

Area Calculations

Applicant: Lisa Slowik and Paul Slowik
 5 Main Avenue
 Ocean Grove, New Jersey 07756

Site Address: 5 Main Avenue, Ocean Grove, New Jersey
 Block #166, Lot#1; ZONE: HD-O

Description: Various exterior restorations and repairs, re-siding, window and door replacement, new fencing, gable roof restoration and roof alterations to the existing 2-story wood frame single-family dwelling located at 5 Main Avenue, Ocean Grove, New Jersey.

LOT SIZE	EXISTING	PROPOSED	REQUIRED
Frontage	40.28ft	no change	30.0 ft
Lot Width	40.28ft	no change	30.0 ft
Depth	43.63ft	no change	60.0 ft
Depth	42.49ft	no change	60.0 ft
Area	3,624sf	no change	1,800 sf
<i>(to curb line)</i>			
SETBACK	EXISTING	PROPOSED	ALLOWED
Front	5.7ft	Same	Section 422D
Front	0.0ft	Same	Section 422D
East Side	-0.2ft	Same	2.0 ft
East Side	-1.5ft	Same	2.0 ft
East Side	13.5ft	Same	2.0 ft
West Side	1.0ft	Same	2.0 ft
West Side	0.0ft	Same	2.0 ft
Rear	-0.3ft	Same	3.1 ft
Rear	-1.3ft	Same	3.1 ft
Floor Levels	2 stories	2stories	2.5 stories
Height	26.3ft	Same	35.0 ft

LOT COVERAGE:

	EXISTING	PROPOSED	PERMITTED
Dwelling:	1,031.0sf	1,031.0sf Same	
Covered Porch:	139.8sf	139.8sf Same	
Covered Porch:	186.4sf	186.4sf Same	
Total Building:	1,170.8sf	1,170.0sf (32.30%) < (85.0%)	
Front Steps:	20.8sf	20.8sf Same	
Side Steps:	32.0sf	32.0sf Same	
Walks & Pavers:	246.5sf	102.5sf	
West Alley Conc:	129.0 sf	129.0 sf Same	
Conc Trash Pad:	0.0sf	32.0sf	
Trash Storage:	0.0 sf	24.0 sf Same	
Total Other:	428.3sf	340.3sf	
Total Coverage:	1,599.1sf	1,510.3sf (41.7%) < (90.0%)	

FLOOR AREA CALCULATIONS:

	EXISTING	PROPOSED	PERMITTED
First Floor:	1,031.0sf	1,031.0 sf Same	
Second Floor:	1,048.0sf	1,048.0sf Same	
Total Area:	2,079.0sf	2,079.0sf Same	N/A
1st Flr Porch	139.8sf	Same	N/A
2nd Flr Porch	139.8sf	Same	

GENERAL NOTES

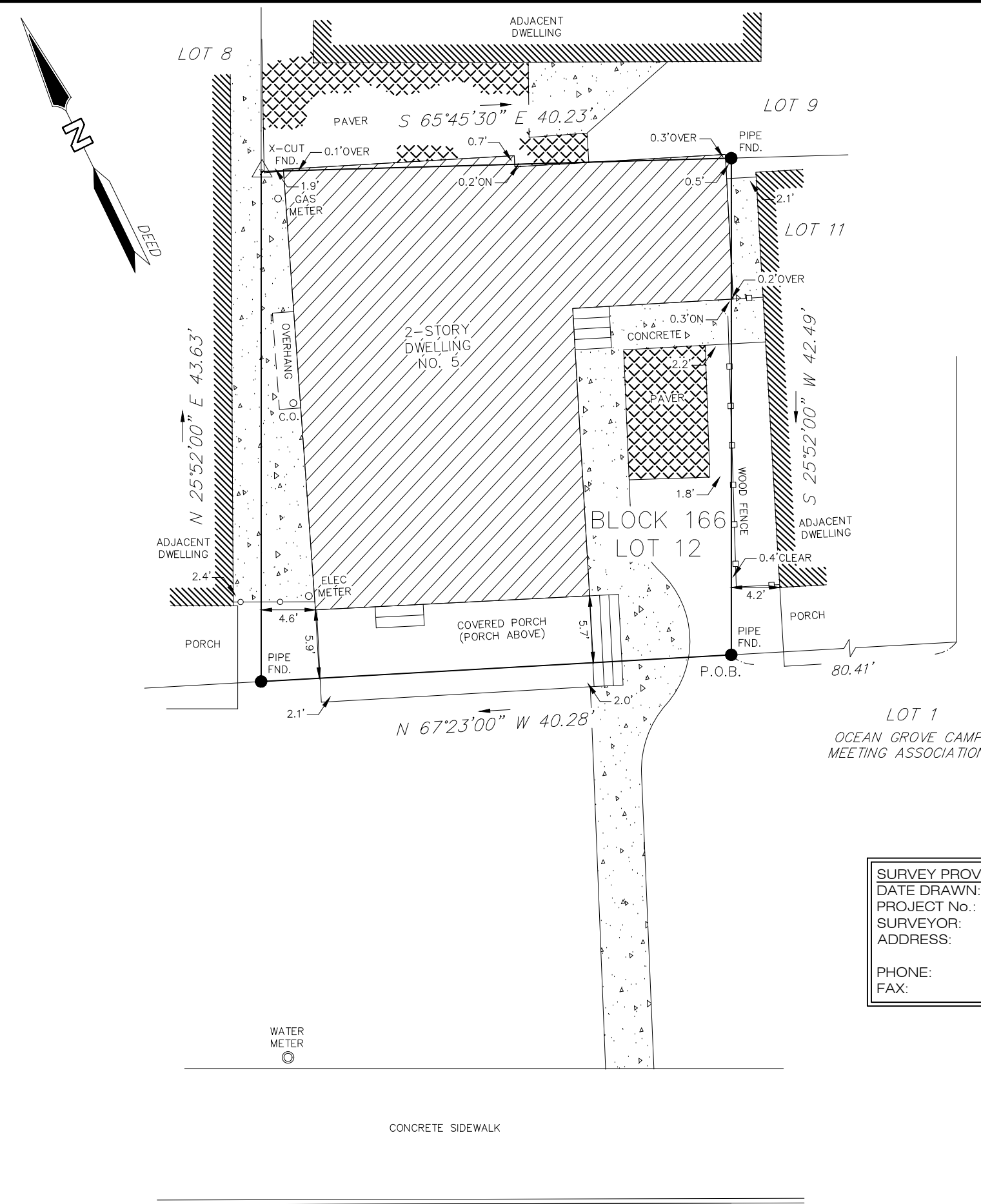
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND INFORM THE ARCHITECT OF ANY CONDITIONS WHICH WOULD PREVENT INSTALLATION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE OWNER OBTAIN ALL REQUIRED PERMITS AND ARRANGE FOR ALL OF THE INSPECTIONS REQUIRED BY THE LOCAL DEPARTMENT OF BUILDINGS.
- ALL WORK TO BE FILED UNDER AND SHALL CONFORM WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL SCHEDULE AND COORDINATE THE WORK OF ALL TRADES AND BE RESPONSIBLE FOR BOTH DAILY AND OVERALL PROJECT SITE CLEAN-UP AT THE CONCLUSION OF WORK.
- SHOULD THERE BE ANY CONFLICT BETWEEN WHAT IS SHOWN ON THE CONSTRUCTION DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL BRING SUCH CONFLICT TO THE ATTENTION TO THE ARCHITECT FOR RESOLUTION.
- THE CONTRACT DOCUMENTS INDICATE TYPE OF DESIGN AND GENERAL CONSTRUCTION AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION MATERIALS AND THE WORKMANSHIP THROUGHOUT.
- THE CONTRACTOR SHALL MAINTAIN ON-SITE A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS AS APPROVED BY THE LOCAL BUILDING DEPARTMENT DURING ALL PHASES OF WORK FOR USE BY ALL TRADES AND REFERENCE. ALL OUT OF DATE DRAWINGS SHALL BE REMOVED FROM THE JOB SITE.
- UPON ACCEPTANCE OF THE CONTRACT DOCUMENTS, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR THE VARIOUS CONSTRUCTION MATERIALS AND WORKMANSHIP OF THE SCOPE OF WORK DESCRIBED IN THOSE DOCUMENTS AND WILL EXECUTE THE WORK TO COMPLY WITH THE SPIRIT IN WHICH THEY WERE PRODUCED.
- OWNER SHALL ONLY SUPPLY ACCESS TO THE SITE, A SUPPLY OF CLEAN AND POTABLE WATER AND AN 110V AC SOURCE OF ELECTRICITY FOR SMALL HAND HELD POWER TOOLS.

SPECIAL NOTES

PERMITS AND RELATED FEES:
 CONTRACTOR TO PROCURE ALL REQUIRED CONSTRUCTION PERMITS AS PART OF THE SCOPE OF WORK. OWNER TO PAY ALL PERMIT AND REQUIRED SURVEY COSTS.

INDEMNIFICATION CLAUSE:
 THE OWNER SHALL RELEASE, HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT, OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

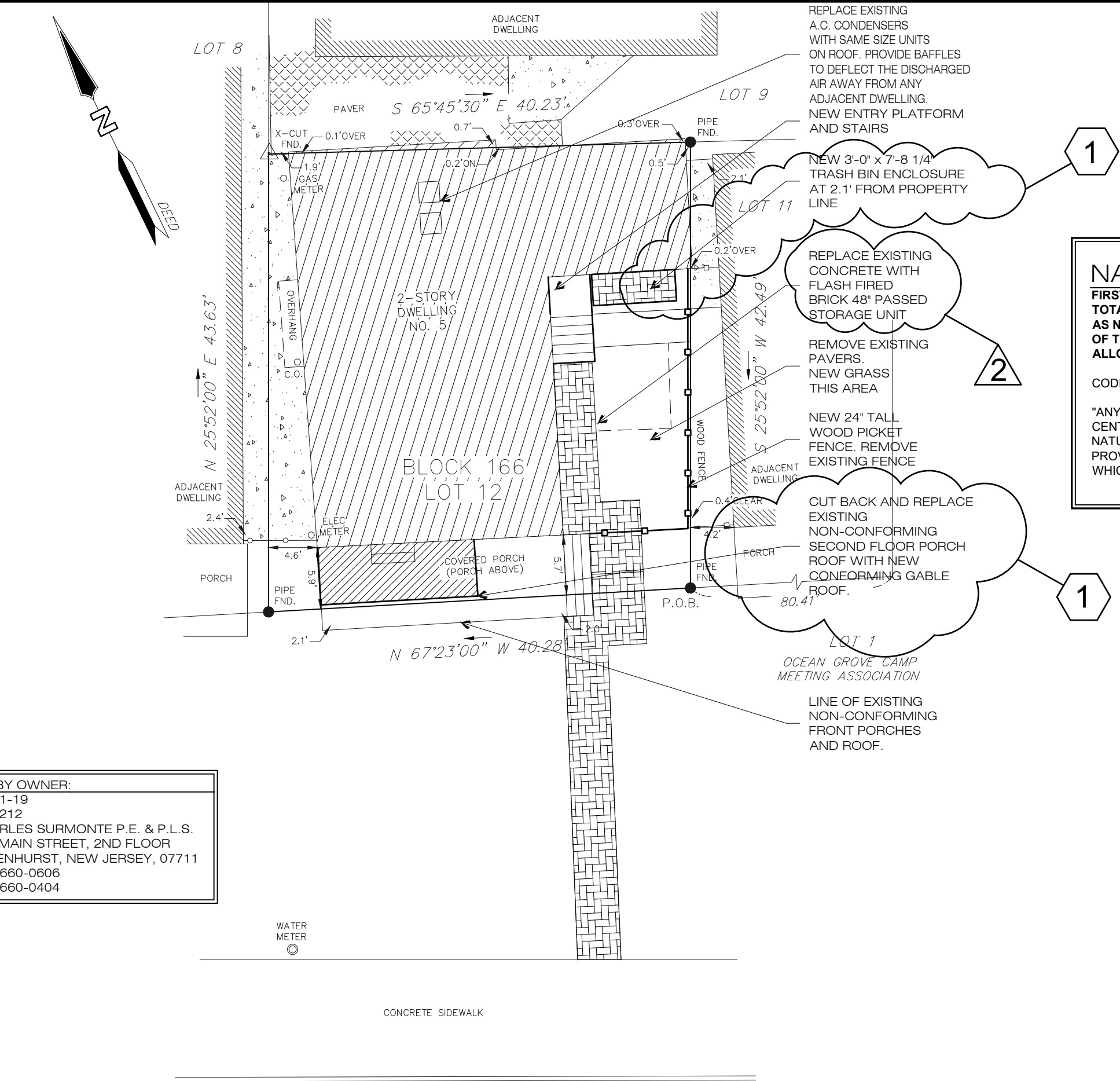
SITE PLAN DISCLAIMER:
 SITE PLAN IS NOT A LEGAL SURVEY BUT TAKEN FROM A SURVEY PROVIDED BY THE OWNER. ALL DIMENSIONS GIVEN ARE TO BE CHECKED IN THE FIELD AND CONFIRMED BY A NEW JERSEY LICENSED SURVEYOR PRIOR TO THE START OF CONSTRUCTION.



