate
☐ Replace

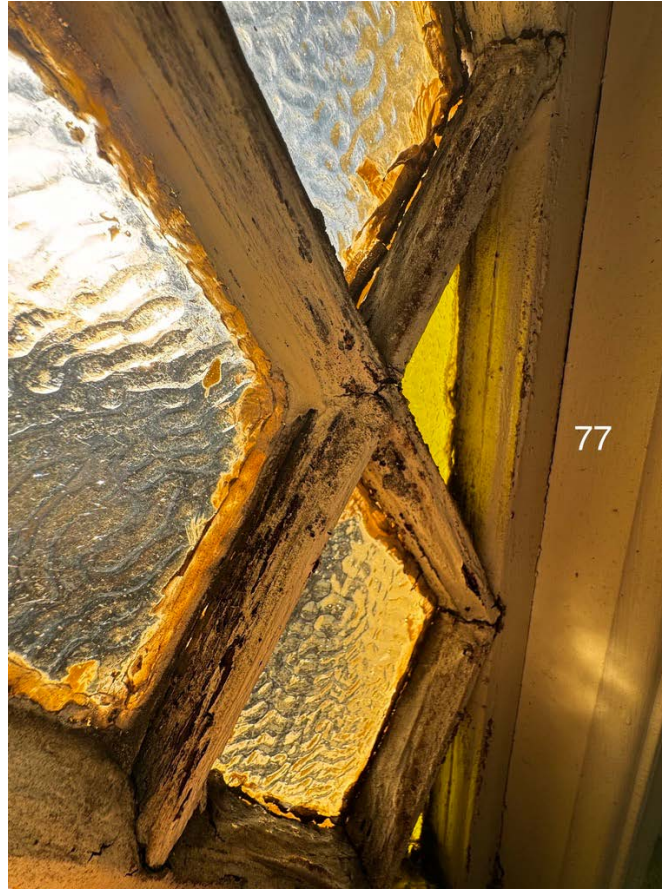
Tech Recommendation

- ☐ Conforming
☐ Non-Conforming
☐ To Be Discussed

Commission Decision

- ☐ Approve
☐ Deny

#77 — Level 3, west elevation.



#78 — Level 3, west elevation. Window to be replaced with a conforming Andersen “A” Series 1/1 window.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#78 — Level 3, west elevation.



#79 —Level 3, west elevation. This is the pair of window #77. Window to be replicated by custom builder reusing existing glass.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

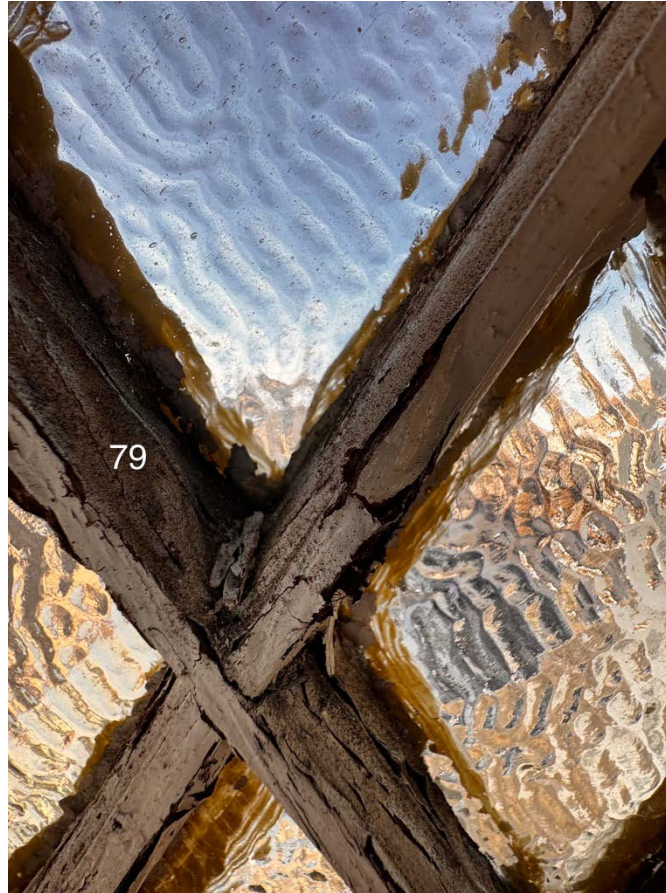
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#79 —Level 3, west elevation. This is the pair of window #77.



