

**A2.2** EXISTING CONDITIONS - ELEVATIONS

A2.3 DEMO/PROPOSED DIAGRAMS - PLANS

**A5** PROPOSED ELEVATIONS AND 3D AXONS

A6 PROPOSED ROOF PLAN AND 3D VIEWS

A7 PROPOSED EXTERIOR DETAILS FOR HPC

A3 PROPOSED PLANS

**A4** PROPOSED ELEVATIONS



# BARKHORN RESIDENCE

16 OCEAN AVENUE, OCEAN GROVE, NJ

### **GENERAL NOTES:**

- 1. ALL WORK TO BE DONE IN ACCORDANCE WITH 2018 NEW JERSEY UNIFORM CONSTRUCTION CODE.
- 2. CONTRACTOR TO INSPECT AND VERIFY ALL SITE CONDITIONS
- 3. NO SUB-SURFACE SOIL INVESTIGATION HAS BEEN PERFORMED FOUNDATIONS HAVE BEEN DESIGNED USING THE PRESUMPTIVE SOIL BEARING PRESSURE. IF QUESTIONABLE SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION, THE CONTRACTOR(S) SHALL NOTIFY THE ARCHITECT
- CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3,000 PSI UNLESS OTHERWISE NOTED
- 5. ALL FRAMING MEMBERS TO BE NO. 2 DOUGLAS FIR. MINIMUM FIBER STRESS OF ALL WOOD FRAMING TO BE 1250 PSI.
- 6. ALL NAILING TO BE DONE IN ACCORDANCE WITH IRC TABLE
- 7. ELECTRICAL LAYOUT IS SCHEMATIC AND SHALL BE INSTALLED AS PER N.J.A.C. 5.23-3.5
- 8. ARCHITECT IS RESPONSIBLE FOR GETTING HPC AND ZONING PERMITS. CONTRACTOR IS RESPONSIBLE FOR GETTING ALL REQUIRED BUILDING PERMITS, FEES, AND INSPECTIONS.
- 9. ALL HEADERS ABOVE OPENING ARE TO BE (2) 2"X10" UNLESS OTHERWISE NOTED
- 10. OWNER SHALL SUPPLY ACCESS TO SITE, A SUPPLY OF CLEAN WATER, AND 110V ELECTRICITY FOR POWER TOOLS
- 11. ALL DIMENSIONS SHOWN ON PLANS RELATING TO THE LOCATION AND SIZE OF THE LOT TO BE BUILT UPON ARE BASED ON ACTUAL SURVEY OF THE LOT BY LAKELAND SURVEYING CERTIFIED TO IVAN BARKHORN DATED 11/9/2023 PROJECT NUMBER 233286.

- ALL METAL HANGERS AND ANCHOR BOLTS ATTACHED TO
- 13. ALL ELECTRICAL TO BE INSTALLED SHALL COMPLY WITH APPLICABLE CODES. ITEMS RELATED TO THIS ARE SHOWN ON DOCUMENTS FOR REFERENCE ONLY. THIS ARCHITECT ASSUMES NO RESPONSIBILITY RELATED TO COMPLIANCE WITH APPLICABLE
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UNAUTHORIZED CHANGES TO THE CONTRACT DOCUMENTS
- 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND IF A DISCREPANCY EXISTS NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE CODES
- 17. THE RESPONSIBLE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND REMOVE MATERIALS IN A LEGAL MANNER.
- 18. CONTRACTOR(S) SHALL COORDINATE DIMENSIONS AND OTHER REQUIREMENTS FOR ALL OWNER SUPPLIED ITEMS PRIOR TO CONSTRUCTION.

# PRESSURE-TREATED LUMBER TO BE HOT DIPPED GALVANIZED

- CODES OR RELATED TO PERFORMANCE OF THE SYSTEM.

- AND LOCAL ORDINANCES.
- 19. ALL EXTERIOR LIGHTING SHALL COMPLY WITH LDO GLARE GUIDELINES AS FOLLOWS: GLARE - NO USE SHALL PRODUCE A STRONG, DAZZLING LIGHT OR A REFLECTION OF A STRONG, DAZZLING LIGHT OR GLARE BEYOND ITS LOT LINES. EXTERIOR LIGHTING SHALL BE SHIELDED, BUFFERED, AND DIRECTED SO THAT GLARE, DIRECT LIGHT OR REFLECTION WILL NOT BECOME A NUISANCE TO ADJOINING PROPERTIES, ADJOINING DWELLING UNITS, ADJOINING PROPERTIES, ADJOINING DWELLING UNITS, ADJOINING DISTRICTS OR STREETS.

### **ADOPTED CODES AND STANDARDS 2021 NEW JERSEY UNIFORM CONSTRUCTION CODE - NJAC 5:23**

NJAC 5:23 - 3.14 - BUILDING SUBCODE - INTERNATIONAL BUILDING CODE/ 2021 NJ EDITIOI NJAC 5:23 - 3.15 - PLUMBING SUBCODE - NATIONAL STANDARD PLUMBING CODE / 2021

NJAC 5:23 - 6.00 - REHABILITATION SUBCODE - NJUCC, SUBCHAPTER 6

FIRST FLOOR

**APPLICANT INFORMATION** 

ATTIC (FINISHED)

**SECOND FLOOR (EXISTING)** 

**SECOND FLOOR (ADDITION)** 

- PROPOSED ADDITION PORCH (SF

PROPOSED ADDITION (SF INCLUDED IN

INCLUDED IN PORCH A AREA)

DWELLING AREA)

NOTE: ALL SURVEY INFORMATION TRANSPOSED FOR

CONC. STEPS = 15 SF

ADJACENT PORCH AT

PROPERTY LINE

BLOCK 146

×15.34

SITE PLAN WAS CREATED BY LAKELAND SURVEYING

CERTIFIED TO IVAN BARKHORN DATED 11/9/2023

PROJECT NUMBER 233286

PROPOSED ADDITION SETBACK

/PORCH B RENOVATION  $\stackrel{\frown}{\sim}$ (INCLUDED IN  $\stackrel{\frown}{\times}$ 

CONC. PATH AND

CONC. PATH)

LOT COVERAGE BLDG COVERAGE

CONC. DRIVEWAY

BLOCK 146/ LOT 11

SINGLE FAMILY DWELLING ZONE: HD-0

CONC. DRIVEWAY, STEPS, AND PATH

OCEAN GROVE

PROPERTY LINE AS DESCRIBED IN DEED 2335 PAGE 156

3 Story Frame

S 64°08'00" E 90.30' [SURVEY]

BLOCK 146

CONC. PATH AND STEPS

CONC. STEPS

387 SF

39 SF

72 SF

11 SF

SIDE LOT LINE

CONC. PATH

STEPS (INCLUDED IN

SINGLE FAMILY DWELLING

DWELLING = 1.900 SF

PORCH SETBACK AVG. = 3.1 FT

ADDITION (SF INCLUDED IN

222 SF

REMOVE EXIST. CHIMNEY

364 SF

322 SF

CONC. PATH AND STEPS = 322 SF

DWELLING = 1.825 SF

AREA OF PROPOSĖD SECOND LEVEL ADDITION`

CONC. DRIVEWAY =

**BUILDING COVERAGE** 

525 SF

2,501 SF

DWELLING =

PROPOSED ZONING DIAGRAM

DRIVEWAY.STEPS.

PORCH A

PORCH B

EXISTING ZONING DIAGRAM

PORCH (ENCLOSED)

PORCH A =

222 SF4

LOT = 3,638 SF

3/32" = 1'-0"

NJAC 5:23 - 3.16 - FLECTRICAL SUBCODE - NATIONAL ELECTRICAL CODE (NEPA 70) / 2020. NJAC 5:23 - 3.17 - FIRE PROTECTION SUBCODE - INTERNATIONAL BUILDING CODE / 2021 NJ EDITION CHAPTER 9

NJAC 5:23 - 3.18 - ENERGY SUBCODE - INTERNATIONAL ENERGY CONSERVATION CODE / 2021 NJAC 5:23 - 3.20 - MECHANICAL SUBCODE - INTERNATIONAL MECHANICAL CODE / 2021 NJAC 5:23 - 3.21 - ONE AND TWO FAMILY DWELLING SUBCODE - INTERNATIONAL RESIDENTIAL CODE / 2021 NJ EDITION NJAC 5.23 - 3.22 - FUEL GAS SUBCODE - INTERNATIONAL FUEL GAS SUBCODE / 2021

### N.J.U.C.C. REQUIREMENTS 2021 INTERNATIONAL RESIDENTIAL CODE **NEW JERSEY EDITION**

USE GROUP: CONSTRUCTION TYPE:	R-5 5B
WIND SPEED	120 MPH
EXPOSURE CATEGORY	В
LIVE LOADS	
FLOORS	40 PSF
BEDROOM FLOORS	30 PSF
ATTIC	20 PSF
CEILINGS	20 PSF
ROOF	45 PSF
DECK	40 PSF
GARAGE	65 PSF
DEAD LOADS	
FLOORS	10 PSF
ATTIC	20 PSF
ROOF	10 PSF

**GARAGE AREA** 428 SF COVERAGE 2,501 SF **VOLUME** 31,944 CF

NAME:	IVAN BARKHORN		
ADDRESS:	17 WEBB AVENUE, (	DCEAN GROVE 07756	
PROJECT INFORMATION			
SITE ADDRESS:	16 OCEAN AVENUE OCEAN GROVE, NJ (	07756	
BLOCK/LOT:	BLOCK 146/ LOT 11		
COUNTY:	MONMOUTH		
TOWNSHIP:	NEPTUNE		
ZONING DISTRICT:	HD-O (HISTORIC - O	CEANFRONT)	
DESCRIPTION:	PROPOSED INTERIC	R RENOVATION AND S	ECOND LEVEL
BULK REGULATIONS			
	REQUIRED/ PERMITTED	EXISTING	PROPOSED
MINIMUM LOT AREA	1,800 SF	3,638 SF	SAME
MINIMUM LOT WIDTH	30 FT	40.29 FT	SAME
MINIMUM LOT FRONTAGE	30 FT	40.29 FT	SAME
MINIMUM LOT DEPTH	60 FT	90.3 FT	SAME

MIN. FRONT YARD SETBACK \*\*8.34 FT 8.7 FT (OLIN - BUILDING) MIN. FRONT YARD SETBACK \*\*3.075 FT 3.8 FT (OLIN - PORCH) MIN. FRONT YARD SETBACK 8.5 FT (OCEAN - BUILDING) MIN. FRONT YARD SETBACK .92 FT (OCEAN - PORCH) \*MIN. SIDE YARD SETBACK 2 FT 0.2 FT \*TOTAL SIDE YARD SETBACK 4 FT 0.2 FT MIN. REAR YARD SETBACK 0 FT 2.1 FT MAXIMUM % OF BUILDING 85% (3,092 SF) 64% (2,334 SF) MAXIMUM % OF LOT COVER 90% (3,274.8 SF) 84% (3,035 SF) MAXIMUM NO. OF STORIES 2.5 2.5