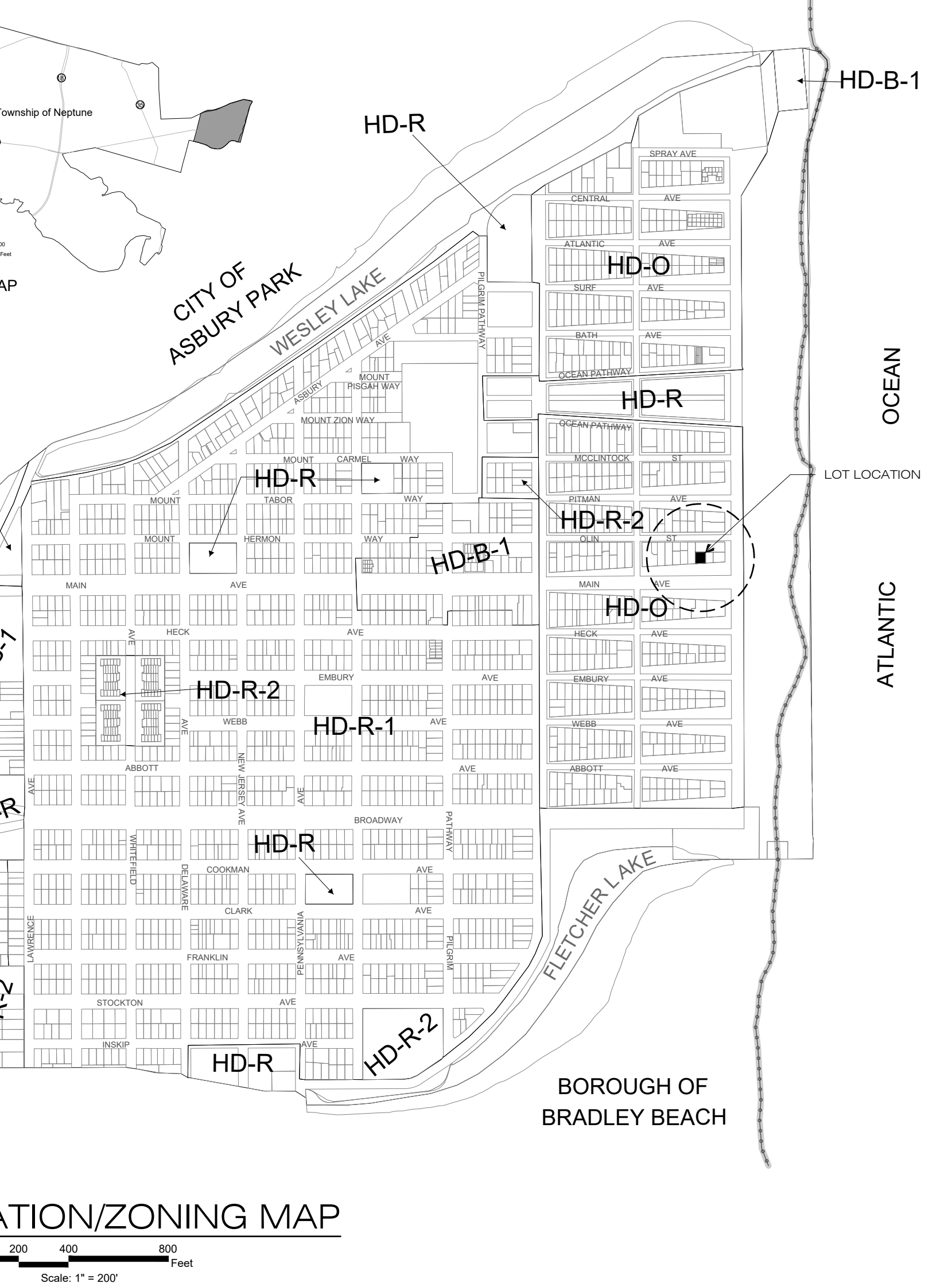
MAIN AVENUE
 SITE SURVEY REFERENCE PLAN
 SCALE: 3/32"=1'-0"



PHOTO REFERENCE



MAIN AVENUE
 SITE PLAN/KEY PLAN
 SCALE: 3/32"=1'-0"



LOCATION/ZONING MAP
 SCALE: 1"=200'

PROJECT SLOWIK RESIDENCE EXTERIOR RENOVATIONS

5 MAIN AVENUE
 OCEAN GROVE, NJ 07756
 BLOCK: 166 LOT: 12

DRAWING LIST

- A-1 TITLE SHEET & ZONING SPECIFICATIONS
- A-2 SPECIFICATIONS
- A-3 FOUNDATION AND FLOOR PLANS
- A-4 ELEVATIONS
- A-5 ROOF PLAN

NATURAL CALAMITY NOTES:
 FIRST FLOOR AND SECOND FLOOR PORCHES COMBINED ARE 11.86% OF GRAND TOTAL OF EXISTING AREAS. THE PORCHES ARE TO BE REPAIRED AND REPLACED AS NECESSARY DUE TO ROT/NATURAL CALAMITY* AS PER SECTION 422, ITEM "B" OF THE NEPTUNE LAND DEVELOPMENT ORDINANCE. 11.86% IS LESS THAN THE ALLOWED 50% TOTAL AND CONFORMS TO THE REFERENCED SECTION.

CODE REFERENCE: SECTION 422, ITEM "B", NUMBER 1.

ANY NON-CONFORMING STRUCTURE OR USE DAMAGED TO LESS THAN FIFTY PER CENT (50%) OF ITS PREVIOUS EXISTING AREA OR VALUE BY FIRE OR OTHER NATURAL CALAMITY, MAY BE RESTORED, RECONSTRUCTED OR USED AS BEFORE, PROVIDED THE AREA OF SUCH USE OR STRUCTURE SHALL NOT EXCEED THE AREA WHICH EXISTED PRIOR TO SUCH DAMAGE NOR INCREASE THE INTENSITY OF USE.

1. NATURAL CALAMITY REPAIRS AT EXISTING NON-CONFORMING PORCHES

SCALE: 1/16"=1'-0"

ITEM	AREA (sf)	% OF CALAMITY AREAS
FIRST FLOOR	1,031.00	
F.F. PORCH	139.80	5.93%
TOTAL:	1,170.80	
SECOND FLOOR	1,048.00	
S.F. PORCH	139.80	5.93%
TOTAL:	1,170.80	
GRAND TOTALS:	2,358.80	11.86% (< 50%)

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REV NO.	DATE	DESCRIPTION	BY
2	3-23-2022	HPC INCOMPLETE ITEMS RE-SUBMITTAL	AFS
1	11-24-2021	ZONING/HPC RE-SUBMITTAL	AFS
	05-17-2021	ZONING/HPC SUBMITTAL	AFS

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PROJECT SLOWIK RESIDENCE EXTERIOR RENOVATIONS
 5 MAIN AVENUE
 OCEAN GROVE, NJ 07756
 BLOCK: 166 LOT: 12

PAUL DAVID RUGARBER, AIA NY LICENSE # A14158	DRAWN BY: SSB/MI/AFS	DATE: NOVEMBER 23, 2021
CERTIFICATE OF AUTHORIZATION # 21AC00073100	CHECKED BY: PDR	#19-68
TITLE SHEET ZONING SPECIFICATIONS	SHEET NO. 1 OF 5	A-1

SECTION 1: GENERAL

THESE GENERAL CONDITIONS SHALL APPLY TO ALL TRADES UNDER THIS CONTRACT. THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL WORK, WHETHER HIS OWN, HIS EMPLOYEES, THE SUBCONTRACTORS, OR THEIR EMPLOYEES.

EACH SUBCONTRACTOR WILL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIAL AND SUPERVISORS FOR ITS PORTION OF THE PROJECT.

THE SUBCONTRACTORS FEE INCLUDES SUPERVISION OF THE SUBCONTRACTOR'S EMPLOYEES

THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE.

THE CONTRACTOR ASSUMES ALL RISKS IN THE PERFORMANCE OF HIS WORK.

THE CONTRACTOR SHALL SUPERVISE AND DIRECT WORK USING THE BEST CONSTRUCTION PRACTICES AND ATTENTION. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES FOR CONSTRUCTING ALL PORTIONS OF THE WORK UNDER CONTRACT.

THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING, COORDINATION, MANAGEMENT AND ADMINISTRATION OF ALL SUBCONTRACTS.

CONTRACTOR TO PROVIDE FOR THEIR OWN STORAGE FACILITIES, SANITATION FACILITIES AND TEMPORARY UTILITIES AT HIS SITE.

CONTRACTOR SHALL PROVIDE MANIFESTS FOR THE WASTE AND DEBRIS REMOVED FROM THE SITE. ALL WASTE TO BE LEGALLY DISPOSED OF OFF SITE.

THE CONTRACTOR SHALL MEET THE LATEST REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND COMPLY WITH THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION. ALL APPLICABLE SAFETY AND SANITARY LAWS, REGULATIONS AND ORDINANCES, AND ANY SAFETY RULES OR PROCEDURES ESTABLISHED BY THE OWNER FOR THE PROJECT.

THE CONTRACTOR SHALL PROTECT ALL PERSONS NEAR OR ON THE PREMISES FROM UNREASONABLE RISKS BY PROVIDING SAFETY DEVICES.

THE CONTRACTOR IS TO PROVIDE WARNING SIGNS AND LIGHTS, BARRICADES, RAILINGS, AND OTHER SAFEGUARDS AS REQUIRED.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING ANY WORK. THE CONTRACTOR SHALL CORRECT ANY DISCREPANCIES AFTER THE BEGINNING OF WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS!

NO DEVIATIONS FROM THE WORK SHOWN OR REASONABLY IMPLIED SHALL BE UNDERSTANDEN WITHOUT WRITTEN CONSENT. A COPY OF WHICH WILL BE FILED WITH THE CONSTRUCTION CODE OFFICIAL.

THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE PROJECT AND THE CONTRACTORS. THE DRAWINGS SHOW THE GENERAL ALIGNMENT AND EXTENT OF THE WORK. AS WORK PROGRESSES, THE OWNER AND CONTRACTOR AT NO EXTRA COST SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.

THE OWNER SHALL SUPPLY A SUFFICIENT NUMBER OF COPIES OF DRAWINGS AND SPECIFICATIONS TO CARRY OUT THE WORK.

DRAWINGS SHALL NOT BE USED FOR ISSUE OF BUILDING PERMIT UNLESS BONDED AND SEALED BY THE ARCHITECT. THE SUCCESSFUL BIDDER WILL BE RESPONSIBLE FOR THE SECURITY OF THE PREMISES. ANY WINDOWS, DOORS OR DETAILED OF EXTERIOR OR INTERIOR SURFACES SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. UP UNTIL THE TIME THE KEYS TO THE BUILDING ARE TURNED OVER TO THE OWNER.

ALL LABOR SHALL BE PERFORMED IN THE BEST AND MOST WORKMANLIKE MANNER.

PROTECT ALL CONSTRUCTION AND/OR MATERIALS FROM INCLEMENT WEATHER AND TAKE PRECAUTIONS TO PREVENT FIRE.

NO EXTRAS WILL BE ALLOWED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT AND/OR OWNER.

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY SUPERVISION OR INSPECTION FOR THIS JOB AND THEREFORE IS NOT RESPONSIBLE FOR THIS PHASE OF THE CONTRACT.

IF THE DESIGN PROFESSIONAL PROVIDES INSPECTION FOR COMPLIANCE WITH THE PLANS AND SPECIFICATIONS, IT SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION MEANS OR METHODS EMPLOYED BY THE CONTRACTOR OR ANY SUBCONTRACTOR.

OWNERSHIP AND USE OF DOCUMENTS. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED WITHOUT HIS CONSENT. ALL DRAWINGS, SPECIFICATIONS AND CORRECTIONS FURNISHED BY THE ARCHITECT ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY WITH REFERENCE TO THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. SUCH DOCUMENTS ARE TO BE RETURNED OR ACCOUNTED FOR TO THE ARCHITECT. ONE COPY OF EACH CONTRACT SET FOR EACH PARTY TO THE CONTRACT, ON REQUEST AT THE COMPLETION OF THE WORK, SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE REPRODUCED OR PUBLICATION IN DEROGATION OF THE ARCHITECTS COMMON LAW COPYRIGHT OR OTHER RESERVED RIGHTS.

DEMOLITION NOTES. ALL DEMOLISHED MATERIAL SHALL BE DISPOSED OF AT A LEGALLY APPROVED DUMP SITE AND REMOVED IN THE LEGALLY REQUIRED MANNER AS MANDATED FOR VARIOUS MATERIAL TYPES.

ALL DEMOLISHED MATERIAL SHALL BE CONTINUOUSLY HAULED AWAY AND NOT BE ALLOWED TO ACCUMULATE.

CLEANING. THE CONTRACTOR IS TO CLEANUP AS WORK PROGRESSES. A FINAL BROOM CLEANING SHALL BE PERFORMED AS THE WORK OF EACH SUBCONTRACTOR AND THE GENERAL CONTRACTOR IS COMPLETED.

PAYMENTS, LIENS & GUARANTEES. PERMITS, INSPECTION FEES AS REQUIRED FOR THIS PROJECT AND UTILITY CONNECTION FEES SHALL BE PAID BY THE OWNER.

ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL PAYMENT. THE OWNER SHALL MAKE PAYMENTS TO THE CONTRACTOR IN ACCORDANCE WITH THE PORTIONS OF WORK ARE COMPLETED AS PROVIDED IN THE OWNERS CONTRACT WITH THE GENERAL CONTRACTOR.

LIENS, CLAIMS, ETC. THE CONTRACTOR SHALL FURNISH THE OWNER WITH SATISFACTORY EVIDENCE THAT ALL PERSONS WHO HAVE DONE WORK OR FURNISHED MATERIALS UNDER THIS CONTRACT HAVE BEEN PAID, AND THAT ALL CLAIMS FOR DAMAGES OF ANY KIND CAUSED BY THE EXECUTION OF SAID WORK HAVE BEEN FULLY AND SATISFACTORILY SECURED.

LIABILITY INSURANCE. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOT COMMENCE WORK UNDER THIS CONTRACT UNTIL HE HAS OBTAINED INSURANCE REQUIRED FROM AN APPROVED CARRIER AND INSURANCE HAS BEEN APPROVED BY THE OWNER. NOR SHALL CONTRACTOR BE ALLOWED TO ACCEPT ANY INSURANCE FROM ANY OTHER SOURCE OR HIS SUBCONTRACTOR UNTIL ALL SIMILAR INSURANCE REQUIRED OF THE SUBCONTRACTOR HAS BEEN OBTAINED AND APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT BELIEVE OR DECREASE THE LIABILITY OF THE GENERAL CONTRACTOR HERE UNDER.