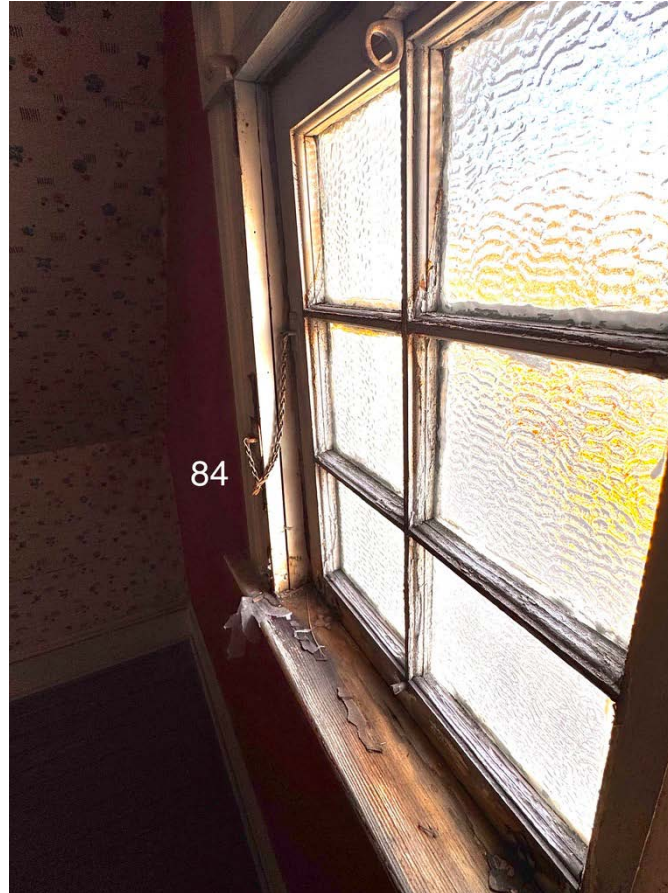
#79 —Level 3, west elevation. This is the pair of window #77.



#84, #85, #86 — Level 3, east elevation. These three windows form a group: a Palladian window flanked by two, six-pane hopper windows (i.e., bottom-hinged). The rounded window has wide molding with ornamental “keystone” ornament (common to certain Queen Anne and Italianate styles) Similarly hefty molding surrounds the two hopper windows. The trims on this window group mirror those of a similar group on Level 2 on the west elevation (see: #57, #58, #59, and #60). Mr. Eastin’s report states, “These sashes are beyond reasonable repair in my opinion.”



#84 — Level 3, east elevation. Replace with an Andersen “A” Series hopper window with the same muntin pattern.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

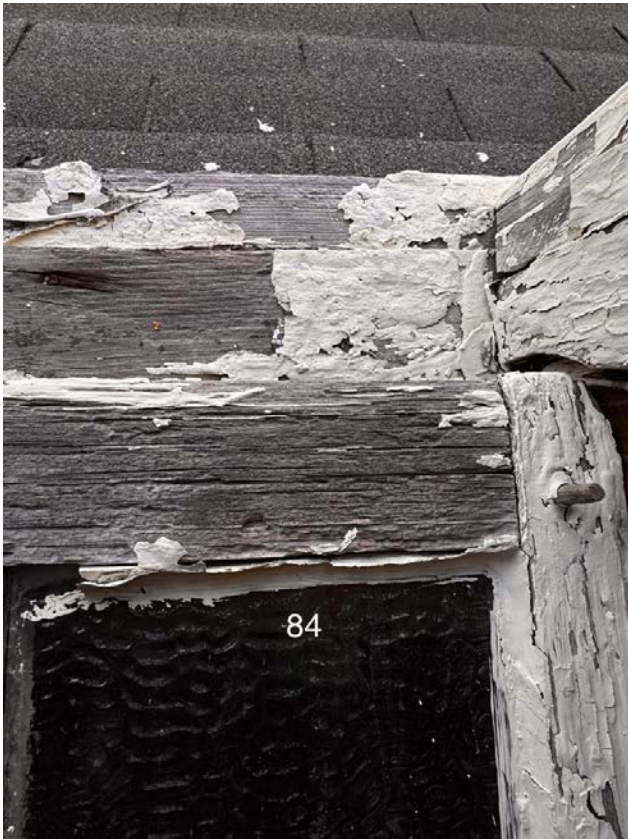
Commission Decision

- ☐ Approve
- ☐ Deny

#84 — Level 3, east elevation.