\*\*413.06 (D):NO BUILDING LINE OR FRONT PORCH LINE NEED BE SET BACK FARTHER THAN THE AVERAGE ALIGNMENT OF THOSE FRONT BUILDING AND FRONT PORCH LINES OF EXISTING BUILDINGS WITHIN 200 FEET ON EACH SIDE OF THE LOT AND WITHIN THE SAME BLOCK FRONT AND WITHIN THE SAME ZONE DISTRICT. THIS PROVISION DOES NOT

35 FT

<35 FT

DETACHED

SINGLE FAMILY

### **ARCHITECT**

588 SF

3,712 SF

SAME

SAME

SAME

SAME

10.20 FT

SAME

SAME

.50 FT

SAME

SAME

SAME

68.74% (2,501 SF)

84.99% (3,092 SF)

2.5 / SAME

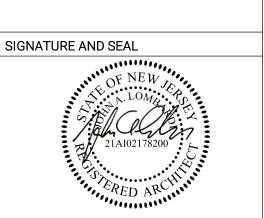
<35 FT/ SAME

DETACHED

SINGLE FAMILY

JOHN ANTHONY ARCHITECTURE + DESIGN JOHN A. LOMBARDI, AIA JOHN@JOHNANTHONYARCH.COM 908.510.6973

NY LICENSE NUMBER: 042988 NJ LICENSE NUMBER: 21782



ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 **CONSTRUCTION TYPE: VB** 

IVAN BARKHORN

16 OCEAN AVENUE

PROJECT INFORMATION

MAY 3, 2024

JOHN A. LOMBARDI

As indicated

1" = 20'-0"

LOT 5.02 BLOCK 146 BLOCK 146 BLOCK 146 BLOCK 146 BLOCK 146 (TM) (TM) DWELLING Garage

STEPS AVERAGE SETBACK=-1.566' ---

DWELLING

BLOCK 146

FROM PROPERTY LINE

OLIN 25' ROW STREET

BUILDING AVERAGE SETBACK=8.34' ----

PORCH AVERAGE SETBACK=3.075'-

BLOCK 146



Slate Curb

Rebar w/cap Found 2.46

BLOCK 146 Q

LOCATION MAP:

Garage

Frame

Dwelling

N 64'08'00" W 90.30'[SURVEY]

 $\bigcirc$ 

×15.78

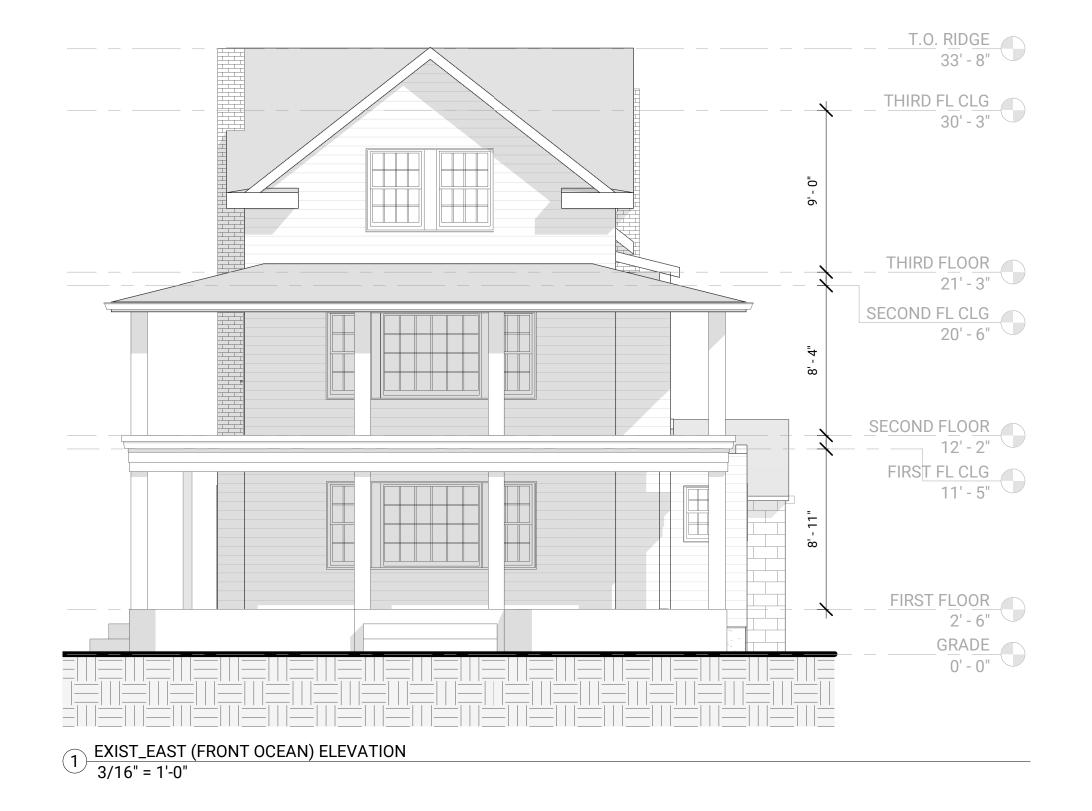
**Z** x15.32

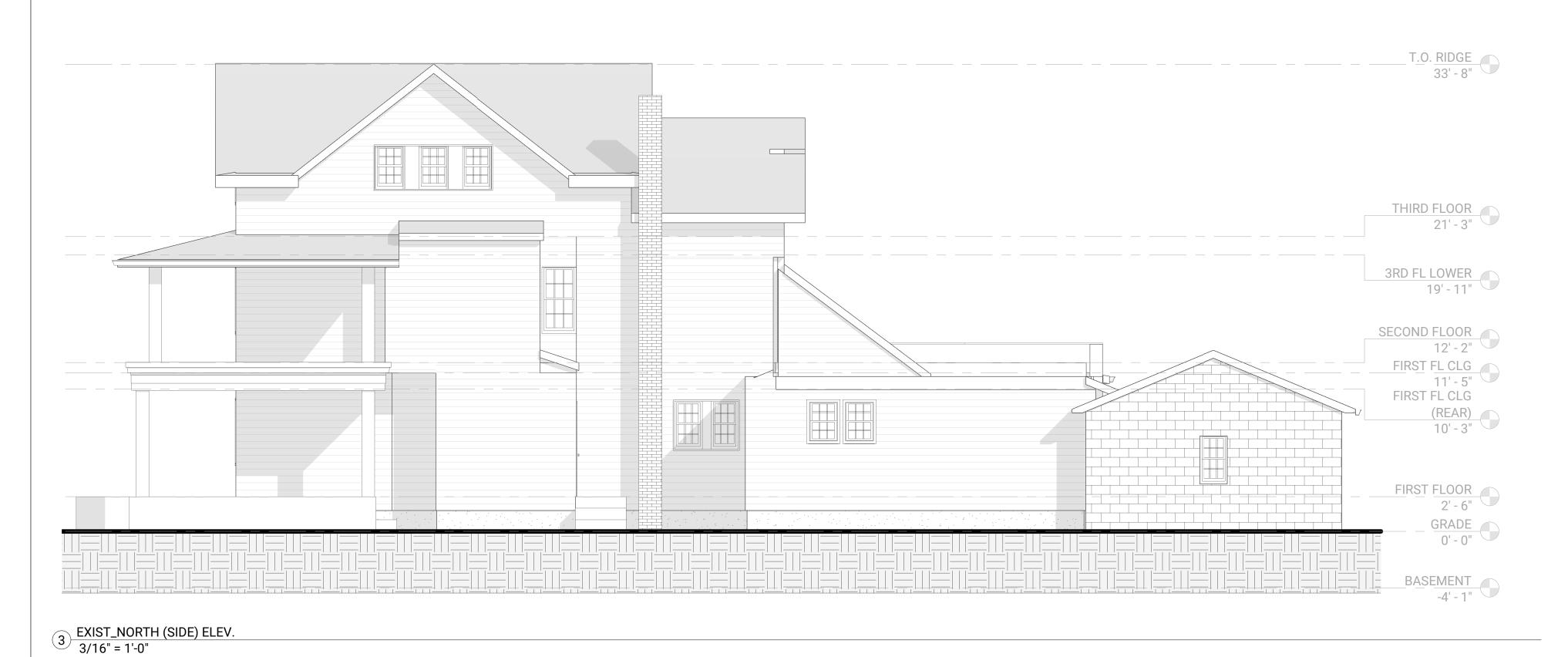
PERMIT THE ENCROACHMENT OF BUILDINGS OR PORCHES INTO THE FLARED OPEN SPACE AREA.

MAXIMUM BUILDING HEIGHT



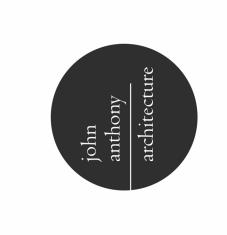








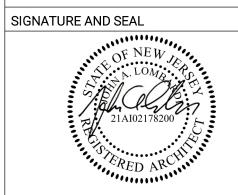
2 EXIST\_WEST (REAR) ELEVATION
3/16" = 1'-0"