CERTIFICATE FROM INSURANCE CARRIER SHALL BE FILED WITH THE OWNER. MASONRY HORIZONTAL JOINT REINFORCING, TRUSSED DIAGONAL DESIGN, TO BE DURO-WALL, STANDARD WEIGHT, OR EQUAL. INSTALL, CONSTRUCTION EVERY OTHER COURSE. WITH AS DETERMINED BY OWNERS THICKNESS AS SHOWN ON DRAWINGS.

WHERE BOLT FULL IS CALLED FOR ON DRAWINGS USE TYPE M CONCRETE WITH A COMPRESSIVE STRENGTH OF 2,000 PSI IN ACCORDANCE WITH ASTM C-746 AND INSTALL ACCORDANCE WITH ASTM C-937 FOR HIGH OR LOW LIFT FORM.

PARGING: PRE-CAST MASONRY WALLS THROUGHOUT WITH TYPE S MORTAR APPLIED IN 1/2" UNIFORM COATS WITH A STEEL TROWEL. SHALL BE FINISHED FORM 1/2" OF PARGING AND COVE AT THE BOTTOM DAMP CURE PARGING FOR AT LEAST 24 HOURS.

OWNER. BUILDERS EMPLOYEE SHALL PRIOR TO CONSTRUCTION AND/OR ALTERATION, ARRANGE TO HAVE ADEQUATE INSURANCE FOR PERSONAL LIABILITY FOR THE CONSTRUCTION ADDRESS AND ADEQUATE COVERAGE ON COST REPLACEMENT BASIS FOR THE BUILDING AND/OR ALTERATION FOR BENEFIT OF THE OWNER, IF REQUIRED, OWNER TO PROVIDE FOR FLOOD INSURANCE.

ANY SUBCONTRACTOR DIRECTLY EMPLOYED BY THE OWNER SHALL PROVIDE INSURANCE COVERAGE AS LISTED UNDER SUBCONTRACTORS AND SHALL NAME THE GENERAL CONTRACTOR, OWNER AND ARCHITECT AS ADDITIONAL INSURED.

SAFETY. ALL CONTRACTORS TO PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO ALL SIGN WARNING CODES ON SAFETY AND INCLUDING STATE, LOCAL AND THE OSHA ACT.

UTILITIES. PROVIDE TEMPORARY UTILITY SERVICES TO PROJECT SITE FOR USE DURING CONSTRUCTION. ARRANGE FOR AND COORDINATE UTILITY SERVICES WITH LOCAL UTILITY COMPANIES.

COORDINATE WITH ALL UTILITY COMPANIES AND AGENCIES AS REQ. WHERE UTILITY CUTTING, CAPPING OR LIGATIONS IS REQUIRED, PERSONS IN CHARGE SHALL COORDINATE WITH THE REG. OF THE UTILITY OR GOVERNMENT AGENCIES HAVING JURISDICTION. PROVIDE ALL LABOR AND MATERIALS AS REQUIRED FOR NEW UNDERGROUND UTILITY LINES AND CONNECTIONS.

CONSTRUCTION FACILITIES. PROVIDE TEMPORARY SANITARY FACILITIES. COMPLY WITH REGULATIONS AND HEALTH CODES FOR TYPE, NUMBER, LOCATION, MAINTENANCE OR FACILITIES.

INSTALL PROJECT IDENTIFICATION AND OTHER SIGNS IN LOCATIONS TO INFORM THE PUBLIC AND PERSONS SEEKING ENTRANCE TO PROJECT.

SECTION 2: SITE CONSTRUCTION

GENERAL. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.

SCOPE. CLEARINGS, EXCAVATING, FILL AND BACK FILL, ROUGH AND FINISH GRADING, DISPOSAL AND HAULING, AND EROSION PROTECTION. NO SOIL SHALL BE REMOVED, RELOCATED OR ADDED TO THE SITE WHICH DOES NOT COMPLY WITH PLANS WITHOUT WRITTEN AUTHORIZATION.

CLEARING. IT IS THE RESPONSIBILITY OF THE OWNER AND ARCHITECT TO LEAVE THE SITE IN AS NATURAL A STATE AS POSSIBLE AT THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO SEE THAT NO UNNECESSARY DAMAGE IS DONE TO TREES, ROOTS AND UNDERGROWTH ON THE SITE. NO SHRUBBERY SHALL BE REMOVED WITHOUT THE CONSENT OF THE OWNER ARCHITECT.

PLANTING. CLEARING OF VEGETATION NECESSARY FOR EXCAVATION, BACK FILLING, AND GRADING SHALL BE STRICTLY COORDINATED WITH THE OWNER AND/OR ARCHITECT. CLEAR SITE OF ANY DEBRIS PRIORLY EXISTING. SOIL REMOVED MUST BE APPROVED IN WRITING BY ARCHITECT OR OWNER.

EXCAVATION

EXCAVATION AS REQUIRED FOR FOUNDATIONS TO UNDISTURBED VIRGIN SOIL.

ALL EXCAVATION FOR FOOTINGS SHALL BE DOWN THROUGH ANY SOFT FILL, LOOSE EARTH, TO SOIL UNDISTURBED BEARING.

THE CONTRACTOR SHALL DO ALL EXCAVATING AS MAY BE INDICATED ON THE DRAWINGS. EARTH BANKS SHALL BE BRACED AGAINST CAVING IN THE WORKING AREA.

EXCAVATE TO DEPTHS AND WIDTHS AS REQUIRED FOR GRADE BEAM. AS FURNISHED, FOUNDATION WORK SHALL INCLUDE CONCRETE, MASONRY PIERS, TRIMMER WORK, INCLUDING MECHANICAL AND ELECTRICAL TRADES, PLATFORMS, WALKS, ETC., WITH FOOTING CONSTRUCTION FOR PROPER COMPLETION OF THE WORK. MAKE PROPER PROVISIONS TO DRAIN EXCAVATED AREAS.

SILT EROSION. PROVIDE SILT FENCE BARRIERS AS NECESSARY TO PREVENT SOIL EROSION IN DISTURBED AREAS AND/OR AS REQUIRED BY GOVERNMENT AGENCIES HAVING JURISDICTION OVER THE PROJECT.

FILL AND BACK FILL. PROVIDE BACK FILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED EQUIPMENT.

PLACE BACK FILL AND FILL MATERIALS EVENLY ON ALL SIDES OF STRUCTURES TO REQUIRED ELEVATIONS. PLACE BACK FILL AND FILL UNIFORMLY AROUND THE FULL LENGTH OF EACH STRUCTURE.

NO BACK FILLING SHALL BE PERFORMED UNTIL FIRST FLOOR DECK IS COMPLETE.

PERCENTAGE OF MAXIMUM DRY DENSITY REQUIREMENTS. CONTRACTOR TO EXCEED THE FOLLOWING PERCENTAGE OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 1557: UNDER STRUCTURES, BUILDING SLABS, STEPS, AND PATTERNS: 95%; UNDER THE TOP 12 INCHES OF EXTERIOR WALLS AND EACH LAYER OF BACK FILL OR FILL MATERIAL, AT 95 PERCENT MAXIMUM DRY DENSITY. UNDER FOUNDATION WALLS, DOUBLE TRIMMING UNDER ALL PARTITION WALLS. ALL EXTERIOR AND INTERIOR BRICKERS SHALL BE 92 X 12" MIN. UNLESS OTHERWISE NOTED. DOUBLE ALL FRAMING ABOVE FLOOR OPENINGS.

DO ALL COMPACTING OF BACK FILLING AS REQUIRED TO MEET SETTLEMENT OF BACK FILL AT FOUNDATION WALLS AND AROUND GRADING TO WALLS AND OTHER WORK IN PLACE.

DO ALL CURBING, FILLING AND ROUGH GRADING REQUIRED TO BRING THE PROJECT AREAS TO FINISHED GRADE.

BEFORE PLYING FILL REMOVE ALL DEBRIS FROM EXCAVATIONS.

ALL FILL SHALL BE CLEAN SAND, FREE FROM DEBRIS.

TERMITE CONTROL. PROVIDE TERMITE PROTECTION AS PER IFC 901.2018 918. GALVANIZED TERMITES SHALL BE PROVIDED PRESERVED TREATED WOOD OR OTHER TREATED WOOD. CONCENTRATED TERMITES AROUND TOP OF FOUNDATION WALLS. CONTRACTOR SHALL SUBMIT CERTIFICATION AND WARRANTY TO OWNER TO PROVIDE COMPLIANCE WITH TERMITE PROTECTION.

SUBMITTALS. PRODUCT DATA AND PRODUCT CERTIFICATES SIGNED BY MANUFACTURER CERTIFYING THAT PRODUCTS USED COMPLY WITH U.S. EPA REGULATIONS FOR TERMITICIDES. INCLUDE APPLICATION INSTRUCTIONS AND EPA-REGISTERED LABEL.

ENGAGE A LICENSED PROFESSIONAL PEST CONTROL OPERATOR TO APPLY TERMITICIDE TREATMENT SOLUTION.

PROVIDE AN EPA-REGISTERED TERMITICIDE COMPLYING WITH REQUIREMENTS OF ARCHITECTS HAVING JURISDICTION. IN A SOLUBLE OR EMULSIBLE, CONCENTRATED FORMULATION THAT DILUTES WITH WATER OR FORMING GEL. USE ONLY SOLUBLE OR EMULSIBLE SOLUTIONS THAT ARE NOT HARMFUL TO PLANTS. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM PERMISSIBLE CONCENTRATION ALLOWED FOR EACH SPECIFIC USE, ACCORDING TO THE PRODUCTS EPA-REGISTERED LABEL.

GRADING. THE CONTRACTOR SHALL BRING THE FINISHED GRADES TO THE LINES SHOWN ON THE DRAWINGS. ALL GRADING SHALL BE DONE TO EXACT ALL SURFACE WATER AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 1/4" PER FOOT FOR THE 10 TO 15 FEET IF POSSIBLE. FINISH GRADE SHALL BE CLEAN, FREE OF POTS, DEBRIS, ETC. AND SHALL BE RAKED TO A SMOOTH SURFACE.

PARKING AND DRIVEWAY MATERIAL SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR. GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

CONCRETE SLAB ON GRADE. PROVIDE 4" MIN. POLYETHYLENE VAPOR BARRIER AS SHOWN ON DRAWINGS, REINFORCED WITH 6X6-W1.4W41 4 WELDED WIRE FABRIC (ASTM A181), MINIMUM LAP OF 8".

VAPOR BARRIER UNDER INTERIOR CONCRETE SLABS ON GRADE TO BE 6 MIL POLYETHYLENE ON WELLS COMPLETED BASE.

PROVIDE 1/2" PRE-MOLDED EXPANSION JOINTS AT BASEMENT SLAB TO ALL FOUNDATION WALLS AND AT JOINTS BETWEEN SLAB AREAS NOT TO EXCEED 40 SQ. FT.

ALL SLABS TO BE TROWEL FINISHED, UNLESS SHOWN OTHERWISE ON DRAWINGS.

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CONCRETE SLABS ON GRADE. PROVIDE 4" MIN. POLYETHYLENE VAPOR BARRIER AS SHOWN ON DRAWINGS, REINFORCED WITH 6X6-W1.4W41 4 WELDED WIRE FABRIC (ASTM A181), MINIMUM LAP OF 8".

VAPOR BARRIER UNDER INTERIOR CONCRETE SLABS ON GRADE TO BE 6 MIL POLYETHYLENE ON WELLS COMPLETED BASE.

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SECTION 3: CONCRETE

GENERAL. FURNISH ALL LABOR, MATERIALS, EQUIPMENT, ETC. TO COMPLETE ALL THE WORK AS REQUIRED BY THIS SPECIFICATION AND THE ACCOMPANYING DRAWINGS.

SCOPE. CONSTRUCT CONCRETE FOOTINGS WHERE SHOWN ON DRAWINGS.

ALL CONCRETE FOR GRADE BEAMS, FOOTINGS, PRECASTS, SLABS, WALLS, AND STEPS SHALL BE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI BY THE END OF 28 DAYS. ALL CONCRETE REINFORCED AND ERECTED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES AS APPLICABLE.

ALL CONCRETE SHALL BE PLANT MIXED AND PROVIDE A 28 DAY CURED STRENGTH OF 3000 PSI. RATIO OF SLUMP 3" PLUS OR MINUS 1". SUPPLY MIX CERTIFIED BY PLANT.

ALL REINFORCING STEEL SHALL BE DEFORMED H-BOND BARS TO CONFORM TO THE LATEST ASTM SPECIFICATIONS A-615 GRADE #4.

CONCRETE SLABS ON GRADE. PROVIDE 4" MIN. POLYETHYLENE VAPOR BARRIER AS SHOWN ON DRAWINGS, REINFORCED WITH 6X6-W1.4W41 4 WELDED WIRE FABRIC (ASTM A181), MINIMUM LAP OF 8".