#84 — Level 3, east elevation. Exterior images show the extent of the dry rot in both the sashes and the frame. The wood is powdery with a lightweight “Styrofoam” texture.



#85 — Level 3, east elevation. Replace with custom built window.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#85 — Level 3, east elevation.



#85 — Level 3, east elevation.



#86 — Level 3, east elevation. Replace with an Andersen “A” Series hopper window with the same muntin pattern.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#86 — Level 3, east elevation. The exterior of this window is equally deteriorated, with missing pegs connecting sash components, cracking, and dry rot.



Secondary Windows

Initially it was believed the “Secondary” windows dated from the 1894 renovation. The historic photo show 1/1 double-hung windows were added at the north and east elevations as part of the first major alteration of the property. This led us to believe all 23 of the wooden, 1/1 windows may be, if not original, at least from the period of significance.

However, further investigations revealed ONLY four of the existing 1/1 windows likely date from the 1894 renovation. They are the Level 3 dormer window (#80) and the Level 3 turret windows (#81, #82, and #83,) Unfortunately, these four windows are some of the most deteriorated in the entire house; decades beyond any hope of repair or restoration.

Clear evidence indicates ALL remaining 1/1 windows DO NOT date from the period of significance and are, instead, rebuilt sashes installed on metal guide rails. While some window sashes appear in moderate to good condition when examined from inside the house, when examined from outside are revealed to be badly deteriorated from years of unprotected exposure due to lack of storm windows.

Many of the windows in the house were inoperable, with sashes rotten into their frames and buried beneath layers of paint. Upon opening these 1/1s we discovered the window frames are unmistakably older and more severely deteriorated than the sashes they contain. These frames are rotted to an alarming degree with sill pans completely deteriorated in many of the windows, allowing water penetration directly into the walls of the building. Other 1/1 windows have rotted rails, detached checkrails, and un-pegged and unglued joints.

In addition to the widespread deterioration of the frames, the metal rail guides, and the presence of “flat” modern glass (where “wavy” glass was originally used) the interior and exterior casings and trims on these windows have been replaced. Gone are the older Victorian “target” corner blocks (found at the attic level and on windows at the west elevation) replaced by more modern, square/linear casing blocks. Exterior trims are narrow with mitered, non-historic corner joints.

Examination by our architect and builder date these replacement 1/1 sashes to the mid-1950s.

Note: Interior Secondary windows are heavily painted to cover and disguise the degree of deterioration (the building was operating as a business until December of 2025). Examination of the exterior of these windows reveals the true degree of deterioration.

Since all Secondary windows are not original to the house, and all but four (severely deteriorated windows) date from the 1950s, we propose replacing all Secondary windows with new, Andersen “A” Series windows in a variety of muntin patters including gothic diamond-and-bar upper sash windows, Georgian upper sash windows, and 1/1 windows.

#12 — Level 1, west elevation. This window is located where an earlier open, 1 story porch used to be. The original porch was enclosed, and a 2-story addition was added likely around 1894 when other major changes occurred. This window does not match the window shape found elsewhere on the house; the sill appears to have been raised, and the window narrowed.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#12 — Level 1, west elevation. Cycles of moisture and heat have dried the windows and caused the pegs of the joints to wiggle free and deteriorate completely. These sashes are being held together by the window frames that surround them, as you can see in this photo showing missing pegs at the corner joint,



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#13 — Level 1, west elevation. This window is on at the west elevation in what was once an open porch but was later enclosed. It does not match the historic window dimensions found elsewhere in the house and the sill height appears to have been raised (though there is no interior counter to rationalize such a shortening of the windows).