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No.	Description	D

ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

16 OCEAN AVENUE

**EXISTING** CONDITIONS\_ELEVATIONS

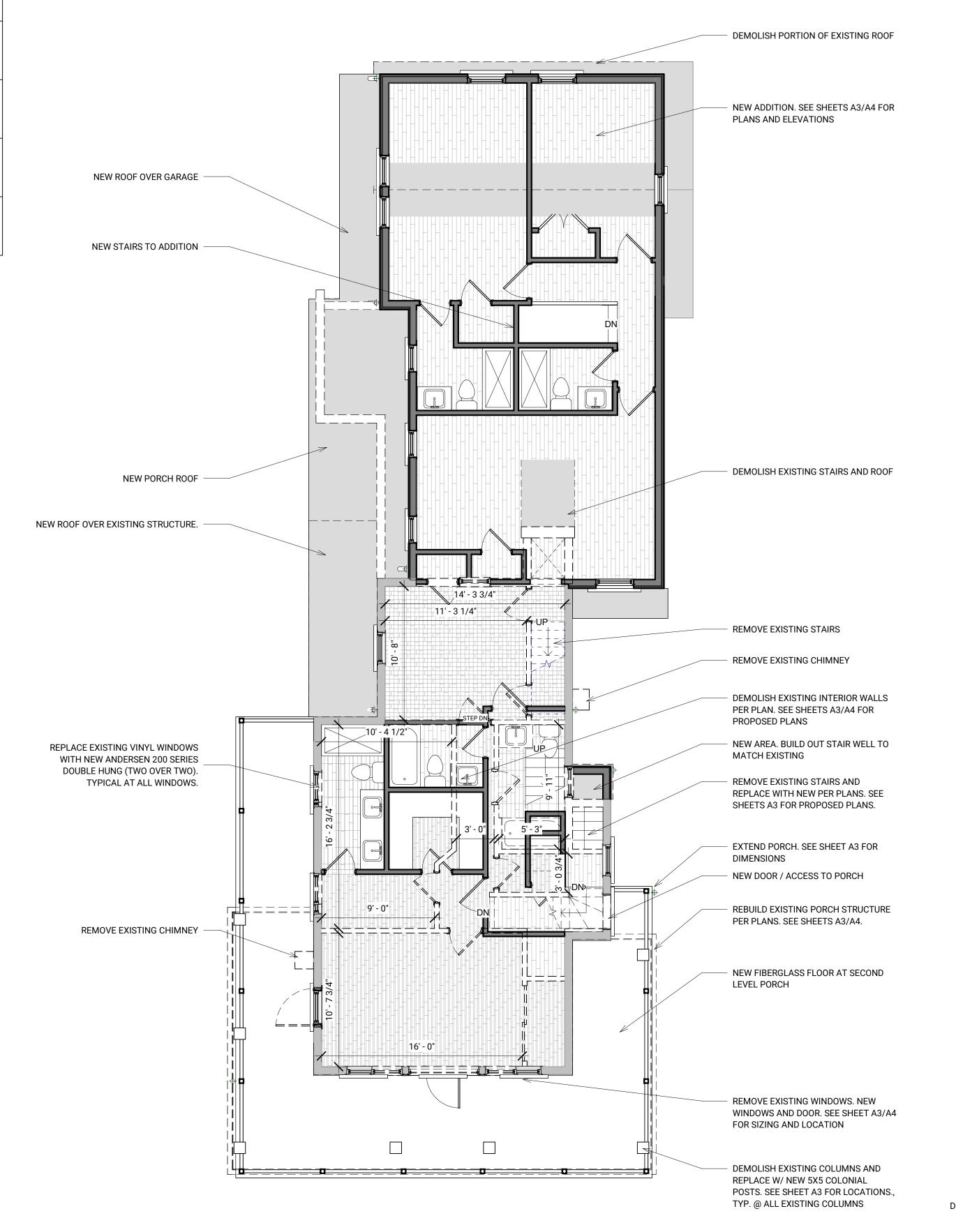
MAY 3, 2024 JOHN A. LOMBARDI

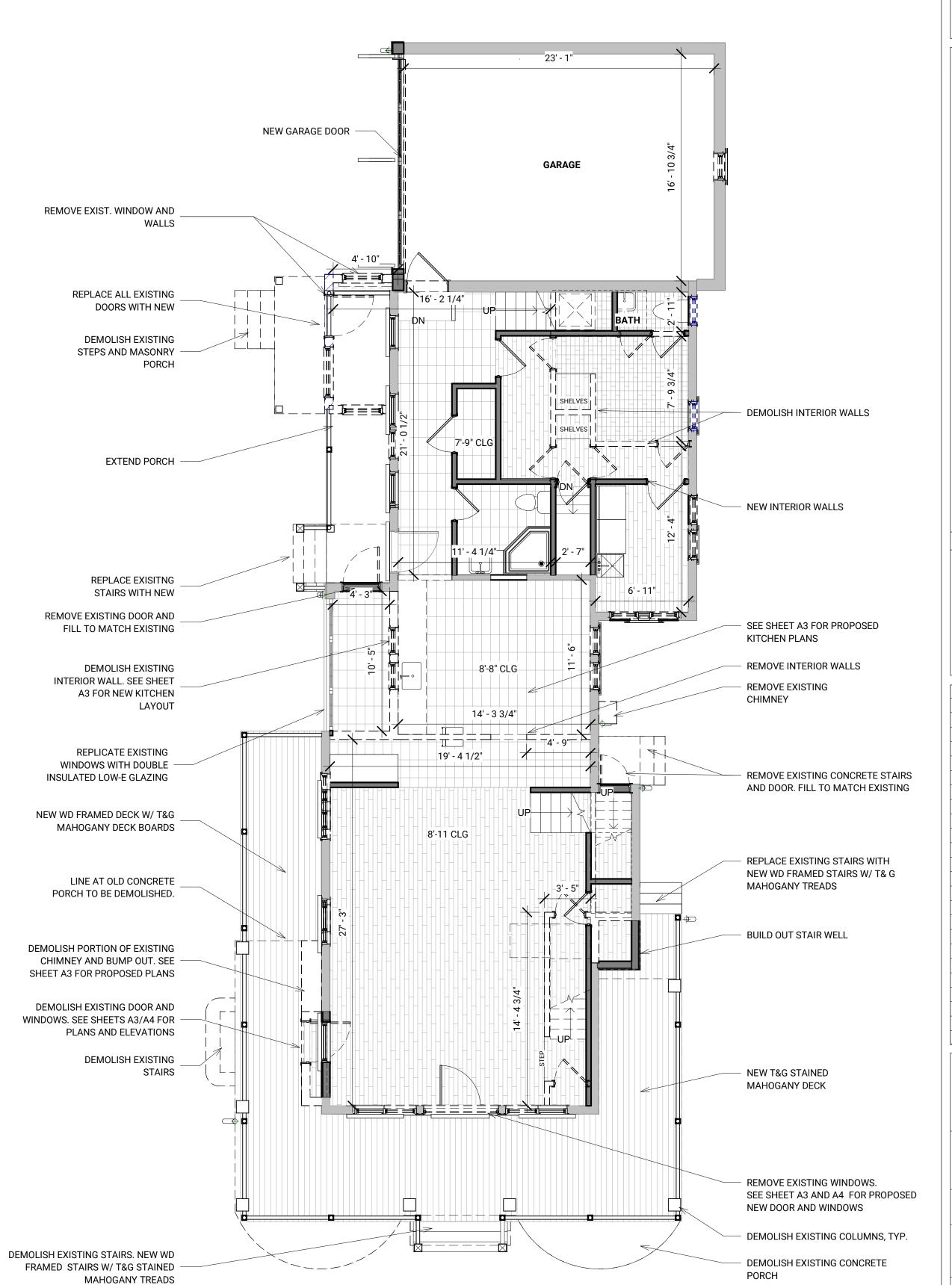
A2.2

3/16" = 1'-0"

LEGEN	
LEGEN	
	WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN
	NEW STUD WALLS
	DOORS TO BE REMOVED
	NEW DOORS
	EXISTING WINDOWS TO BE REMOVED
	EXISTING WINDOWS TO BE REPLACED

2 DEMO\_SECOND FLOOR 3/16" = 1'-0"







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SIGNATURE AND SEAL

OF NEW 21A102178200 21A102178200 25

	<u>-</u>	
PRO	POSED RENOVATION AN	ND

ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

16 OCEAN AVENUE

DEMOLITION/PROPOSED PLANS

Date MAY 3, 2024
Drawn by JOHN A. LOMBARDI

A2.3

le As indicated

DEMO\_FIRST FLOOR

3/16" = 1'-0"

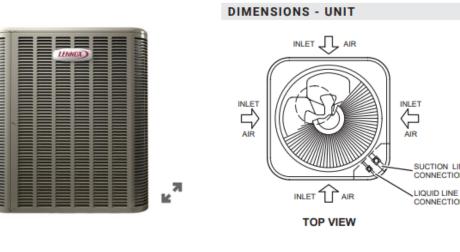
LEGEN	
===	WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN
	NEW STUD WALLS
/ II	DOORS TO BE REMOVED
	NEW DOORS
	EXISTING WINDOWS TO BE REMOVED
	EXISTING WINDOWS TO BE REPLACED

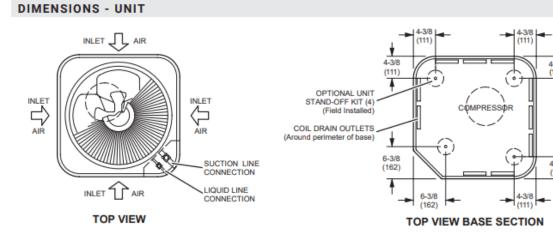


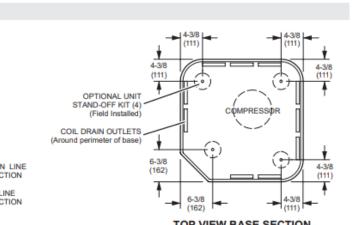
**EXISTING HOME PHOTO 1** 

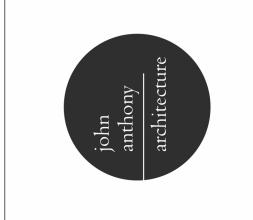


**EXISTING HOME PHOTO 2** 









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T DISCHARGE AIR 16ACX-036-230 Base Unit of Measure Unit(S) 28-1/4 718 29-1/4 743 28-1/2 724 28-1/4 718 37-1/4 946 36-1/2 927 32-1/4 819 43-1/4 1099 42-1/4 1073 16ACX-036 29.25 Inch

| Octave Band Sound Power Levels dBA, re 10<sup>-12</sup> Watts | 1 Sound Rating Number | 125 | 250 | 500 | 1000 | 2000 | 4000 | 8000 | 8000 | 125 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 250

NOTE - the octave sound power data does not include tonal correction.

¹ Tested according to AHRI Standard 270-2008 test conditions.

² Estimated sound pressure level at distance based on AHRI Standard 275-2010 method for equipment located on the ground, roof, or on side of building wall with no adjacent reflective surface within 9.8 feet. Sound pressure levels will increase based on changes to assumptions. For other applications, refer to AHRI Standard 275.