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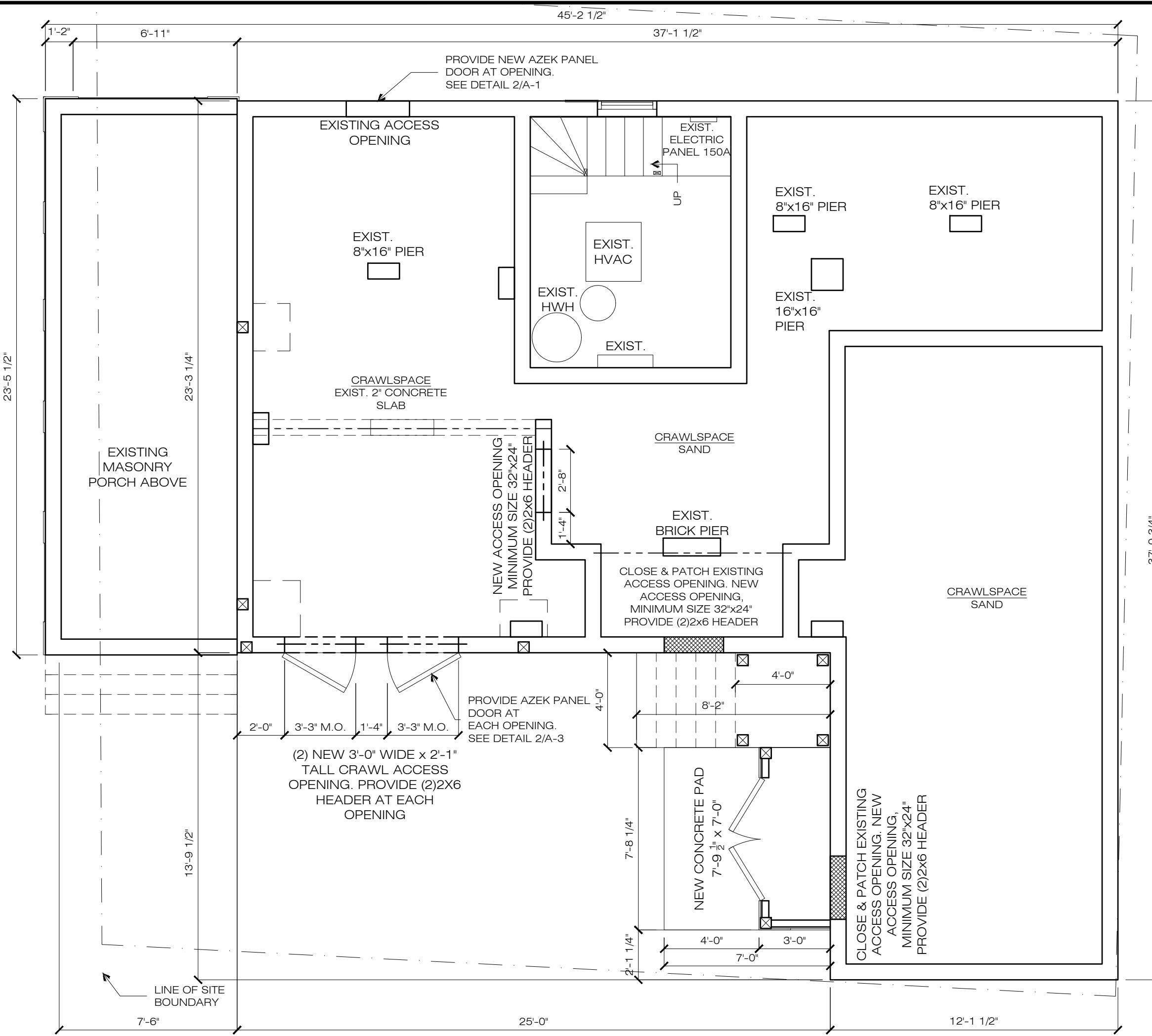
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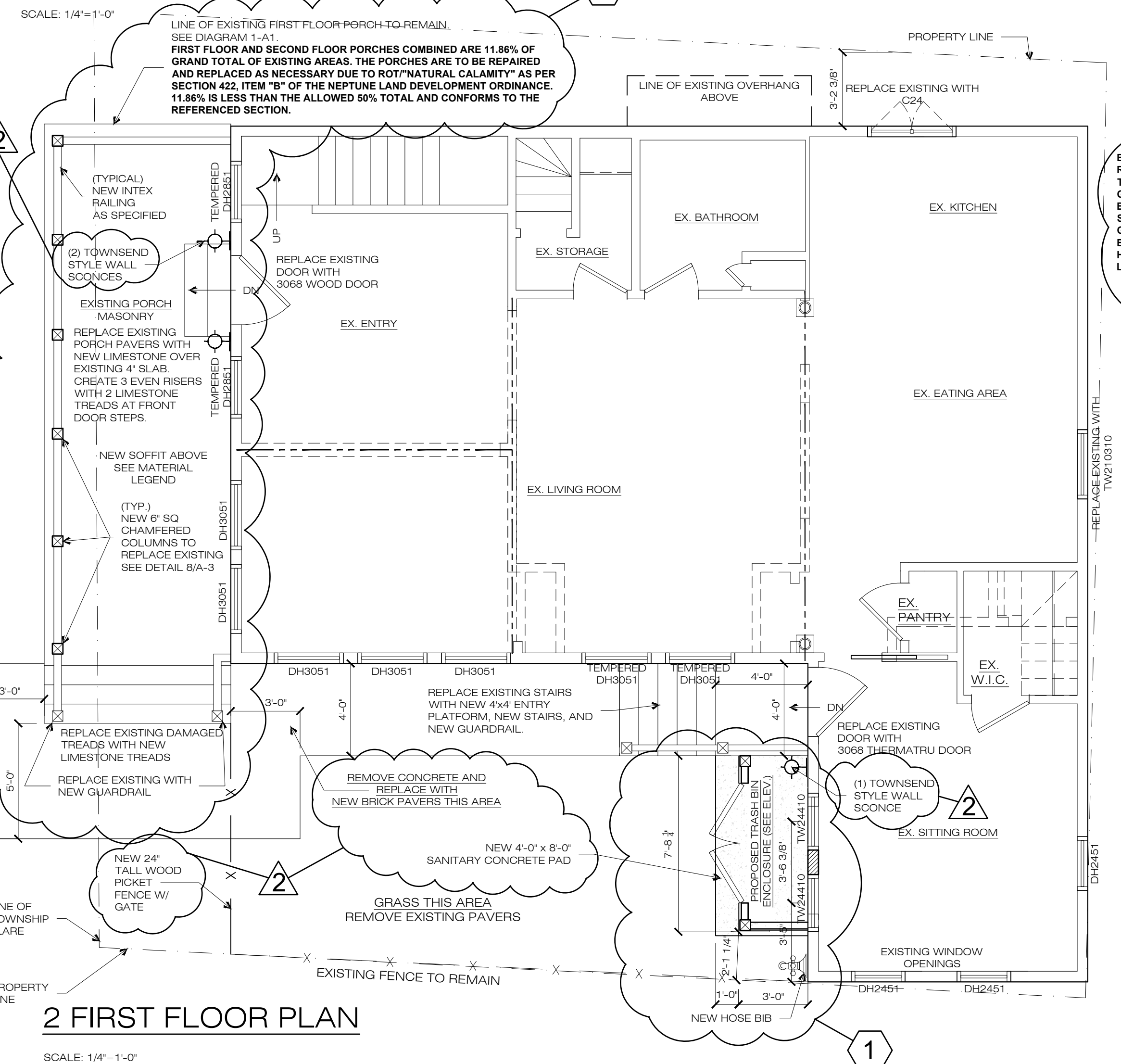
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PROVIDE