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

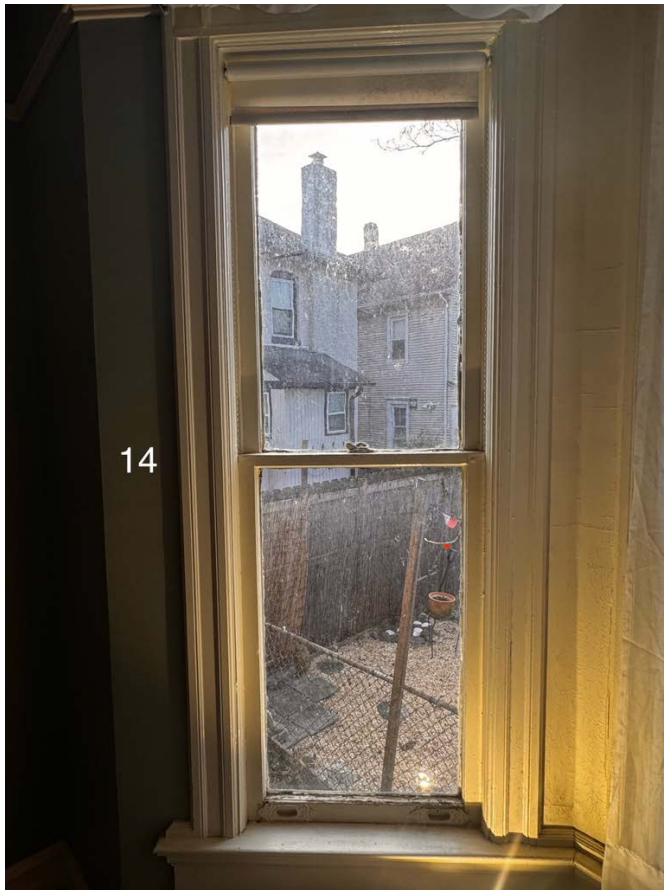
Commission Decision

- ☐ Approve
- ☐ Deny

#13 — Level 1, west elevation.



#14 — Level 1, west elevation. This window at the west elevation in the Level 1 bay. From the inside the condition appears moderate to good. However...



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#14 — Level 1, west elevation. ...conditions outside show the extent of the rot and deterioration.



#16 — Level 1, west elevation. This is the pair to window #14 and is in similar condition.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#25 — Level 1, north elevation. These Level 1 windows (#25-#29) have sashes in moderate to good condition but sit inside non-historic, frames with metal rails. These windows date from a later renovation and are not original.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#25 — Level 1, north elevation. Metal guide rails are present in all the Level 1 and Level 2 1/1 double-hung windows.



#26 — Level 1, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#27 — Level 1, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#28 — Level 1, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#29 — Level 1, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

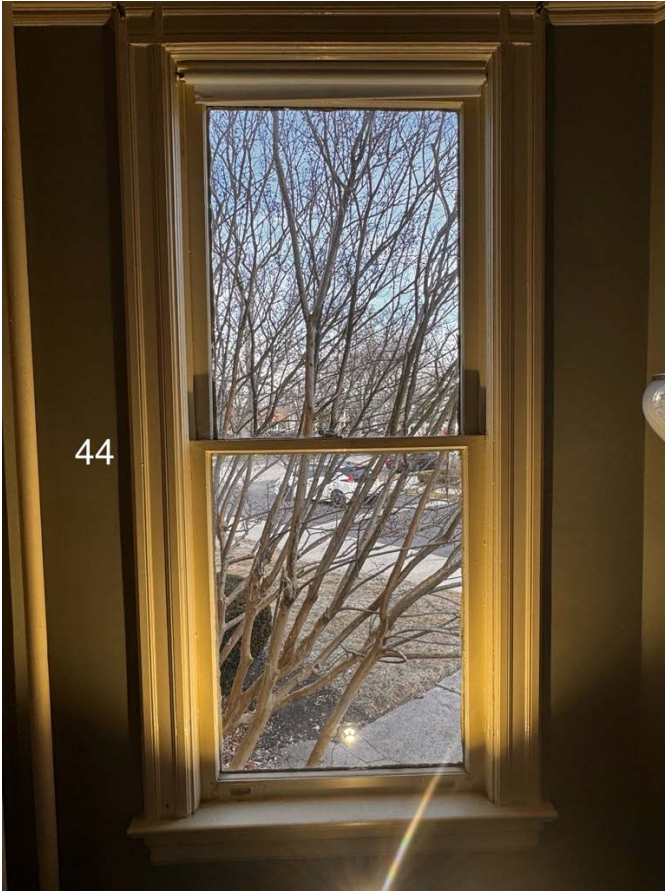
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#44 — Level 1, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#45 — Level 1, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#46 — Level 1, east elevation. Even 1/1 window that are not original have suffered from decades of exposure to weather. The lack of proper storm windows has allowed water to pool in the frames, deteriorate the wood, and penetrate interior walls.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