### A/C UNIT SPECIFICATIONS

Energy Star Certified Yes

Up to 18.00 SEER

3/8 Inch 7/8 Inch

Specifications

Nominal Cooling

**Product Depth** 

Product Width

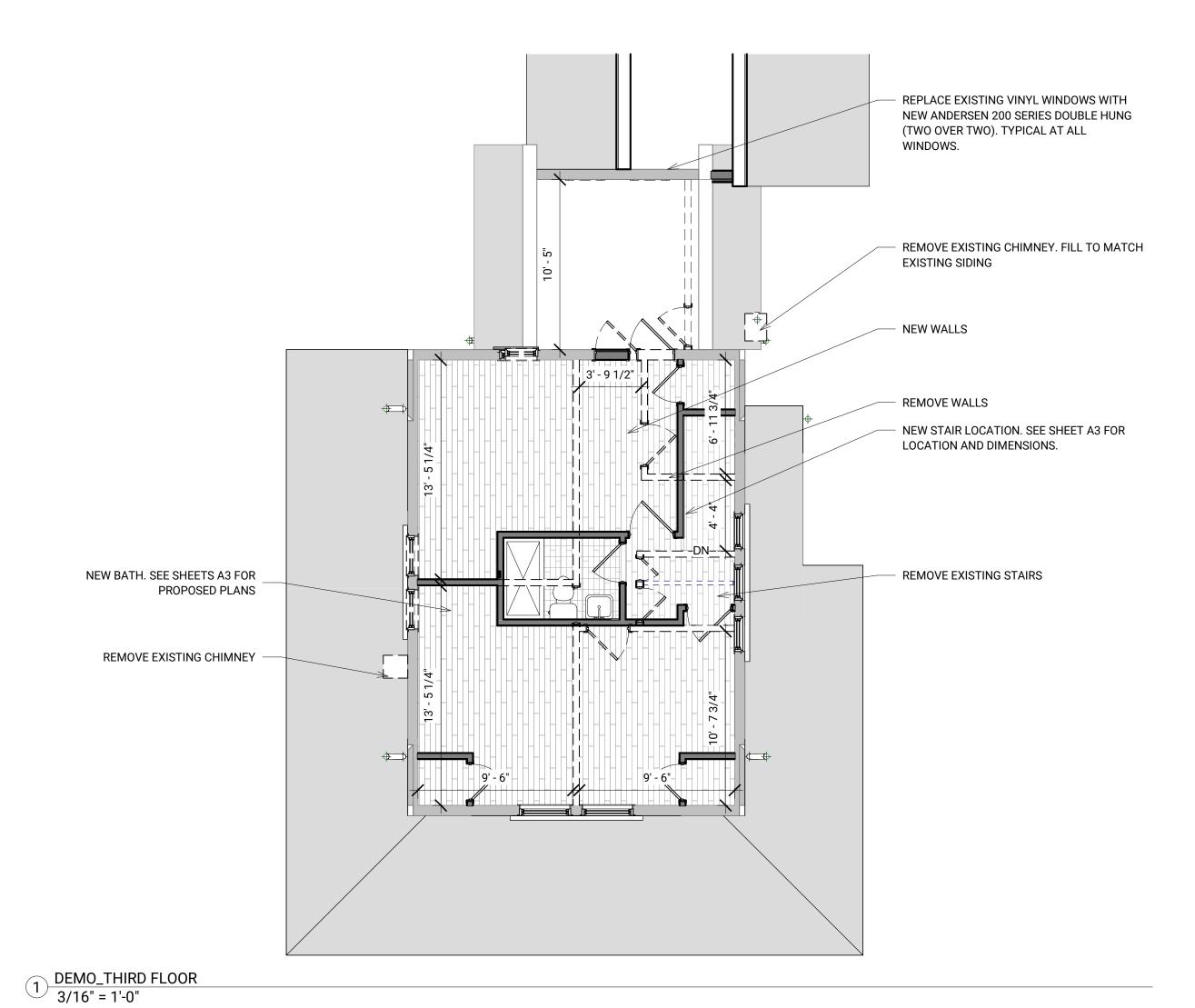
Product Height

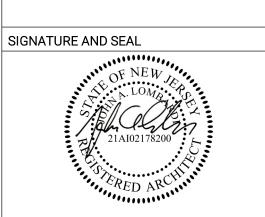
Number of Compressors Gross Weight SEER IEER EER

Liquid Line OD

Suction Line OD

Refrigerant Type





No.	Description	Date
	ADOOFD DENOVATION AN	

PROPOSED RENOVATION AND ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

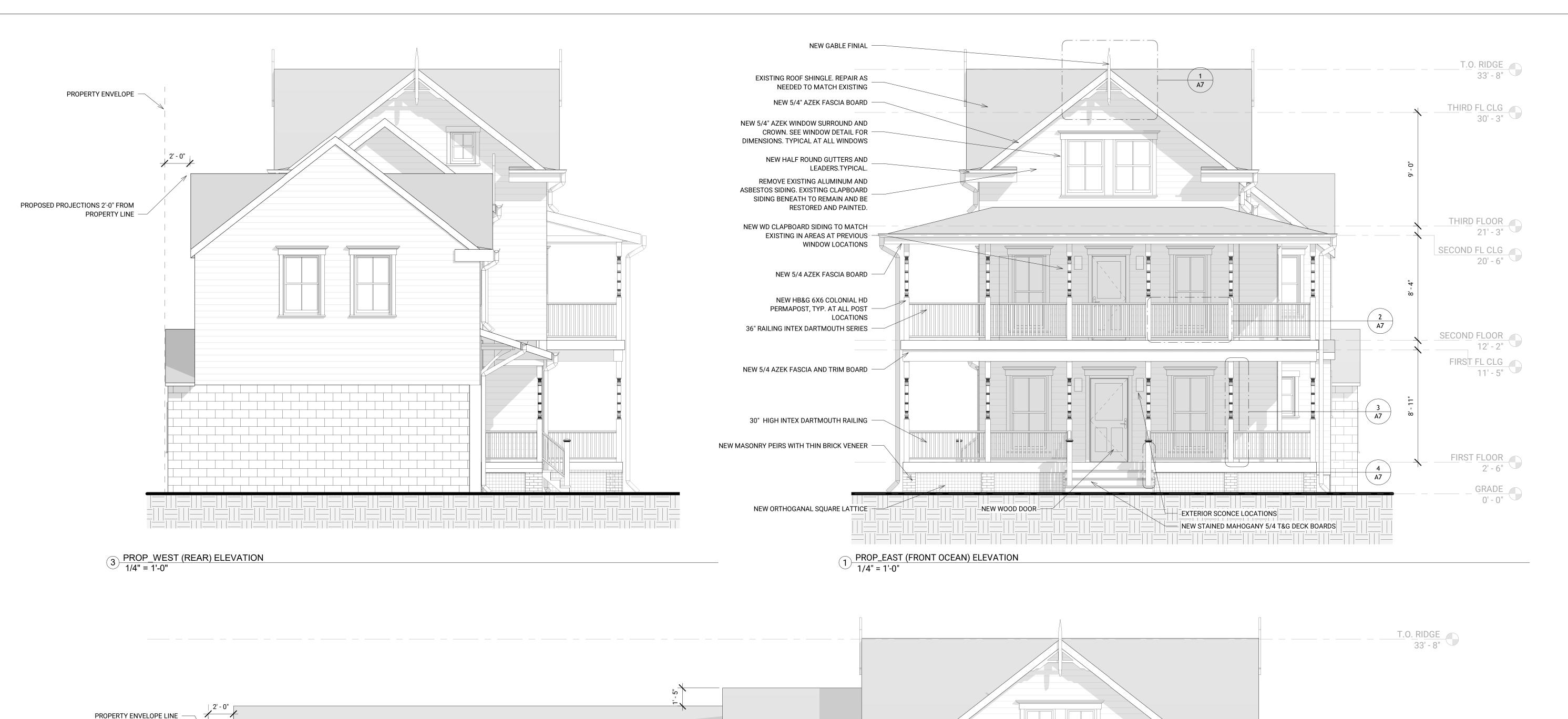
16 OCEAN AVENUE

DEMOLITION/PROPOSED PLANS

MAY 3, 2024 JOHN A. LOMBARDI

As indicated





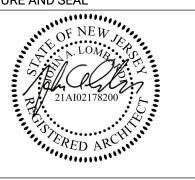


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SIGNATURE AND SEAL



No.	Description	D

ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

16 OCEAN AVENUE

PROPOSED ELEVATIONS

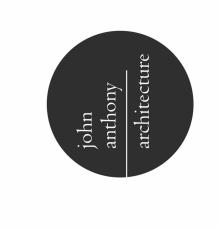
Date MAY 3, 2024
Drawn by JOHN A. LOMBARDI

**A4** 

ale 1/4" = 1'-0"







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No.	Description	Date
DDC	DOSED DENOVATION VI	AD.

ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

16 OCEAN AVENUE

PROPOSED ELEVATIONS AND 3D AXONS

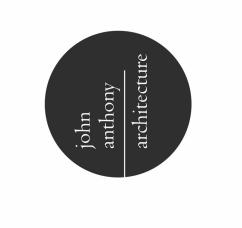
Date MAY 3, 2024

Drawn by JOHN A. LOMBARDI

**A5** 

ale 1/4" = 1'-0"



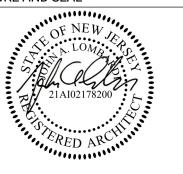


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No.	Description	Date
PRC	POSED RENOVATION A	ND

ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

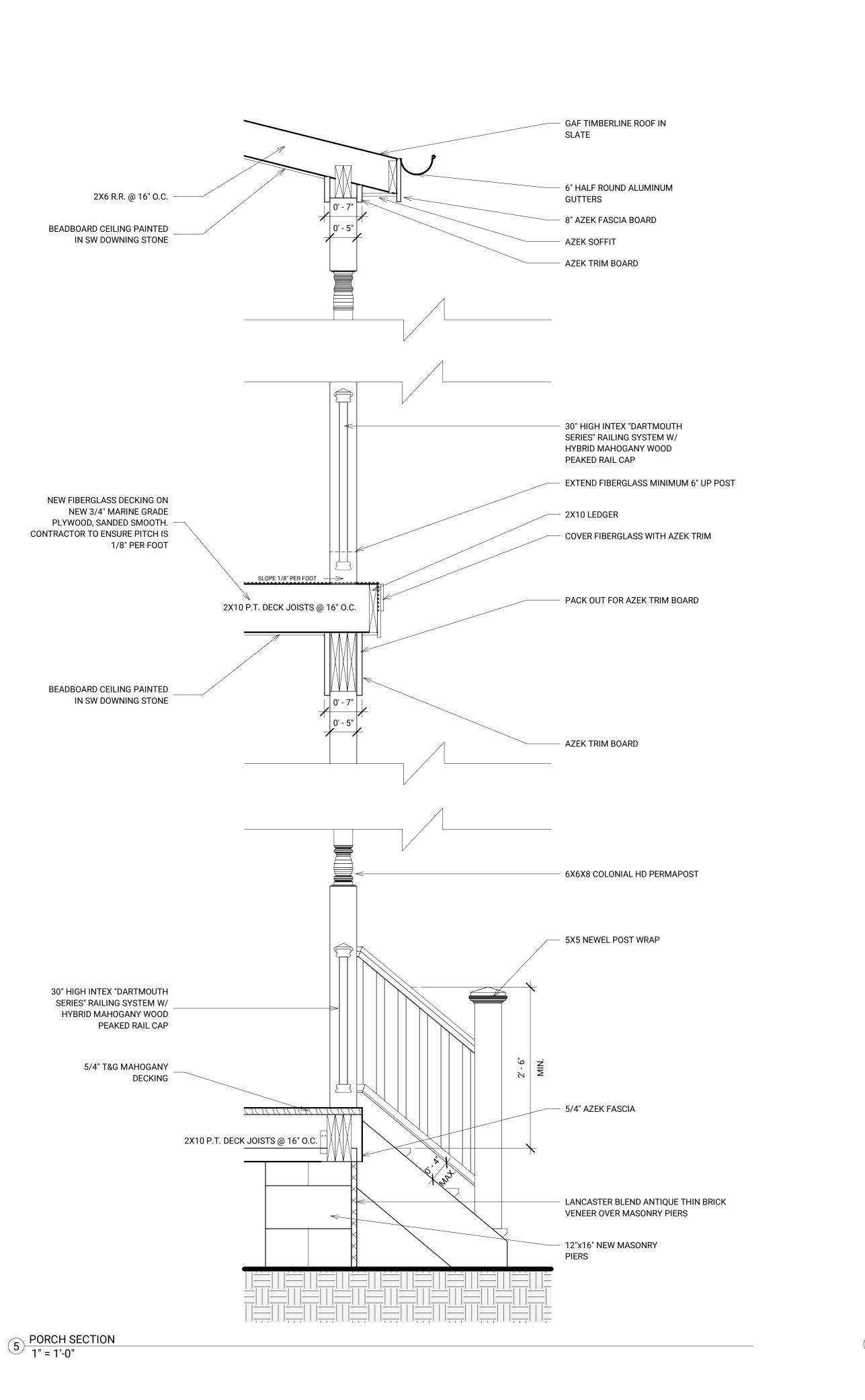
16 OCEAN AVENUE

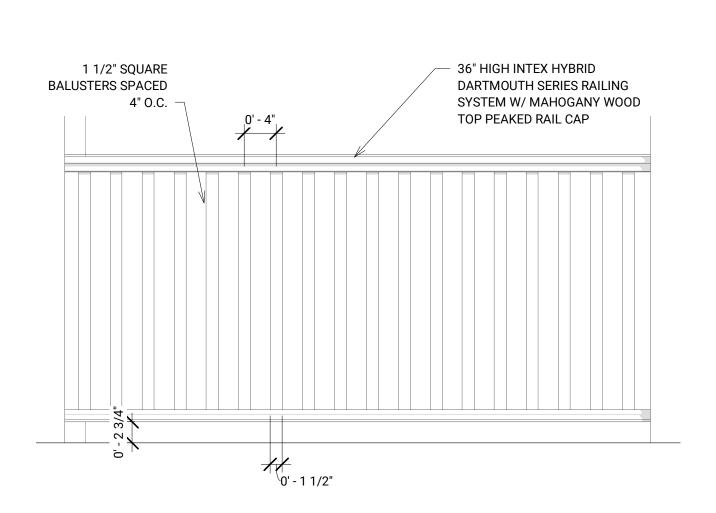
PROPOSED ROOF PLAN AND 3D VIEWS

Date MAY 3, 2024
Drawn by JOHN A. LOMBARDI

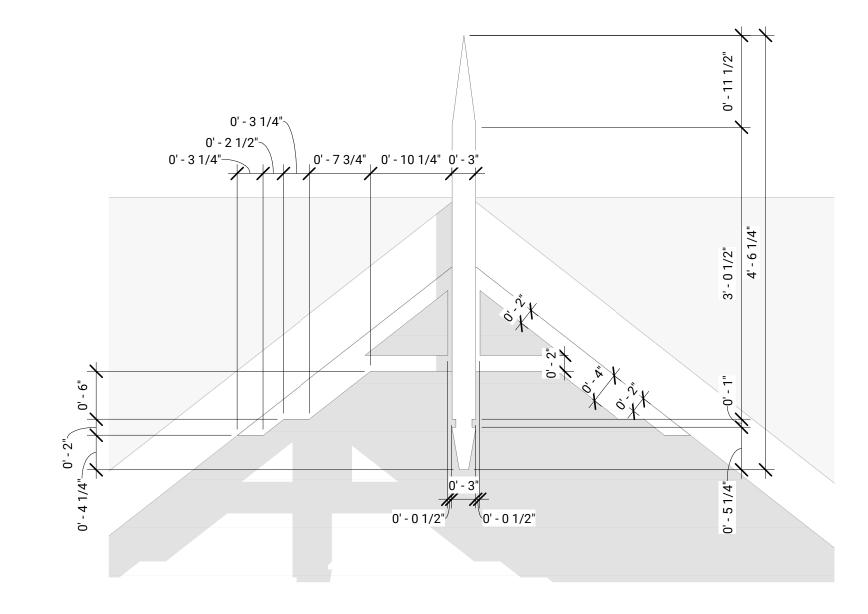
**A6** 

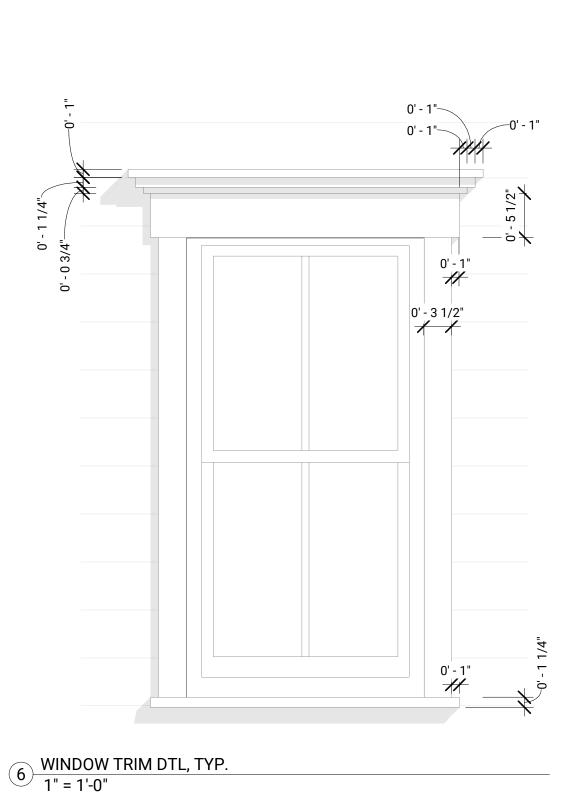
rale 1/4" = 1'-0"

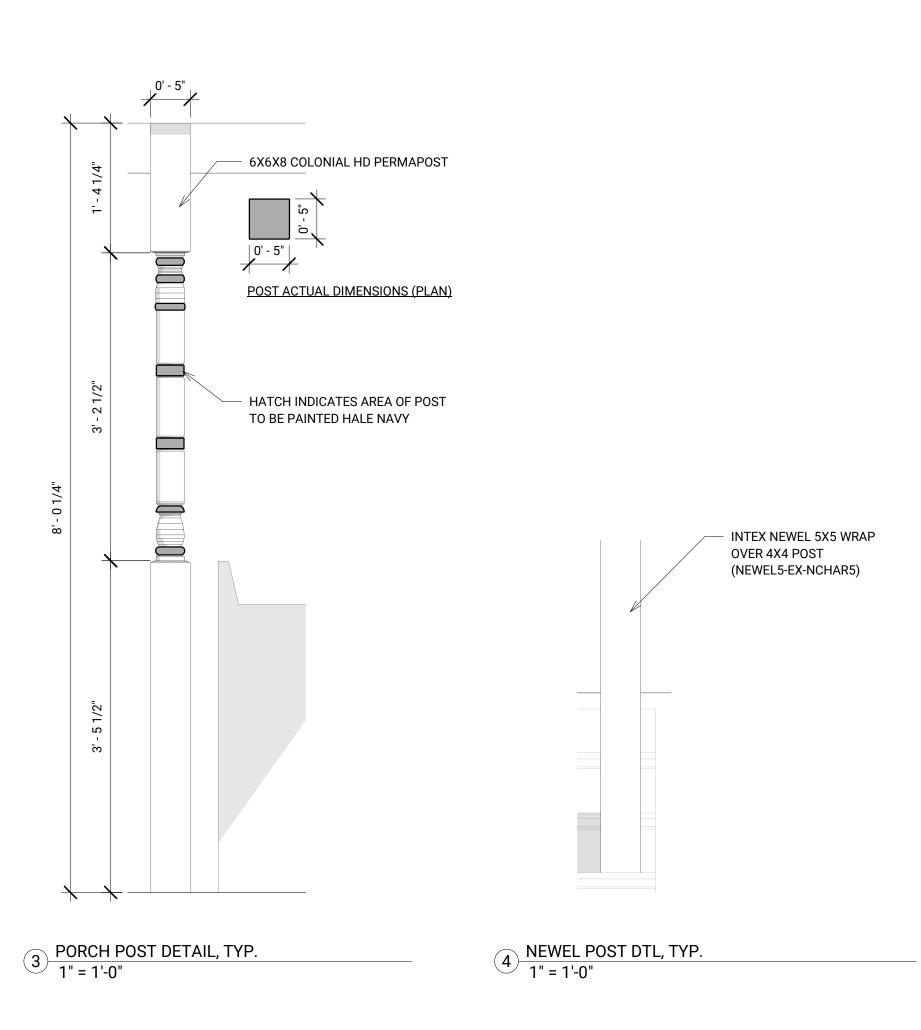


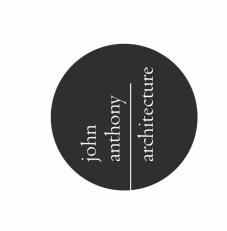


# SECOND FLOOR BALCONY RAIL SYSTEM







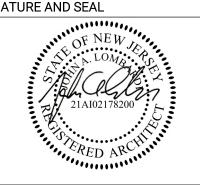


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SIGNATURE AND SEAL



No.	Description	Date
		-
	POSED RENOVATION	

ADDITION TO EXISTING SINGLE FAMILY DWELLING

USE GROUP: R-5 CONSTRUCTION TYPE: VB

IVAN BARKHORN

16 OCEAN AVENUE

DETAILS

MAY 3, 2024 JOHN A. LOMBARDI

1" = 1'-0"

ALL WORK TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE 2018 NEW JERSEY EDITION. ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL LAWS, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

### **DIVISION 01: GENERAL CONDITIONS**

CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND SEQUENCES OF CONSTRUCTION, AS WELL AS THE SAFETY OF ALL EMPLOYEES AND SUBCONTRACTORS.

IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE OWNER

THE SINGLE FAMILY DWELLING SHALL NOT BE USED OR OCCUPIED UNTIL FINAL INSPECTION AND • APPROVAL IS OBTAINED.

FIRE PROTECTION (BY OTHERS) SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING

ALL WORK IS TO COMPLY WITH GENERAL NOTES LISTED WITHIN THE CONSTRUCTION

DOCUMENTS. ZONING PERMIT AND HISTORIC PRESERVATION COMMISSION (HPC) CERTIFICATE OF

APPROPRIATENESS TO BE PROCURED BY AND PAID BY OWNER.