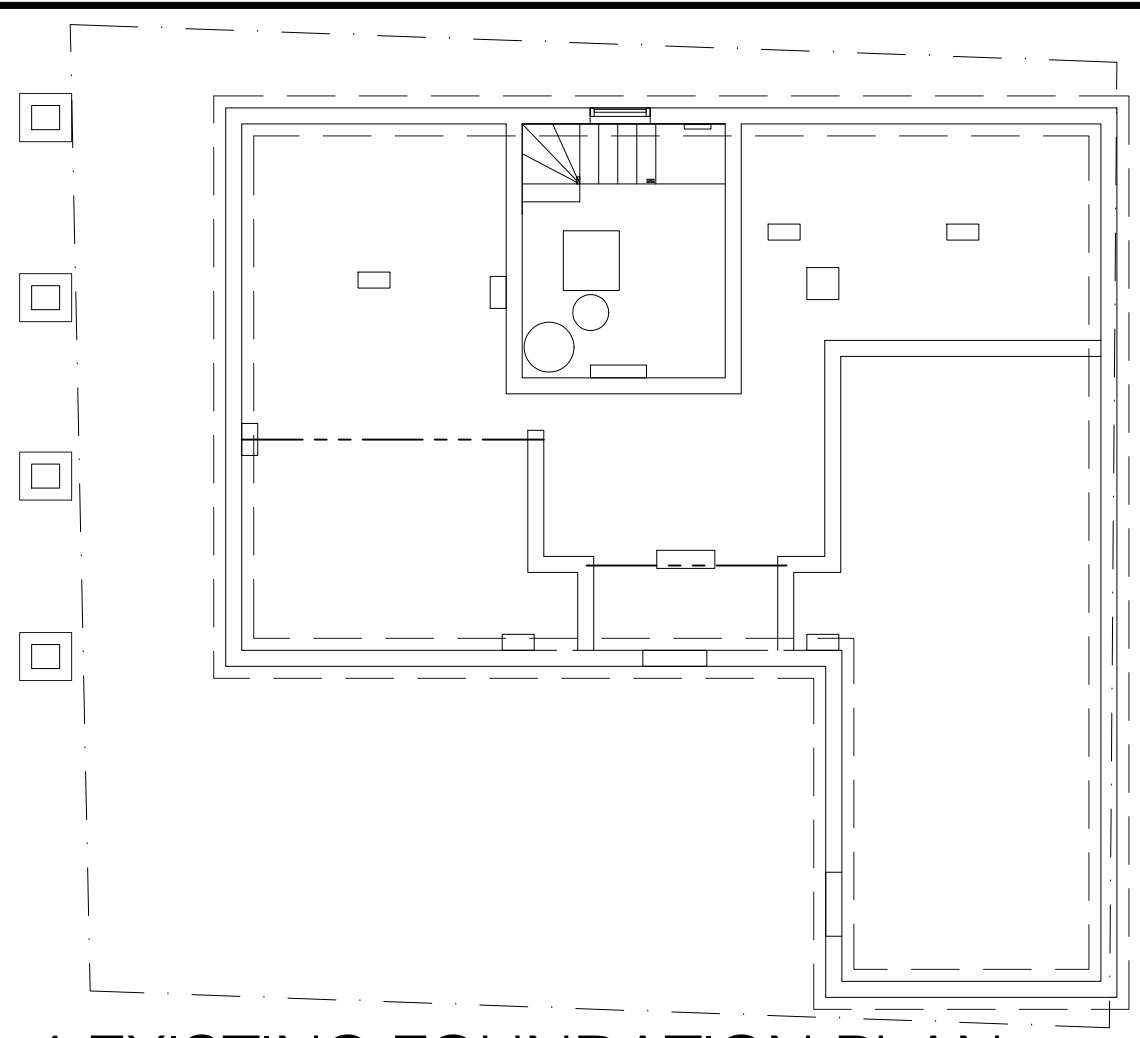


1 FOUNDATION PLAN

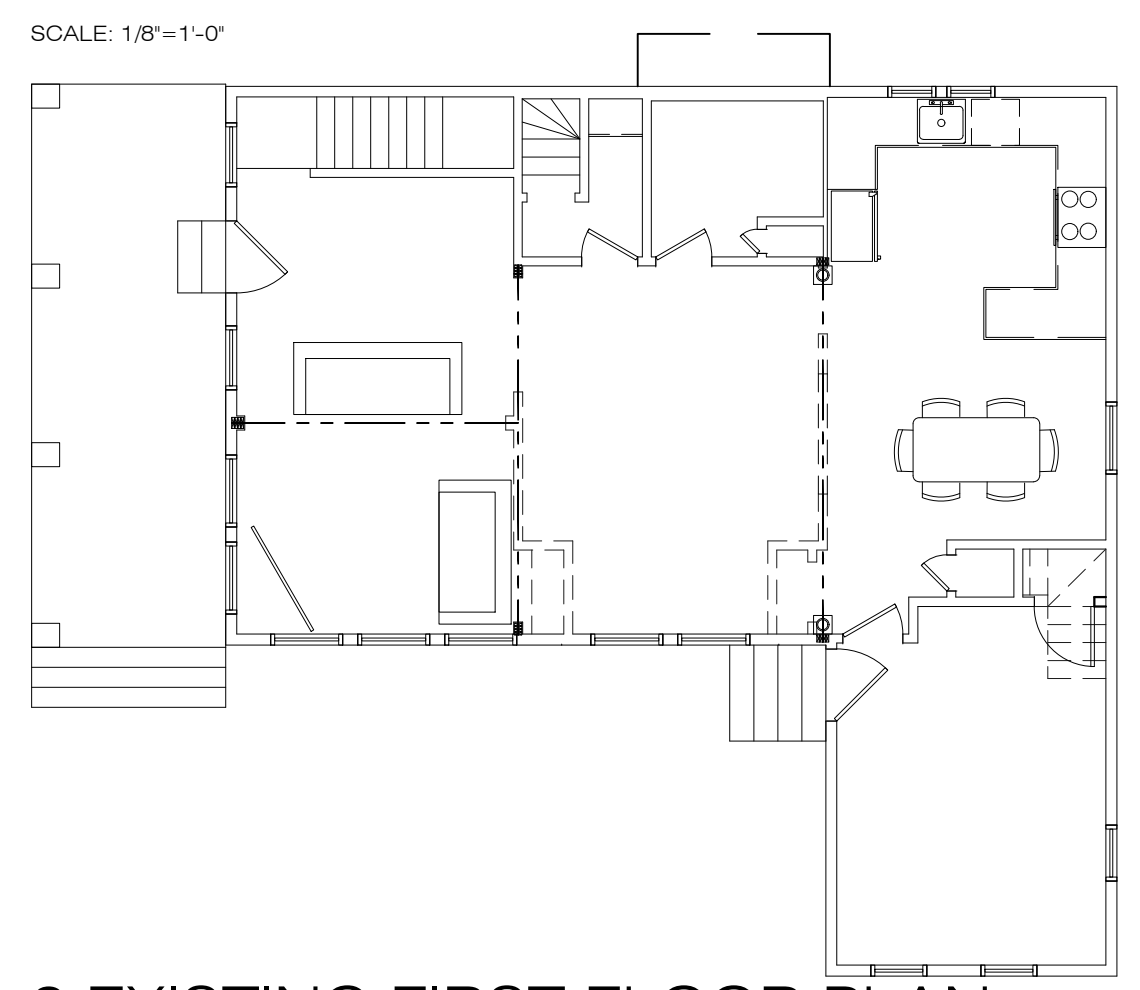


2 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

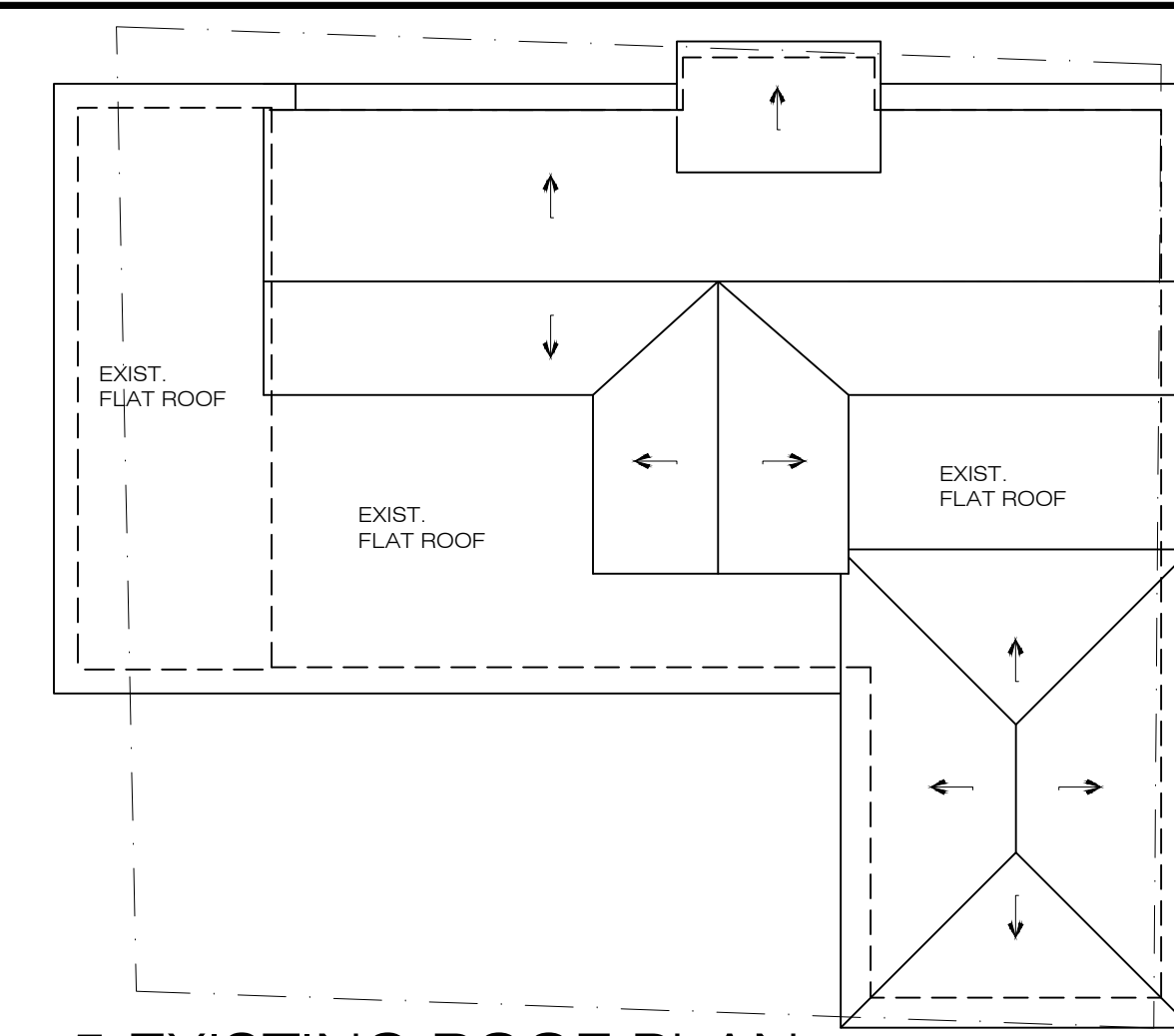


4 EXISTING FOUNDATION PLAN

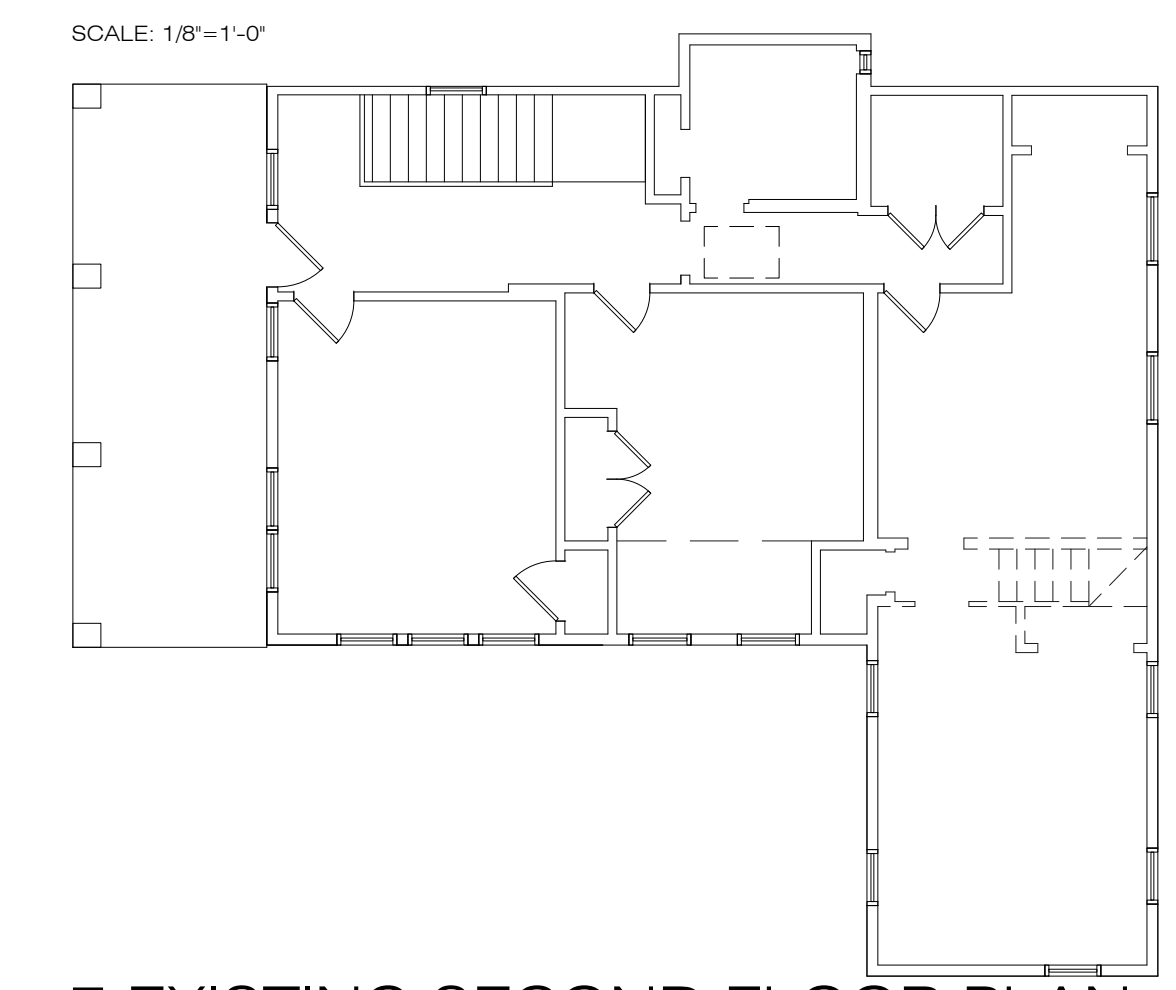


6 EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

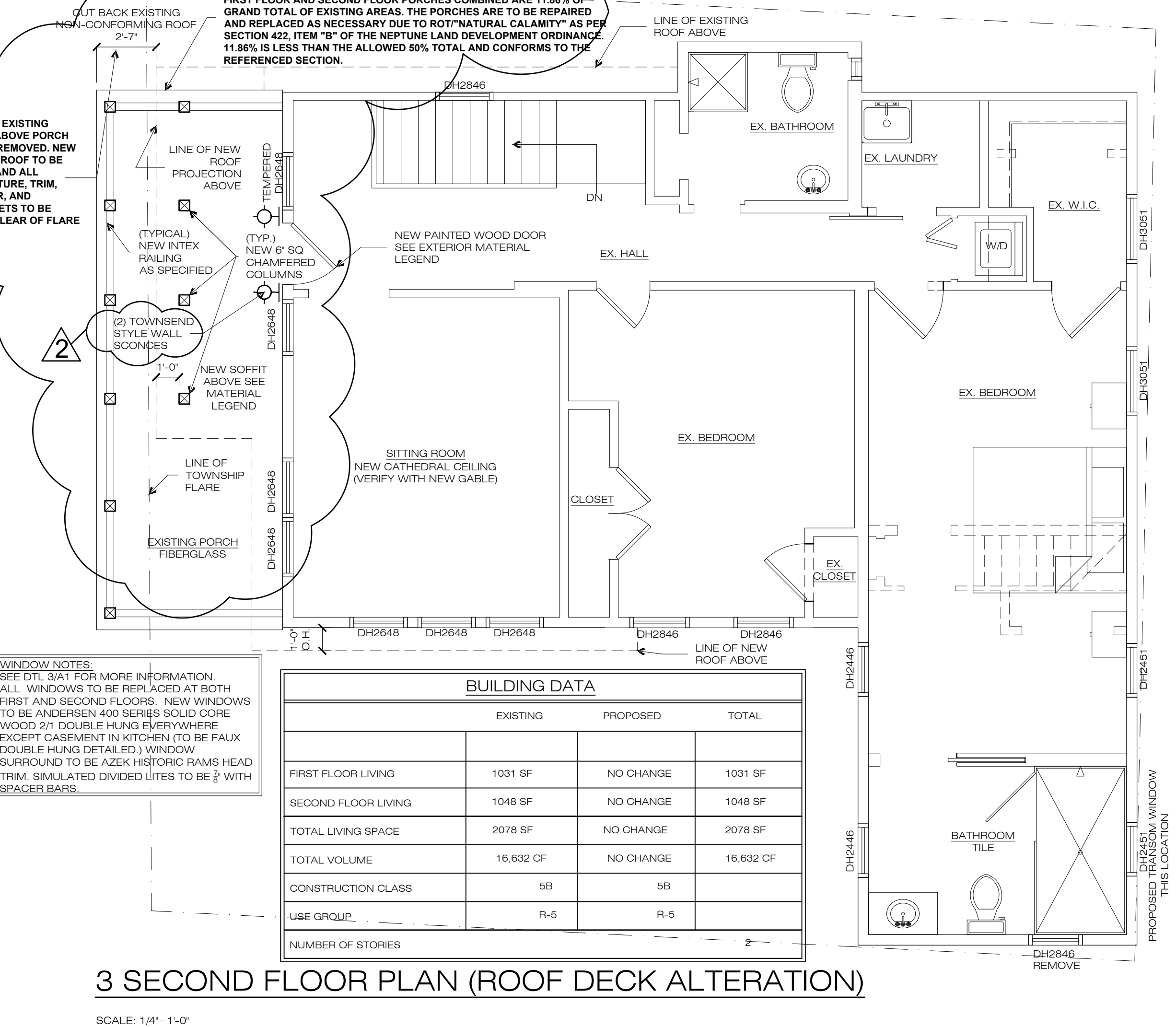


5 EXISTING ROOF PLAN



7 EXISTING SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"



3 SECOND FLOOR PLAN (ROOF DECK ALTERATION)

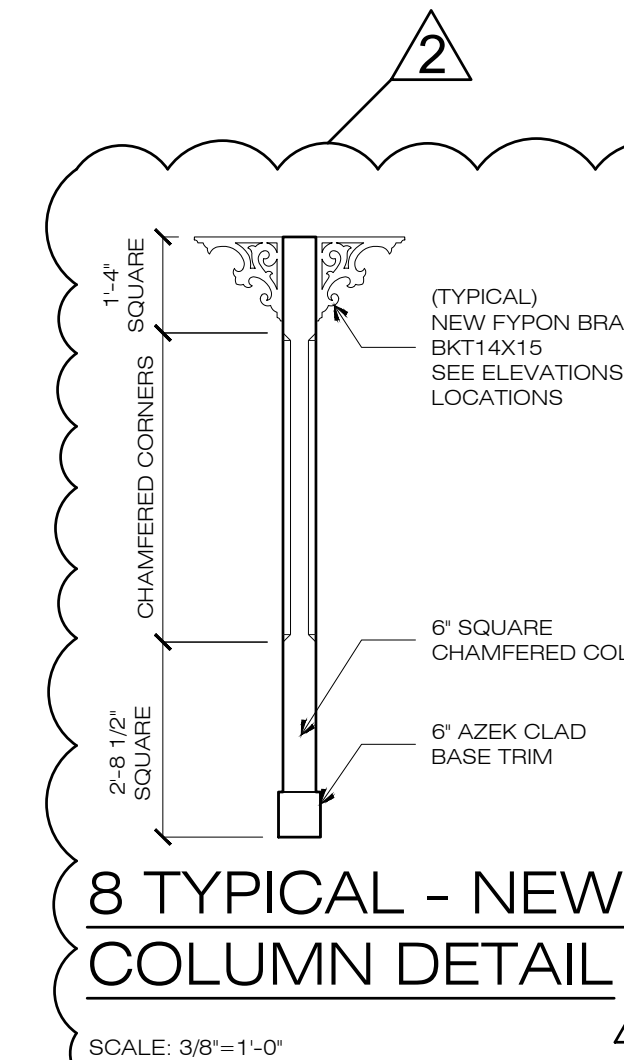
SCALE: 1/4"=1'-0"

BUILDING DATA			
	EXISTING	PROPOSED	TOTAL
FIRST FLOOR LIVING	1031 SF	NO CHANGE	1031 SF
SECOND FLOOR LIVING	1048 SF	NO CHANGE	1048 SF
TOTAL LIVING SPACE	2078 SF	NO CHANGE	2078 SF
TOTAL VOLUME	16,632 CF	NO CHANGE	16,632 CF
CONSTRUCTION CLASS	5B	5B	
USE GROUP	R-5	R-5	
NUMBER OF STORIES			

WINDOW NOTES:
SEE DTL 3/A1 FOR MORE INFORMATION.
ALL WINDOWS TO BE REPLACED AT BOTH FIRST AND SECOND FLOORS. NEW WINDOWS TO BE ANDERSEN 400 SERIES SOLID CORE WOOD 2/1 DOUBLE HUNG EVERYWHERE EXCEPT CASEMENT IN KITCHEN (TO BE FAUX DOUBLE HUNG DETAILED) WINDOW SURROUND TO BE AZEK HISTORIC RAMS HEAD TRIM. SIMULATED DIVIDED LITES TO BE 3/4" WITH SPACER BARS.