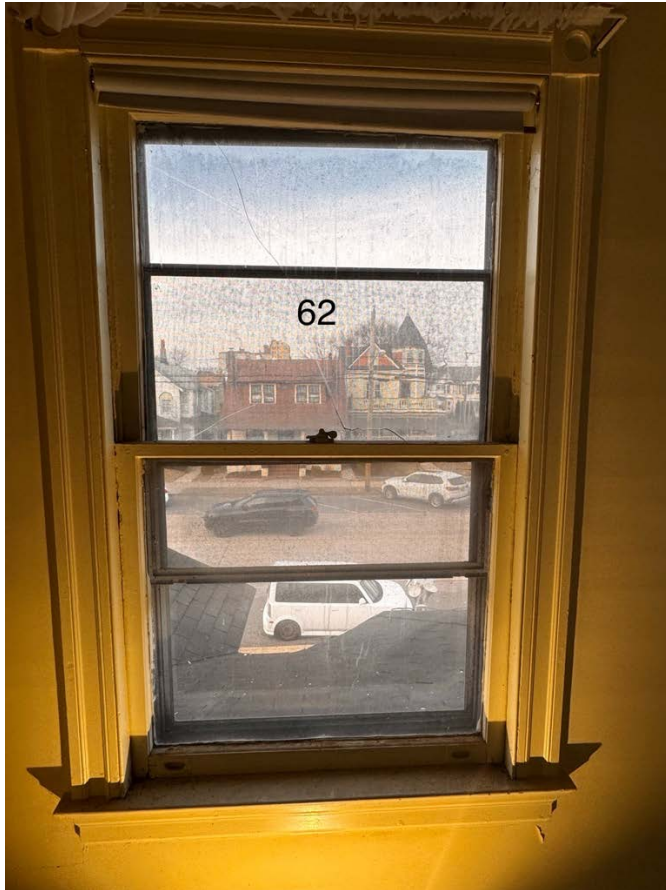
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#62 — Level 2, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#63 — Level 2, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#64 — Level 2, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

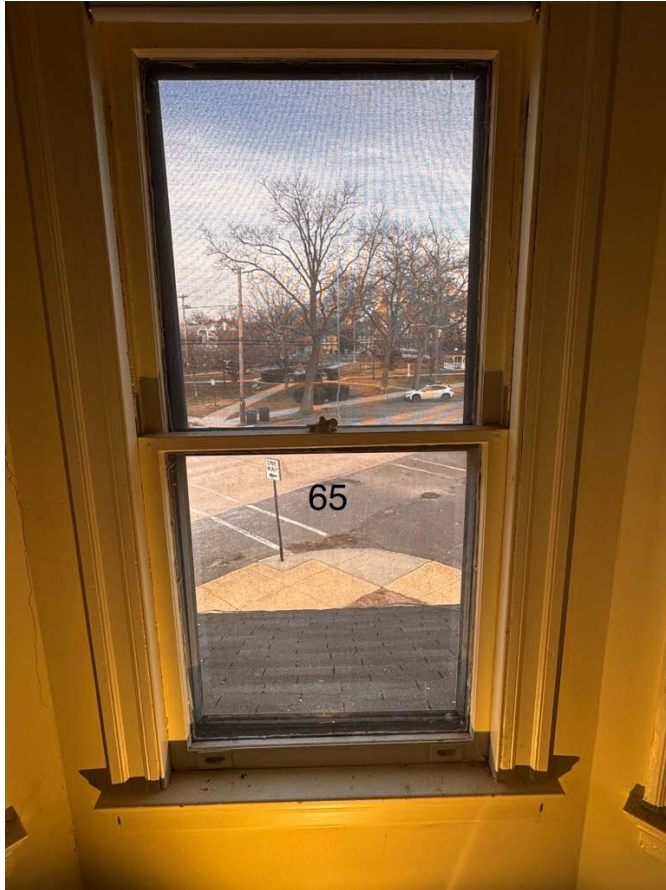
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#65 — Level 2, north elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#66 — Level 2, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