LEAD PAINT, ASBESTOS, OR OTHER HAZARDOUS MATERIALS: OWNER IS RESPONSIBLE FOR THE INDEMNIFICATION AND REMOVAL OF ANY OF THE ABOVE NOTED ENVIRONMENTALLY SENSITIVE MATERIALS IN A MANNER THAT IS SAFE AND IN COMPLIANCE WITH ALL HEALTH AND SAFETY REQUIREMENTS.

### **DIVISION 02: SITE WORK**

JURISDICTION (AHJ).

SITE WORK TO INCLUDE NEW WOOD PORCH ACCESS STEPS ALONG STREET FRONTAGE AND EAST, REAR ACCESS IN ACCORDANCE WITH LOCAL ORDINANCE REQUIREMENTS AND LIMITATIONS. ALL LANDSCAPE WORK TO BE PERFORMED BY OWNER.

CONTROLLED ROOF DRAINAGE TO BE PROVIDED VIA A GUTTER AND LEADER SYSTEM. SYSTEM MUST COLLECT AND DISCHARGE ROOF WATER TO GROUND SURFACE AT A MINIMUM DISTANCE OF 5 FEET FROM THE FOUNDATION WALL INTO PERMEABLE SOIL.

### **DIVISION 03: CONCRETE**

ALL PLAIN AND REINFORCED CONCRETE SHALL COMPLY WITH REQUIREMENTS IN ACI 318.

CONCRETE SHALL HAVE A WEIGHT OF 145 pcf UNLESS NOTED OTHERWISE.

LIGHTWEIGHT CONCRETE SHALL HAVE A WEIGHT OF 115 pcf. CONCRETE NOT SPECIFICALLY NOTED AS LIGHTWEIGHT CONCRETE SHALL BE NORMAL WEIGHT.

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH AS FOLLOWS, UNLESS NOTED OTHERWISE:

- FOOTINGS: = 2,500 PSI
- FOUNDATION WALLS AND INTERIOR SLABS ON GRADE: = 3,000 PSI GARAGE SLABS, EXTERIOR SLABS, PORCHES, AND EXT. STEPS: = 3,500 PSI

FOUNDATION DESIGN IS BASED ON PRESUMED SOIL BEARING CAPACITY OF 2000 PSF.

CONDITIONS OTHER THAN 2000 PSF SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.

UNTREATED WOOD SHALL BE A MINIMUM OF 8" ABOVE FINISHED GRADE.

IN ACCORDANCE WITH ACI 332-08, DURING ANTICIPATED AMBIENT TEMPERATURE CONDITIONS OF 35 o/F OR LESS, COLD WEATHER CONCRETING TECHNIQUES SHALL BE USED TO MAINTAIN CONCRETE TEMPERATURE ABOVE FREEZING UNTIL A CONCRETE COMPRESSIVE STRENGTH OF 500 PSI HAS BEEN REACHED.

# **DIVISION 04: MASONRY**

MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR ACCORDANCE WITH LVL MANUFACTURER'S SPECIFICATIONS. MASONRY STRUCTURES (ACI 530/ASCE 5) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6), EXCEPT WHERE OTHERWISE MODIFIED BY THESE GENERAL NOTES AND SPECIFICATIONS.

CONCRETE BLOCK MASONRY UNITS: ASTM C90, TYPE I (NORMAL, LIGHTWEIGHT AGGREGATE) F'/c = 1900 (psi). PRISMS TO HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH F'/m OF 1500

MORTAR: ALL MORTAR SHALL CONFORM TO ASTM C270, WITH THE FOLLOWING MINIMUM **COMPRESSIVE STRENGTH:** 

- TYPE M: 2500 psi TYPE S: 1800 psi
- TYPE N: 750 psi

THE TYPE OF MORTAR SHALL BE BASED ON CONSIDERATION OF THE LOCATION OF THE UNIT MASONRY CONSTRUCTION AS FOLLOWS:

- **EXTERIOR ABOVE GRADE:** REINFORCED OR LOAD BEARING WALLS: TYPE S
- INTERIOR:. LOAD BEARING WALLS AND PARTITIONS: TYPE N

GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE OWNER'S INSPECTION AGENCY.

FILL CMU LINTELS, BOND BEAMS, BEAM BEARINGS AND CELLS WITH REINFORCEMENT SOLID WITH GROUT. GROUT SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF F'/c = 3,000

REINFORCING STEEL: ASTM A-615 GRADE 60.

ALL CELLS HAVING VERTICAL REINFORCEMENT SHALL BE GROUTED SOLID.

ALL VERTICAL REINFORCEMENT SHALL BE CENTERED IN THE CMU CELLS, U.N.O.

ALL CMU SHALL BE PLACED IN RUNNING BOND, U.N.O.

PROVIDE AND INSTALL TEMPORARY BRACING REQUIRED TO ENSURE STABILITY OF ALL WALLS DURING CONSTRUCTION, AND UNTIL ERECTION OF ATTACHED STRUCTURAL FRAMING IS COMPLETED.

ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFORE IMPOSING CONCENTRATED OR OTHER LOADS FROM ABOVE.

### **DIVISION 05: METALS**

CONTRACTOR TO PROVIDE HURRICANE/WIND RAFTER TIE DOWNS IN ALL EXPOSED FRAMING AREAS IN ACCORDANCE WITH R.802.11 (ROOF TIE-DOWN)

ALL JOIST METAL HANGERS, TIES AND CONNECTORS TO BE AS MANUFACTURED BY "SIMPSON" OR EQUAL.

### STRUCTURAL METAL

STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

STRUCTURAL STEEL SHALL RECEIVE ONE COAT OF SHOP APPLIED RUST-INHIBITIVE PAINT. STEEL EMBEDDED IN CONCRETE, TOP FLANGES WHICH HAVE SHEAR STUDS, OR STEEL THAT WILL RECEIVE SPRAY-ON FIREPROOFING SHALL NOT BE PAINTED.

ALL STEEL SHALL HAVE THE FOLLOWING ASTM DESIGNATION AND MINIMUM YIELD STRESS, F/y: WIDE FLANGE BEAMS AND COLUMNS (W SHAPES)= A992, 50 ksi

- PIPE COLUMNS = A53 GRADE B or equal, 36 ksi
- HSS, RECTANGULAR= A500 GRADE B or equal, 46 ksi M, S, C, MC, AND L SHAPES= A36, 36 ksi
- BOLTS = A307, 58 ksi
- ANCHOR BOLTS = A36

### **DIVISION 06: WOODS AND PLASTIC**

OWNER PRIOR TO SUBSTITUTION.

### **SAWN LUMBER:**

ALL NEW FRAMING LUMBER TO BE DOUGLAS FIR, STANDARD GRADE OR BETTER WITH A MINIMUM FIBER STRESS OF 1,250 PSI. NAIL AND FASTENING APPLICATIONS TO CODE.

ALL NEW WINDOW AND DOOR HEADERS TO BE (2) 2"X10" UNLESS OTHERWISE NOTED IN CONSTRUCTION DRAWINGS.

USE OF LONG SPAN MANUFACTURED LUMBER AND LAMINATED BEAMS AS AN ALTERNATE FROM THAT SPECIFIED ON STRUCTURAL DRAWINGS IS SUBJECT TO COMPLIANCE WITH

CONTRACTOR TO UTILIZE WALL BRACING PANEL CONSTRUCTION METHOD WHICH INCLUDES

MANUFACTURER'S RECOMMENDED LOAD AND SPAN TABLES AND MUST BE APPROVED BY

THE FOLLOWING: WOOD STRUCTURAL PANEL SHEATHING WITH A THICKNESS NOT LESS THAN 5/16" SHALL BE USED FOR 16" STUD SPACING AND ALL STRUCTURAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH TABLE R602..3 AS PROVIDED IN THE CONSTRUCTION DOCUMENTS OR OTHERWISE REQUIRED BY WOOD FRAMING CONSTRUCTION MANUAL (WFCM) 2015 EDITION.

THE WALL CONSTRUCTION MUST COMPLY WITH 110 MPH THREE(3) SECOND WIND GUSTS CONDITIONS AND STRUCTURAL DESIGN IN THIS AREA.

STUD WALLS SHALL CONSIST OF 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE. STUDS SHALL BE CONTINUOUS FROM THE SOLE PLATE TO THE DOUBLE TOP PLATE AT THE CEILING OR ROOF. STUDS SHALL ONLY BE DISCONTINUOUS AT DROPPED BEAMS/HEADERS.

ALL HEADERS SHALL HAVE A MINIMUM OF (1) KING STUD + (1) JACK STUD AT EACH END OF THE HEADER. KING STUDS SHALL BE CONTINUOUS WITH THE SAME REQUIREMENTS AS STUD WALLS.

WINDOW AND DOOR HEADERS SHALL BE (2)2x6 UNLESS NOTED OTHERWISE.

ALL BEAMS BEARING ON WOOD FRAMING SHALL HAVE FULL BEARING FOR THE WIDTH OF THE BEAM. WHERE BEAMS BEAR ONTO A WALL PARALLEL TO THE BEAM THE BEAM SHALL HAVE A MINIMUM BEARING LENGTH OF 3".

BUILT UP COLUMNS MADE UP OF MULTIPLE INDIVIDUAL STUDS SHALL BE ATTACHED TOGETHER WITH 0.131"x3" NAILS @ 6" O.C. STAGGERED.

PROVIDE SOLID BLOCKING IN FLOOR FRAMING BELOW ALL POSTS. SOLID BLOCKING SHALL BE THE FULL WIDTH OF THE POST ABOVE, MIN. FASTEN BOTTOM PLATE ABOVE TO BLOCKING w/ (2) 0.131"x3" FACE NAILS INTO EACH PLY OF BLOCKING (4 FACE NAILS MIN. AT PSL SOLID BLOCKING). FASTEN BLOCKING TO PLATE BELOW w/ (1) 0.131"x3" TOENAIL @ EACH PLY. (2 TOENAILS MIN. AT PSL SOLID BLOCKING)

MULTI PLY SAWN LUMBER BEAMS AND HEADERS SHALL BE NAILED WITH 2 ROWS OF 0.131"X3" NAILS @ 8" O.C. MULTI PLY LVL BEAMS AND HEADERS SHALL BE NAILED OR BOLTED IN

STEEL BEAMS SHALL BE ATTACHED TO EACH COLUMN SUPPORT WITH (2) 1/2" Øx3" LAG SCREW THROUGH EACH FLANGE. FASTEN SOLE PLATE TO TOP FLANGE PER FASTENING SCHEDULE. FASTEN JOISTS/BEAMS ABOVE TO SOLE PLATE PER FASTENING SCHEDULE.