WALL LEGEND	
EXISTING	[Symbol]
NEW BLOCK	[Symbol]
NEW WOOD FRAMING	[Symbol]
TO BE REMOVED	[Symbol]

EXTERIOR MATERIAL LEGEND	
SECOND FL FIBERGLASS PORCH	SECOND FLOOR PORCH COLOR - AS PER PAINT SCHEDULE
ROOFING	ALL EXISTING TO BE REPLACED WITH OWENS CORNING TRUDEFINITION DURATION SHINGLES. COLOR: AS PER PAINT SCHEDULE
SIDING	HARDIBOARD CLAPBOARD SIDING WITH 4" EXPOSURE. COLOR: AS PER PAINT SCHEDULE
CORNER BOARDS/TRIM	NEW 3/4" AZEK TRIM BOARDS 1"x4" FINISH: TRADITIONAL. COLOR: AS PER PAINT SCHEDULE
FASCIA	SEE DETAILS 4-A4 AND 5-A4
SOFFIT MATERIAL	AZEK REVERSIBLE BEAD BOARD 3/4" x 5 1/2" FINISH: TRADITIONAL. COLOR: AS PER PAINT SCHEDULE
COLUMNS	3/4" AZEK CASING WITH CHAMFERED EDGES TO REPLACE EXISTING ALUMINUM WRAP. 5/4"x6" AZEK BASE TRIM. SEE DETAIL 8/A-3
RAILING	NEW INTEX RAIL. STYLE TO BE DARTMOUTH WITH BALL AND CAP AS APPROVED BY HPC. FIRST FLOOR TO BE 30" HIGH, SECOND FLOOR TO BE 36" HIGH. SQUARE 1 1/2" SPINDLES @ 4" O.C.
FENCING	NEW PAINTED WOOD PICKET FENCE. STYLE: CAPE COD. COLOR: AS PER PAINT SCHEDULE. CONTRACTOR TO CUT TO 2" HIGH
CRAWLSPACE ACCESS	3' x 2'-11" x 3/4" AZEK PANEL WITH 1"x4" AZEK TRIMBOARD. COLOR: AS PER PAINT SCHEDULE. SEE DTL 2/A1
BRICK PAVERS	REPLACE CONCRETE WITH FLASH FIRED BRICK. SIZE: MODULAR 3 3/4" x 2 1/4" x 7 3/4" PATTERN: HERRINGBONE
STAIR TREADS	2" LIMESTONE OVER EXISTING MASONRY BLOCK WITH PARING TO REPLACE EXISTING TREADS
WINDOWS	ANDERSEN 400 SERIES DOUBLE HUNG EVERYWHERE EXCEPT CASEMENT IN KITCHEN. PATCH IN ALL RELOCATED WINDOW OPENINGS
FIRST FLOOR PORCH	REPLACE EXISTING PORCH PAVERS WITH NEW LIMESTONE OVER EXISTING 4" SLAB RISERS TO BE LIMESTONE TREADS
FRONT DOOR	NEW PAINTED DOUG FIR WOOD. HALF LITE 2 PANEL. COLOR: HPC EMU. COLOR: SIZE: 3'-0"x6'-8" GLASS. PROVIDE MAIL SLOT.
SIDE DOOR	THERMA TRU, CLASSIC-CRAFT CANVAS COLLECTION. HALF LITE 2 PANEL. STYLE NO. CCV06020X. COLOR: AS PER PAINT SCHEDULE. SIZE: 3'-0"x6'-8" GLASS. SATIN ETCH.
SECOND FLOOR PORCH DOOR	NEW PAINTED WOOD. HALF LITE 2 PANEL. COLOR: AS PER PAINT SCHEDULE. SIZE: 3'-0"x6'-8" GLASS. SIMULATED DIVIDED LITES WITH SPACER BARS
LIGHTS SURFACE MOUNTED	TOWNSEND STYLE OUTDOOR WALL SCENE MOUNTING PLATE - COLOR: AS PER PAINT SCHEDULE
GUTTERS AND LEADERS	(TYPICAL) NEW 5" HALF ROUND ALUMINUM GUTTERS WITH ROUND LEADERS. COLOR: AS PER PAINT SCHEDULE
BRACKETS	NEW FYPON BRACKETS. MODEL #: BKT14X15 SCALLOPED
GABLE ORNAMENT FRAME	6" AZEK CLAD WOOD FRAME AS PER ELEVATIONS. SEE DETAIL 5/A-4
FINIALS	CUSTOM PAINTED BALL AND DART WOOD FINIALS. COLOR: AS PER PAINT SCHEDULE
BRICK PIER DETAIL	THIN CUT BRICK VENEER EPOXY MORTAR APPLIED TO FOUNDATION
LATTICE PANELS	DIMENSIONAL COMPOSITE DURA-SHELL 3-D LATTICE BY PERMALATT (1" x 2") PERIMETER TO BE 3/4" x 4" WOOD TRIM. COLOR: AS PER PAINT SCHEDULE



8 TYPICAL - NEW COLUMN DETAIL

SCALE: 3/8"=1'-0"

EXISTING WINDOW LEGEND

FIRST FLOOR:	
QUANTITY	WINDOW DESCRIPTION
2	DOUBLE HUNG - 2851
8	DOUBLE HUNG - 3051
1	PICTURE - 5941
3	DOUBLE HUNG - 2451
2	DOUBLE HUNG - 2436

SECOND FLOOR:	
QUANTITY	WINDOW DESCRIPTION
7	DOUBLE HUNG - 2648
2	DOUBLE HUNG - 2846
2	DOUBLE HUNG - 2446
1	DOUBLE HUNG - 2846
2	DOUBLE HUNG - 2451
2	DOUBLE HUNG - 3051
1	DOUBLE HUNG - 1036** VERIFY

EXISTING EXTERIOR DOOR LEGEND

FIRST FLOOR:	
QUANTITY	DOOR DESCRIPTION
2	3068

SECOND FLOOR:	
QUANTITY	DOOR DESCRIPTION
1	3068

REV NO.	DATE	DESCRIPTION	BY
2	3-22-2022	HPC INCOMPLETE ITEMS RE-SUBMITTAL	AFS
1	11-24-2021	ZONING/HPC RE-SUBMITTAL	AFS
	05-17-2021	ZONING/HPC SUBMITTAL	AFS

PDR designs
ARCHITECTURE LLC

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Fax (732) 367-7223 Email: Paul@PDRdesigns.com

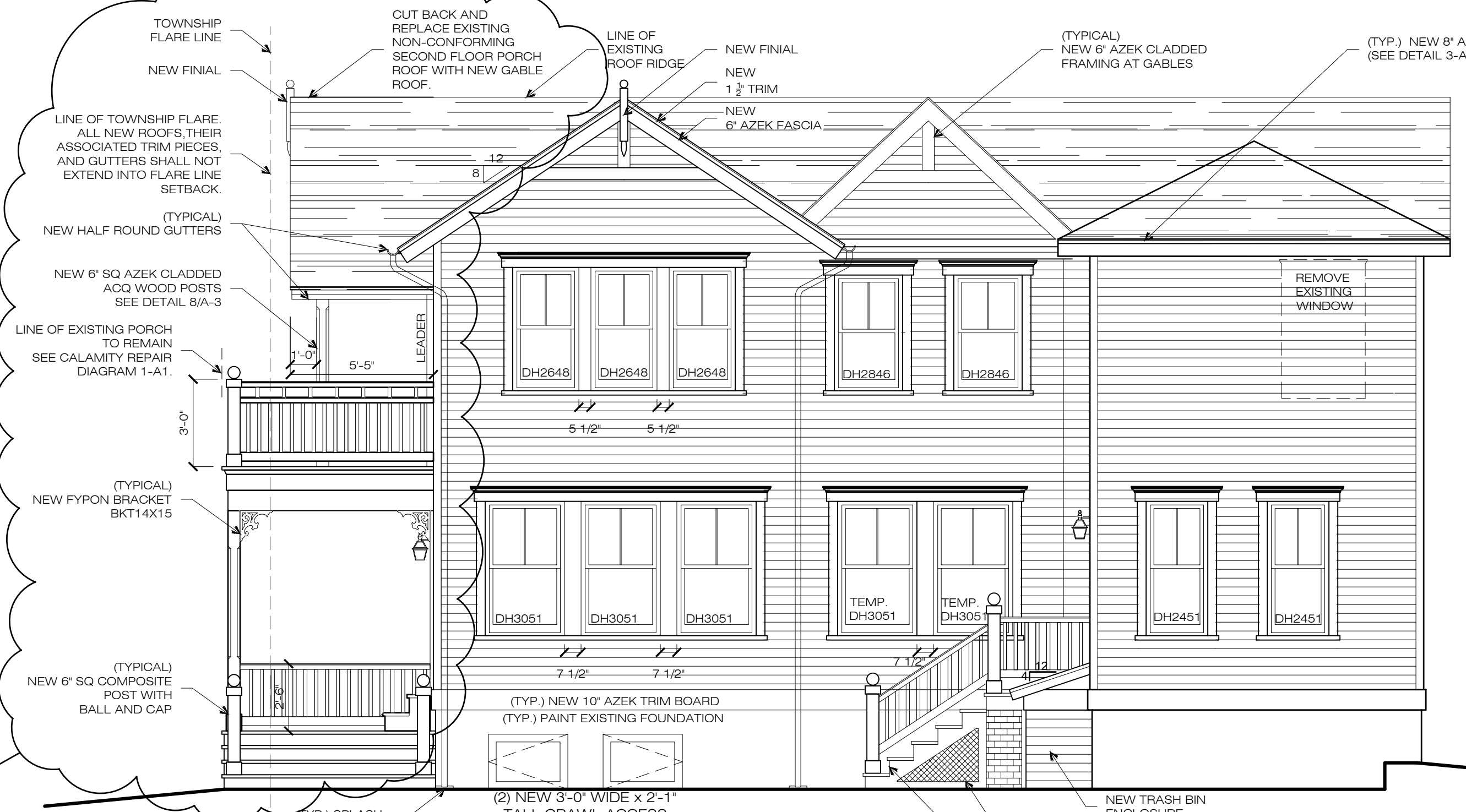
PROJECT
SLOWIK RESIDENCE
EXTERIOR RENOVATIONS
5 MAIN AVENUE
OCEAN GROVE, NJ 07756
BLOCK: 166 LOT: 12

PAUL DAVID RUGARBER, AIA NY LICENSE # 41418	DRAWN BY: SSB/MI/AS	DATE: NOVEMBER 23, 2021
CERTIFICATE OF AUTHORIZATION # 21AC09073100	CHECKED BY: PDR	#19-68
FLOOR PLANS		SHEET NO. 3 OF 5
		A-3



FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL LEGEND	
SECOND FL FIBERGLASS PORCH	SECOND FLOOR PORCH COLOR - AS PER PAINT SCHEDULE
ROOFING	ALL EXISTING TO BE REPLACED WITH OWENS CORNING TRUDEFINITION DURATION SHINGLES. COLOR: AS PER PAINT SCHEDULE.
SIDING	HARDIBOARD CLAPBOARD SIDING WITH 4" EXPOSURE. COLOR: AS PER PAINT SCHEDULE.
CORNER BOARDS/TRIM	NEW 1/2" AZEK TRIM BOARDS 1"x4" FINISH. TRADITIONAL COLOR. AS PER PAINT SCHEDULE.
FASCIA	SEE DETAILS 4-A4 AND 5-A4
SOFFIT MATERIAL	AZEK REVERSIBLE BEAD BOARD 3/2" x 5 1/2" FINISH. TRADITIONAL COLOR. AS PER PAINT SCHEDULE.
COLUMNS	3/4" AZEK CASING WITH CHAMFERED EDGES TO REPLACE EXISTING ALUMINUM WRAP. 5/4"x6" AZEK BASE TRIM. SEE DETAIL 8/A-3
RAILING	NEW INTEX RAIL. STYLE TO BE DARTMOUTH WITH BALL AND CAP AS APPROVED BY HPC. FIRST FLOOR TO BE 30" HIGH, SECOND FLOOR TO BE 36" HIGH. SQUARE 1 1/2" SPINDLES @ 4" O.C.
FENCING	NEW PAINTED WOOD PICKET FENCE. STYLE: CAPE COD. COLOR: AS PER PAINT SCHEDULE. CONTRACTOR TO CUT TO 2" HIGH.
CRAWLSPACE ACCESS	3' x 2-1/2" x 1/2" AZEK PANEL WITH 1"x4" AZEK TRIMBOARD. COLOR: AS PER PAINT SCHEDULE. SEE DT1, 2/A1
BRICK PAVERS	REPLACE CONCRETE WITH FLASH FIRED BRICK. SIZE: MODULAR 3 3/4" x 2 1/2" x 7 3/8" PATTERN: HERRINGBONE
STAIR TREADS	2" LIMESTONE OVER EXISTING MASONRY BLOCK WITH PARGING TO REPLACE EXISTING TREADS
WINDOWS	ANDERSEN 400 SERIES DOUBLE HUNG EVERYWHERE EXCEPT CASEMENT IN KITCHEN. PATCH IN ALL RELOCATED WINDOW OPENINGS
FIRST FLOOR PORCH	REPLACE EXISTING PORCH PAVERS WITH NEW LIMESTONE OVER EXISTING 4" SLAB RISERS TO BE LIMESTONE TREADS
FRONT DOOR	NEW PAINTED DOUG FIR WOOD, HALF LITE 2 PANEL. COLOR: HPC BM# COLOR. SIZE: 3'-0"x6'-8" GLASS. PROVIDE MAIL SLOT.
SIDE DOOR	THERMA TRU, CLASSIC-CRAFT CANVAS COLLECTION, HALF LITE 2 PANEL STYLE NO: CCV06020XE, COLOR: AS PER PAINT SCHEDULE. SIZE: 3'-0"x6'-8" GLASS. SATIN ETCH.
SECOND FLOOR PORCH DOOR	NEW PAINTED WOOD, HALF LITE 2 PANEL, COLOR: AS PER PAINT SCHEDULE. SIZE: 3'-0"x6'-8" GLASS SIMULATED DIVIDED LITES WITH SPACER BARS
LIGHTS SURFACE MOUNTED	TOWNSEND STYLE OUTDOOR WALL SCONCE MOUNTING PLATE - COLOR: AS PER PAINT SCHEDULE
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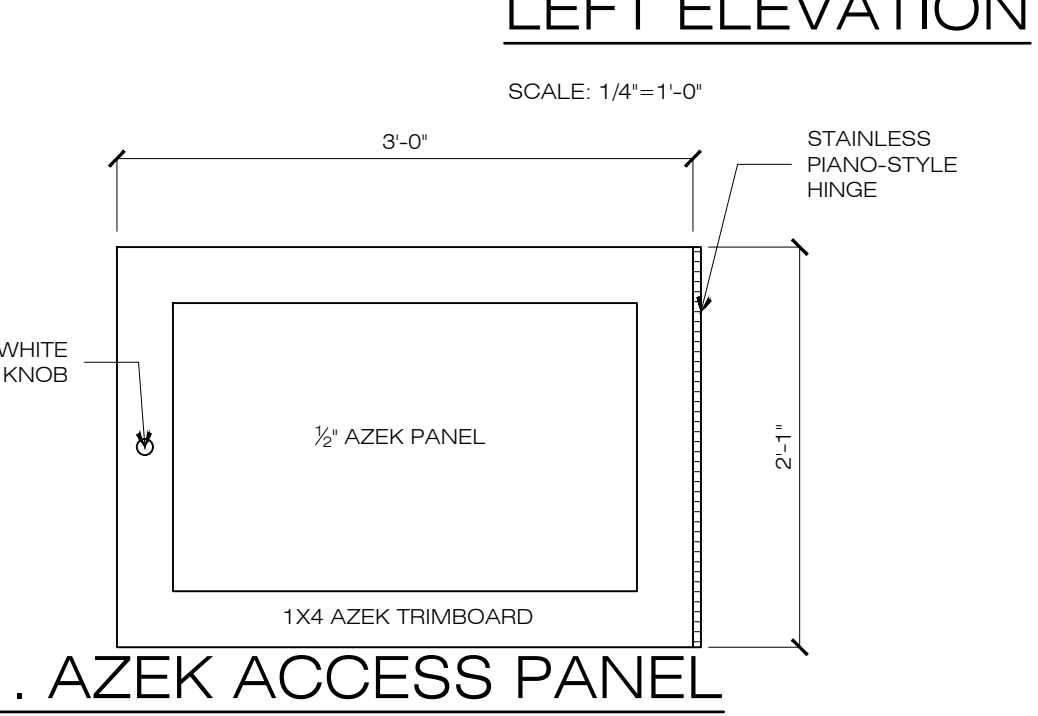
LEFT ELEVATION

SCALE: 1/4"=1'-0"

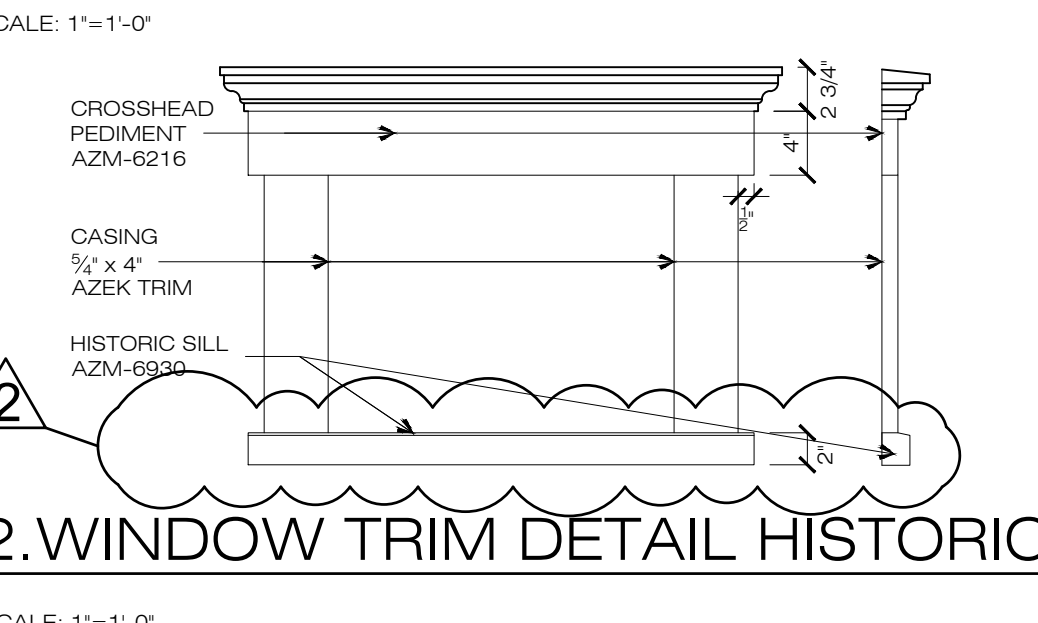


REAR ELEVATION

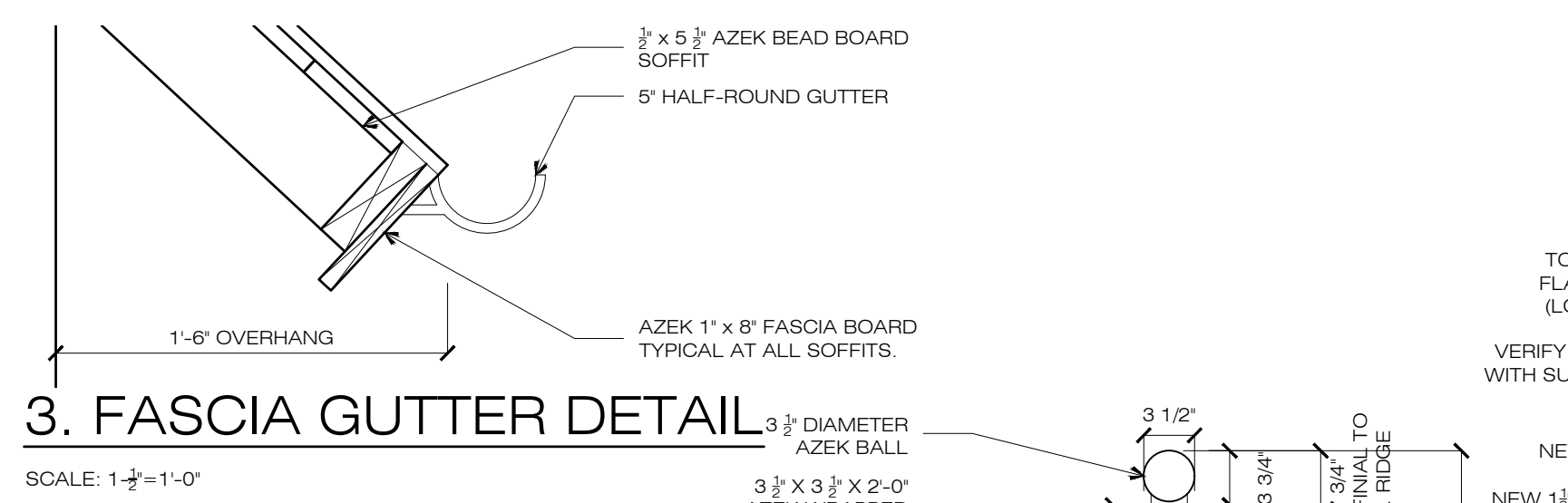
SCALE: 1/4"=1'-0"