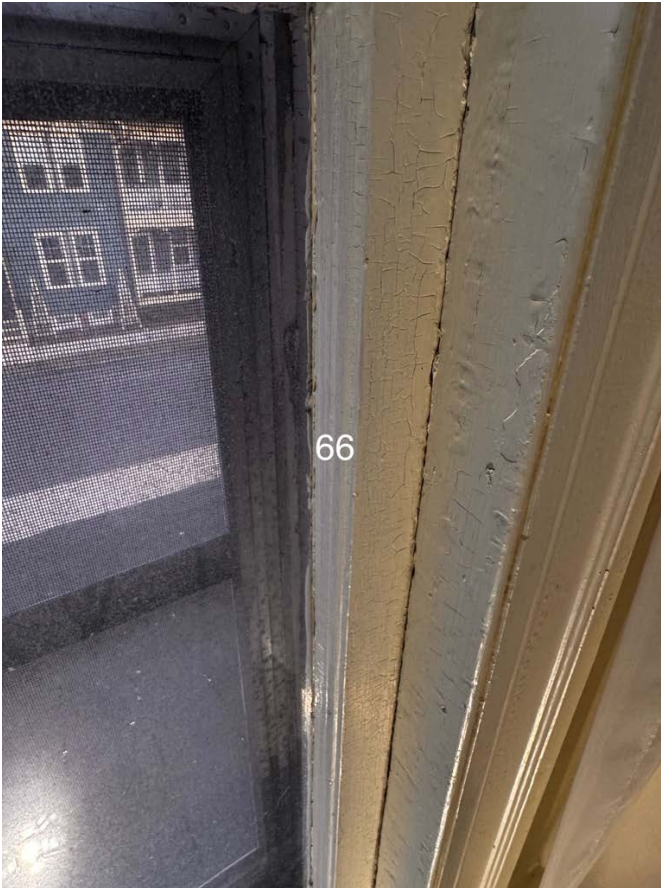
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#66 — Level 2, east elevation. A representative example of the sash being in repairable condition but the pan of the window frame being rotted out and the lower glides split with rot (or missing completely).



Proposed

- ☐ Repair
☐ Replicate
☒ Replace

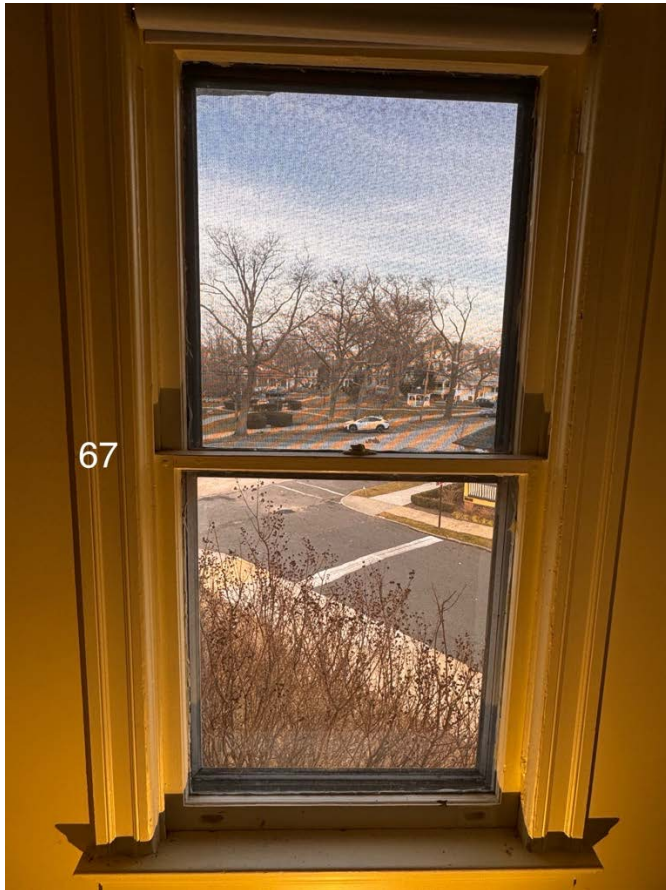
Tech Recommendation

- ☐ Conforming
☐ Non-Conforming
☐ To Be Discussed

Commission Decision

- ☐ Approve
☐ Deny

#67 — Level 2, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#67 — Level 2, east elevation. Another example of a newer, rebuilt sash. The condition of certain sashes, suggest they are 50-70 years old rather than 135 years old.