FLOOR JOISTS SHALL BE INSTALLED 16" O.C. UNLESS NOTED OTHERWISE. 23/32 APA RATED OSB T&G SHEATHING SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS UNLESS NOTED

APPROVED HANGERS SHALL BE PROVIDED WHERE LOADS ARE TRANSFERRED IN THE SAME HORIZONTAL PLANE. HANGERS SHALL BE FASTENED AND NAILED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. "SIMPSON" OR APPROVED EQUIVALENT HANGERS SHALL BE

FASTENERS AND CONNECTORS FOR PRESSURE PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL OR SIMPSON Z-MAX COATED PER THE IRC.

# SHEATHING:

INSTALLED.

IF REQUIRED DUE TO DETERIORATED CONDITIONS, ALL NEW SHEATHING TO BE 5/8" CDX PLYWOOD NAILED BY CODE.

SHEATHING SHALL HAVE A 1/8" GAP AT PANEL ENDS/EDGES IN ACCORDANCE WITH THE APA.

FLOOR SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE 1 OR 2. SHEATHING SHALL BE GLUED AND NAILED (OR FASTENED MECHANICALLY WITH AN APPROVED ALTERNATIVE) TO JOISTS WITH APPROVED STRUCTURAL ADHESIVE AND MINIMUM 0.131"ØX2-1/2" NAILS 6" O.C. EDGE SPACING AND 12" O.C FIELD SPACING. ALL T&G SHALL BE GLUED.

FLOOR SHEATHING SHALL BE INSTALLED WITH STRONG AXIS (TYPICALLY LONG EDGE) PERPENDICULAR TO FLOOR FRAMING. PANEL END/EDGE JOINTS SHALL OCCUR OVER FRAMING.

EXTERIOR SHEATHING SHALL BE APA RATED PLYWOOD SHEATHING WITH A MINIMUM THICKNESS OF 1/2". EXTERIOR WALL SHEATHING SHALL BE FASTENED TO STUDS WITH MINIMUM 0.131"Øx2-1/2" NAILS 6" O.C. EDGE SPACING AND 12" O.C. FIELD SPACING UNLESS NOTED OTHERWISE.

NEW SUB-FLOOR TO BE 3/4" T&G PLYWOOD GLUE APPLIED AND FASTENED WITH SCREWS. ALL SCREWS TO BE AT 6" O.C. AND SPACED BY CODE.

# **EXTERIOR ARCHITECTURAL ELEMENTS:**

ALL NEW ARCHITECTURAL TRIM AS SHOWN IN ELEVATIONS AND DETAILS TO BE SYNTHETIC POLYMER BY AZEK OR APPROVED EQUAL AND PAINTED AS APPROVED BY THE HPC RESOLUTION.

### FIRST FLOOR ENTRY STAIRS AND PORCH ACCESS: ALL NEW STAIRS TO BE BOX STAIR TYPE AND CONSTRUCTED UTILIZING MATCHING STAINED T&G MAHOGANY TREADS, PAINTED WOOD RISERS, AND CLOSED STRINGERS.

PORCH PLANKING: NEW EXTERIOR STAIR LANDING AND WOOD DECK SURFACE TO BE 5/4" MAHOGANY HARDWOOD

T&G PLANKING. ALL PORCH DECKS TO PITCH TO DRAIN AT 1/8" PER FOOT MINIMUM.

### **DIVISION 07: THERMAL AND MOISTURE PROTECTION**

PROVIDE R-21 FIBERGLASS BATT INSULATION AT ALL EXTERIOR PERIMETER WALLS.

PROVIDE R-38 FIBERGLASS BATT INSULATION IN ALL RAFTER CAVITIES.

ALL WINDOWS AND DOORS TO BE ADEQUATELY SEALED AND CAULKED TO ELIMINATE PERIMETER AIR INFILTRATION. APPLICATION OF CAULK AT WINDOW AND DOOR PERIMETERS AS WELL AS THROUGH WALL PENETRATIONS ARE SUBJECT TO APPROVAL BY OWNER ON-SITE.

ALL EXTERIOR FINISHES, MATERIALS AND FACINGS ARE TO BE AS INDICATED IN ELEVATION DRAWINGS AND APPROVED BY HPC. ALL COLOR SAMPLES TO BE IN COMPLIANCE WITH HPC

### **EXTERIOR WINDOW CROWNS AND TRIM:**

ALL WINDOW SURROUNDINGS, TRIM, AND CROWNS AS SHOWN IN DRAWINGS ARE TO BE AS MANUFACTURED BY AZEK, AND BE SMOOTH FINISHED 5/4" SYNTHETIC POLYMER AND PAINTED

NEW CROWNS AND SILLS TO HAVE A MINIMUM 1/2" EXTENSIONS AS PER DETAIL DRAWINGS. NEW WINDOW CASINGS TO BE 3 1/2" WIDE 5/4" DEEP THROUGHOUT, OR AS OTHERWISE NOTED IN WINDOW DETAILS.

NEW SELF SEALING FIBERGLASS COMPOSITE ASPHALT SHINGLE ROOFING TO BE "GAF TIMBERLINE HDZ LINE - SLATE" AND WIND RATED TO 130 MPH. ALL NEW ROOFING SHINGLES SHALL CONFORM TO ASTM 3462 WITH A MINIMUM OF 8 FASTENERS PER SHINGLE.

NEW ROOFING SHALL BE RATED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

### **VAPOR BARRIER PAPER AND WRAPS:**

ALL EXTERIOR WALL SHEATHING TO RECEIVE DUPONT TYVEK HOUSEWRAP,OR EQUAL, IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION METHODS.

INSTALL ICE AND WATER SHIELD OVER ALL ROOF CONDITIONS WITH A SLOPE LESS THAN 4:12.

### SECOND FLOOR BALCONY DECK:

BALCONY DECK TO BE INSTALLED WITH TWO COATS OF FIBERGLASS ON 3/4" CDX PLYWOOD SCREWED TO STRUCTURAL JOISTS FLOOR FRAMING WITH ALUMINUM FLASHING AND COUNTER FLASHING AT BUILDING EDGE. SECOND FLOOR BALCONY DECK TO PITCH TO DRAIN AT 1/8" PER FOOT MINIMUM. COLOR IN LIGHT GRAY.

### SHOWER STORAGE RECESS:

PROVIDE SHOWER STALL SOAP STORAGE RECESS IN EACH NEW SHOWER STALL. FINAL LOCATION AND SIZE TO BE VERIFIED AND COORDINATED WITH OWNER.

### **DIVISION 08: DOORS AND WINDOWS**

ALL WINDOWS AND DOORS SHALL BE RATED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS SO AS TO WITHSTAND 110 MPH WINDS IN THIS ZONE.

WHERE REQUIRED, OR NOTED ON PLANS, EGRESS WINDOWS SHALL BE PROVIDED WITH AN OPERABLE WINDOW VENT OR SASH HAVING A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR, HAVE A WIDTH OF 20", HAVE A HEIGHT OF 24" FROM FLOOR, AND HAVE A MINIMUM TOTAL AREA OF 5.7 SQUARE FEET MEASURED FROM HEAD TO SILL AND SIDE TO SIDE. ACCEPTABLE ALTERNATE EGRESS MAY BE PROVIDED WITH A FULL HEIGHT DOOR WITH DIRECT ACCESS ONTO A PORCH OR BALCONY.

NEW WINDOWS, WHERE INDICATED ON PLANS, TO BE ANDERSEN 200 SERIES TILT-WASH DOUBLE HUNG. WINDOWS ARE TO BE LOW-E INSULATED CLEAR GLASS.

SIZES FOR WINDOWS ARE TO BE VERIFIED IN THE FIELD. INTERIOR SASH AND FRAME TO BE FACTORY FINISHED WHITE. EXTERIOR COLOR FINISH TO BE AS APPROVED BY HPC. ALL WINDOWS AND HARDWARE LATCHES ARE TO BE FACTORY WHITE

# **EXTERIOR DOORS:**

DOORS TO BE ANDERSEN SERIES STRAIGHTLINE IN MAHOGANY PANEL STYLE 179

# **DIVISION 09: FINISHES**

# **GYPSUM BOARD**

ALL INTERIOR GYPSUM BOARD TO BE SCREWED AND GLUED AND BE 1/2" MINIMUM. 5/8" TYPE-X GYPSUM BOARD SHALL BE PROVIDED WHERE EXTERIOR WALLS REQUIRE 1-HOUR WALL ASSEMBLY WITHIN 5 FEET OF PROPERTY LINE.

### EXTERIOR COLUMNS: NEW PORCH COLUMNS TO BE SYNTHETIC POLYMER AS MANUFACTURED BY HB&G COLONIAL HD

PERMAPOST 6X6X8. **EXTERIOR RAILING SYSTEMS:** 

### (1 ½" X 1 ½") "SQUARE SPINDLE" DESIGN AND SPACED AT 4" O.C. TOP HORIZONTAL RAIL TO BE "DARTMOUTH SERIES" PROFILE DESIGN SUBJECT TO FINAL APPROVAL BY OWNER AND HPC.

**INTERIOR TRIM AND HARDWARE:** ALL TRIM TO BE PAINTED WOOD. BASEBOARD, WINDOW, AND DOOR TRIM PROFILES TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.

NEW PORCH RAILING TO BE INTEX DARTMOUTH SERIES WITH HYBRID MAGOGANY TOP RAIL

ALL INTERIOR DOOR HARDWARE TO BE MANUFACTURED BY BALDWIN OR AS APPROVED BY OWNER. ALL HARDWARE FOR ALL DOOR KNOBS AND HINGES TO BE APPROVED BY OWNER.

ALL INTERIOR WALLS TO RECEIVE TWO COATS OF BENJAMIN MOORE REGAL SELECT INTERIOR PAINT. ALL INTERIOR WALLS TO BE PAINTED COLOR "CHANTILLY LACE", OR AS APPROVED BY OWNFR.

**EXTERIOR PAINT:** SIDING TO PAINTED BENJAMIN MOORE WINDHAM CREAM

ALL AREAS NOT COVERED BY PAINTED SIDING SHALL BE PAINTED WITH TWO COATS OF BENJAMIN MOORE REGAL SELECT EXTERIOR PAINT. COLORS TO BE APPROVED BY HPC.

ANY AZEK TRIM TO BE PAINTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

TRIM, CROWNS AND DETAILS ARE TO BE PAINTED AS PER HPC APPROVED APPLICATION

COLORED ELEVATIONS.

COLORS INCLUDE: BM HALE NAVY, SW DOWNING STONE, BM WINDHAM CREAM

NOTE: ALL AZEK TRIM WORK TO BE FACTORY WHITE UNLESS OTHERWISE NOTED IN HPC APPROVED DRAWINGS.

### HARDWOOD FLOORING:

NEW HARDWOOD FLOORING TO BE 2 1/4" RED OAK. FLOORS SHALL BE FINISHED WITH 2 COATS OF WATER-BASED POLYETHYLENE AND A FINAL TOP COAT OF DURA SEAL DURA CLEAR MAX IN FLAT SHEEN. OR AS SELECTED AND APPROVED BY OWNER.