1. AZEK ACCESS PANEL

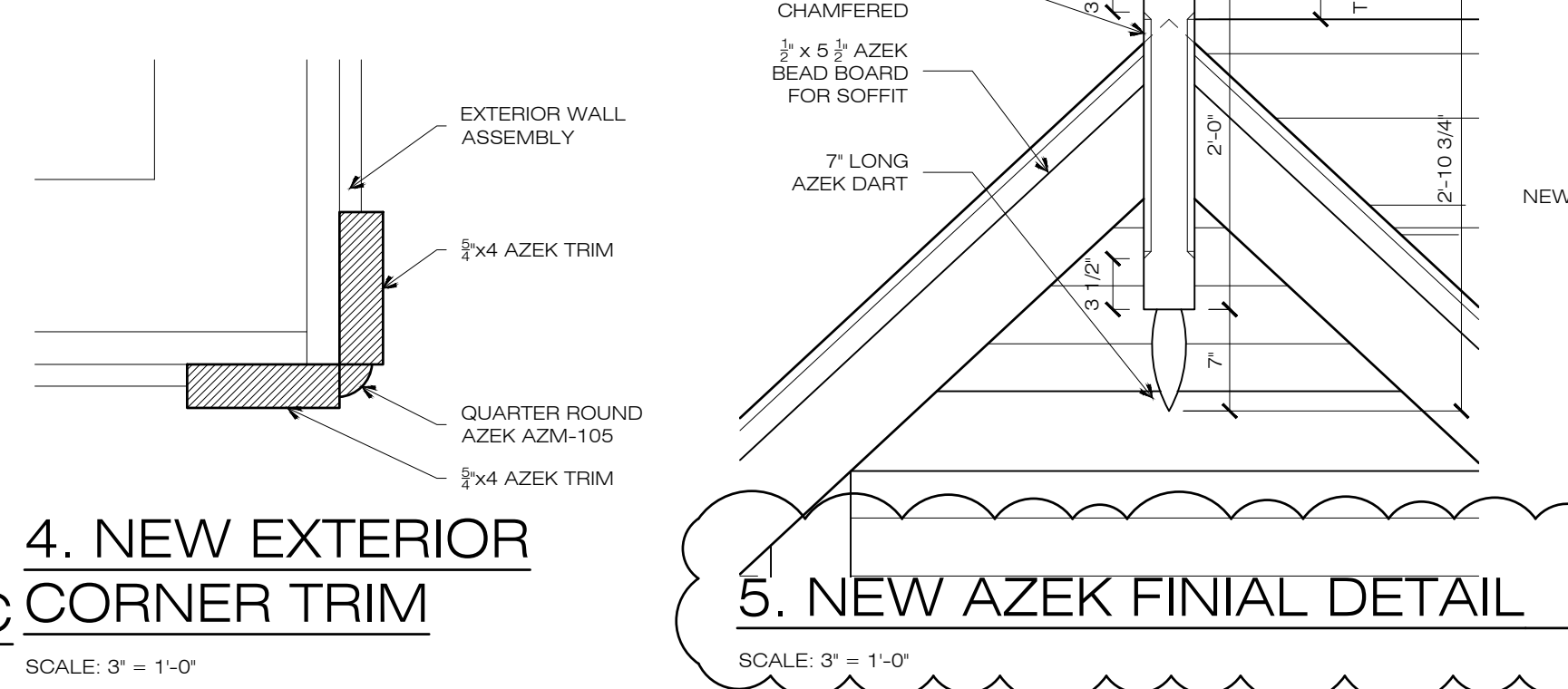


2. WINDOW TRIM DETAIL HISTORIC



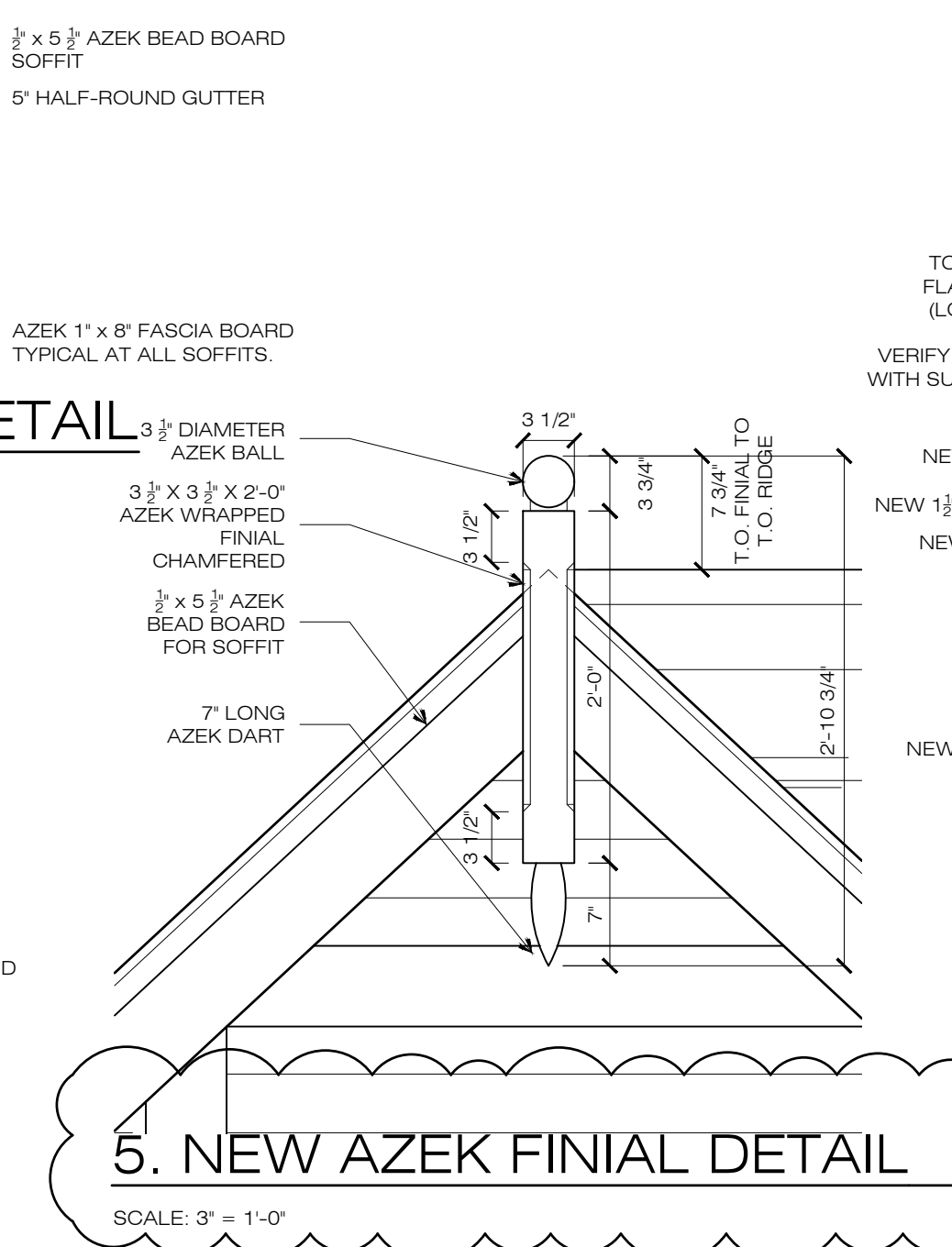
3. FASCIA GUTTER DETAIL

SCALE: 1-1/2"=1'-0"



4. NEW EXTERIOR CORNER TRIM

SCALE: 3"=1'-0"



5. NEW AZEK FINIAL DETAIL

SCALE: 3"=1'-0"



EXIST. FRONT ELEVATION

SCALE: 3/32"=1'-0"



EXIST. RIGHT ELEVATION

SCALE: 3/32"=1'-0"



EXIST. LEFT ELEVATION

SCALE: 3/32"=1'-0"



EXIST. REAR ELEVATION

SCALE: 3/32"=1'-0"

REV NO.	DATE	DESCRIPTION	BY
2	3-22-2022	HPC INCOMPLETE ITEMS RE-SUBMITTAL	AFS
1	11-24-2021	ZONING/HPC RE-SUBMITTAL	AFS
	05-17-2021	ZONING/HPC SUBMITTAL	AFS

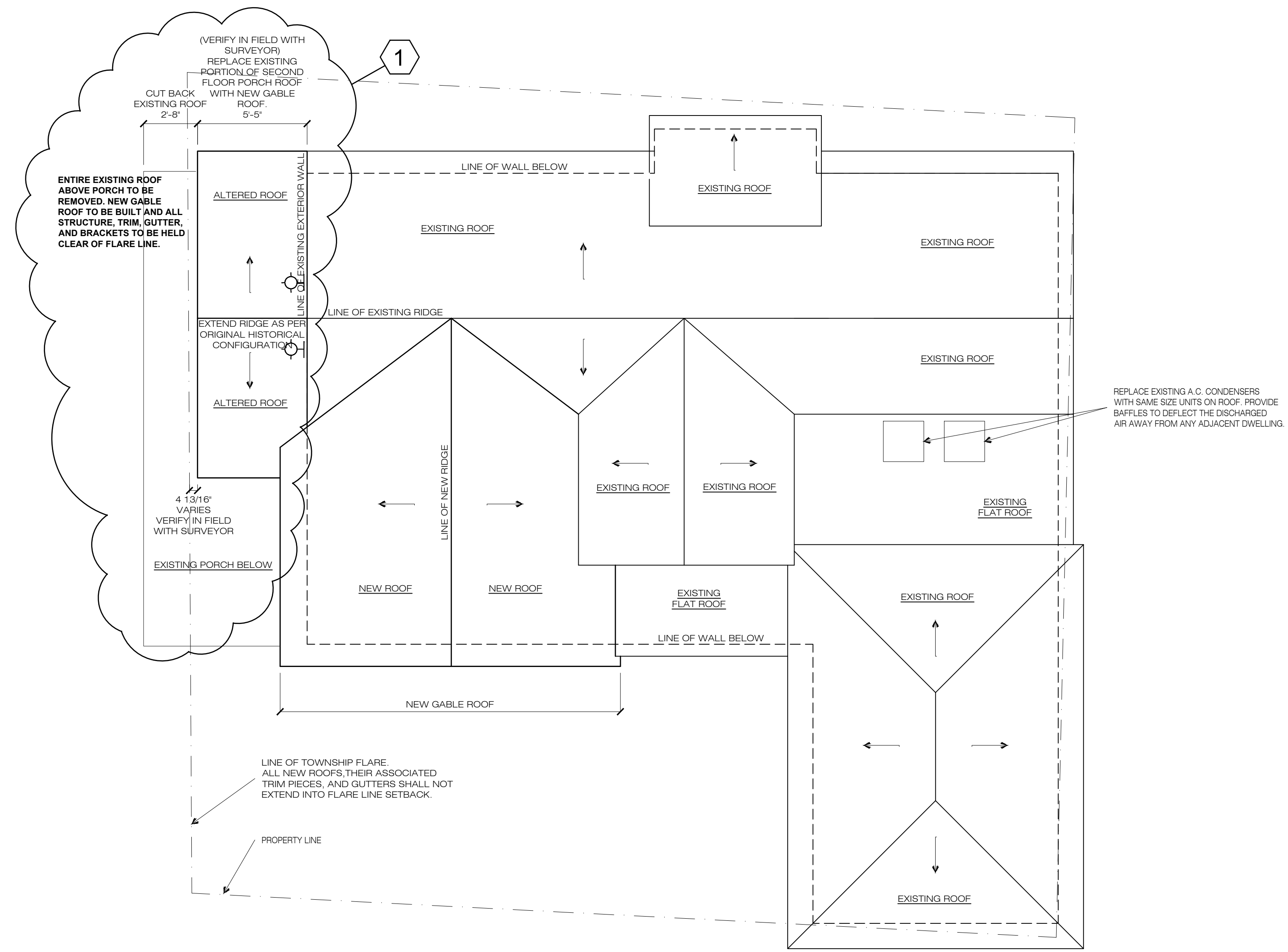
PDRdesigns
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501 Laurel Avenue, Suite 4, Point Pleasant, New Jersey 08742
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Fax (732) 367-7223 Email: Paul@PDRdesigns.com

PROJECT SLOWIK RESIDENCE EXTERIOR RENOVATIONS

5 MAIN AVENUE
OCEAN GROVE, NJ 07756
BLOCK: 166 LOT: 12

PAUL DAVID RUGARBER, AIA NY LICENSE # 614188	DRAWN BY: SSB/MI/AFS	DATE: NOVEMBER 23, 2021
CERTIFICATE OF AUTHORIZATION # 21AOC0073100	CHECKED BY: PDR	#19-68
ELEVATIONS DETAILS	SHEET NO. 4 OF 5	A-4



ROOF PLAN

SCALE: 1/4"=1'-0"

EXTERIOR MATERIAL LEGEND	
SECOND FL FIBERGLASS PORCH	SECOND FLOOR PORCH COLOR - AS PER PAINT SCHEDULE
ROOFING	ALL EXISTING TO BE REPLACED WITH OWENS CORNING TRUDEFINITION DURATION SHINGLES COLOR: AS PER PAINT SCHEDULE
SIDING	HARDBOARD CLAPBOARD SIDING WITH 4" EXPOSURE COLOR: AS PER PAINT SCHEDULE
CORNER BOARDS/TRIM	NEW 3/4" AZEK TRIM BOARDS 1"x4" FINISH: TRADITIONAL COLOR: AS PER PAINT SCHEDULE
FASCIA	SEE DETAILS 4-A4 AND 5-A4
SOFFIT MATERIAL	AZEK REVERSIBLE BEAD BOARD 1/2" x 5 1/2" FINISH: TRADITIONAL COLOR: AS PER PAINT SCHEDULE
COLUMNS	3/4" AZEK CASING WITH CHAMFERED EDGES TO REPLACE EXISTING ALUMINUM WRAP. 5/4"x6" AZEK BASE TRIM. SEE DETAIL 8/A-3
RAILING	NEW INTEX RAIL. STYLE TO BE DARTMOUTH WITH BALL AND CAP AS APPROVED BY HPC. FIRST FLOOR TO BE 30" HIGH, SECOND FLOOR TO BE 36" HIGH. SQUARE 1 1/2" SPINDLES @ 4" O.C.
FENCING	NEW PAINTED WOOD PICKET FENCE. STYLE: CAPE COD. COLOR: AS PER PAINT SCHEDULE CONTRACTOR TO CUT TO 2' HIGH
CRAWLSPACE ACCESS	3 x 2'-1" x 1/2" AZEK PANEL WITH 1"x4" AZEK THIMBOARD. COLOR: AS PER PAINT SCHEDULE SEE DTL 2/A1
BRICK PAVERS	REPLACE CONCRETE WITH FLASH FIRED BRICK. SIZE: MODULAR 3 3/4" x 2 1/4" x 7 5/8" PATTERN: HERRINGBONE
STAIR TREADS	2" LIMESTONE OVER EXISTING MASONRY BLOCK WITH PARING TO REPLACE EXISTING TREADS
WINDOWS	ANDERSEN 400 SERIES DOUBLE HUNG EVERYWHERE EXCEPT CASEMENT IN KITCHEN. PATCH IN ALL RELOCATED WINDOW OPENINGS
FIRST FLOOR PORCH	REPLACE EXISTING PORCH PAVERS WITH NEW LIMESTONE OVER EXISTING 4" SLAB. RISERS TO BE LIMESTONE TREADS
FRONT DOOR	NEW PAINTED DOUG FIR WOOD, HALF LITE 2 PANEL. COLOR: HPC BMF COLOR. SIZE: 3'-0"x6'-8" GLASS. PROVIDE MAIL SLOT.
SIDE DOOR	THERMA TRU, CLASSIC-CRAFT CANVAS COLLECTION, HALF LITE 2 PANEL. STYLE NO: CCV06020XE, COLOR: AS PER PAINT SCHEDULE, SIZE: 3'-0"x6'-8" GLASS. SATIN ETCH.
SECOND FLOOR PORCH DOOR	NEW PAINTED WOOD, HALF LITE 2 PANEL. COLOR: AS PER PAINT SCHEDULE. SIZE: 3'-0"x6'-8" GLASS SIMULATED DIVIDED LITES WITH SPACER BARS
LIGHTS SURFACE MOUNTED	TOWNSEND STYLE OUTDOOR WALL SCONCE MOUNTING PLATE - COLOR: AS PER PAINT SCHEDULE
GUTTERS AND LEADERS	(TYPICAL) NEW 5" HALF ROUND ALUMINUM GUTTERS WITH ROUND LEADERS COLOR: AS PER PAINT SCHEDULE
BRACKETS	NEW FYPON BRACKETS MODEL#: BKT14X15 SCALLOPED
GABLE ORNAMENT FRAME	6" AZEK CLAD WOOD FRAME AS PER ELEVATIONS SEE DETAIL 8/A-4
FINIALS	CUSTOM PAINTED BALL AND DART WOOD FINIALS COLOR: AS PER PAINT SCHEDULE
BRICK PIER DETAIL	THIN CUT BRICK VENEER EPOXY MORTAR APPLIED TO FOUNDATION
LATTICE PANELS	DIMENSIONAL COMPOSITE DURA-SHELL 3-D LATTICE BY PERMALATT (1" x 1/2") PERIMETER TO BE 3/4" x 4" WOOD TRIM COLOR: AS PER PAINT SCHEDULE

REV NO.	DATE	DESCRIPTION	BY
2	3-22-2022	HPC INCOMPLETE ITEMS RE-SUBMITTAL	AFS
1	04-23-2021	REVISIONS TO PERMITS	AFS
	05-17-2021	ZONING/HPC SUBMITTAL	AFS

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PROJECT
SLOWIK RESIDENCE
EXTERIOR RENOVATIONS
 5 MAIN AVENUE
 OCEAN GROVE, NJ 07756
 BLOCK: 166 LOT: 12

PAUL DAVID RUGARBER, AIA NY LICENSE # 614158	DRAWN BY: SSB/MI/AFS	DATE: NOVEMBER 23, 2021
CERTIFICATE OF AUTHORIZATION # 21AC00073100	CHECKED BY: PDR	#19-68
ROOF PLAN	SHEET NO. 5 OF 5	A-5