#68 — Level 2, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#69 — Level 2, east elevation. Another representative example of interior sashes that look restorable.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

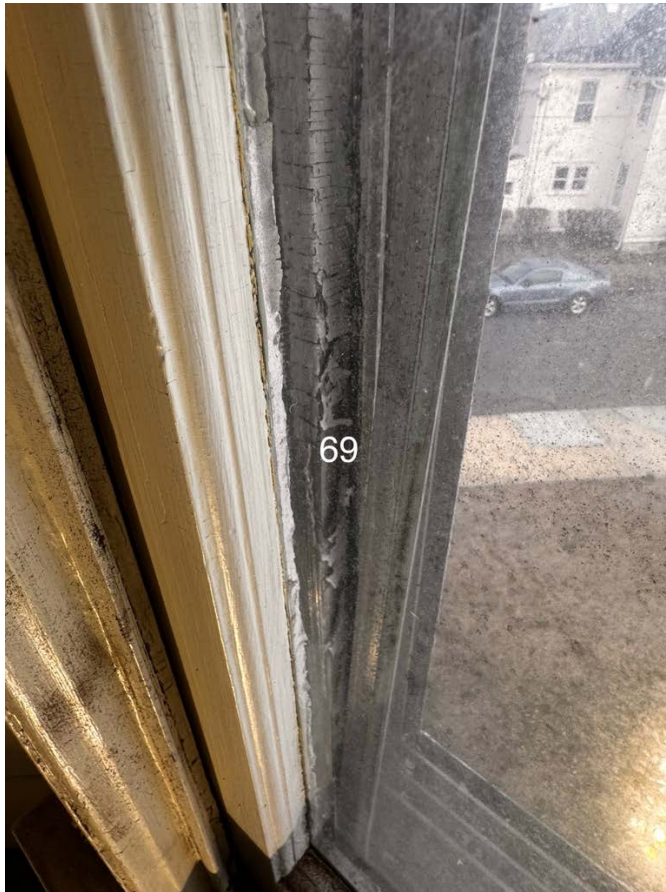
Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#69 — Level 2, east elevation. However, lifting the sash reveals window frames destroyed by rot and weather.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#69 — Level 2, east elevation. However, lifting the sash reveals window frames destroyed by rot and weather and open to the interior of the wall.



#80 — Level 3, north elevation. This Level 3 dormer window appears to be one of the original 1/1 fenestrations installed in 1894. The deterioration is extreme in both the sash and the window frame.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#80 — Level 3, north elevation. This Level 3 dormer window appears to be one of the original one-over-one fenestrations installed in 1894. The deterioration is extreme in both the sash and the window frame. Note: Windows #80, #81, #82, and #83 all date to the 1894 renovation and are beyond repair.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#80 — Level 3, north elevation. This Level 3 dormer window appears to be one of the original one-over-one fenestrations installed in 1894. The deterioration is extreme in both the sash and the window frame.



#81 — Level 3, north elevation. Another of the original one-over-one windows, this one in the turret, shows deterioration in both the sashes and the window frame.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#81 — Level 3, north elevation. Another of the original one-over-one windows, this one in the turret, shows deterioration in both the sashes and the window frame.



#82 — Level 3, north elevation. Note: the deterioration of the exterior trim (i.e., crown and dentil) at the tower roof.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#82 — Level 3, north elevation. Details of the type of water penetration throughout the house at locations where 1/1 window frames are deteriorated. The damage does not stop at the sash but show in the nearby wall, as well.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#83 — Level 3, east elevation.



Proposed

- ☐ Repair
- ☐ Replicate
- ☒ Replace

Tech Recommendation

- ☐ Conforming
- ☐ Non-Conforming
- ☐ To Be Discussed

Commission Decision

- ☐ Approve
- ☐ Deny

#83 — Level 3, east elevation.