UTILIZE THIN SET APPLICATION FOR ALL STONE TILE. ALL STONE TILE TO BE SELECTED BY OWNER. ALL STONE TO BE CLEANED AND SEALED BY CONTRACTOR.

### **CLOSET RODS AND SHELVING:**

ALL INTERIOR CLOSET SHELVING TO BE FACTORY FINISHED MELAMINE BOARD. ALL HANGING RODS TO BE POWDER COATED WHITE STEEL TUBES.

ALL BATHROOM FIXTURES AND FITTINGS TO BE SELECTED AND PROVIDED BY OWNER.

### **BATHROOM FIXTURES AND TRIM:**

# OWNER TO PROVIDE AND PLUMBING SUB-CONTRACTOR TO INSTALL RAIN SHOWER HEADS WITH

DIVERTER AND WAND IN ALL SHOWERS. MIRRORS AND MEDICINE CABINETS:

MEDICINE CABINETS TO BE PROVIDED BY OWNER. CABINETS WILL BE RECESSED INTO INTERIOR WALLS OR AS SELECTED BY OWNER.

NOTE: CONTRACTOR TO PROVIDE BLOCKING FOR GRAB BAR IN SHOWER FRAMING ALONG WITH

# **GUTTERS AND LEADERS:**

CONTRACTOR TO PROVIDE AND INSTALL NEW FACTORY FINISHED ALUMINUM 6" HALF-ROUND GUTTERS AND LEADERS ON ALL NEW ROOFS. COLOR TO BE WHITE AND APPROVED BY HPC.

SHOWER RECESSES IN ALL TUB AND SHOWER AREAS, BOTH AS SPECIFIED BY OWNER

### **DIVISION 11: EQUIPMENT**

**KITCHEN CABINETRY:** KITCHEN CABINETRY TO BE CONFIGURED AS PER PLANS. OWNER IS RESPONSIBLE FOR COORDINATION, SELECTION, AND PROCUREMENT OF ALL CABINETS AND APPLIANCES.

GAS APPLIANCES: RANGE, OVEN, HOT WATER HEATER, DRYER

## ELECTRIC: MICROWAVE, DISHWASHER **DIVISION 15: MECHANICAL / PLUMBING**

ALL MECHANICAL WORK, INCLUDING HEATING AND COOLING, ARE TO BE DESIGNED BY OTHERS. LOCATION AND DESIGN OF DUCTWORK, RETURNS, AND EQUIPMENT ARE TO BE APPROVED BY

ALL DUCTWORK SHOULD BE SEALED DURING CONSTRUCTION TO AVOID DUST AND DEBRIS INFILTRATION.

HVAC CONTRACTOR TO PROVIDE NEW AIR CONDITIONING SYSTEM WITH A MINIMUM SEER OF 13 UTILIZING HEATING DUCTWORK FOR COOLING DISTRIBUTION WITH EQUIPMENT MANUFACTURED BY LENNOX AIR CONDITIONING, OR EQUAL APPROVED BY OWNER.

NEST THERMOSTAT (OR EQUAL) SHALL BE INSTALLED FOR REMOTE BLUETOOTH ACCESS.

# **HVAC ZONES AS FOLLOWS:**

ZONE 1: FIRST FLOOR & (DAMPER CONTROLLED) GARAGE

ZONE 2: SECOND FLOOR FRONT (MBR AND BR 2 PLUS HALLS AND BATHS) ZONE 3: SECOND FLOOR ADDITION **ZONE 4: THIRD FLOOR** 

NOTE: LENNOX SYSTEM ALLOWS FOR ADDITIONAL ZONES. OWNER TO APPROVE PREFERRED ZONES WITH SYSTEM.

# ALL MECHANICAL WORK TO BE DESIGN AND FILED BY OTHERS. WORK TO BE APPROVED BY

ALL NEW SUPPLY VENTS TO BE CEILING MOUNTED. SUPPLY AND RETURN DUCTWORK SHALL NOT BE LOCATED ON PERIMETER EXTERIOR WALLS UNLESS FULLY INSULATED AND ENCAPSULATED WITH INSULATION ASSEMBLY EQUIVALENT TO THE R-VALUE OF THE WALL

SECTION AS ILLUSTRATED IN THE CONSTRUCTION DOCUMENTS. HVAC ODORSTOP OS7212PRO UV AIR PURIFIER WITH ENERGY SAVING AIRFLOW SENSOR W/ 12" BULB TO BE INSTALLED.

# PROVIDE 350 CFM MINIMUM IN KITCHEN AND 120 CMF MINIMUM IN BATHROOMS.

**PIPING AND PLUMBING:** 

DIAMETER

BATHROOM EXHAUST FANS ARE TO BE SILENT RUNNING AS MANUFACTURED BY PANASONIC OR

ALL CONNECTION TO WATER SUPPLY AND SEWER TO BE INCLUDED. CONTRACTOR TO MAKE ALL

CONNECTIONS TO DISHWASHER, REFRIGERATOR, AND ALL OTHER COMPONENTS REQUIRING

VENTING OF ALL BATHROOMS AND KITCHEN AREAS IT TO BE INCLUDED BY CONTRACTOR.

PLUMBING HOOK-UP AS PER PROPOSED SCOPE OR WORK INDICATED ON PLANS. DWV LINES TO BE IN COMPLIANCE WITH CODE WITH DIRECT VENTING TO ROOF (NO "CHEATER VENTS"). SCOPE OF WORK TO INCLUDE SUPPLY AND INSTALLATION OF PEX PIPING @ 1" DIAMETER TO EACH ROOM SERVED, 3/4" DIAMETER BRANCH LINES TO ALL INTERIOR AND

EXTERIOR FIXTURES AND OUTLETS EXCEPT TOILETS AND LAVATORY SINKS, WHICH MAY BE 1/2"

ALL SUPPLY LINES TO BE IN COMPLIANCE WITH CODE WITH CAST IRON DROPS AND PVC LATERALS. SCOPE OF WORK TO INCLUDE SUPPLY AND INSTALLATION OF PEX PIPING.

PROVIDE ALL PLUMBING FOR ALL BATHROOMS, KITCHEN, AND LAUNDRY USES. PROVIDE

ACCESSIBLE LOCATIONS OF VARIOUS PIPE SHUT OFFS FOR EASY "WINTERIZATION." HVAC PIPING CONVEYING FLUIDS ABOVE 105 DEGREES F OR CHILLED FLUIDS BELOW 55 DEGREES

F TO BE INSULATED WITH R-3. CONTRACTOR TO INCLUDE ALL PIPING, MATERIALS, AND RELATED

OWNER TO PROVIDE ALL BATHROOM FIXTURES, SINKS, TOILETS, FITTINGS, FAUCETS, CONTROLS. TOWEL BARS, PAPER HOLDERS, ROBE HOOKS, MEDICINE CABINETS, AND RELATED ITEMS FOR INSTALLATION BY CONTRACTOR.

### **HOT WATER HEATER:** PROVIDE AND INSTALL NAVIEN TANKLESS WATER HEATER WITH RECIRCULATION.

FITTINGS AND EQUIPMENT.

**WATER PRESSURE:** 

GENERAL CONTRACTOR TO VERIFY EXISTING WATER PRESSURE ADEQUACY.

**DIVISION 16: ELECTRICAL** ALL ELECTRICAL WORK IS TO BE CONNECTED TO SERVICE AND SERVICE PANELS BY

CONTRACTOR.

### CONTRACTOR TO COORDINATE ALL ASPECTS OF APPLICATION, PERMIT PROCUREMENT ASSOCIATED WITH ELECTRICAL WIRING.

### **ELECTRICAL WIRING:**

CONTRACTOR TO INSTALL ALL NEW CIRCUITS AND SERVICES AS SCHEMATICALLY INDICATED IN DRAWINGS. PRIOR TO INSTALLATION THE ELECTRICAL CONTRACTOR SHALL WALK OWNER THROUGH AND REVIEW ALL SWITCH, RECEPTACLE, RECESSED AND SURFACED MOUNTED

ALL NEW WIRES TO BE CONCEALED, CONSTRUCTED OF COPPER WITH THERMOPLASTIC INSULATION AND SIZED IN ACCORDANCE WITH CODE.

### ALL SWITCHES, OUTLETS, AND OTHER DEVICES SHALL BE APPROPRIATE FOR THEIR INTENDED USE WITH UL CERTIFICATION.

UNLESS OTHERWISE NOTED, ALL SWITCHES SHALL BE MOUNTED AT STANDARD 4'-2" HEIGHT ABOVE FINISHED FLOOR. GFI'S TO BE PROVIDED AS REQUIRED AND WHERE INDICATED ON PLANS.

### LIGHTING FIXTURES:

ALL SURFACE MOUNTED FIXTURES TO BE SUPPLIED BY OWNER AND INSTALLED BY THE ELECTRICAL SUB-CONTRACTOR.

ALL RECESSED LIGHTING TO BE SUPPLIED BY ELECTRICAL SUB-CONTRACTOR AND BE NOMINAL 4" APERTURE WITH WHITE TRIM KITS AND REFLECTORS. ALL RECESSED LIGHTING TO BE

### **EXTERIOR LIGHTING COMPLIANCE NOTE:**

**ELECTRICAL LIFE-SAFETY SYSTEM CONNECTIONS:** 

MANUFACTURED BY HALO OR EQUAL.

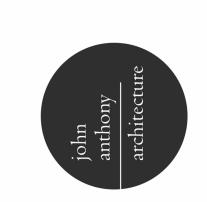
FIXTURE LOCATIONS FOR FINAL APPROVAL.

ALL NEW EXTERIOR LIGHTING TO COMPLY WITH SECTION 402 OF THE NEPTUNE TOWNSHIP AND USE ORDINANCE FOR ILLUMINATION LEVELS AND POTENTIAL IMPACT ONTO ADJACENT PROPERTIES.

ANY SLEEPING AREA ENTRY DOOR, AND WITHIN ALL BEDROOMS OR SLEEPING AREAS.

CARBON MONOXIDE AND SMOKE DETECTION ALARMS TO BE PROVIDED AS REQUIRED BY CODE

AND INDICATED ON FLOOR PLANS. DETECTION IS REQUIRED BY CODE TO BE WITHIN 10 FEET OF



### <u>ARCHITECT</u>

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NJ LICENSE NUMBER: 21782

NY LICENSE NUMBER: 042988

SIGNATURE AND SEAL



PROPOSED RENOVATION AND ADDITION TO EXISTING SINGLE FAMILY DWELLING

**CONSTRUCTION TYPE: VB** 

16 OCEAN AVENUE

USE GROUP: R-5

**SPECIFICATIONS** 

IVAN BARKHORN

MAY 3, 2024 JOHN A. LOMBARDI